



DESIGN REVIEW BOARD

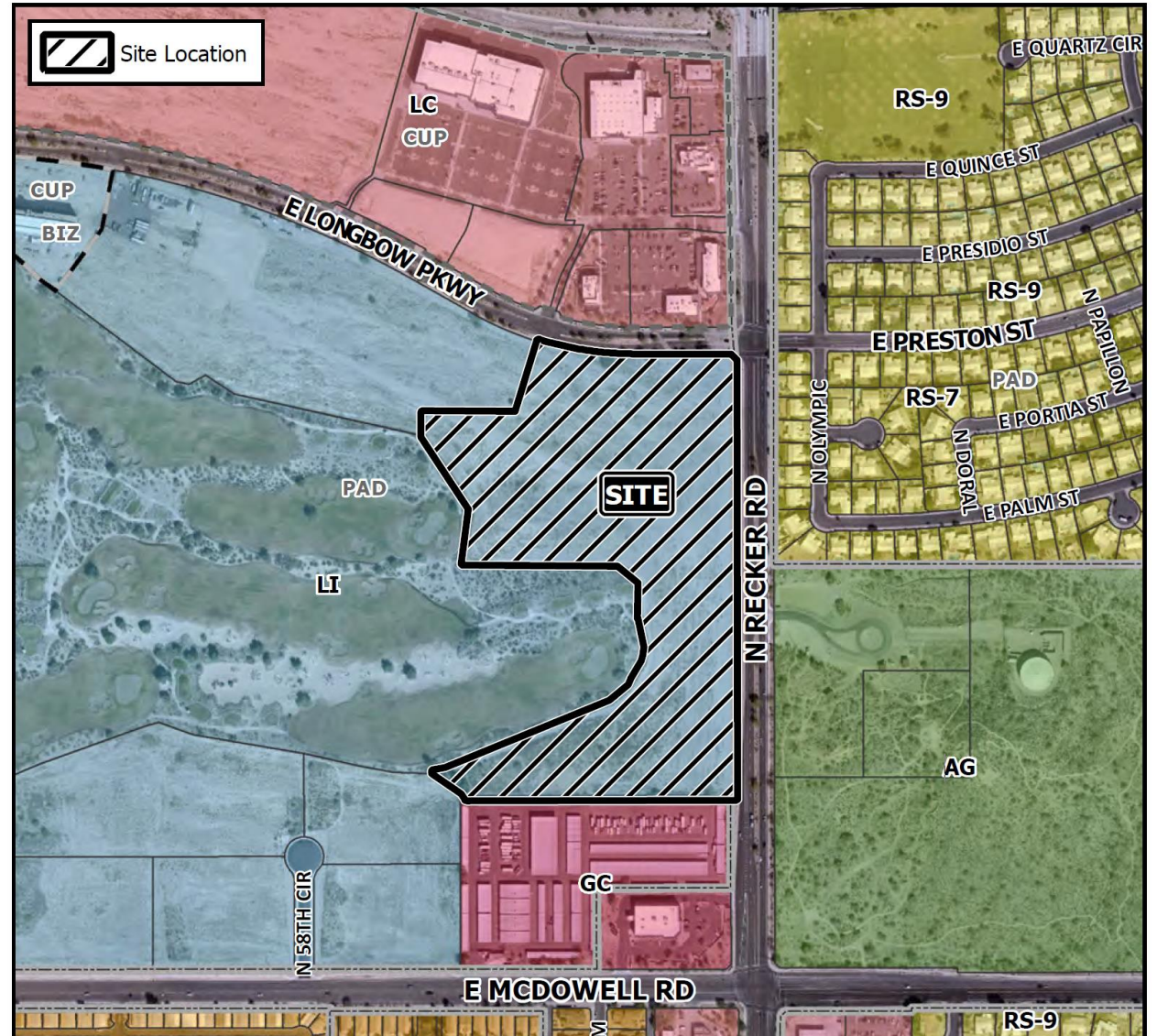
October 12, 2021



DRB21-00732

Location

- West of Recker Road
- North of McDowell Road
- South of Longbow Parkway





Request

- Design Review

Purpose

- Allow for an mixed-use development

Site Photos



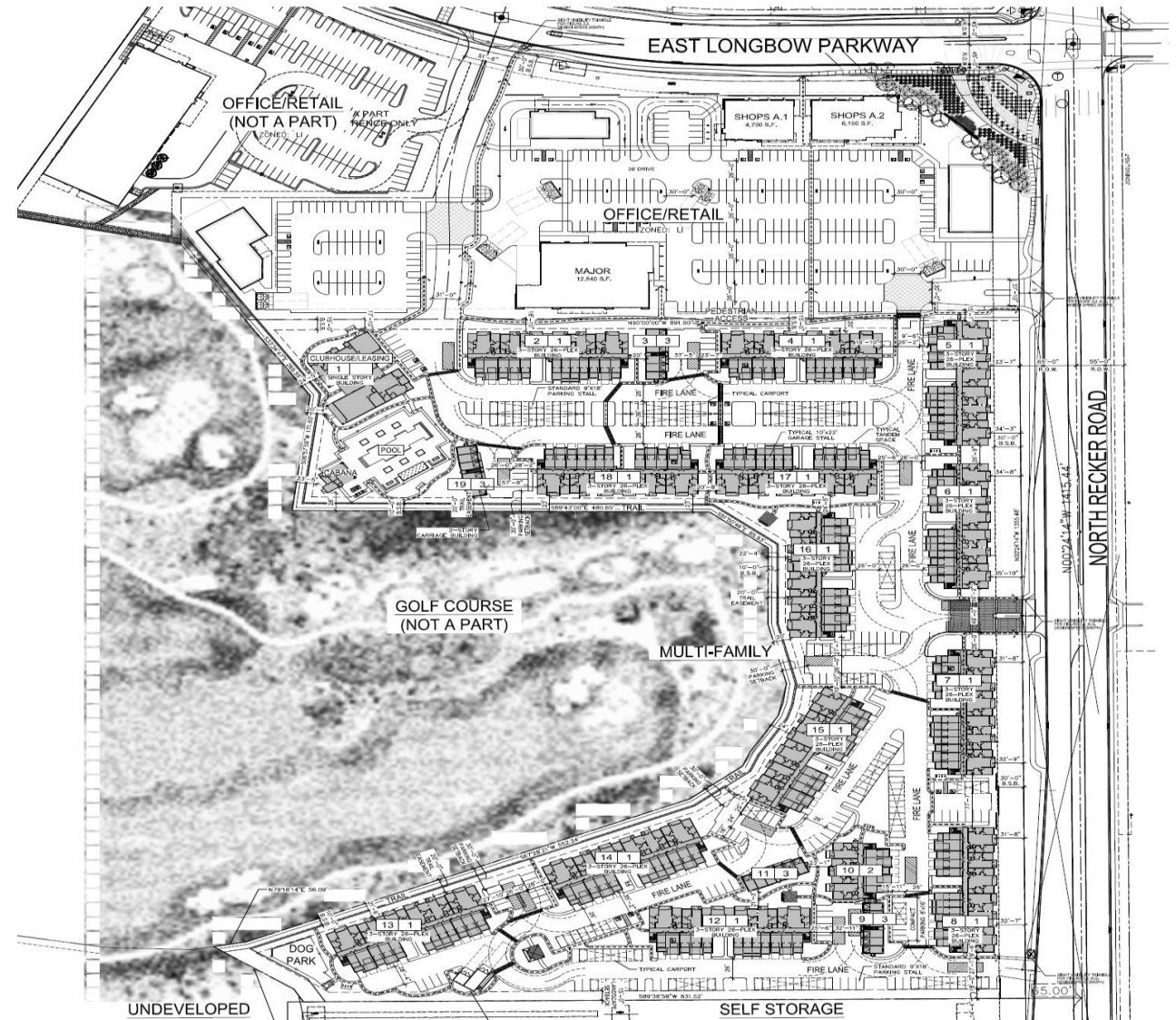
Looking northwest towards the site



Looking south towards the site

Site Plan















- 20-acre site total
- 6-acre commercial
- 13-acre multiple residence

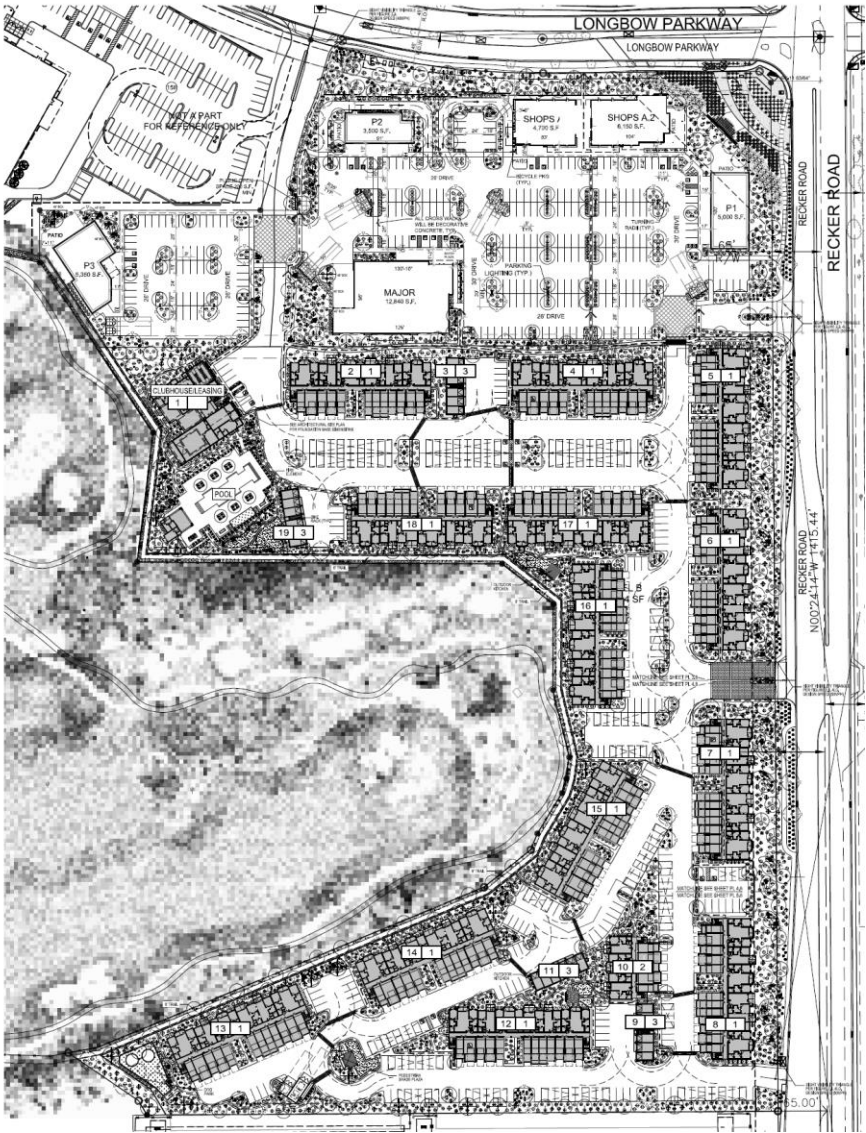


Landscape Plan

Landscaping per Longbow Design Guidelines

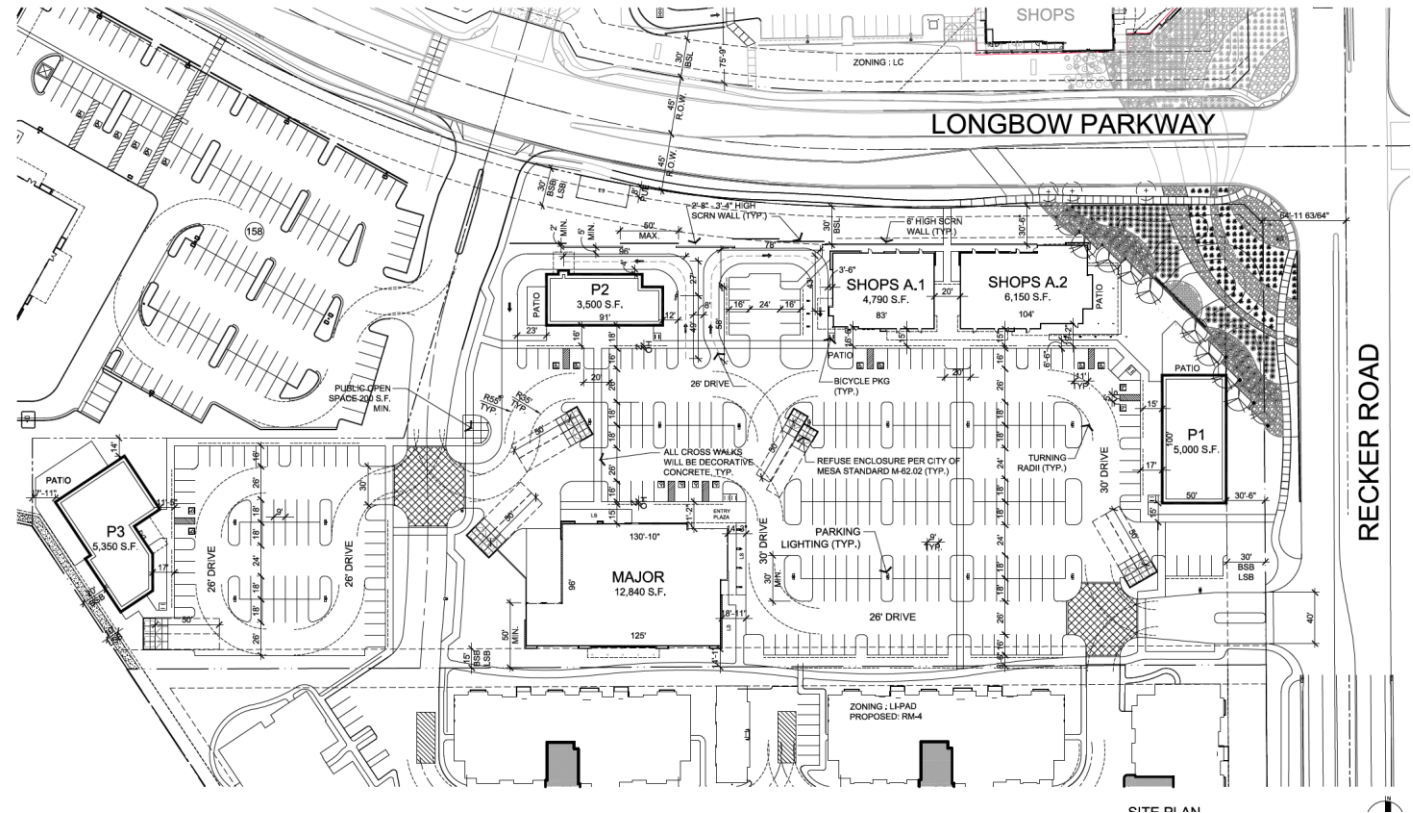
PLANT LEGEND

TREES	SPECIFICATION	QTY
 <i>Parkinsonia florida</i>	2.25" Cal. 9'H x 6'W	94
 Blue Palo Verde	3.50" Cal. 12'H x 10'W	5
 <i>Chilopsis linearis</i>	2.0" Cal. 8'H x 7'W	128
 Desert Willow	Double Stake	
 <i>Prosopis glandulosa</i>	2.0" Cal. 9'H x 7'W	23
 Thornless Honey Mesquite	3.50" Cal. 12'H x 10'W	2
 <i>Prosopis velutina</i>	2.50" Cal. 8'H x 6'W	70
 Arizona Mesquite	Double Stake	
 <i>Pithecellobium flexicaule</i>	2.0" Cal. 9'H x 6'W	16
 Texas Ebony	Double Stake	
 <i>Olneya tesota</i>	8'H x 5'W	36
 Ironwood	Multi Trunk	
 <i>Parkinsonia praecox</i>	2.25" Cal. 9'H x 6'W	32
 Palo Brea	Double Stake	
<i>Acacia Salicina</i>	2.25" Cal. 9'H x 6'W	13
Willow Acacia	Double Stake	
<i>Ungnadia speciosa</i>	2.25" Cal. 9'H x 6'W	24
Mexican Buckeye	Double Stake	



Site Plan (Commercial)

- DR for Shops A.1 & A.2, P1, & Major
- Future DRB for remaining buildings



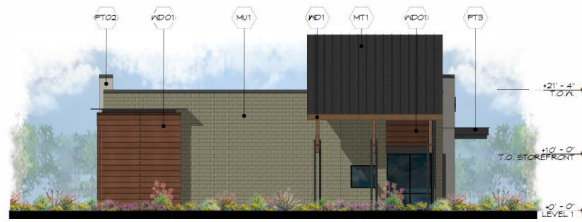
Elevations – Shops A.1 & A.2



1 SOUTH ELEVATION
SCALE: 1" = 10'-0"



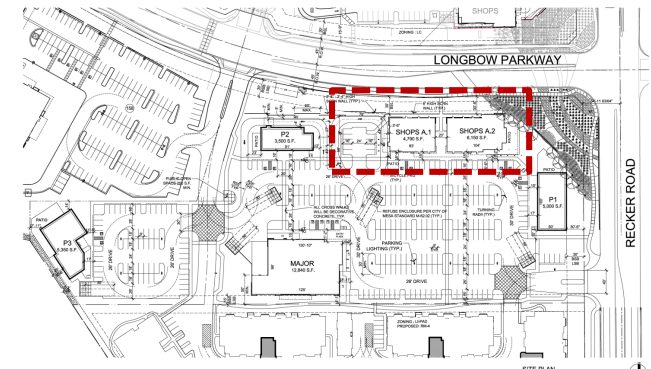
2 EAST ELEVATION
SCALE: 1" = 10'-0"



3 WEST ELEVATION
SCALE: 1" = 10'-0"



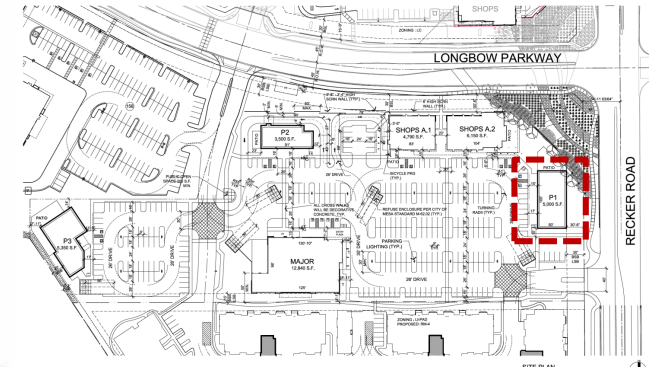
4 NORTH ELEVATION



Elevations – P1



① NORTH ELEVATION
Scale: 1/8" = 1'-0"



② WEST ELEVATION
Scale: 1/8" = 1'-0"



③ EAST ELEVATION
Scale: 1/8" = 1'-0"

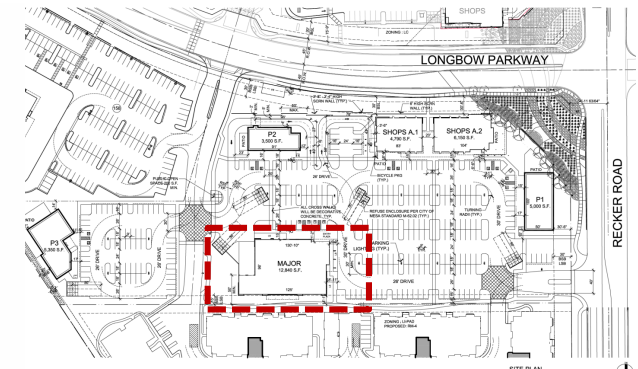


④ SOUTH ELEVATION
Scale: 1/8" = 1'-0"

Elevations – Shops A.1 & A.2



1 NORTH ELEVATION
SCALE: 1" = 10'-0"



3 EAST ELEVATION
SCALE: 1" = 10'-0"



2 WEST ELEVATION
SCALE: 1" = 10'-0"



4 SOUTH ELEVATION
SCALE: 1" = 10'-0"

Color and Materials Board

PAINT COLOR PALETTE

by Sherwin Williams



GAUNTLET GRAY - LRV 17
SW7019



PEWTER TANKARD LRV-33
SW0023

by Dunn Edwards



BLACK BEAN - LRV 7
DE6385

CONCRETE MASONRY

by TBD



WILLOW GREEN
Mesastone

INSULATED GLAZING

by Viracon



VUE24-50
Blue/Grey

METAL ROOF

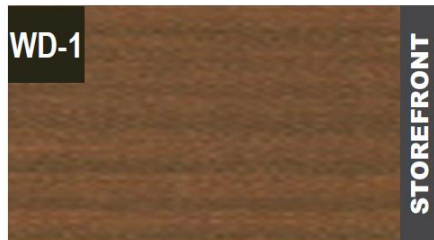
by Old Country Millworks



MIDNIGHT CARBIDE

WOOD STAIN

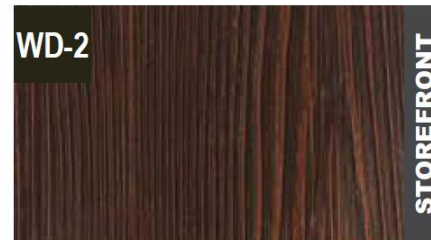
by Okon



OK616

WOOD PLANK VENEER

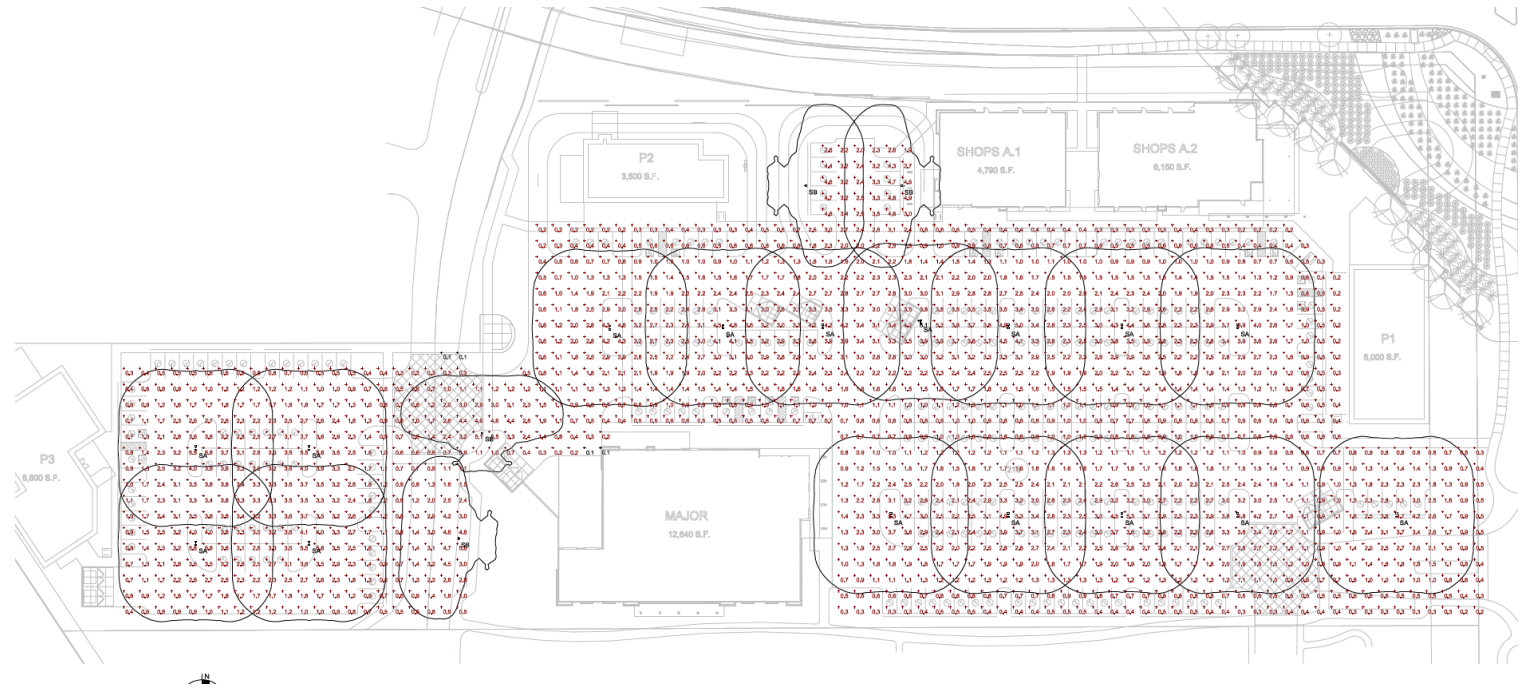
by Woodtone



Warm Espresso

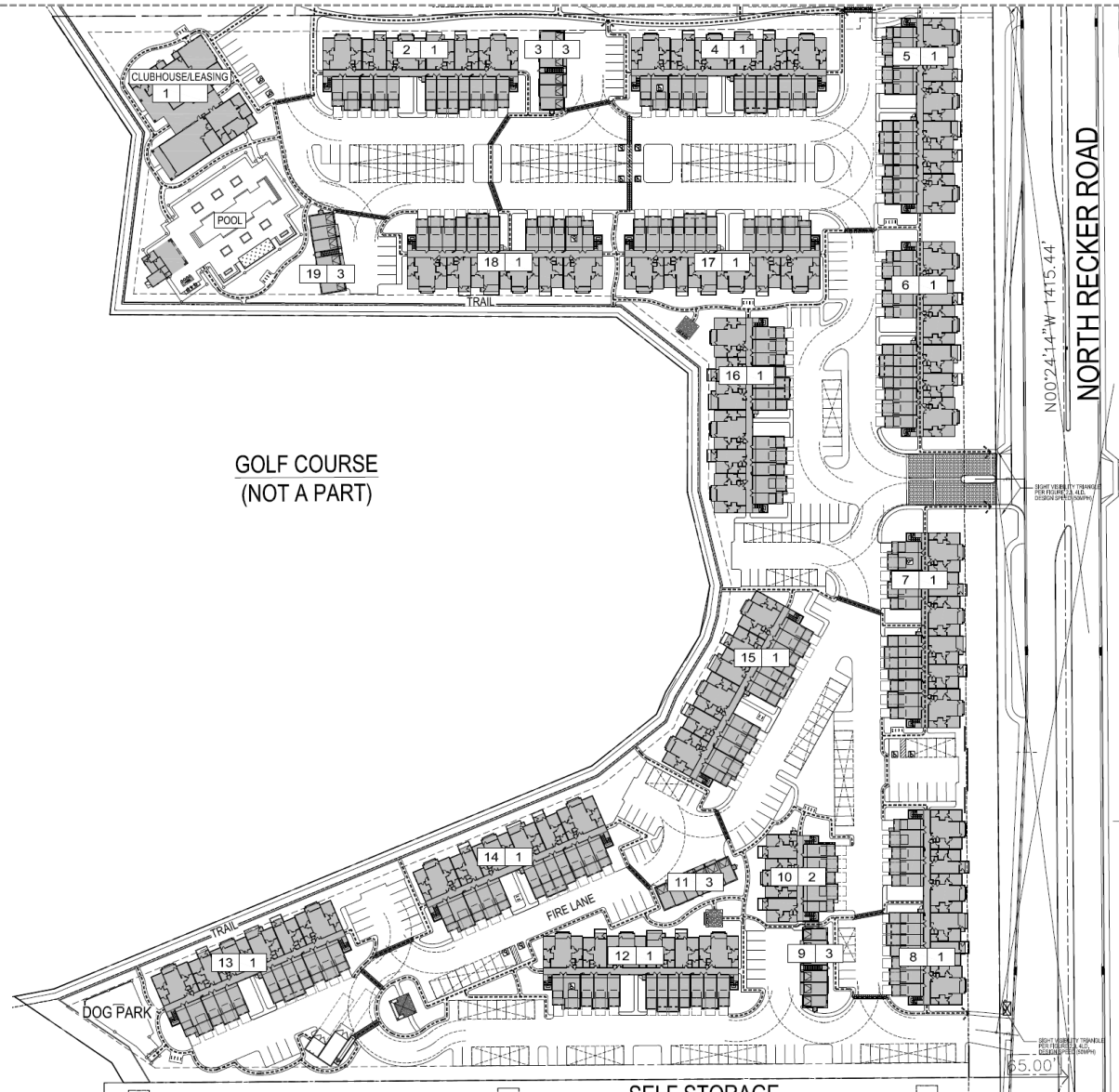
Stucco
Glazing
Masonry
Metal Accents

Lighting

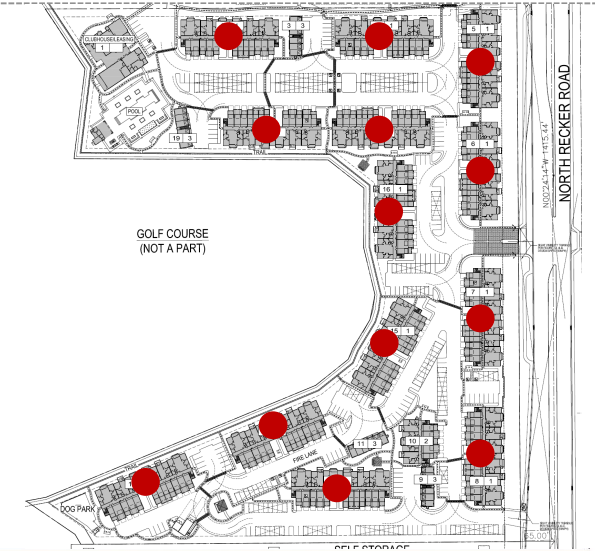


Site Plan (Residential)

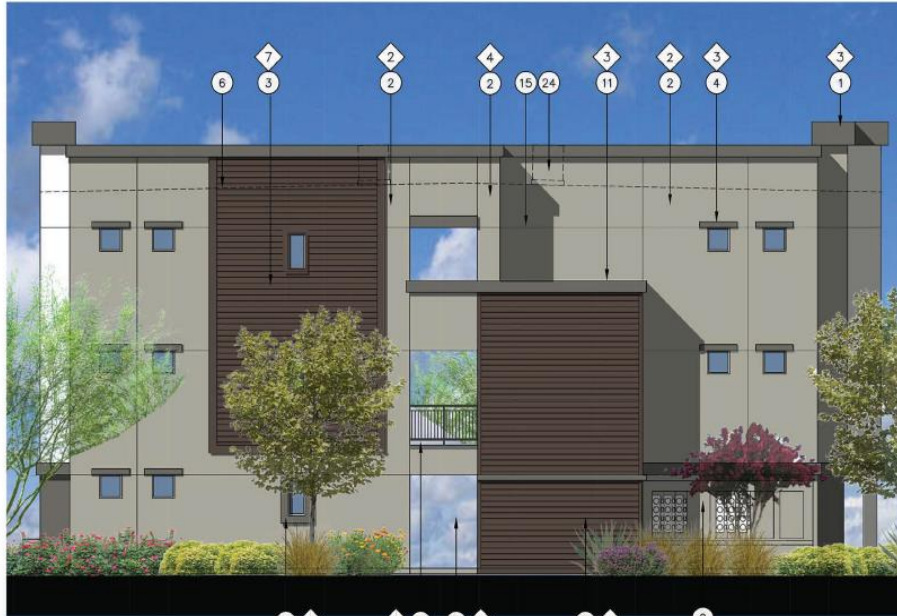
- 359 units
- 2-3 story buildings



Elevations – Building Type 1



Elevations – Building Type 1



BUILDING TYPE 1 - LEFT SIDE ELEVATION

SURFACE AREA: 2,540 SF
PRIMARY MATERIAL - 1,880 SF (74%) STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 660 SF (26%) FIBER CEMENT LAP SIDING



BUILDING TYPE 1 - RIGHT SIDE ELEVATION

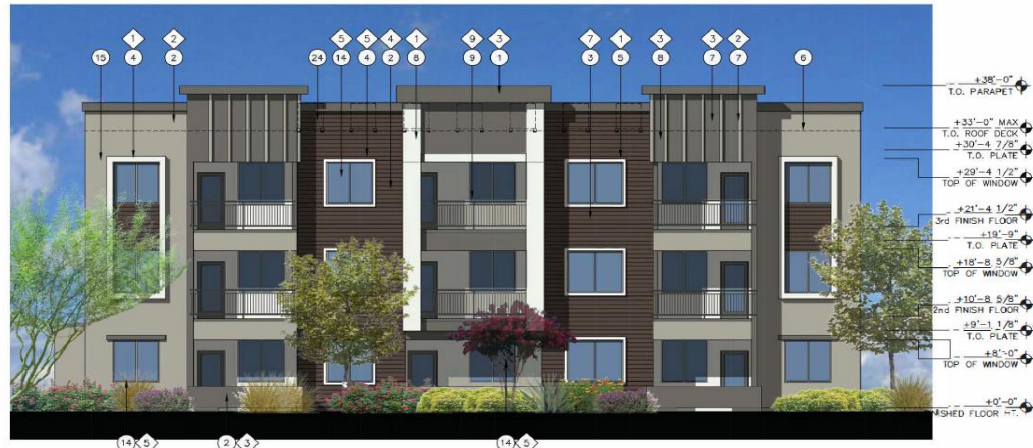
SURFACE AREA: 2,540 SF
PRIMARY MATERIAL - 1,880 SF (74%) STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 660 SF (26%) FIBER CEMENT LAP SIDING

Elevations – Building Type 2



BUILDING TYPE 2 - FRONT ELEVATION

SURFACE AREA: 2,685 SF
PRIMARY MATERIAL - 1,991 SF (74%) STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 694 SF (26%) FIBER CEMENT LAP SIDING



BUILDING TYPE 2 - REAR ELEVATION

SURFACE AREA: 2,550 SF
PRIMARY MATERIAL - 1,859 SF (73%) STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 692 SF (27%) FIBER CEMENT LAP SIDING

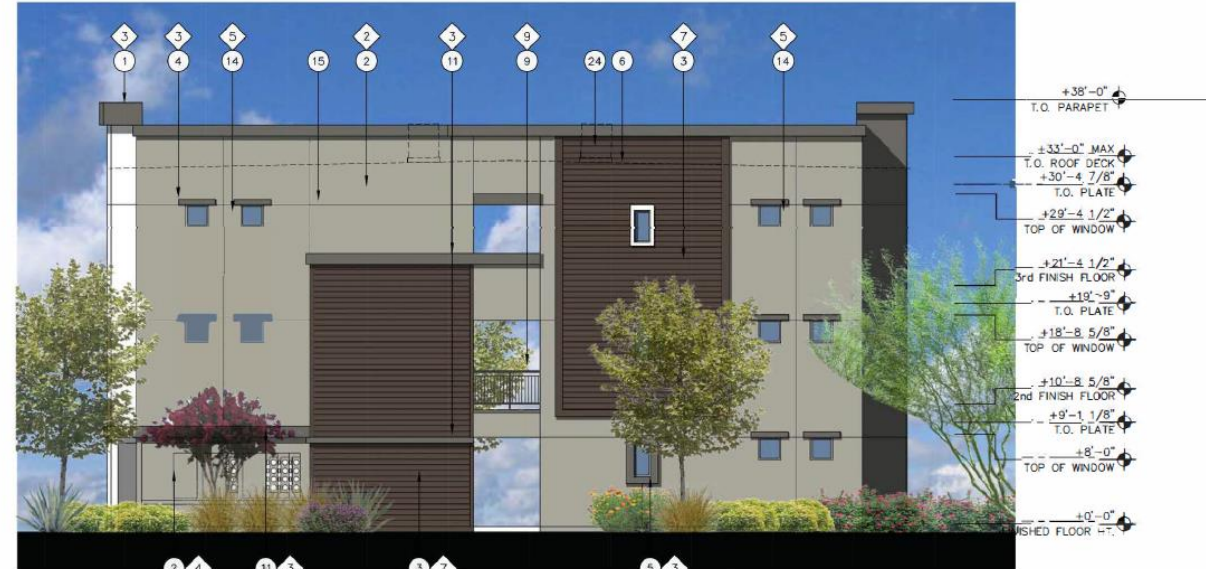


Elevations – Building Type 2



BUILDING TYPE 2 - LEFT SIDE ELEVATION

SURFACE AREA: 2,420 SF
PRIMARY MATERIAL - 1,760 SF (73%) STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 660 SF (27%) FIBER CEMENT LAP SIDING



BUILDING TYPE 2 - RIGHT SIDE ELEVATION

SURFACE AREA: 2,420 SF
PRIMARY MATERIAL - 1,760 SF (73%) STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 660 SF (27%) FIBER CEMENT LAP SIDING

Elevations – Building Type 3



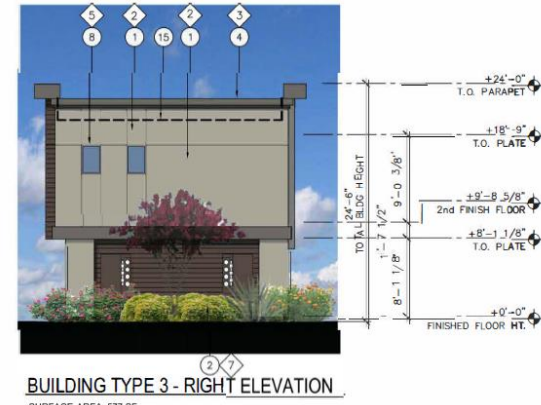
BUILDING TYPE 3 - FRONT ELEVATION

SURFACE AREA: 1,712 SF
PRIMARY MATERIAL - 1,281 SF (75%)
STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 431 SF (25%)
FALUX WOOD PLANK VENEER.



BUILDING TYPE 3 - REAR ELEVATION

SURFACE AREA: 1,703 SF
PRIMARY MATERIAL - 1,180 SF (69%)
STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 523 SF (31%)
FALUX WOOD PLANK VENEER.



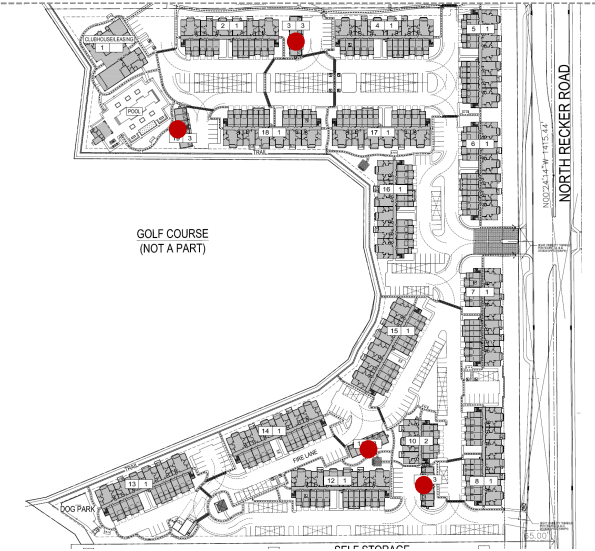
BUILDING TYPE 3 - RIGHT ELEVATION

SURFACE AREA: 577 SF
PRIMARY MATERIAL - 425 SF (74%)
STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 152 SF (26%)
FALUX WOOD PLANK VENEER.



BUILDING TYPE 3 - LEFT ELEVATION

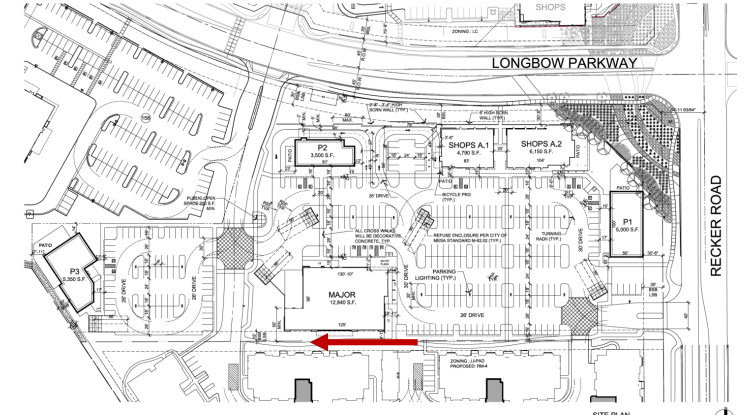
SURFACE AREA: 577 SF
PRIMARY MATERIAL - 425 SF (74%)
STUCCO WHITE, LIGHT GRAY AND DARK GRAY
2ND PRIMARY MATERIAL - 152 SF (26%)
FALUX WOOD PLANK VENEER.



Renderings



Renderings



Elevations – Clubhouse



1 FRONT ELEVATION

ELEVATION - CLUBHOUSE - FRONT
SURFACE AREA: 1,861 SF
PRIMARY MATERIAL - 1,301 SF (69%)
STUCCO WHITE, LIGHT AND DARK GRAY
2ND PRIMARY MATERIAL - 560 SF (31%)
FAUX WOOD PLANK



2 RIGHT ELEVATION

ELEVATION - CLUBHOUSE - RIGHT SIDE
SURFACE AREA: 1,851 SF
PRIMARY MATERIAL - 1,301 SF (70%)
STUCCO WHITE, LIGHT AND DARK GRAY
2ND PRIMARY MATERIAL - 550 SF (29%)
FAUX WOOD PLANK



3 REAR ELEVATION

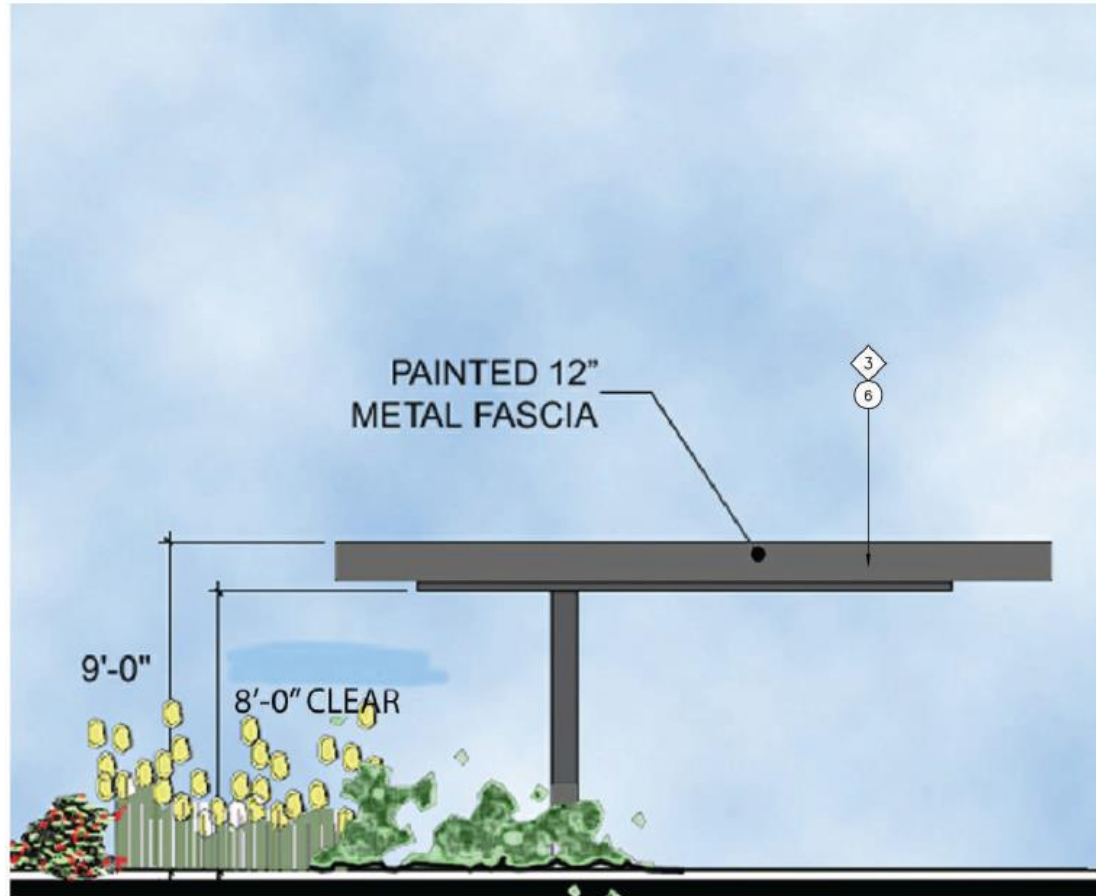
ELEVATION - CLUBHOUSE - REAR
SURFACE AREA: 2,090 SF
PRIMARY MATERIAL - 1,511 SF (72%)
STUCCO WHITE, LIGHT AND DARK GRAY
2ND PRIMARY MATERIAL - 579 SF (28%)
FAUX WOOD PLANK



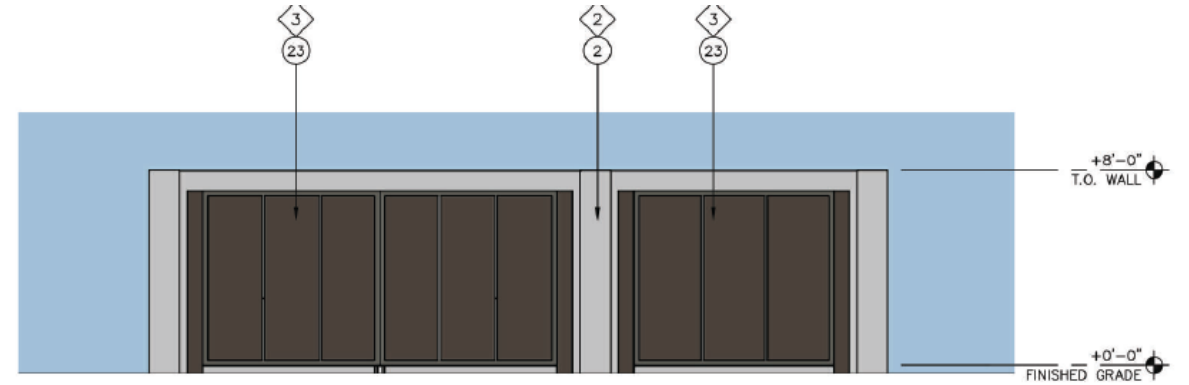
4 LEFT ELEVATION

ELEVATION - CLUBHOUSE - LEFT SIDE
SURFACE AREA: 1,939 SF
PRIMARY MATERIAL - 1,449 SF (74%)
STUCCO WHITE, LIGHT AND DARK GRAY
2ND PRIMARY MATERIAL - 490 SF (25%)
FAUX WOOD PLANK

Elevations – Site Details



TYPICAL CARPORT ELEVATION



TRASH ENCLOSURE - FRONT ELEVATION

Materials

- Stucco
- Glazing
- Wood Siding
- Metal Accents



Stucco Color 1 - **Pewter Tankard SW0023**



Stucco Color 2 - **Gauntlet Gray SW7019**



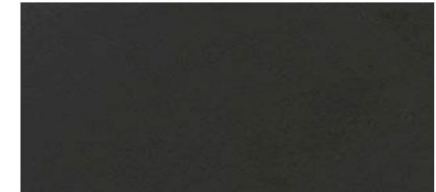
Trim Color 1 - **White Picket Fence DET648**



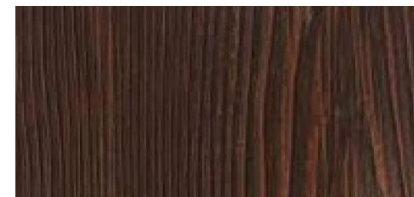
Railing Color - **Black Tie DE6357**



Window Frame & Patio Door Color - **White**



Storefront Color - **Bronze**



Faux Wood Plank Veneer - **Woodtone Rustic Series Lap Siding Warm Espresso**



Garage Doors Metal Panel - **Match Stucco 1 & Stucco 2**

Design Guidelines

Section 11-6-3

✓	Wall and roof articulation
✓	Defined primary entrances
✓	More than 1 color on all elevations
✓	All visible facades incorporate details
✓	Parapet detailing

Alternative Compliance

11-6-3

More than 3 garage doors adjacent to each other (Residential)

- *Tandem parking recesses garage doors*

Primary entry oriented towards street (Shops A.1 & A.2)

- *Proposed commercial mimics existing commercial to North*

No more than 50% façade in one material (Major)

- *Loading dock façade, CMU and scoring to break up facade*

Base and Top treatment (Shops A.1 & A.2, P1)

- *Emphasis on roof and awnings on top and glazing on base in exchange*

Three distinct and different materials (P1)

- *Create appropriate balance of materials*

Summary

Findings

- ✓ Staff is seeking your review and recommendation on the following:
 - Alternative Compliance for garage doors, primary entry, and materials
- Staff welcomes any feedback



DESIGN REVIEW BOARD

October 12, 2021