

UNIT ROOM FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
ALL ROOMS U.N.O.	2	4	6	5
BATHROOMS	2	4	6	5
BEDROOMS	1	3	6	5
BO'S CLOSETS	1	3	6	5
INT. STORAGE	2	4	6	5
EXT. STORAGE	7	8	6	5
TYPICAL MATERIALS:				
1. CARPET (REFER TO OWNERS FINISH SCHEDULE)				
2. VINYL PLANK (SEE INTERIORS DRAWINGS)				
3. FJ WOOD/PAINT GRADE BASE (REFER TO OWNERS FINISH SCHEDULE).				
4. FJ WOOD/PAINT GRADE SHOE MOULD (REFER TO OWNERS FINISH SCHEDULE).				
5. SMOOTH FINISH - PAINTED				
6. SMOOTH FINISH - PAINTED				
7. HARDROCK CONCRETE @ 2ND & 3RD FLOORS, EXPOSED CONCRETE @ 1ST FLOOR.				
8. NO BASE.				

GENERAL NOTES:

- A. SMOKE DETECTORS FOR ALL SLEEPING AND COMMON AREAS SHALL BE A MINIMUM OF 3' FROM DUCT OPENINGS.

B. MOISTURE RESISTANT GYPSUM BOARD TO EXTEND A MINIMUM OF 4" PAST LINE OF SURROUND IN TUB/SHOWER AREAS.

C. ALL INTERIOR NON-BEARING WALLS SHALL BE 2x4 @ 24" O.C. ALL EXTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.

D. SQUARE GYPSUM BOARD CORNERS AT ALL EXTERIOR CORNERS.

E. CLOTHES WASHER SHALL ALWAYS BE TO THE LEFT OF CLOTHES DRYER. COORDINATE AT REVERSE PLANS (TYP.).

F. ALL WALL MOUNTED EXHAUST FANS TO BE LOCATED @ +96" A.F.F.

G. INSULATE WATER SUPPLY, WASTE PIPES @ PARTYWALLS AND FLOOR/CEILING AREAS TO INHIBIT NOISE TRANSFER THAT PASSES THRU ADJACENT UNITS.

H. ISOLATE/SEPARATE VERTICAL PIPING WITH PADDING AND SECURE BRACING OVER THE PADDING TO AVOID VIBRATION AND SOUND TRANSMISSION.

I. THE PLUMBING SYSTEM SHALL NOT BE IN CONTACT WITH BOTH SIDES OF THE PARTY WALL. DO NOT RUN PLUMBING ACROSS THE AIRGAP FROM ONE SIDE OF THE WALL TO THE OTHER.

J. ALL WATER CLOSETS SHALL BE 16" MIN. AND 18" MAX. CLEAR FROM ONE SIDE OF THE REQUIRED CLEARANCE IN ACCORDANCE WITH ICC A117.1-2009 SECTION 1104.11.3.1.2.1, REFER TO PLAN FOR DIMENSION.
- K. ALL EXTERIOR AND INTERIOR SHEAR PANELS SHALL BE 5/8" SHEATHING, THE REMAINING EXTERIOR SHEATHING TO BE 5/8" M.R. GYP. BD., INTERIOR SHEATHING TO BE 5/8" TYPE "X" GYP. BD. TO FORM A FLAT WALL SURFACE (INTERIOR AND EXTERIOR).

L. REFER TO OWNER'S "INTERIOR FINISH SCHEDULE" FOR ADDITIONAL INFORMATION OR OTHER FINISHES NOT INDICATED ON THESE PLANS.

M. ALIGN CARPET REDUCER WITH CENTERLINE OF DOOR IN CLOSED POSITION OR CENTERLINE OF JAMB @ GYP. BD. OPENING. (U.N.O.)

N. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS OF CONTROLS LOCATED NO HIGHER THAN 48" FROM TOP OF BOX & NO LOWER THAN 15" TO THE BOTTOM OF THE BOX ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 46" MEASURED TO THE CENTERLINE OF THE HIGHEST RECEPTACLE. OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL.

O. ALL PENETRATIONS OF FIRE-RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES LISTINGS FOR "THROUGH- PENETRATION FIRE STOP SYSTEMS." THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS, FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE INSPECTORS. THE DRAWINGS SHALL
- BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE UL # PROVIDED WITH ALL VARIABLES DEFINED.

P. ALL FIRST FLOOR DWELLING UNIT BATHROOMS SHALL HAVE WALLS ADJACENT TO ALL TOILETS, SHOWERS AND TUBS REINFORCED FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON "TYPE A & TYPE B" UNIT PLANS AND ACCESSIBLE REQUIREMENTS FOR PUBLIC AND COMMON USE AREA SHEETS. NOTE: VERTICAL SIDE WALL GRAB BAR IS NOT REQUIRED IN DWELLING UNITS, PER A117.1-20047 1103.11.1 EXCEPTION 3 & 1104.11.1 EXCEPTION 2.

Q. ENSURE THAT OUTLETS ARE MIN. 15" TO CENTERLINE OF LOWEST RECEPTACLE OF OUTLET (NOT CENTERLINE OF BOX), AND 46" TO CENTERLINE OF HIGHEST RECEPTACLE OF OUTLETS, FOR OUTLETS LOCATED ABOVE COUNTERTOPS. ENSURE THAT THERMOSTATS ARE MAX. 48" TO HIGHEST CONTROLS, WHICH MAY BE ON TOP. AT TYPE 'A' UNITS, ENSURE THE THERMOSTAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST.

R. ENSURE FAN LIGHT & SPEED CONTROLS ARE LOCATED WITHIN REACH RANGE & MIN. 30"x48" CLEAR FLOOR SPACE IS PROVIDED AT THEM. WALL SWITCHING AND REMOTE CONTROL UNIT FOR FAN LIGHT & SPEED CONTROLS ARE ACCEPTABLE. ENSURE CLEAR FLOOR SPACE FOR FAN LIGHT & SPEED CONTROLS. ENSURE SPEED CONTROL DOES NOT REQUIRE TIGHT GRIPPING, PINCHING, OR TWISTING OF WRIST.

S. ENSURE CLEAR WIDTH AT KITCHENS (40" MIN. AT GALLEY STYLE AND 'L' SHAPED KITCHENS OR 60" MIN. AT 'U' SHAPED KITCHENS) IS MAINTAINED.
- T. ENSURE INSTALLATION OF ABOVE COUNTERTOP ELECTRICAL OUTLETS IN CORNER LOCATIONS OF KITCHENS WITH EITHER 'L' OR 'U' COUNTERTOP CONFIGURATIONS ARE 36" MIN. FROM INSIDE CORNER AT BOTH CORNERS ON AT LEAST ONE LEG OF CORNER.

U. WHEN USING PRE-MANUFACTURED SHOWER OR TUB ENCLOSURES, ENSURE SURFACE MODULATIONS (SOAP LEDGES, MOLDED CONTOURS, ETC.) DO NOT INTERFERE WITH REQUIRED 1-1/2" CLEARANCE FROM THE FACE OF GRAB BAR TO FACE OF ENCLOSURE.

V. ENSURE ELECTRICAL PANEL BOARDS ARE MOUNTED WITHIN REACH RANGE, 15" MIN. TO 48" MAX. & THAT 30"x48" CLEAR FLOOR SPACE CENTERED ON PANEL FOR EITHER A FORWARD OR PARALLEL APPROACH IS PROVIDED.

W. ISOLATE THE TUB AND SHOWER PRIOR TO INSTALLATION OF LIGHTWEIGHT FLOOR FILL.

X. PROVIDE VIBRATION AND SOUND ISOLATION DAMPERS AT MOTORIZED EQUIPMENT MOUNTED ON SUB-FLOOR OR HUNG FROM THE CEILING.

- KEYED NOTES:** (#) ALL KEY NOTES MAY NOT BE USED.

 - BASE CABINET.
 - REFRIGERATOR WITH ICE MAKER - SEE DETAIL 12/FR1 FOR VALVE BOX DETAIL.
 - RANGE/OVEN WITH EXHAUST HOOD/MICROWAVE ABOVE.
 - UPPER CABINET.
 - STAINLESS STEEL SINK W/ DISPOSAL.
 - DISHWASHER.
 - COUNTERTOP AND BACKSPLASH REFER TO OWNER'S FINISH SCHEDULE.
 - ISLAND COUNTERTOP @+36" WITH BASE CABINETS BELOW, REFER TO OWNER'S FINISH SCHEDULE.
 - 12" DEEP MDF SHELF AND COAT HANGING ROD.
 - (5) MDF SHELVES EQUALLY SPACED - PAINTED.
 - 2x4 FRAME LOW WALL, 2x6 FRAMING AT PLUMBING WALL CONDITIONS.
 - 2x6" FRAME WALL.
 - LINE OF FINISH FLOOR CHANGE.
 - ALUMINUM THRESHOLD MILL FINISH - 1/2" MAX. HEIGHT.
 - LINE OF SOFFIT OR CEILING HEIGHT CHANGE ABOVE.
 - VANITY TOP & SPLASH WITH UNDER MOUNT SINK & 30"x 42" FRAMED MIRROR ABOVE REFER TO OWNER'S FINISH SCHEDULE.
 - TOWEL BAR.
 - SHOWER CURTAIN ROD.
 - TOILET PAPER DISPENSER.
 - (4) MDF SHELVES EQUALLY SPACED - PAINTED.
 - FIXTURE CONTROL AREA.
 - 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (2) RODS @ HEIGHT PER OWNER.
 - 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (1) ROD @ HEIGHT PER OWNER.
 - BALCONY RAILING +42" ABOVE DECK - SEE DETAIL 28/D3.
 - NOT USED.
 - TEMPERED GLASS SHOWER DOORS, REFER TO OWNER'S FINISH SCHEDULE.
 - TUB/SHOWER ENCLOSURE - SEE DETAIL 79/D7.
 - LINE OF WALL ABOVE.
 - SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS AT FIRST FLOOR.
 - 1 1/2" to 2" HARD ROCK CONCRETE DECKING OVER WATERPROOFING MEMBRANE.
 - WATER HEATER/HVAC UNIT - SEE MECHANICAL & PLUMBING DRAWINGS.
 - CONCRETE SLAB, REFER TO STRUCTURAL, SWELL CONCRETE AS NECESSARY TO DRAIN.
 - DRYER OR EXHAUST VENT DUCT - REFER TO DETAIL 11/FR1.
 - COUNTERTOP SUPPORT BELOW - SEE DETAIL 75/D7.
 - LINEN CABINET, FULL HEIGHT WITH 5 SHELVES.
 - (1) 16" DEEP PAINTED MDF SHELF @ +60" A.F.F.
 - PANTRY CABINET, FULL HEIGHT WITH 5 SHELVES.
 - MECHANICAL DUCT CHASE - REFER TO MECHANICAL DRAWINGS FOR SIZE.
 - SHOWER ENCLOSURE WITH TILE SURROUND. SHOWER PAN WITH 4" THRESHOLD, REFER TO DETAIL 80/D7.
 - CONCRETE CONTROL JOINT.
 - 4" STEP IN CONCRETE SLAB.
 - TOWEL RING.
 - LOW FRAME PATIO WALLS. REFER TO DETAIL.

- SYMBOL SCHEDULE:**

(SD)

SMOKE DETECTOR - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS

(E)

CEILING MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS

(FF)

WALL MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS

(A, B, C, D, O)

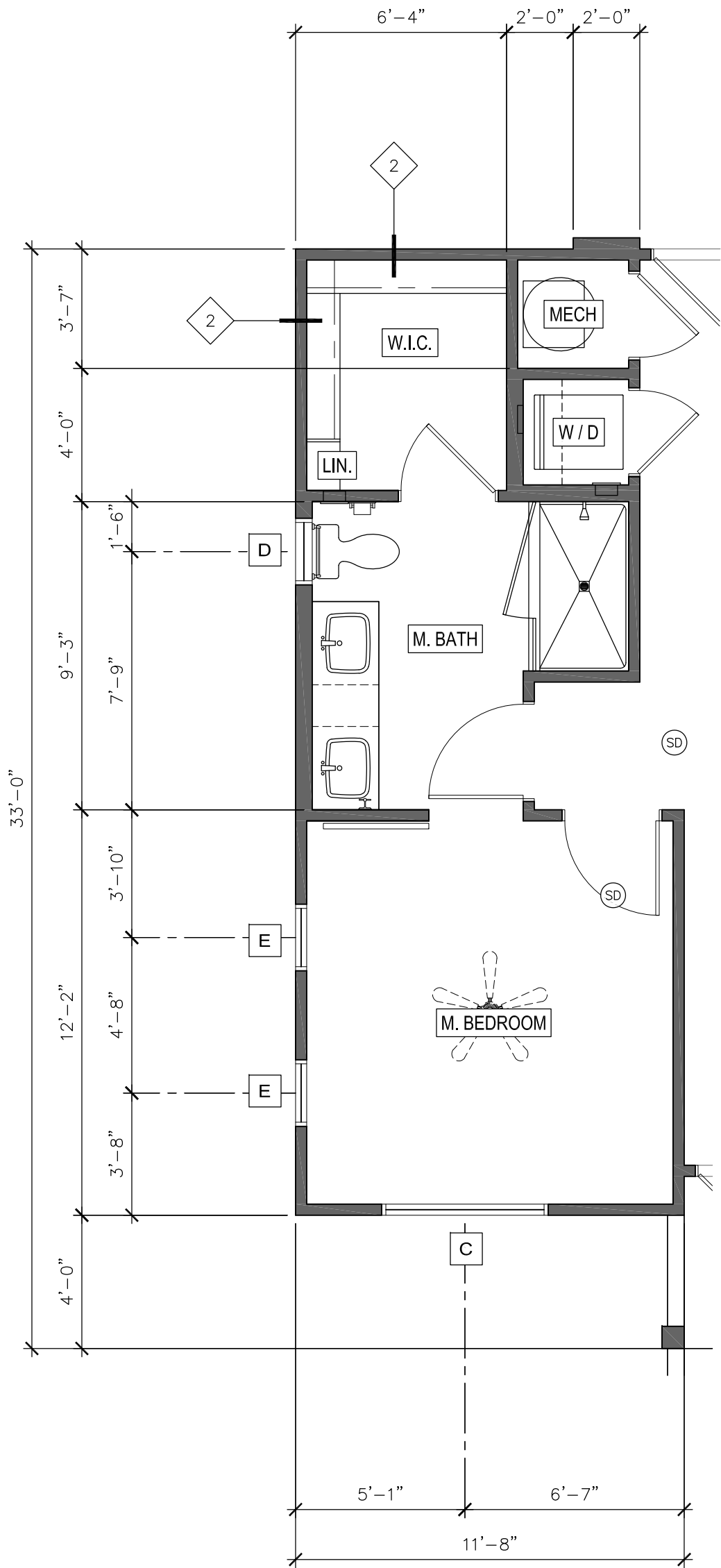
INTERIOR ELEVATIONS - SEE SHEETS A3.1 THRU A3.3

(#)

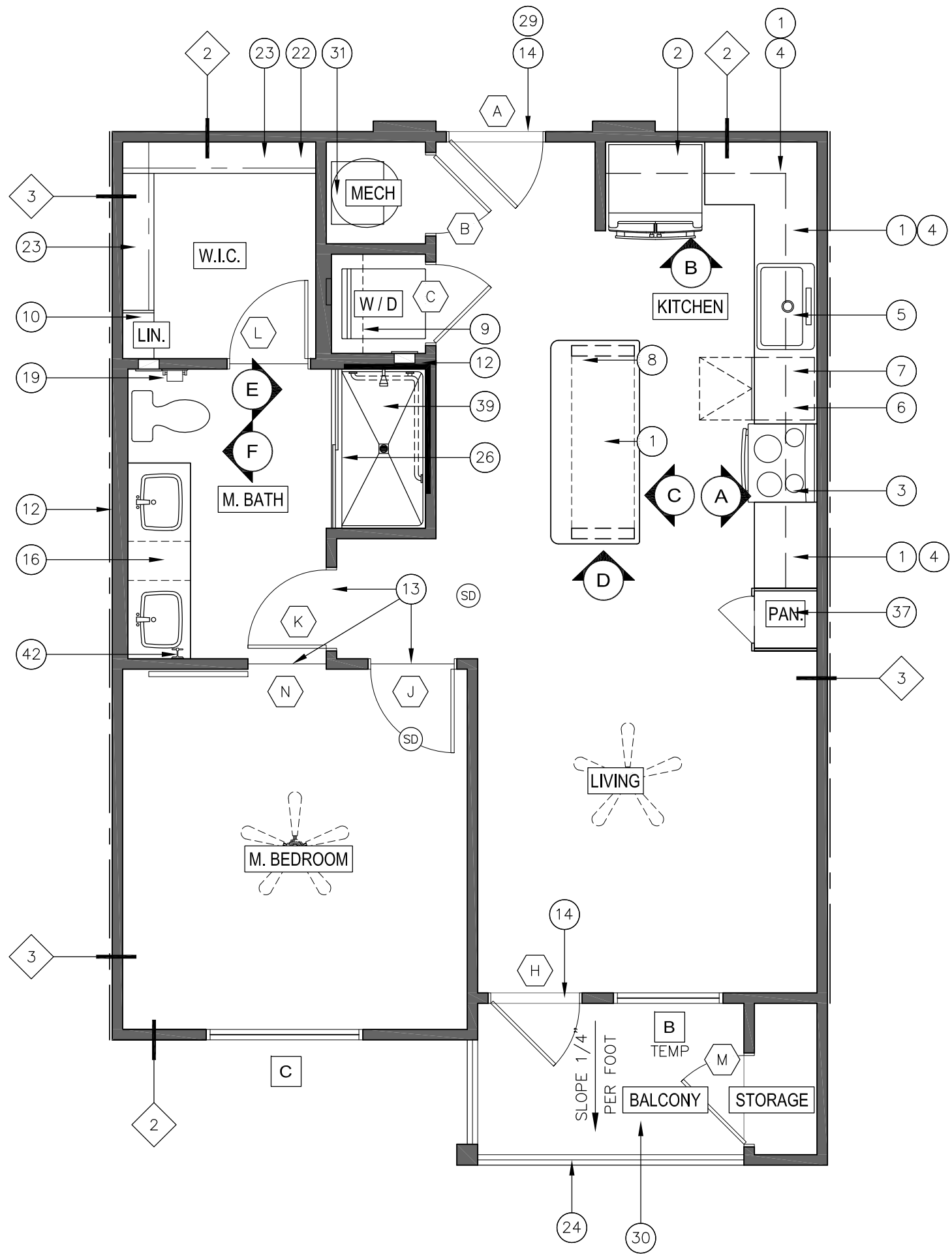
SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES

(H)

INDICATES DOOR TYPE - SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE



UNIT A1 - END UNIT
PARTIAL PLAN, ALL FLOORS

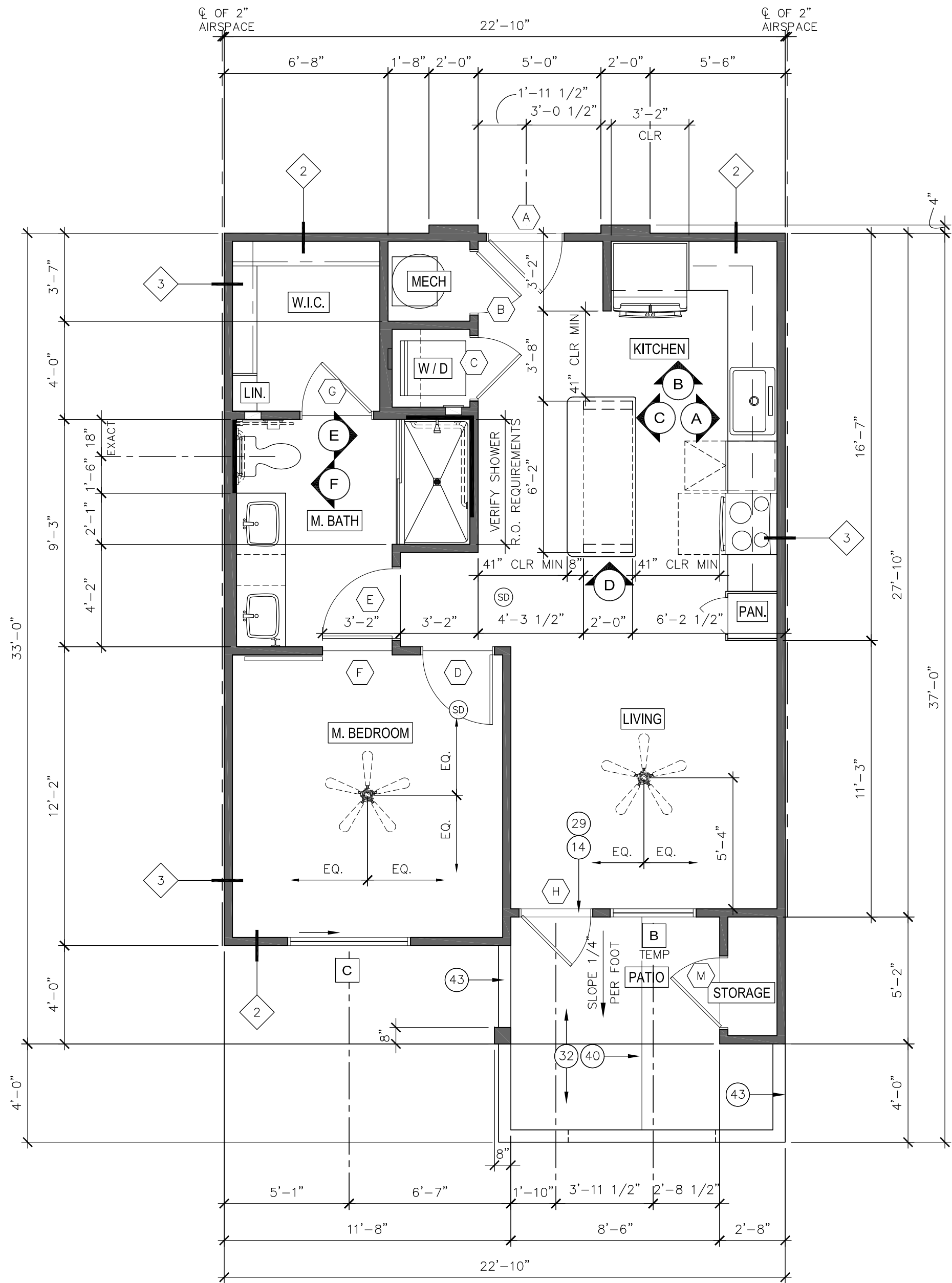


UNIT A1.2
2nd & 3rd FLOORS

ALL KEYED NOTES APPLY TO ALL FLOORS U.N.O.

NET LIVABLE AREA:
LIVABLE: 612 S.F.
PATIO: 56 S.F.
TOTAL 668 S.F.

GROSS LIVABLE AREA:
LIVABLE: 664 S.F.
PATIO: 56 S.F.
TOTAL 720 S.F.



UNIT A1.1 (ANSI TYPE "B")
1ST FLOOR

NET LIVABLE AREA:
LIVABLE: 612 S.F.
PATIO: 56 S.F.
TOTAL 668 S.F.

GROSS LIVABLE AREA:
LIVABLE: 664 S.F.
PATIO: 56 S.F.
TOTAL 720 S.F.

UNIT PLAN A1
FLOOR PLAN

biltform architecture group, LLC.

11460 north cave creek road - suite 11
phoenix - arizona 85020
Phone 602.285.9200 Fax 602.285.9229

PRELIMINARY
NOT FOR
CONSTRUCTION

ASCEND at LONGBOW HIGHPOINT
MIXED USE PROJECT
CITY OF MESA, ARIZONA

Phone: (817) 390-8264

D-R-HORTON
America's Builder

1341 Horton Circle
Arlington, Texas 76001

REVISIONS:	
1	
2	
3	
4	

REZONE SUBMITTAL	
JOB NO:	21-031
DATE:	AUGUST 2, 2021
SCALE:	1/4" = 1'-0"
SHEET NO:	

A2.1.0-MF
UNIT PLAN A1

UNIT ROOM FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
ALL ROOMS U.N.O.	2	4	6	5
BATHROOMS	2	4	6	5
BEDROOMS	1	3	6	5
BO'S CLOSETS	1	3	6	5
INT. STORAGE	2	4	6	5
EXT. STORAGE	7	8	6	5
TYPICAL MATERIALS:				
1. CARPET (REFER TO OWNERS FINISH SCHEDULE)				
2. VINYL PLANK (SEE INTERIORS DRAWINGS)				
3. FJ WOOD/PAINT GRADE BASE (REFER TO OWNERS FINISH SCHEDULE).				
4. FJ WOOD/PAINT GRADE SHOE MOULD (REFER TO OWNERS FINISH SCHEDULE).				
5. SMOOTH FINISH – PAINTED				
6. SMOOTH FINISH – PAINTED				
7. HARDROCK CONCRETE @ 2ND & 3RD FLOORS, EXPOSED CONCRETE @ 1ST FLOOR.				
8. NO BASE.				

GENERAL NOTES:

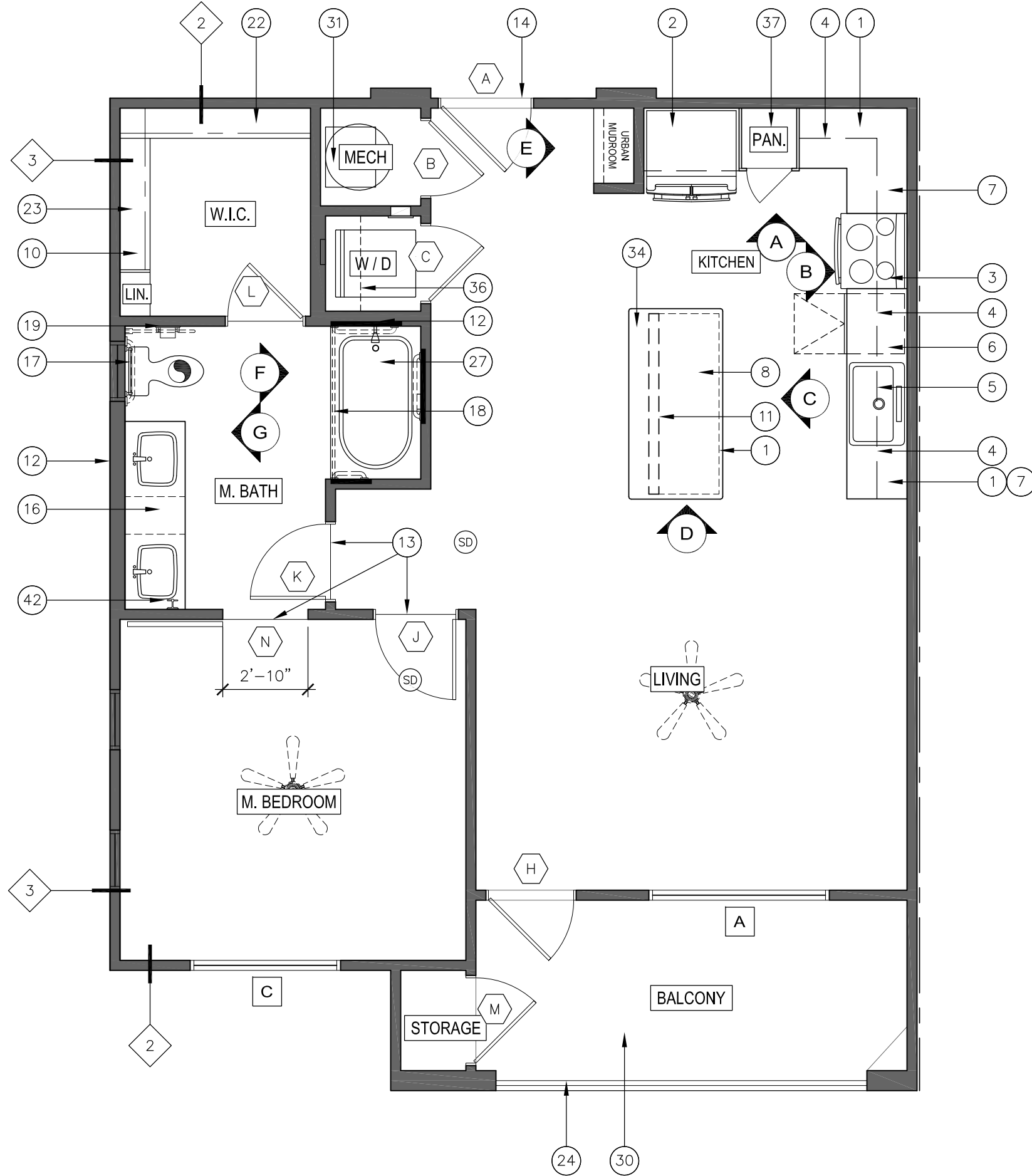
- A. SMOKE DETECTORS FOR ALL SLEEPING AND COMMON AREAS SHALL BE A MINIMUM OF 3' FROM DUCT OPENINGS.
- B. MOISTURE RESISTANT GYPSUM BOARD TO EXTEND A MINIMUM OF 4" PAST LINE OF SURROUND IN TUB/SHOWER AREAS.
- C. ALL INTERIOR NON-BEARING WALLS SHALL BE 2x4 @ 24" O.C. ALL EXTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- D. SQUARE GYPSUM BOARD CORNERS AT ALL EXTERIOR CORNERS.
- E. CLOTHES WASHER SHALL ALWAYS BE TO THE LEFT OF CLOTHES DRYER. COORDINATE AT REVERSE PLANS (TYP.).
- F. ALL WALL MOUNTED EXHAUST FANS TO BE LOCATED @ +96" A.F.F.
- G. INSULATE WATER SUPPLY, WASTE PIPES @ PARTYWALLS AND FLOOR/CEILING AREAS TO INHIBIT NOISE TRANSFER THAT PASSES THRU ADJACENT UNITS.
- H. ISOLATE/SEPARATE VERTICAL PIPING WITH PADDING AND SECURE BRACING OVER THE PADDING TO AVOID VIBRATION AND SOUND TRANSMISSION.
- I. THE PLUMBING SYSTEM SHALL NOT BE IN CONTACT WITH BOTH SIDES OF THE PARTY WALL. DO NOT RUN PLUMBING ACROSS THE AIRGAP FROM ONE SIDE OF THE WALL TO THE OTHER.
- J. ALL WATER CLOSETS SHALL BE 16" MIN. AND 18" MAX. CLEAR FROM ONE SIDE OF THE REQUIRED CLEARANCE IN ACCORDANCE WITH ICC A117.1-2009 SECTION 1104.11.3.1.2.1, REFER TO PLAN FOR DIMENSION.
- K. ALL EXTERIOR AND INTERIOR SHEAR PANELS SHALL BE 5/8" SHEATHING, THE REMAINING EXTERIOR SHEATHING TO BE 5/8" M.R. GYP. BD., INTERIOR SHEATHING TO BE 5/8" TYPE "X" GYP. BD. TO FORM A FLAT WALL SURFACE (INTERIOR AND EXTERIOR).
- L. REFER TO OWNER'S "INTERIOR FINISH SCHEDULE" FOR ADDITIONAL INFORMATION OR OTHER FINISHES NOT INDICATED ON THESE PLANS.
- M. ALIGN CARPET REDUCER WITH CENTERLINE OF DOOR IN CLOSED POSITION OR CENTERLINE OF JAMB @ GYP. BD. OPENING. (U.N.O.)
- N. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS OF CONTROLS LOCATED NO HIGHER THAN 48" FROM TOP OF BOX & NO LOWER THAN 15" TO THE BOTTOM OF THE BOX ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 46" MEASURED TO THE CENTERLINE OF THE HIGHEST RECEPTACLE. OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL.
- O. ALL PENETRATIONS OF FIRE-RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES LISTINGS FOR "THROUGH- PENETRATION FIRE STOP SYSTEMS." THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS, FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE INSPECTORS. THE DRAWINGS SHALL
- BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE UL # PROVIDED WITH ALL VARIABLES DEFINED.
- P. ALL FIRST FLOOR DWELLING UNIT BATHROOMS SHALL HAVE WALLS ADJACENT TO ALL TOILETS, SHOWERS AND TUBS REINFORCED FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON "TYPE A & TYPE B" UNIT PLANS AND ACCESSIBLE REQUIREMENTS FOR PUBLIC AND COMMON USE AREA SHEETS. NOTE: VERTICAL SIDE WALL GRAB BAR IS NOT REQUIRED IN DWELLING UNITS, PER A117.1-2007 1103.11.1 EXCEPTION 3 & 1104.11.1 EXCEPTION 2.
- Q. ENSURE THAT OUTLETS ARE MIN. 15" TO CENTERLINE OF LOWEST RECEPTACLE OF OUTLET (NOT CENTERLINE OF BOX), AND 46" TO CENTERLINE OF HIGHEST RECEPTACLE OF OUTLETS, FOR OUTLETS LOCATED ABOVE COUNTERTOPS. ENSURE THAT THERMOSTATS ARE MAX. 48" TO HIGHEST CONTROLS, WHICH MAY BE ON TOP. AT TYPE 'A' UNITS, ENSURE THE THERMOSTAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST.
- R. ENSURE FAN LIGHT & SPEED CONTROLS ARE LOCATED WITHIN REACH RANGE & MIN. 30"x48" CLEAR FLOOR SPACE IS PROVIDED AT THEM. WALL SWITCHING AND REMOTE CONTROL UNIT FOR FAN LIGHT & SPEED CONTROLS ARE ACCEPTABLE. ENSURE CLEAR FLOOR SPACE FOR FAN LIGHT & SPEED CONTROLS. ENSURE SPEED CONTROL DOES NOT REQUIRE TIGHT GRIPPING, PINCHING, OR TWISTING OF WRIST.
- S. ENSURE CLEAR WIDTH AT KITCHENS (40" MIN. AT GALLEY STYLE AND 'L' SHAPED KITCHENS OR 60" MIN. AT 'U' SHAPED KITCHENS) IS MAINTAINED.
- T. ENSURE INSTALLATION OF ABOVE COUNTERTOP ELECTRICAL OUTLETS IN CORNER LOCATIONS OF KITCHENS WITH EITHER 'L' OR 'U' COUNTERTOP CONFIGURATIONS ARE 36" MIN. FROM INSIDE CORNER AT BOTH CORNERS ON AT LEAST ONE LEG OF CORNER.
- U. WHEN USING PRE-MANUFACTURED SHOWER OR TUB ENCLOSURES, ENSURE SURFACE MODULATIONS (SOAP LEDGES, MOLDED CONTOURS, ETC.) DO NOT INTERFERE WITH REQUIRED 1-1/2" CLEARANCE FROM THE FACE OF GRAB BAR TO FACE OF ENCLOSURE.
- V. ENSURE ELECTRICAL PANEL BOARDS ARE MOUNTED WITHIN REACH RANGE, 15" MIN. TO 48" MAX. & THAT 30"x48" CLEAR FLOOR SPACE CENTERED ON PANEL FOR EITHER A FORWARD OR PARALLEL APPROACH IS PROVIDED.
- W. ISOLATE THE TUB AND SHOWER PRIOR TO INSTALLATION OF LIGHTWEIGHT FLOOR FILL.
- X. PROVIDE VIBRATION AND SOUND ISOLATION DAMPERS AT MOTORIZED EQUIPMENT MOUNTED ON SUB-FLOOR OR HUNG FROM THE CEILING.

KEYED NOTES: (#) ALL KEY NOTES MAY NOT BE USED

- BASE CABINET.
- REFRIGERATOR WITH ICE MAKER – SEE DETAIL 12/FR1 FOR VALVE BOX DETAIL.
- RANGE/OVEN WITH EXHAUST HOOD/MICROWAVE ABOVE.
- UPPER CABINET.
- STAINLESS STEEL SINK W/ DISPOSAL.
- DISHWASHER.
- COUNTERTOP AND BACKSPLASH REFER TO OWNER'S FINISH SCHEDULE.
- ISLAND COUNTERTOP @+36" WITH BASE CABINETS BELOW, REFER TO OWNER'S FINISH SCHEDULE.
- 12" DEEP MDF SHELF AND COAT HANGING ROD.
- (5) MDF SHELVES EQUALLY SPACED – PAINTED.
- 2x4 FRAME LOW WALL, 2x6 FRAMING AT PLUMBING WALL CONDITIONS.
- 2x6" FRAME WALL.
- LINE OF FINISH FLOOR CHANGE.
- ALUMINUM THRESHOLD MILL FINISH – 1/2" MAX. HEIGHT.
- LINE OF SOFFIT OR CEILING HEIGHT CHANGE ABOVE.
- VANITY TOP & SPLASH WITH UNDER MOUNT SINK & 30"x 42" FRAMED MIRROR ABOVE REFER TO OWNER'S FINISH SCHEDULE.
- TOWEL BAR.
- SHOWER CURTAIN ROD.
- TOILET PAPER DISPENSER.
- (4) MDF SHELVES EQUALLY SPACED – PAINTED.
- FIXTURE CONTROL AREA.
- 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (2) RODS @ HEIGHT PER OWNER.
- 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (1) ROD @ HEIGHT PER OWNER.
- BALCONY RAILING +42" ABOVE DECK – SEE DETAIL 28/D3.
- NOT USED.
- TEMPERED GLASS SHOWER DOORS, REFER TO OWNER'S FINISH SCHEDULE.
- TUB/SHOWER ENCLOSURE – SEE DETAIL 79/D7.
- LINE OF WALL ABOVE.
- SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS AT FIRST FLOOR.
- 1 1/2" to 2" HARD ROCK CONCRETE DECKING OVER WATERPROOFING MEMBRANE.
- WATER HEATER/HVAC UNIT – SEE MECHANICAL & PLUMBING DRAWINGS.
- CONCRETE SLAB, REFER TO STRUCTURAL, SWELL CONCRETE AS NECESSARY TO DRAIN.
- DRYER OR EXHAUST VENT DUCT – REFER TO DETAIL 11/FR1.
- COUNTERTOP SUPPORT BELOW – SEE DETAIL 75/D7.
- LINEN CABINET, FULL HEIGHT WITH 5 SHELVES.
- (1) 16" DEEP PAINTED MDF SHELF @ +60" A.F.F.
- PANTRY CABINET, FULL HEIGHT WITH 5 SHELVES.
- MECHANICAL DUCT CHASE – REFER TO MECHANICAL DRAWINGS FOR SIZE.
- SHOWER ENCLOSURE WITH TILE SURROUND. SHOWER PAN WITH 4" THRESHOLD, REFER TO DETAIL 80/D7.
- CONCRETE CONTROL JOINT.
- 4" STEP IN CONCRETE SLAB.
- TOWEL RING.
- LOW FRAME PATIO WALLS. REFER TO DETAIL.

SYMBOL SCHEDULE:

- (SD) SMOKE DETECTOR – COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (E) CEILING MOUNTED EXHAUST FAN – COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (FF) WALL MOUNTED EXHAUST FAN – COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z) INTERIOR ELEVATIONS – SEE SHEETS A3.1 THRU A3.3
- (#) SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES
- (H) INDICATES DOOR TYPE – SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE

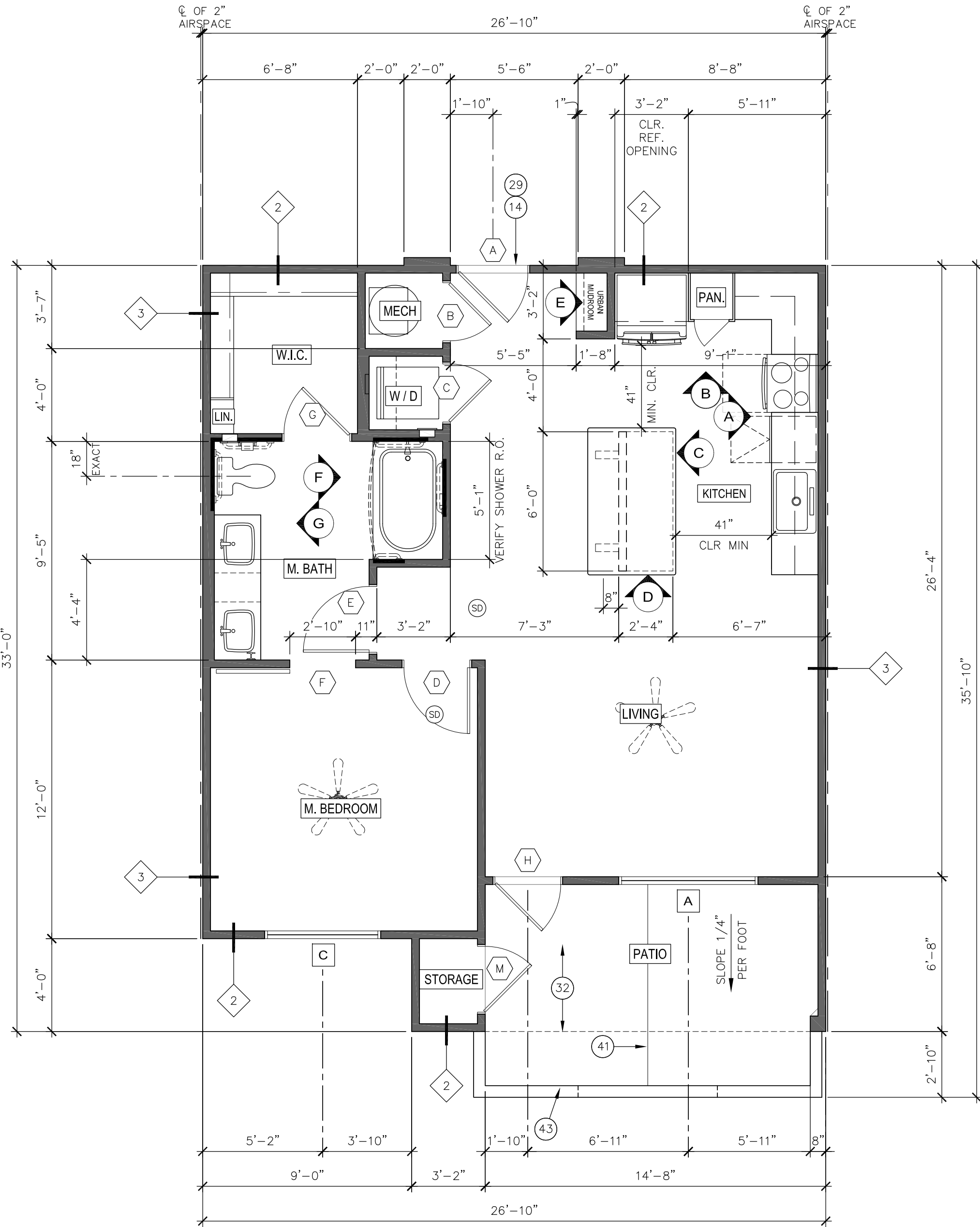


UNIT A2.2

2nd & 3rd FLOORS

ALL KEYED NOTES APPLY TO ALL FLOORS U.N.O.

NET LIVABLE AREA:	
LIVABLE:	706 S.F.
PATIO:	90 S.F.
TOTAL:	796 S.F.
GROSS LIVABLE AREA:	
LIVABLE:	760 S.F.
PATIO:	90 S.F.
TOTAL:	830 S.F.



UNIT A2.1 (ANSI TYPE "B")

1ST FLOOR

NET LIVABLE AREA:	
LIVABLE:	706 S.F.
PATIO:	90 S.F.
TOTAL:	796 S.F.
GROSS LIVABLE AREA:	
LIVABLE:	760 S.F.
PATIO:	90 S.F.
TOTAL:	830 S.F.

UNIT PLAN A2
FLOOR PLAN

biltform architecture
group, LLC.

11460 north cave creek road - suite 11
phoenix - arizona 85020
Phone 602.285.9200 Fax 602.285.9229

PRELIMINARY
NOT FOR
CONSTRUCTION

ASCEND at LONGBOW HIGHPOINT

MIXED USE PROJECT
CITY OF MESA, ARIZONA

Phone: (617) 390-8264

D-R-HORTON
America's Builder

1341 Horton Circle
Arlington, Texas 76001

REVISIONS:

1	-
2	-
3	-
4	-

REZONE SUBMITTAL

JOB NO:	21-031
DATE:	AUGUST 2, 2021
SCALE:	1/4" = 1'-0"
SHEET NO:	

A2.2.0-MF
UNIT PLAN A2

© BILTFORM ARCHITECTURE GROUP, INC.

GARAGE FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
GARAGE	SEALED CONCRETE	TRIM MOULDING	PAINT	PAINT
TANDEM SPACE	SEALED CONCRETE	TRIM MOULDING	STUCCO PAINTED	STUCCO PAINTED
TYPICAL MATERIALS				
REFER TO OWNERS FINISH SCHEDULE				

- KEYED NOTES
- #

1.

ALUMINUM THRESHOLD MILL FINISH – 1/2" MAX. HEIGHT.

2.

LINE OF WALL ABOVE.

3.

SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS.

4.

4" STEP IN CONCRETE SLAB.

5.

LINE OF SOFFIT ABOVE.

6.

OUTLINE OF GARAGE DOOR IN OPEN POSITION.

7.

CONCRETE FOUNDATION – REFER TO STRUCTURAL

8.

5'-0" CLEAR ACCESS ISLE

- SYMBOL SCHEDULE:
- #

SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES
- H

INDICATES DOOR TYPE – SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE

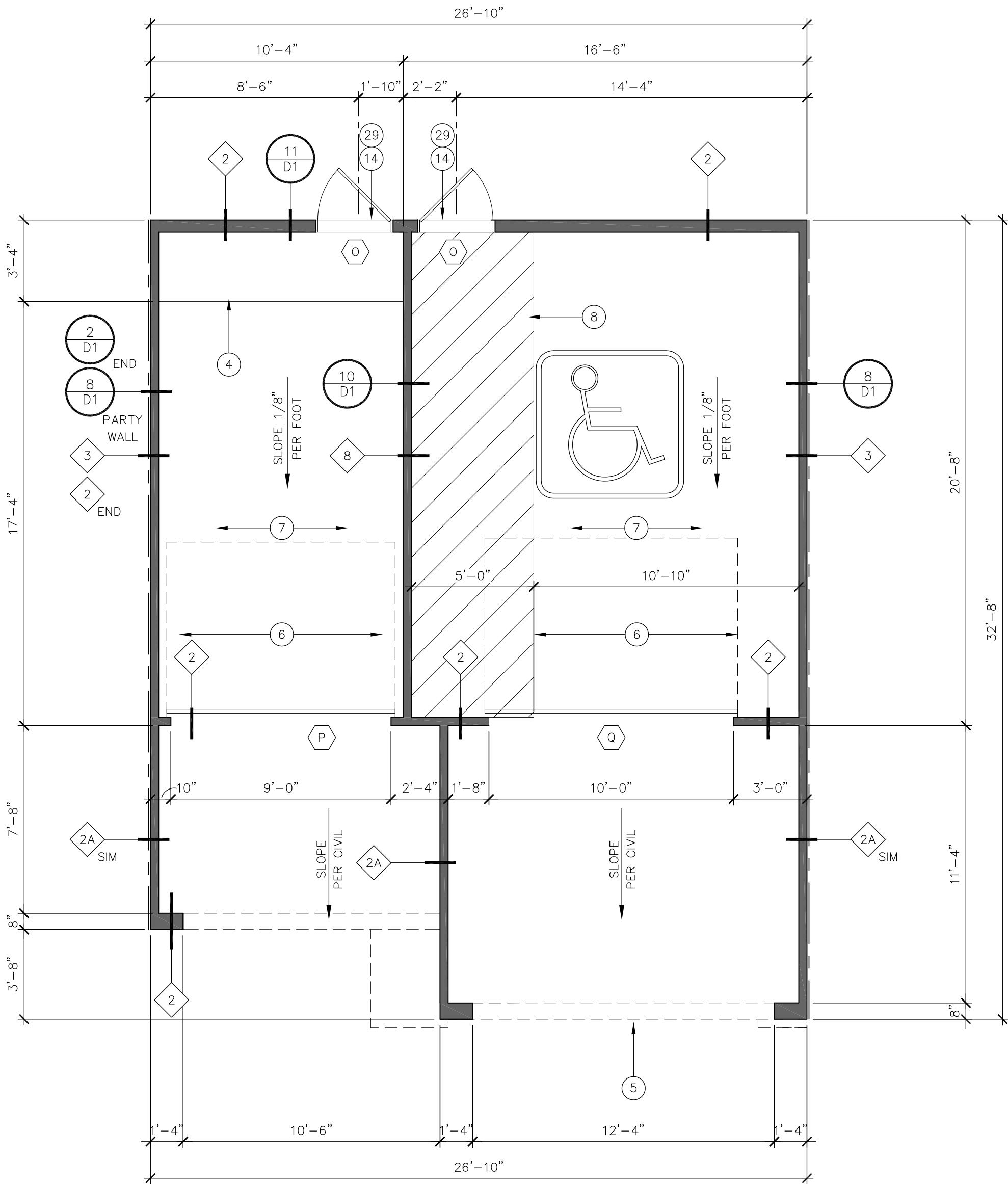


biltform architecture group, LLC.

11460 north cave creek road - suite 11
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Phone 602.285.9200 Fax 602.285.9229

PRELIMINARY
NOT FOR
CONSTRUCTION



UNIT B1.2
END CONDITION

UNIT B1.2
2nd & 3rd FLOORS

ALL KEYEDNOTES APPLY TO ALL FLOORS U.N.O.	
NET LIVABLE AREA:	
LIVABLE:	1,035 S.F.
PATIO:	67 S.F.
TOTAL	1,102 S.F.
GROSS LIVABLE AREA:	
LIVABLE:	1,099 S.F.
PATIO:	74 S.F.
TOTAL	1,173 S.F.

GENERAL NOTES:

- A. SMOKE DETECTORS FOR ALL SLEEPING AND COMMON AREAS SHALL BE A MINIMUM OF 3' FROM DUCT OPENINGS.
- B. MOISTURE RESISTANT GYPSUM BOARD TO EXTEND A MINIMUM OF 4" PAST LINE OF SURROUND IN TUB/SHOWER AREAS.
- C. ALL INTERIOR NON-BEARING WALLS SHALL BE 2x4 @ 24" O.C. ALL EXTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- D. SQUARE GYPSUM BOARD CORNERS AT ALL EXTERIOR CORNERS.
- E. CLOTHES WASHER SHALL ALWAYS BE TO THE LEFT OF CLOTHES DRYER. COORDINATE AT REVERSE PLANS (TYP.).
- F. ALL WALL MOUNTED EXHAUST FANS TO BE LOCATED @ +96" A.F.F.
- G. INSULATE WATER SUPPLY, WASTE PIPES @ PARTYWALLS AND FLOOR/CEILING AREAS TO INHIBIT NOISE TRANSFER THAT PASSES THRU ADJACENT UNITS.
- H. ISOLATE/SEPARATE VERTICAL PIPING WITH PADDING AND SECURE BRACING OVER THE PADDING TO AVOID VIBRATION AND SOUND TRANSMISSION.
- I. THE PLUMBING SYSTEM SHALL NOT BE IN CONTACT WITH BOTH SIDES OF THE PARTY WALL. DO NOT RUN PLUMBING ACROSS THE AIRGAP FROM ONE SIDE OF THE WALL TO THE OTHER.
- J. ALL WATER CLOSETS SHALL BE 16" MIN. AND 18" MAX. CLEAR FROM ONE SIDE OF THE REQUIRED CLEARANCE IN ACCORDANCE WITH ICC A117.1-2009 SECTION 1104.11.3.1.2.1, REFER TO PLAN FOR DIMENSION.
- K. ALL EXTERIOR AND INTERIOR SHEAR PANELS SHALL BE 5/8" SHEATHING, THE REMAINING EXTERIOR SHEATHING TO BE 5/8" M.R. GYP. BD., INTERIOR SHEATHING TO BE 5/8" TYPE "X" GYP. BD. TO FORM A FLAT WALL SURFACE (INTERIOR AND EXTERIOR).
- L. REFER TO OWNER'S "INTERIOR FINISH SCHEDULE" FOR ADDITIONAL INFORMATION OR OTHER FINISHES NOT INDICATED ON THESE PLANS.
- M. ALIGN CARPET REDUCER WITH CENTERLINE OF DOOR IN CLOSED POSITION OR CENTERLINE OF JAMB @ GYP. BD. OPENING. (U.N.O.)
- N. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS OF CONTROLS LOCATED NO HIGHER THAN 48" FROM TOP OF BOX & NO LOWER THAN 15" TO THE BOTTOM OF THE BOX ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 46" MEASURED TO THE CENTERLINE OF THE HIGHEST RECEPTACLE. OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL.
- O. ALL PENETRATIONS OF FIRE-RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES LISTINGS FOR "THROUGH- PENETRATION FIRE STOP SYSTEMS." THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS, FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE UL # PROVIDED WITH ALL VARIABLES DEFINED.
- P. ALL FIRST FLOOR DWELLING UNIT BATHROOMS SHALL HAVE WALLS ADJACENT TO ALL TOILETS, SHOWERS AND TUBS REINFORCED FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON "TYPE A & TYPE B" UNIT PLANS AND ACCESSIBLE REQUIREMENTS FOR PUBLIC AND COMMON USE AREA SHEETS. NOTE: VERTICAL SIDE WALL GRAB BAR IS NOT REQUIRED IN DWELLING UNITS, PER A117.1-2007 1103.11.1 EXCEPTION 3 & 1104.11.1 EXCEPTION 2.
- Q. ENSURE THAT OUTLETS ARE MIN. 15" TO CENTERLINE OF LOWEST RECEPTACLE OF OUTLET (NOT CENTERLINE OF BOX), AND 46" TO CENTERLINE OF HIGHEST RECEPTACLE OF OUTLETS, FOR OUTLETS LOCATED ABOVE COUNTERTOPS. ENSURE THAT THERMOSTATS ARE MAX. 48" TO HIGHEST CONTROLS, WHICH MAY BE ON TOP. AT TYPE 'A' UNITS, ENSURE THE THERMOSTAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST.
- R. ENSURE FAN LIGHT & SPEED CONTROLS ARE LOCATED WITHIN REACH RANGE & MIN. 30"x48" CLEAR FLOOR SPACE IS PROVIDED AT THEM. WALL SWITCHING AND REMOTE CONTROL UNIT FOR FAN LIGHT & SPEED CONTROLS ARE ACCEPTABLE. ENSURE CLEAR FLOOR SPACE FOR FAN LIGHT & SPEED CONTROLS. ENSURE SPEED CONTROL DOES NOT REQUIRE TIGHT GRIPPING, PINCHING, OR TWISTING OF WRIST.
- S. ENSURE CLEAR WIDTH AT KITCHENS (40" MIN. AT GALLEY STYLE AND 'L' SHAPED KITCHENS OR 60" MIN. AT 'U' SHAPED KITCHENS) IS MAINTAINED.
- T. ENSURE INSTALLATION OF ABOVE COUNTERTOP ELECTRICAL OUTLETS IN CORNER LOCATIONS OF KITCHENS WITH EITHER 'L' OR 'U' COUNTERTOP CONFIGURATIONS ARE 36" MIN. FROM INSIDE CORNER AT BOTH CORNERS ON AT LEAST ONE LEG OF CORNER.
- U. WHEN USING PRE-MANUFACTURED SHOWER OR TUB ENCLOSURES, ENSURE SURFACE MODULATIONS (SOAP LEDGES, MOLDED CONTOURS, ETC.) DO NOT INTERFERE WITH REQUIRED 1-1/2" CLEARANCE FROM THE FACE OF GRAB BAR TO FACE OF ENCLOSURE.
- V. ENSURE ELECTRICAL PANEL BOARDS ARE MOUNTED WITHIN REACH RANGE, 15" MIN. TO 48" MAX. & THAT 30"x48" CLEAR FLOOR SPACE CENTERED ON PANEL FOR EITHER A FORWARD OR PARALLEL APPROACH IS PROVIDED.
- W. ISOLATE THE TUB AND SHOWER PRIOR TO INSTALLATION OF LIGHTWEIGHT FLOOR FILL.
- X. PROVIDE VIBRATION AND SOUND ISOLATION DAMPERS AT MOTORIZED EQUIPMENT MOUNTED ON SUB-FLOOR OR HUNG FROM THE CEILING.

KEYED NOTES: (#) ALL KEY NOTES MAY NOT BE USED

- BASE CABINET.
- REFRIGERATOR WITH ICE MAKER - SEE DETAIL 12/FR1 FOR VALVE BOX DETAIL.
- RANGE/OVEN WITH EXHAUST HOOD/MICROWAVE ABOVE.
- UPPER CABINET.
- STAINLESS STEEL SINK W/ DISPOSAL.
- DISHWASHER.
- COUNTERTOP AND BACKSPLASH REFER TO OWNER'S FINISH SCHEDULE.
- ISLAND COUNTERTOP @+36" WITH BASE CABINETS BELOW, REFER TO OWNER'S FINISH SCHEDULE.
- 12" DEEP MDF SHELF AND COAT HANGING ROD.
- (5) MDF SHELVES EQUALLY SPACED - PAINTED.
- 2x4 FRAME LOW WALL, 2x6 FRAMING AT PLUMBING WALL CONDITIONS.
- 2x6" FRAME WALL.
- LINE OF FINISH FLOOR CHANGE.
- ALUMINUM THRESHOLD MILL FINISH - 1/2" MAX. HEIGHT.
- LINE OF SOFFIT OR CEILING HEIGHT CHANGE ABOVE.
- VANITY TOP & SPLASH WITH UNDER MOUNT SINK & 30"x 42" FRAMED MIRROR ABOVE REFER TO OWNER'S FINISH SCHEDULE.
- TOWEL BAR.
- SHOWER CURTAIN ROD.
- TOILET PAPER DISPENSER.
- (4) MDF SHELVES EQUALLY SPACED - PAINTED.
- FIXTURE CONTROL AREA.
- 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (2) RODS @ HEIGHT PER OWNER.
- 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (1) ROD @ HEIGHT PER OWNER.
- BALCONY RAILING +42" ABOVE DECK - SEE DETAIL 28/D3.
- NOT USED.
- TEMPERED GLASS SHOWER DOORS, REFER TO OWNER'S FINISH SCHEDULE.
- TUB/SHOWER ENCLOSURE - SEE DETAIL 79/D7.
- LINE OF WALL ABOVE.
- SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS AT FIRST FLOOR.
- 1 1/2" to 2" HARD ROCK CONCRETE DECKING OVER WATERPROOFING MEMBRANE.
- WATER HEATER/HVAC UNIT - SEE MECHANICAL & PLUMBING DRAWINGS.
- CONCRETE SLAB, REFER TO STRUCTURAL, SWELL CONCRETE AS NECESSARY TO DRAIN.
- DRYER OR EXHAUST VENT DUCT - REFER TO DETAIL 11/FR1.
- COUNTERTOP SUPPORT BELOW - SEE DETAIL 75/D7.
- LINEN CABINET, FULL HEIGHT WITH 5 SHELVES.
- (1) 16" DEEP PAINTED MDF SHELF @ +60" A.F.F.
- PANTRY CABINET, FULL HEIGHT WITH 5 SHELVES.
- MECHANICAL DUCT CHASE - REFER TO MECHANICAL DRAWINGS FOR SIZE.
- SHOWER ENCLOSURE WITH TILE SURROUND. SHOWER PAN WITH 4" THRESHOLD, REFER TO DETAIL 80/D7.
- CONCRETE CONTROL JOINT.
- 4" STEP IN CONCRETE SLAB.
- TOWEL RING.
- LOW FRAME PATIO WALLS. REFER TO DETAIL.

SYMBOL SCHEDULE:

- (SD) SMOKE DETECTOR - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (E) CEILING MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (FF) WALL MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z) INTERIOR ELEVATIONS - SEE SHEETS A3.1 THRU A3.3
- (#) SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES
- (H) INDICATES DOOR TYPE - SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE

ASCEND at LONGBOW HIGHPOINT
MIXED USE PROJECT
CITY OF MESA, ARIZONA

biltform architecture group, LLC.

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PRELIMINARY
NOT FOR
CONSTRUCTION

Phone: (817) 390-8264

D-R-HORTON
America's Builder

1341 Horton Circle
Arlington, Texas 76001

REVISIONS:	
1	
2	
3	
4	
REZONE SUBMITTAL	
JOB NO:	21-031
DATE:	AUGUST 2, 2021
SCALE:	1/4" = 1'-0"
SHEET NO:	

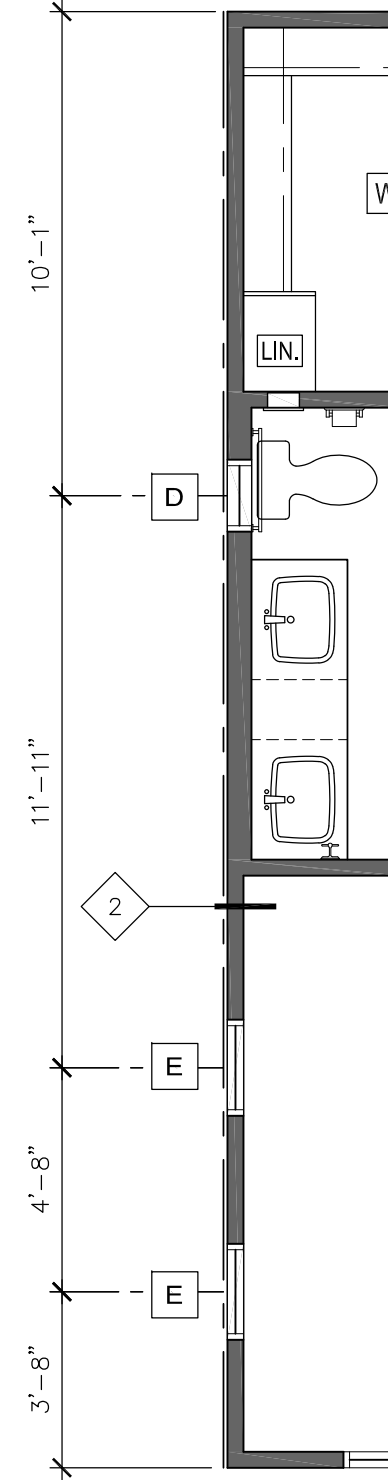
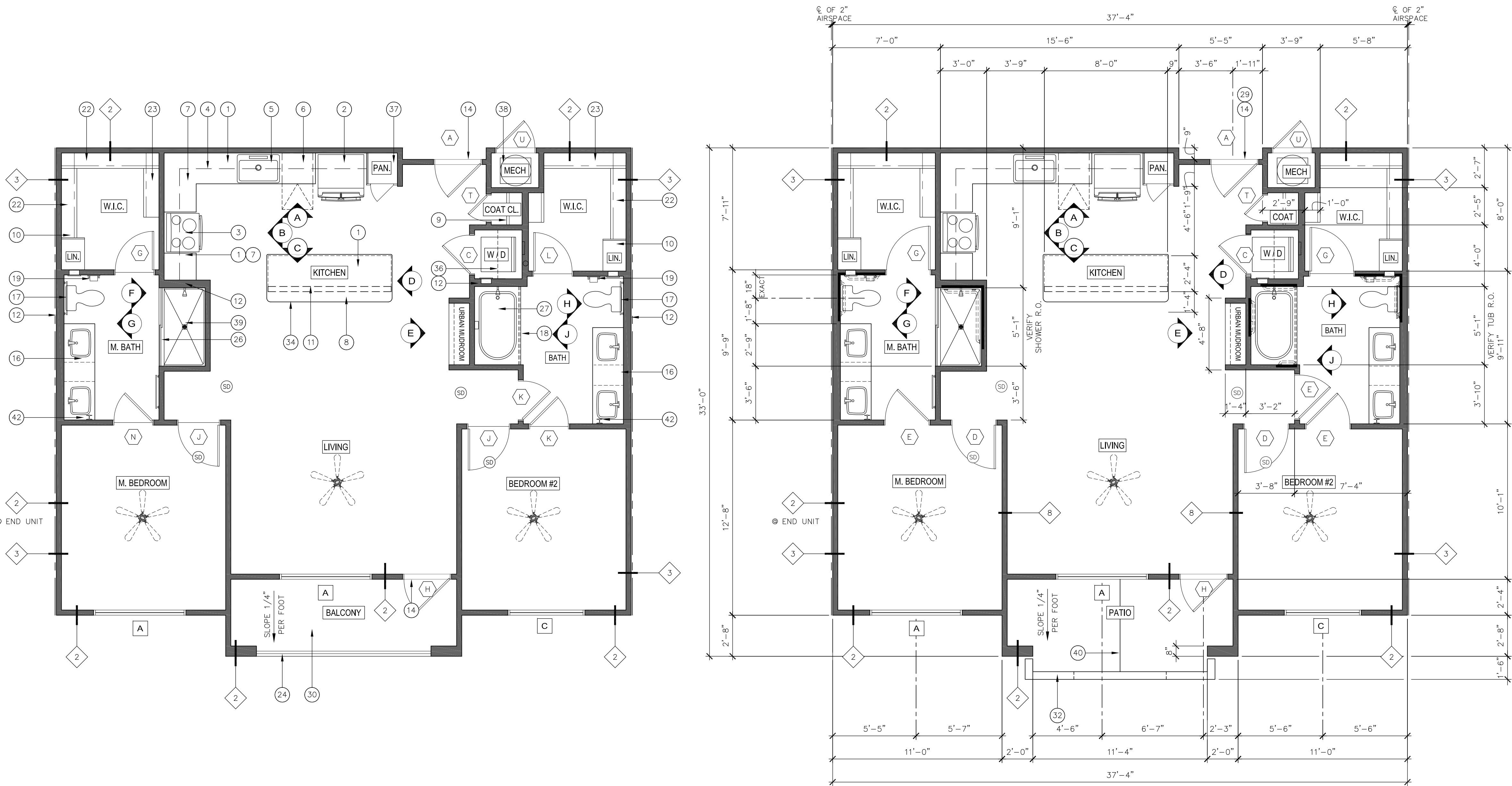
A2.3.0-MF
UNIT PLAN B1

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UNIT PLAN B1
FLOOR PLAN

UNIT B1.1 (ANSI TYPE "B")
1ST FLOOR

NET LIVABLE AREA:	
LIVABLE:	1,035 S.F.
PATIO:	71 S.F.
TOTAL	1,106 S.F.
GROSS LIVABLE AREA:	
LIVABLE:	1,099 S.F.
PATIO:	74 S.F.
TOTAL	1,173 S.F.



GARAGE FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
GARAGE	SEALED CONCRETE	TRIM MOULDING	PAINT	PAINT
TANDEM SPACE	SEALED CONCRETE	TRIM MOULDING	STUCCO PAINTED	STUCCO PAINTED
TYPICAL MATERIALS				
REFER TO OWNERS FINISH SCHEDULE				

- KEYED NOTES
- #

1. ALUMINUM THRESHOLD MILL FINISH – 1/2" MAX. HEIGHT.
2.

LINE OF WALL ABOVE.
3.

SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS.
4.

4" STEP IN CONCRETE SLAB.
5.

LINE OF SOFFIT ABOVE.
6.

OUTLINE OF GARAGE DOOR IN OPEN POSITION.
7.

CONCRETE FOUNDATION – REFER TO STRUCTURAL
8.

5'-0" CLEAR ACCESS ISLE

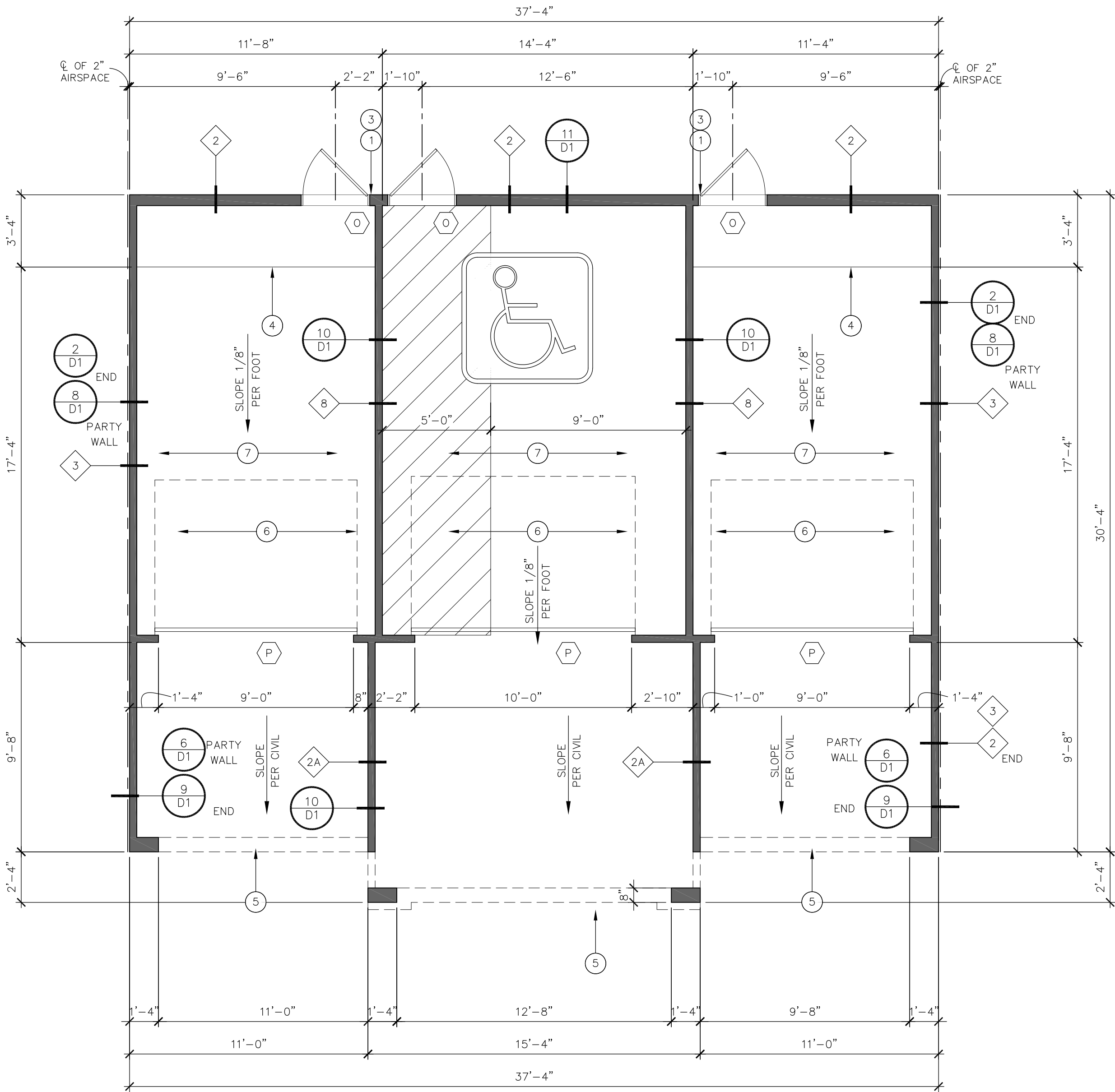
SYMBOL SCHEDULE:	
#	SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES
H	INDICATES DOOR TYPE – SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE



biltform architecture group, LLC.

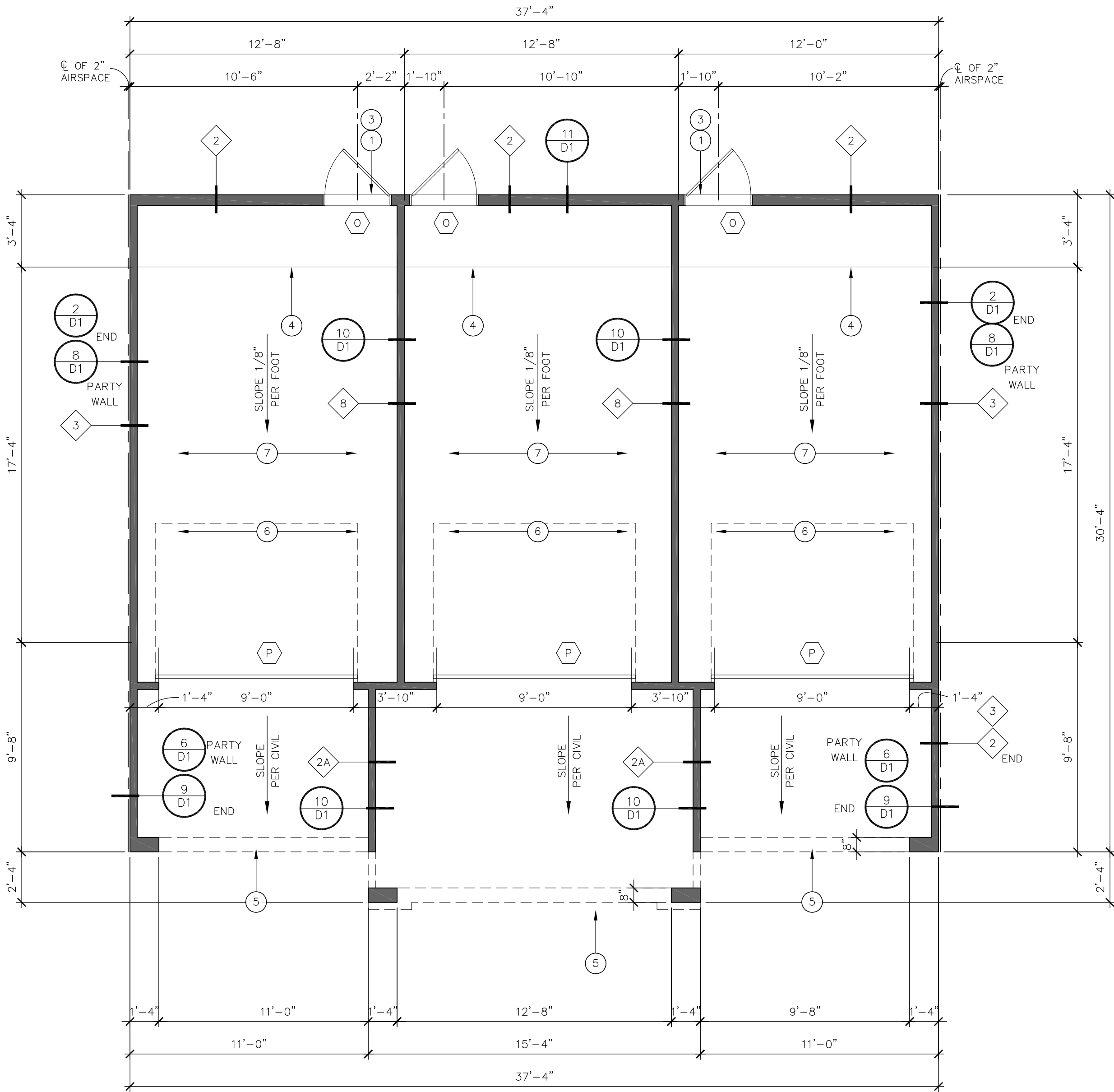
11460 north cave creek road - suite 11
phoenix - arizona 85020
Phone 602.285.9200 Fax 602.285.9229

PRELIMINARY
NOT FOR
CONSTRUCTION



B1 ACCESSIBLE GARAGE FLOOR PLAN
1ST FLOOR

NET AREA: 729 S.F.
GROSS AREA: 1,140 S.F.



B1 GARAGE FLOOR PLAN
1ST FLOOR

NET AREA: 729 S.F.
GROSS AREA: 1,140 S.F.

GARAGE PLAN B1
FLOOR PLAN

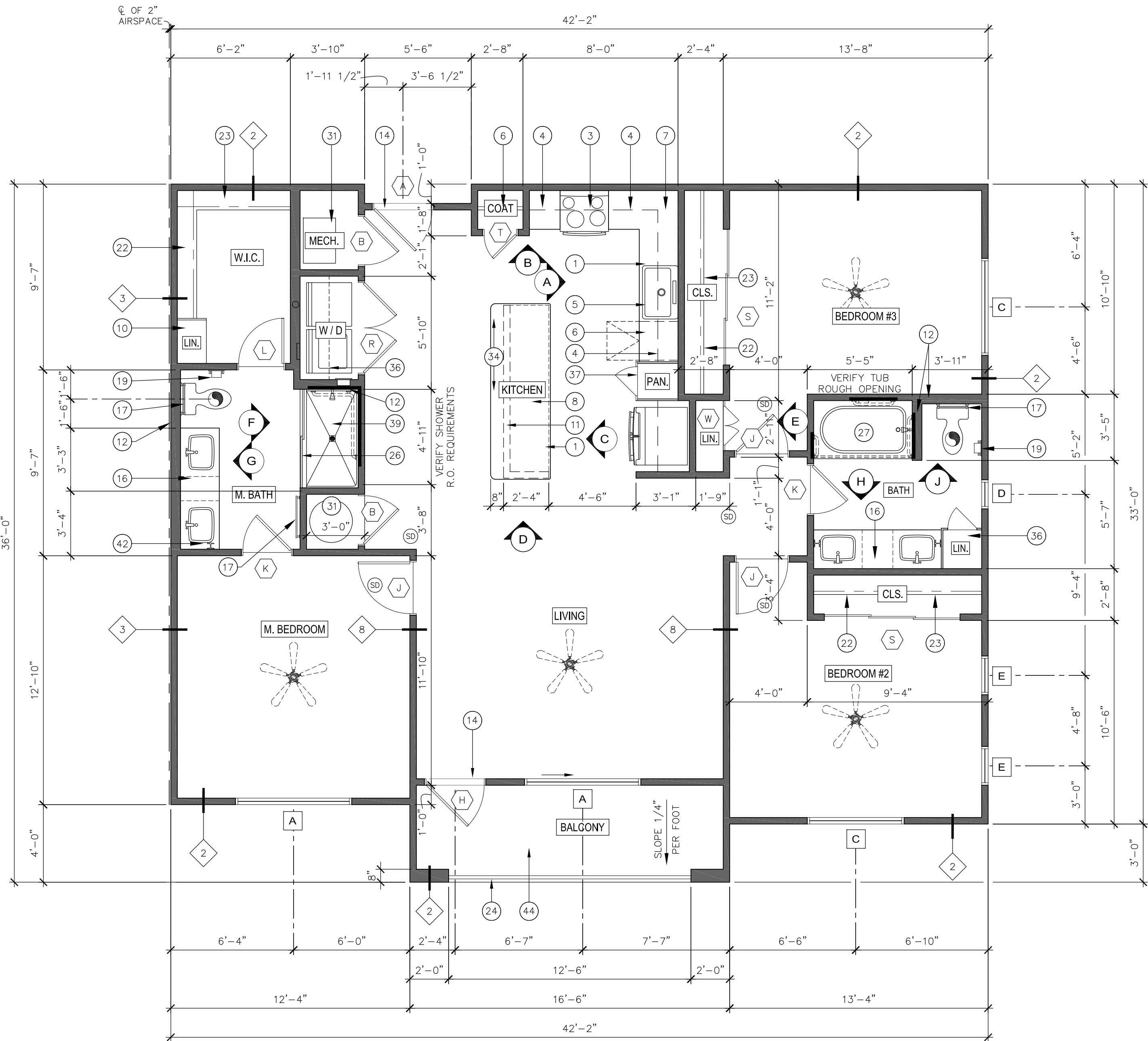
A2.3.1-MF
GARAGE PLAN B1

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UNIT ROOM FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
ALL ROOMS U.N.O.	2	4	6	5
BATHROOMS	2	4	6	5
BEDROOMS	1	3	6	5
BO'S CLOSETS	1	3	6	5
INT. STORAGE	2	4	6	5
EXT. STORAGE	7	8	6	5
TYPICAL MATERIALS:				
1. CARPET (REFER TO OWNERS FINISH SCHEDULE)				
2. VINYL PLANK (SEE INTERIORS DRAWINGS)				
3. FJ WOOD/PAINT GRADE BASE (REFER TO OWNERS FINISH SCHEDULE).				
4. FJ WOOD/PAINT GRADE SHOE MOULD (REFER TO OWNERS FINISH SCHEDULE).				
5. SMOOTH FINISH - PAINTED				
6. SMOOTH FINISH - PAINTED				
7. HARDROCK CONCRETE @ 2ND & 3RD FLOORS, EXPOSED CONCRETE @ 1ST FLOOR.				
8. NO BASE.				

GENERAL NOTES:

- A. SMOKE DETECTORS FOR ALL SLEEPING AND COMMON AREAS SHALL BE A MINIMUM OF 3' FROM DUCT OPENINGS.
- B. MOISTURE RESISTANT GYPSUM BOARD TO EXTEND A MINIMUM OF 4" PAST LINE OF SURROUND IN TUB/SHOWER AREAS.
- C. ALL INTERIOR NON-BEARING WALLS SHALL BE 2x4 @ 24" O.C. ALL EXTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- D. SQUARE GYPSUM BOARD CORNERS AT ALL EXTERIOR CORNERS.
- E. CLOTHES WASHER SHALL ALWAYS BE TO THE LEFT OF CLOTHES DRYER. COORDINATE AT REVERSE PLANS (TYP.).
- F. ALL WALL MOUNTED EXHAUST FANS TO BE LOCATED @ +96" A.F.F.
- G. INSULATE WATER SUPPLY, WASTE PIPES @ PARTYWALLS AND FLOOR/CEILING AREAS TO INHIBIT NOISE TRANSFER THAT PASSES THRU ADJACENT UNITS.
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- J. ALL WATER CLOSETS SHALL BE 16" MIN. AND 18" MAX. CLEAR FROM ONE SIDE OF THE REQUIRED CLEARANCE IN ACCORDANCE WITH ICC A117.1-2009 SECTION 1104.11.3.1.2.1, REFER TO PLAN FOR DIMENSION.
- K. ALL EXTERIOR AND INTERIOR SHEAR PANELS SHALL BE 5/8" SHEATHING, THE REMAINING EXTERIOR SHEATHING TO BE 5/8" M.R. GYP. BD., INTERIOR SHEATHING TO BE 5/8" TYPE "X" GYP. BD. TO FORM A FLAT WALL SURFACE (INTERIOR AND EXTERIOR).
- L. REFER TO OWNER'S "INTERIOR FINISH SCHEDULE" FOR ADDITIONAL INFORMATION OR OTHER FINISHES NOT INDICATED ON THESE PLANS.
- M. ALIGN CARPET REDUCER WITH CENTERLINE OF DOOR IN CLOSED POSITION OR CENTERLINE OF JAMB @ GYP. BD. OPENING. (U.N.O.)
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- Q. ENSURE THAT OUTLETS ARE MIN. 15" TO CENTERLINE OF LOWEST RECEPTACLE OF OUTLET (NOT CENTERLINE OF BOX), AND 46" TO CENTERLINE OF HIGHEST RECEPTACLE OF OUTLETS, FOR OUTLETS LOCATED ABOVE COUNTERTOPS. ENSURE THAT THERMOSTATS ARE MAX. 48" TO HIGHEST CONTROLS, WHICH MAY BE ON TOP. AT TYPE 'A' UNITS, ENSURE THE THERMOSTAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST.
- R. ENSURE FAN LIGHT & SPEED CONTROLS ARE LOCATED WITHIN REACH RANGE & MIN. 30"x48" CLEAR FLOOR SPACE IS PROVIDED AT THEM. WALL SWITCHING AND REMOTE CONTROL UNIT FOR FAN LIGHT & SPEED CONTROLS ARE ACCEPTABLE. ENSURE CLEAR FLOOR SPACE FOR FAN LIGHT & SPEED CONTROLS. ENSURE SPEED CONTROL DOES NOT REQUIRE TIGHT GRIPPING, PINCHING, OR TWISTING OF WRIST.
- S. ENSURE CLEAR WIDTH AT KITCHENS (40" MIN. AT GALLEY STYLE AND 'L' SHAPED KITCHENS OR 60" MIN. AT 'U' SHAPED KITCHENS) IS MAINTAINED.
- T. ENSURE INSTALLATION OF ABOVE COUNTERTOP ELECTRICAL OUTLETS IN CORNER LOCATIONS OF KITCHENS WITH EITHER 'L' OR 'U' COUNTERTOP CONFIGURATIONS ARE 36" MIN. FROM INSIDE CORNER AT BOTH CORNERS ON AT LEAST ONE LEG OF CORNER.
- U. WHEN USING PRE-MANUFACTURED SHOWER OR TUB ENCLOSURES, ENSURE SURFACE MODULATIONS (SOAP LEDGES, MOLDED CONTOURS, ETC.) DO NOT INTERFERE WITH REQUIRED 1-1/2" CLEARANCE FROM THE FACE OF GRAB BAR TO FACE OF ENCLOSURE.
- V. ENSURE ELECTRICAL PANEL BOARDS ARE MOUNTED WITHIN REACH RANGE, 15" MIN. TO 48" MAX. & THAT 30"x48" CLEAR FLOOR SPACE CENTERED ON PANEL FOR EITHER A FORWARD OR PARALLEL APPROACH IS PROVIDED.
- W. ISOLATE THE TUB AND SHOWER PRIOR TO INSTALLATION OF LIGHTWEIGHT FLOOR FILL.
- X. PROVIDE VIBRATION AND SOUND ISOLATION DAMPERS AT MOTORIZED EQUIPMENT MOUNTED ON SUB-FLOOR OR HUNG FROM THE CEILING.



UNIT C1

2nd & 3rd FLOORS

ALL KEYED NOTES APPLY TO ALL FLOORS U.N.O.

GROSS LIVABLE AREA:
LIVABLE: 1,346 S.F.
PATIO: 79 S.F.
TOTAL: 1,425 S.F.

KEYED NOTES: (#) ALL KEY NOTES MAY NOT BE USED

- BASE CABINET.
- REFRIGERATOR WITH ICE MAKER - SEE DETAIL 12/FR1 FOR VALVE BOX DETAIL.
- RANGE/OVEN WITH EXHAUST HOOD/MICROWAVE ABOVE.
- UPPER CABINET.
- STAINLESS STEEL SINK W/ DISPOSAL.
- DISHWASHER.
- COUNTERTOP AND BACKSPLASH REFER TO OWNER'S FINISH SCHEDULE.
- ISLAND COUNTERTOP @+36" WITH BASE CABINETS BELOW, REFER TO OWNER'S FINISH SCHEDULE.
- 12" DEEP MDF SHELF AND COAT HANGING ROD.
- (5) MDF SHELVES EQUALLY SPACED - PAINTED.
- 2x4 FRAME LOW WALL, 2x6 FRAMING AT PLUMBING WALL CONDITIONS.
- 2x6" FRAME WALL.
- LINE OF FINISH FLOOR CHANGE.
- ALUMINUM THRESHOLD MILL FINISH - 1/2" MAX. HEIGHT.
- LINE OF SOFFIT OR CEILING HEIGHT CHANGE ABOVE.
- VANITY TOP & SPLASH WITH UNDER MOUNT SINK & 30"x 42" FRAMED MIRROR ABOVE REFER TO OWNER'S FINISH SCHEDULE.
- TOWEL BAR.
- SHOWER CURTAIN ROD.
- TOILET PAPER DISPENSER.
- (4) MDF SHELVES EQUALLY SPACED - PAINTED.
- FIXTURE CONTROL AREA.
- 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (2) RODS @ HEIGHT PER OWNER.
- 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (1) ROD @ HEIGHT PER OWNER.
- BALCONY RAILING +42" ABOVE DECK - SEE DETAIL 28/D3.
- NOT USED.
- TEMPERED GLASS SHOWER DOORS, REFER TO OWNER'S FINISH SCHEDULE.
- TUB/SHOWER ENCLOSURE - SEE DETAIL 79/D7.
- LINE OF WALL ABOVE.
- SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS AT FIRST FLOOR.
- 1 1/2" to 2" HARD ROCK CONCRETE DECKING OVER WATERPROOFING MEMBRANE.
- WATER HEATER/HVAC UNIT - SEE MECHANICAL & PLUMBING DRAWINGS.
- CONCRETE SLAB, REFER TO STRUCTURAL, SWELL CONCRETE AS NECESSARY TO DRAIN.
- DRYER OR EXHAUST VENT DUCT - REFER TO DETAIL 11/FR1.
- COUNTERTOP SUPPORT BELOW - SEE DETAIL 75/D7.
- LINEN CABINET, FULL HEIGHT WITH 5 SHELVES.
- (1) 16" DEEP PAINTED MDF SHELF @ +60" A.F.F.
- PANTRY CABINET, FULL HEIGHT WITH 5 SHELVES.
- MECHANICAL DUCT CHASE - REFER TO MECHANICAL DRAWINGS FOR SIZE.
- SHOWER ENCLOSURE WITH TILE SURROUND. SHOWER PAN WITH 4" THRESHOLD, REFER TO DETAIL 80/D7.
- CONCRETE CONTROL JOINT.
- 4" STEP IN CONCRETE SLAB.
- TOWEL RING.
- LOW FRAME PATIO WALLS. REFER TO DETAIL.

SYMBOL SCHEDULE:

- (SD) SMOKE DETECTOR - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (E) CEILING MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (FF) WALL MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
- (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z) INTERIOR ELEVATIONS - SEE SHEETS A3.1 THRU A3.3
- (#) SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES
- (H) INDICATES DOOR TYPE - SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE

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MIXED USE PROJECT
CITY OF MESA, ARIZONA

Phone: (817) 390-8264

D-R-HORTON
America's Builder

1341 Horton Circle
Arlington, Texas 76001

REVISIONS:

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REZONE SUBMITTAL

JOB NO: 21-031
DATE: AUGUST 2, 2021
SCALE: 1/4" = 1'-0"
SHEET NO:

UNIT PLAN C1
FLOOR PLAN

A2.4.0-MF
UNIT PLAN C1

GARAGE FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
GARAGE	SEALED CONCRETE	TRIM MOULDING	PAINT	PAINT
TANDEM SPACE	SEALED CONCRETE	TRIM MOULDING	STUCCO PAINTED	STUCCO PAINTED
TYPICAL MATERIALS				
REFER TO OWNERS FINISH SCHEDULE				

- KEYED NOTES
- #

1.

ALUMINUM THRESHOLD MILL FINISH – 1/2" MAX. HEIGHT.

2.

LINE OF WALL ABOVE.

3.

SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS.

4.

4" STEP IN CONCRETE SLAB.

5.

LINE OF SOFFIT ABOVE.

6.

OUTLINE OF GARAGE DOOR IN OPEN POSITION.

7.

CONCRETE FOUNDATION – REFER TO STRUCTURAL

8.

5'-0" CLEAR ACCESS ISLE

- SYMBOL SCHEDULE:
- #

SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES
- H

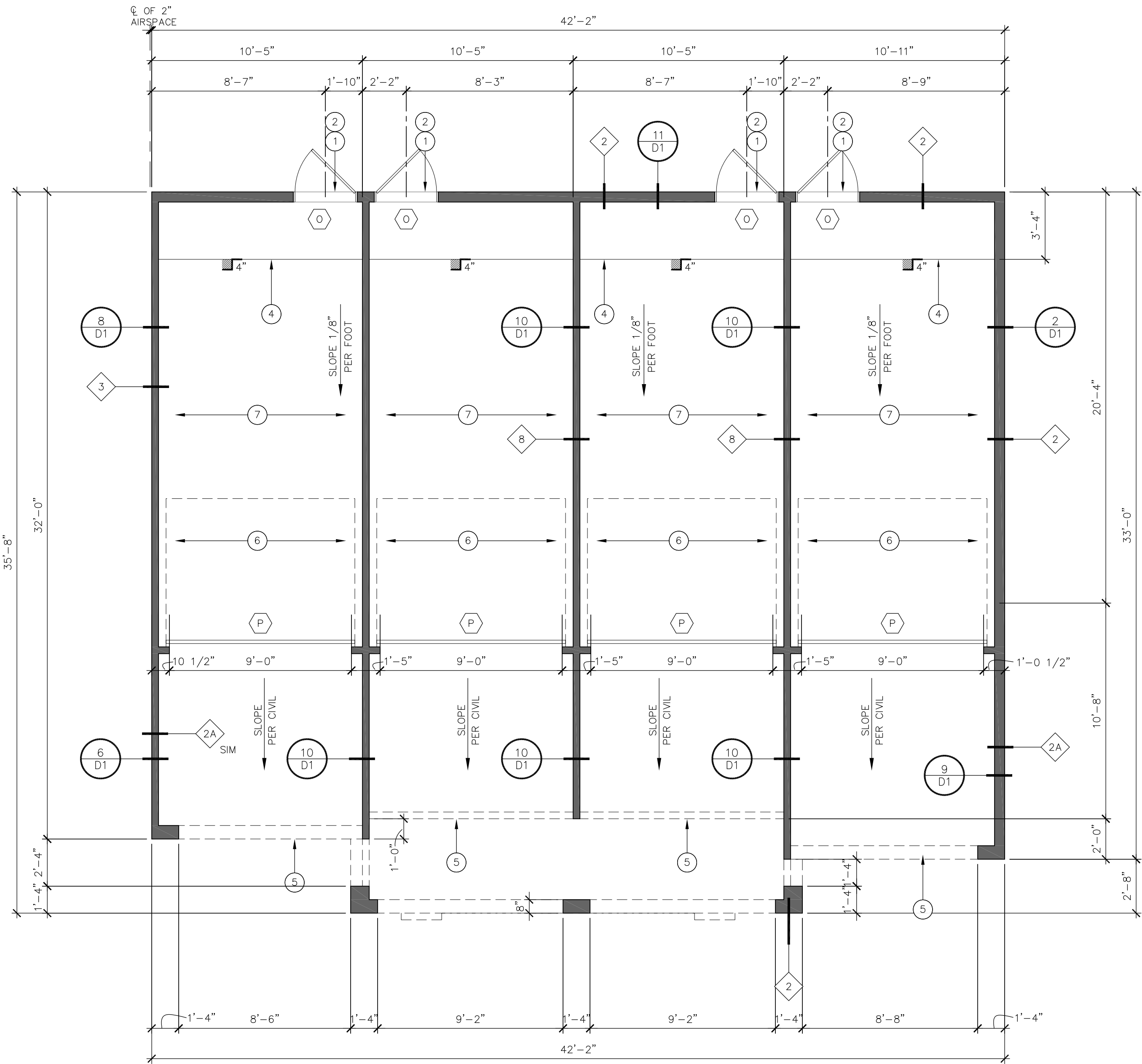
INDICATES DOOR TYPE – SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE



biltform architecture group, LLC.

11460 north cave creek road - suite 11
phoenix - arizona 85020
Phone 602.285.9200 Fax 602.285.9229

PRELIMINARY
NOT FOR
CONSTRUCTION



GARAGE C1

GARAGE PLAN C1
FLOOR PLAN

ASCEND at LONGBOW HIGHPOINT

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1/4" = 1'-0"

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A2.4.1-MF
GARAGE PLAN C1

UNIT ROOM FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
ALL ROOMS U.N.O.	2	4	6	5
BATHROOMS	2	4	6	5
BEDROOMS	1	3	6	5
BO'S CLOSETS	1	3	6	5
INT. STORAGE	2	4	6	5
EXT. STORAGE	7	8	6	5
TYPICAL MATERIALS:				
1. CARPET (REFER TO OWNERS FINISH SCHEDULE)				
2. VINYL PLANK (SEE INTERIORS DRAWINGS)				
3. FJ WOOD/PAINT GRADE BASE (REFER TO OWNERS FINISH SCHEDULE).				
4. FJ WOOD/PAINT GRADE SHOE MOULD (REFER TO OWNERS FINISH SCHEDULE).				
5. SMOOTH FINISH - PAINTED				
6. SMOOTH FINISH - PAINTED				
7. HARDROCK CONCRETE @ 2ND & 3RD FLOORS, EXPOSED CONCRETE @ 1ST FLOOR.				
8. NO BASE.				

GENERAL NOTES:

- A. SMOKE DETECTORS FOR ALL SLEEPING AND COMMON AREAS SHALL BE A MINIMUM OF 3' FROM DUCT OPENINGS.
- B. MOISTURE RESISTANT GYPSUM BOARD TO EXTEND A MINIMUM OF 4" PAST LINE OF SURROUND IN TUB/SHOWER AREAS.
- C. ALL INTERIOR NON-BEARING WALLS SHALL BE 2x4 @ 24" O.C. ALL EXTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- D. SQUARE GYPSUM BOARD CORNERS AT ALL EXTERIOR CORNERS.
- E. CLOTHES WASHER SHALL ALWAYS BE TO THE LEFT OF CLOTHES DRYER. COORDINATE AT REVERSE PLANS (TYP.).
- F. ALL WALL MOUNTED EXHAUST FANS TO BE LOCATED @ +96" A.F.F.
- G. INSULATE WATER SUPPLY, WASTE PIPES @ PARTYWALLS AND FLOOR/CEILING AREAS TO INHIBIT NOISE TRANSFER THAT PASSES THRU ADJACENT UNITS.
- H. ISOLATE/SEPARATE VERTICAL PIPING WITH PADDING AND SECURE BRACING OVER THE PADDING TO AVOID VIBRATION AND SOUND TRANSMISSION.
- I. THE PLUMBING SYSTEM SHALL NOT BE IN CONTACT WITH BOTH SIDES OF THE PARTY WALL. DO NOT RUN PLUMBING ACROSS THE AIRGAP FROM ONE SIDE OF THE WALL TO THE OTHER.
- J. ALL WATER CLOSETS SHALL BE 16" MIN. AND 18" MAX. CLEAR FROM ONE SIDE OF THE REQUIRED CLEARANCE IN ACCORDANCE WITH ICC A117.1-2009 SECTION 1104.11.3.1.2.1, REFER TO PLAN FOR DIMENSION.
- K. ALL EXTERIOR AND INTERIOR SHEAR PANELS SHALL BE 5/8" SHEATHING, THE REMAINING EXTERIOR SHEATHING TO BE 5/8" M.R. GYP. BD., INTERIOR SHEATHING TO BE 5/8" TYPE "X" GYP. BD. TO FORM A FLAT WALL SURFACE (INTERIOR AND EXTERIOR).
- L. REFER TO OWNER'S "INTERIOR FINISH SCHEDULE" FOR ADDITIONAL INFORMATION OR OTHER FINISHES NOT INDICATED ON THESE PLANS.
- M. ALIGN CARPET REDUCER WITH CENTERLINE OF DOOR IN CLOSED POSITION OR CENTERLINE OF JAMB @ GYP. BD. OPENING. (U.N.O.)
- N. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS OF CONTROLS LOCATED NO HIGHER THAN 48" FROM TOP OF BOX & NO LOWER THAN 15" TO THE BOTTOM OF THE BOX ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 46" MEASURED TO THE CENTERLINE OF THE HIGHEST RECEPTACLE. OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL.
- O. ALL PENETRATIONS OF FIRE-RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES LISTINGS FOR "THROUGH- PENETRATION FIRE STOP SYSTEMS." THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS, FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE UL # PROVIDED WITH ALL VARIABLES DEFINED.
- P. ALL FIRST FLOOR DWELLING UNIT BATHROOMS SHALL HAVE WALLS ADJACENT TO ALL TOILETS, SHOWERS AND TUBS REINFORCED FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON "TYPE A & TYPE B" UNIT PLANS AND ACCESSIBLE REQUIREMENTS FOR PUBLIC AND COMMON USE AREA SHEETS. NOTE: VERTICAL SIDE WALL GRAB BAR IS NOT REQUIRED IN DWELLING UNITS, PER A117.1-2007 1103.11.1 EXCEPTION 3 & 1104.11.1 EXCEPTION 2.
- Q. ENSURE THAT OUTLETS ARE MIN. 15" TO CENTERLINE OF LOWEST RECEPTACLE OF OUTLET (NOT CENTERLINE OF BOX), AND 46" TO CENTERLINE OF HIGHEST RECEPTACLE OF OUTLETS, FOR OUTLETS LOCATED ABOVE COUNTERTOPS. ENSURE THAT THERMOSTATS ARE MAX. 48" TO HIGHEST CONTROLS, WHICH MAY BE ON TOP. AT TYPE 'A' UNITS, ENSURE THE THERMOSTAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST.
- R. ENSURE FAN LIGHT & SPEED CONTROLS ARE LOCATED WITHIN REACH RANGE & MIN. 30"x48" CLEAR FLOOR SPACE IS PROVIDED AT THEM. WALL SWITCHING AND REMOTE CONTROL UNIT FOR FAN LIGHT & SPEED CONTROLS ARE ACCEPTABLE. ENSURE CLEAR FLOOR SPACE FOR FAN LIGHT & SPEED CONTROLS, ENSURE SPEED CONTROL DOES NOT REQUIRE TIGHT GRIPPING, PINCHING, OR TWISTING OF WRIST.
- S. ENSURE CLEAR WIDTH AT KITCHENS (40" MIN. AT GALLEY STYLE AND 'L' SHAPED KITCHENS OR 60" MIN. AT 'U' SHAPED KITCHENS) IS MAINTAINED.
- T. ENSURE INSTALLATION OF ABOVE COUNTERTOP ELECTRICAL OUTLETS IN CORNER LOCATIONS OF KITCHENS WITH EITHER 'L' OR 'U' COUNTERTOP CONFIGURATIONS ARE 36" MIN. FROM INSIDE CORNER AT BOTH CORNERS ON AT LEAST ONE LEG OF CORNER.
- U. WHEN USING PRE-MANUFACTURED SHOWER OR TUB ENCLOSURES, ENSURE SURFACE MODULATIONS (SOAP LEDGES, MOLDED CONTOURS, ETC.) DO NOT INTERFERE WITH REQUIRED 1-1/2" CLEARANCE FROM THE FACE OF GRAB BAR TO FACE OF ENCLOSURE.
- V. ENSURE ELECTRICAL PANEL BOARDS ARE MOUNTED WITHIN REACH RANGE, 15" MIN. TO 48" MAX. & THAT 30"x48" CLEAR FLOOR SPACE CENTERED ON PANEL FOR EITHER A FORWARD OR PARALLEL APPROACH IS PROVIDED.
- W. ISOLATE THE TUB AND SHOWER PRIOR TO INSTALLATION OF LIGHTWEIGHT FLOOR FILL.
- X. PROVIDE VIBRATION AND SOUND ISOLATION DAMPERS AT MOTORIZED EQUIPMENT MOUNTED ON SUB-FLOOR OR HUNG FROM THE CEILING.

- KEYED NOTES:** (#) ALL KEY NOTES MAY NOT BE USED.
- BASE CABINET.
 - REFRIGERATOR WITH ICE MAKER - SEE DETAIL 12/FR1 FOR VALVE BOX DETAIL.
 - RANGE/OVEN WITH EXHAUST HOOD/MICROWAVE ABOVE.
 - UPPER CABINET.
 - STAINLESS STEEL SINK W/ DISPOSAL.
 - DISHWASHER.
 - COUNTERTOP AND BACKSPLASH REFER TO OWNER'S FINISH SCHEDULE.
 - ISLAND COUNTERTOP @+36" WITH BASE CABINETS BELOW, REFER TO OWNER'S FINISH SCHEDULE.
 - 12" DEEP MDF SHELF AND COAT HANGING ROD.
 - (5) MDF SHELVES EQUALLY SPACED - PAINTED.
 - 2x4 FRAME LOW WALL, 2x6 FRAMING AT PLUMBING WALL CONDITIONS.
 - 2x6" FRAME WALL.
 - LINE OF FINISH FLOOR CHANGE.
 - ALUMINUM THRESHOLD MILL FINISH - 1/2" MAX. HEIGHT.
 - LINE OF SOFFIT OR CEILING HEIGHT CHANGE ABOVE.
 - VANITY TOP & SPLASH WITH UNDER MOUNT SINK & 30"x 42" FRAMED MIRROR ABOVE REFER TO OWNER'S FINISH SCHEDULE.
 - TOWEL BAR.
 - SHOWER CURTAIN ROD.
 - TOILET PAPER DISPENSER.
 - (4) MDF SHELVES EQUALLY SPACED - PAINTED.
 - FIXTURE CONTROL AREA.
 - 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (2) RODS @ HEIGHT PER OWNER.
 - 12" DEEP PAINTED MDF SHELF W/ BULL NOSE EDGE & (1) ROD @ HEIGHT PER OWNER.
 - BALCONY RAILING +42" ABOVE DECK - SEE DETAIL 28/D3.
 - NOT USED.
 - TEMPERED GLASS SHOWER DOORS, REFER TO OWNER'S FINISH SCHEDULE.
 - TUB/SHOWER ENCLOSURE - SEE DETAIL 79/D7.
 - LINE OF WALL ABOVE.
 - SLAB/FLOOR TO BE FLUSH TO PROVIDE ACCESSIBLE ACCESS AT FIRST FLOOR.
 - 1 1/2" to 2" HARD ROCK CONCRETE DECKING OVER WATERPROOFING MEMBRANE.
 - WATER HEATER/HVAC UNIT - SEE MECHANICAL & PLUMBING DRAWINGS.
 - CONCRETE SLAB, REFER TO STRUCTURAL, SWELL CONCRETE AS NECESSARY TO DRAIN.
 - DRYER OR EXHAUST VENT DUCT - REFER TO DETAIL 11/FR1.
 - COUNTERTOP SUPPORT BELOW - SEE DETAIL 75/D7.
 - LINEN CABINET, FULL HEIGHT WITH 5 SHELVES.
 - (1) 16" DEEP PAINTED MDF SHELF @ +60" A.F.F.
 - PANTRY CABINET, FULL HEIGHT WITH 5 SHELVES.
 - MECHANICAL DUCT CHASE - REFER TO MECHANICAL DRAWINGS FOR SIZE.
 - SHOWER ENCLOSURE WITH TILE SURROUND. SHOWER PAN WITH 4" THRESHOLD, REFER TO DETAIL 80/D7.
 - CONCRETE CONTROL JOINT.
 - 4" STEP IN CONCRETE SLAB.
 - TOWEL RING.
 - LOW FRAME PATIO WALLS. REFER TO DETAIL.

- SYMBOL SCHEDULE:**
- SD SMOKE DETECTOR - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
 - CEILING MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
 - WALL MOUNTED EXHAUST FAN - COORDINATE LOCATION WITH ELECTRICAL & MECHANICAL DRAWINGS
 - INTERIOR ELEVATIONS - SEE SHEETS A3.1 THRU A3.3
 - SEE FR SHEETS FOR SOUND AND FIRE RATED ASSEMBLIES
 - INDICATES DOOR TYPE - SEE SHEET A2.0.0 FOR UNIT PLAN DOOR SCHEDULE

biltform architecture group, LLC.

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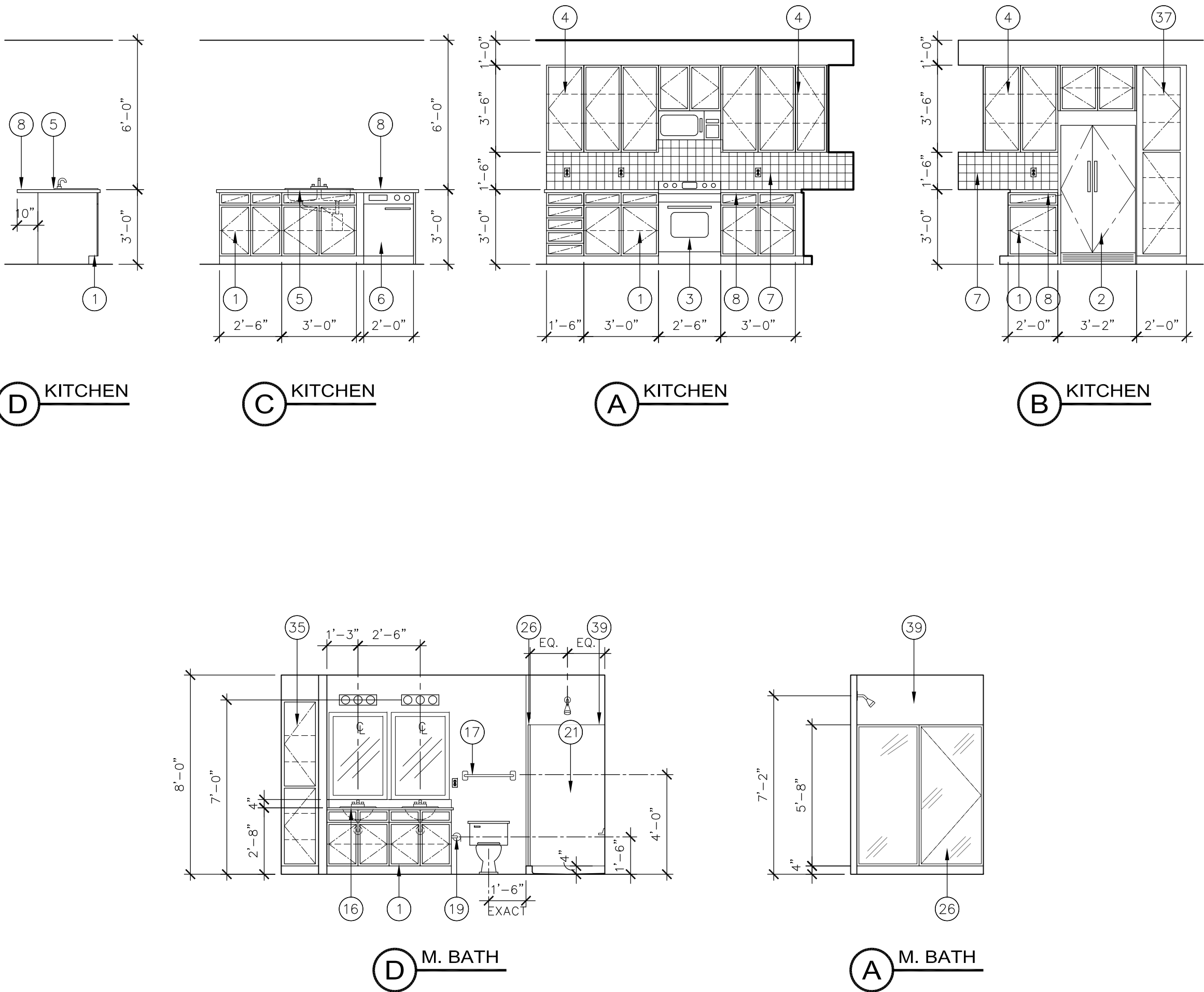
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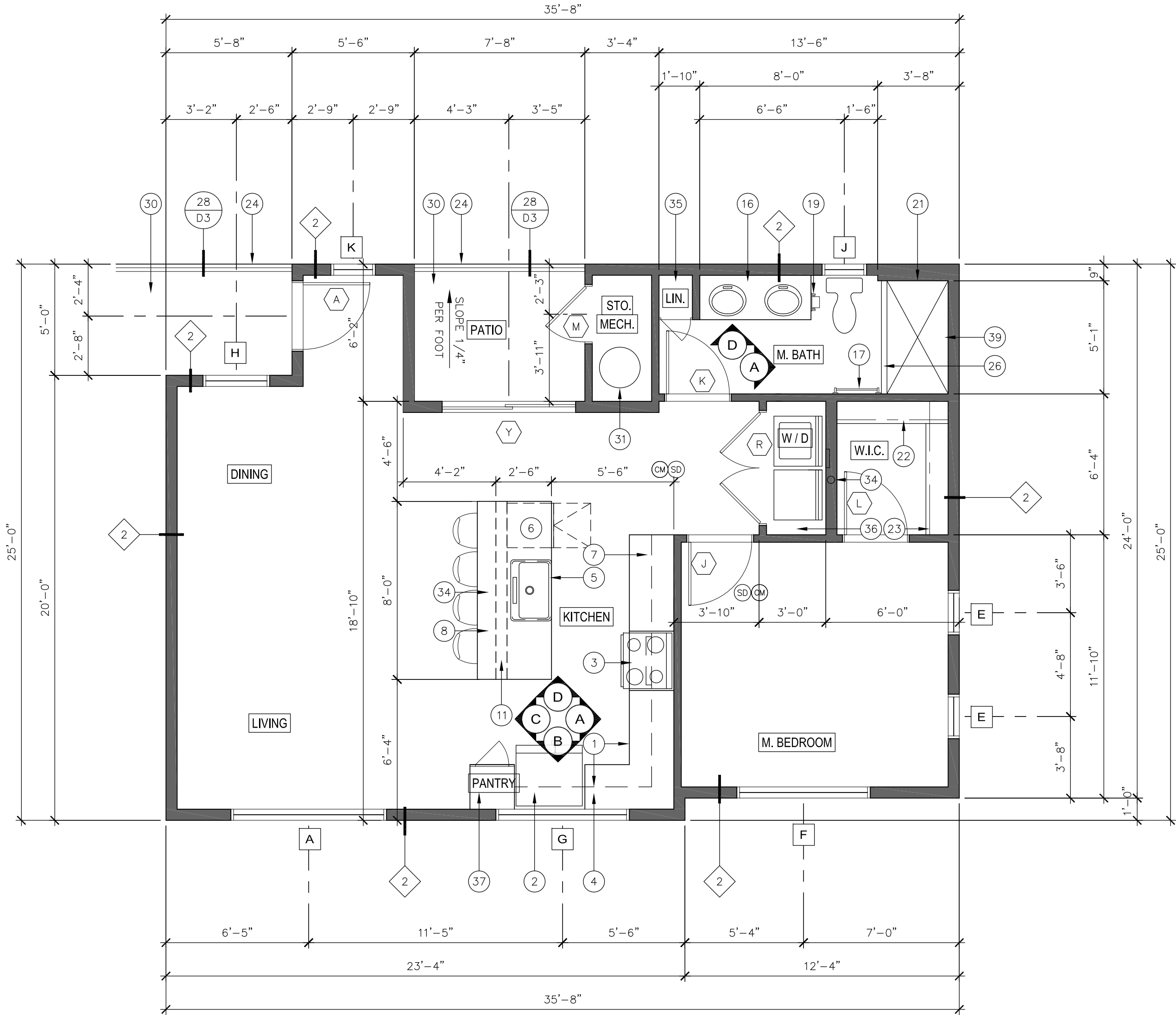
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REZONE SUBMITTAL	
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A2.5.0-MF
UNIT PLAN L

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INTERIOR ELEVATIONS



UNIT L - 2ND FLOOR

NET LIVABLE AREA:		GROSS LIVABLE AREA:	
LIVABLE:	750 S.F.	LIVABLE:	818 S.F.
PATIO:	45 S.F.	PATIO:	47 S.F.
STORAGE:	14 S.F.	STORAGE:	18 S.F.
TOTAL	809 S.F.	TOTAL	883 S.F.

UNIT PLAN L
FLOOR PLAN

BUILDING TYPE 1 GROSS FLOOR AREA:		
FLOOR	GROSS FOOTPRINT	CONDITIONED
1ST	12,000 SF	5,165 SF
2ND	11,572 SF	9,300 SF
3RD	11,572 SF	9,300 SF
TOTAL	35,144 SF	23,765 SF

BUILDING TYPE 1: 26 PLEX UNIT TOTAL				
UNIT TYPE:	1ST FLR	2ND FLR	3RD FLR	TOTAL UNITS
A1	2	2	2	6
A2	1	2	2	5
B1	3	5	5	13
C1	0	1	1	2
TOTAL:	6	10	10	26

- BUILDING PLAN NOTES:**
- FOR TYPICAL UNIT PLANS SEE SHEETS A2.1.0 THROUGH SHEET A2.5.0.
 - REFER TO SHEETS A1.6, A1.7 & A1.8 FOR BUILDING CODE ANALYSIS.
 - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
 - COORDINATE LIGHT PLACEMENT WITH STRUCTURAL DRAWINGS.

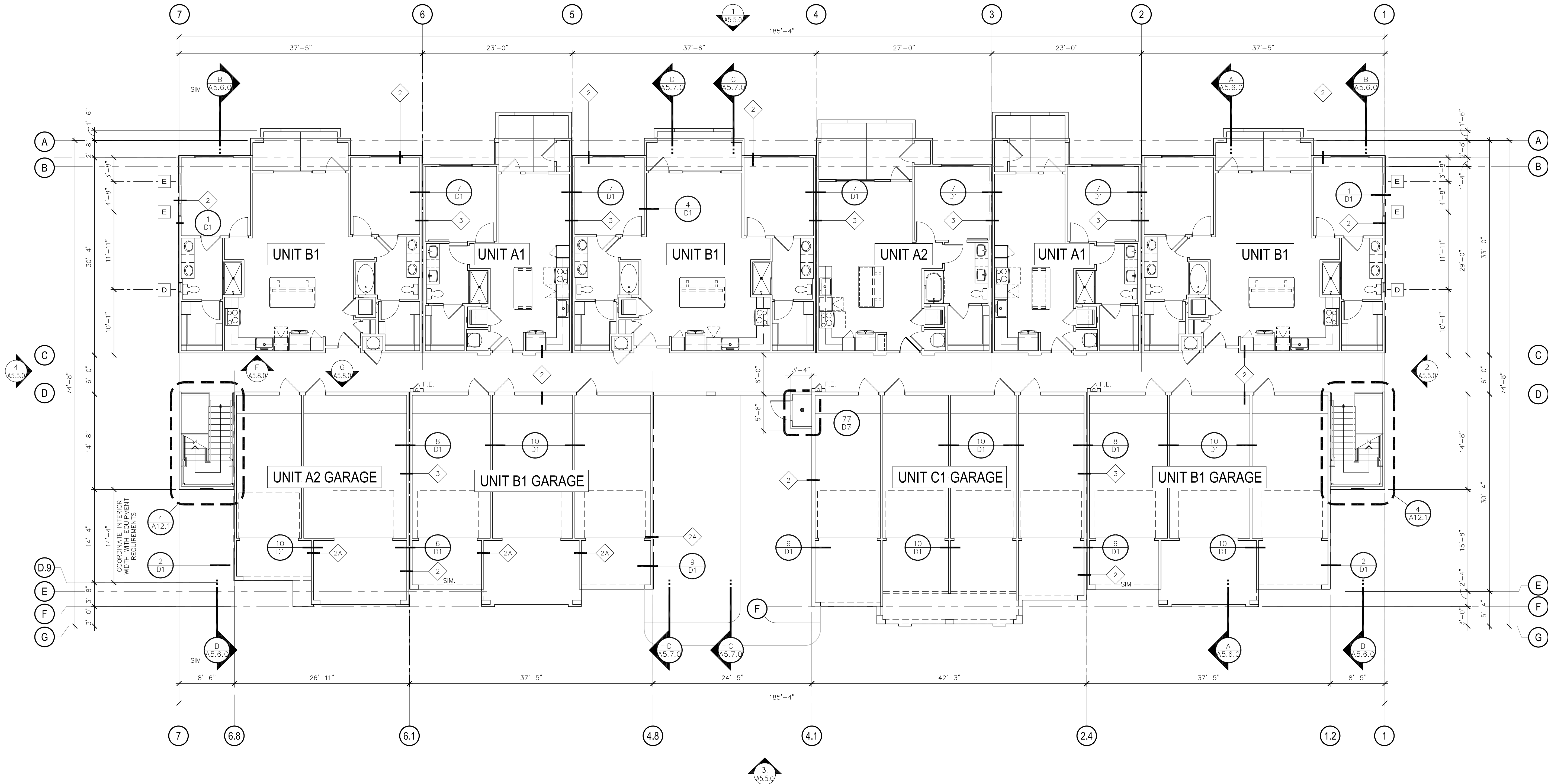
BUILDING ELEMENT	CONSTRUCTION TYPE V-B	DETAIL REFERENCE
EXTERIOR BEARING WALL	1 HOUR RATED	2/FR1
INTERIOR BEARING WALL	NON-RATED	9/FR1
INTERIOR NON-BEARING WALL	NON-RATED	9/FR1
UNIT SEPARATION WALL	1 HOUR RATED	3/FR1
FLOOR/CEILING ASSEMBLY (DWELLING UNIT)	1 HOUR RATED	4/FR1
FLOOR/CEILING ASSEMBLY (CORRIDORS)	1 HOUR RATED	5/FR1
FLOOR/CEILING ASSEMBLY (BALCONY)	NON-RATED	6/FR1
ROOF/CEILING ASSEMBLY	NON-RATED	7/FR1

- SYMBOL SCHEDULE:**
- METER PACK LOCATION REFER TO ELECTRICAL PLANS FOR EXACT LOCATION, CONFIGURATION AND SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
 - TELECOMMUNICATIONS TERMINAL BOARD AND CABLE TV DISTRIBUTION PANEL REFER TO ELECTRICAL FOR EXACT LOCATION. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START CONSTRUCTION.
 - FIRE RISER ROOM, REFER TO FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
 - PORTABLE FIRE EXTINGUISHER WITH CABINET NOT TO BE LOCKED. INSTALLED AT A MAXIMUM HEIGHT OF 42". REFER TO DETAIL 76/D7.
 - SEE SHEET FR1 & FR2 FOR SOUND AND FIRE RATED DETAILS
 - INDICATES DOOR NUMBER, REFER TO SHEET A2.0.0
 - ATTIC ACCESS PANEL, REFER TO DETAIL 61/D6.



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BUILDING TYPE 1
1ST FLOOR PLAN

BLDGS #

ASCEND at LONGBOW HIGHPOINT

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A5.1.0-MF
BUILDING TYPE 1

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BUILDING TYPE 1 GROSS FLOOR AREA:		
FLOOR	GROSS FOOTPRINT	CONDITIONED
1ST	12,000 SF	5,165 SF
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BUILDING COMPONENT SCHEDULE:		
BUILDING ELEMENT	CONSTRUCTION TYPE V-B	DETAIL REFERENCE
EXTERIOR BEARING WALL	1 HOUR RATED	2/FR1
INTERIOR BEARING WALL	NON-RATED	9/FR1
INTERIOR NON-BEARING WALL	NON-RATED	9/FR1
UNIT SEPARATION WALL	1 HOUR RATED	3/FR1
FLOOR/CEILING ASSEMBLY (DWELLING UNIT)	1 HOUR RATED	4/FR1
FLOOR/CEILING ASSEMBLY (CORRIDORS)	1 HOUR RATED	5/FR1
FLOOR/CEILING ASSEMBLY (BALCONY)	NON-RATED	6/FR1
ROOF/CEILING ASSEMBLY	NON-RATED	7/FR1

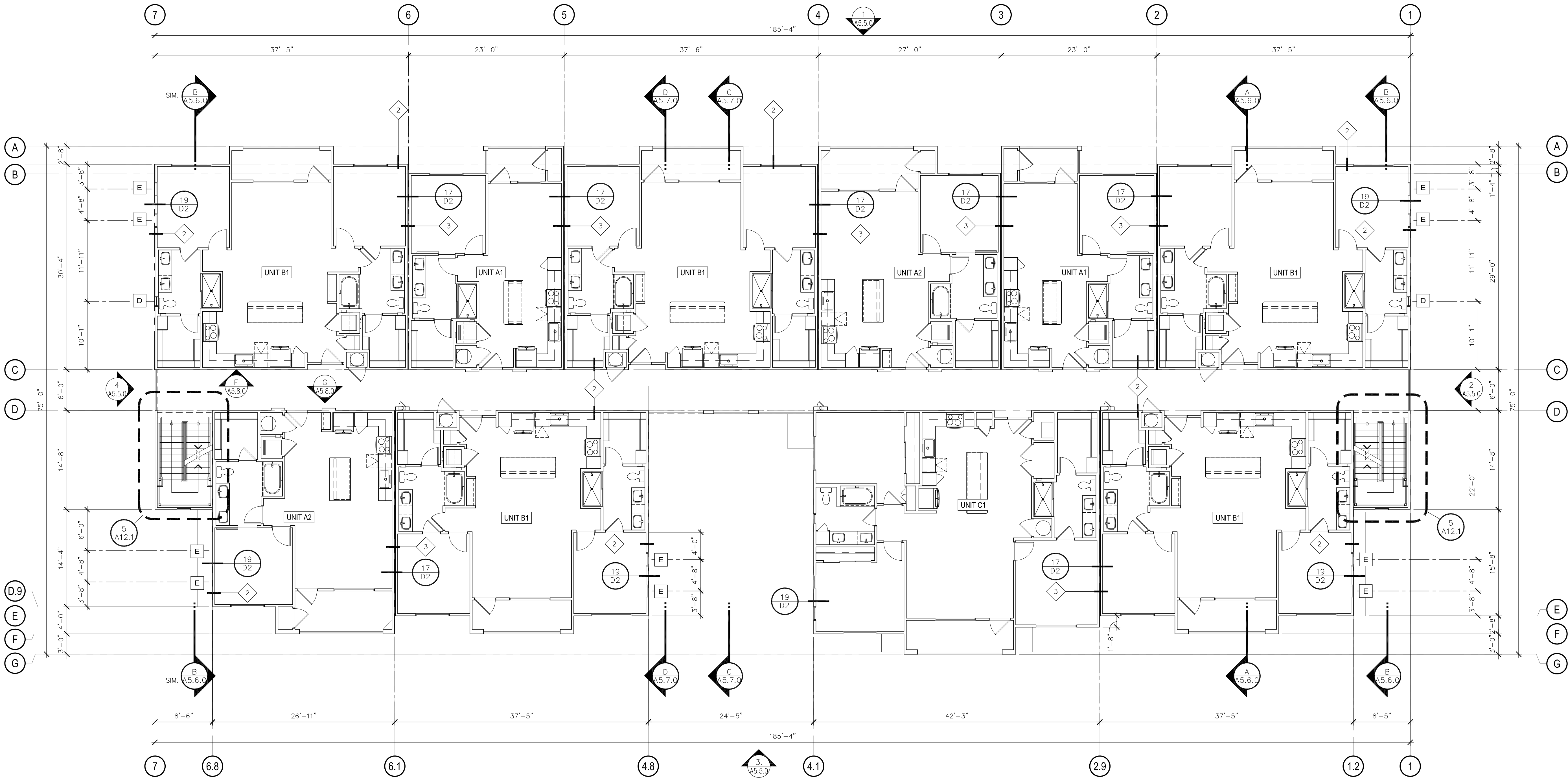
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BUILDING TYPE 1
2ND FLOOR PLAN

ASCEND at LONGBOW HIGHPOINT

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SHEET NO:	

A5.2.0-MF
BUILDING TYPE 1

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BUILDING TYPE 1 GROSS FLOOR AREA:		
FLOOR	GROSS FOOTPRINT	CONDITIONED
1ST	12,000 SF	5,165 SF
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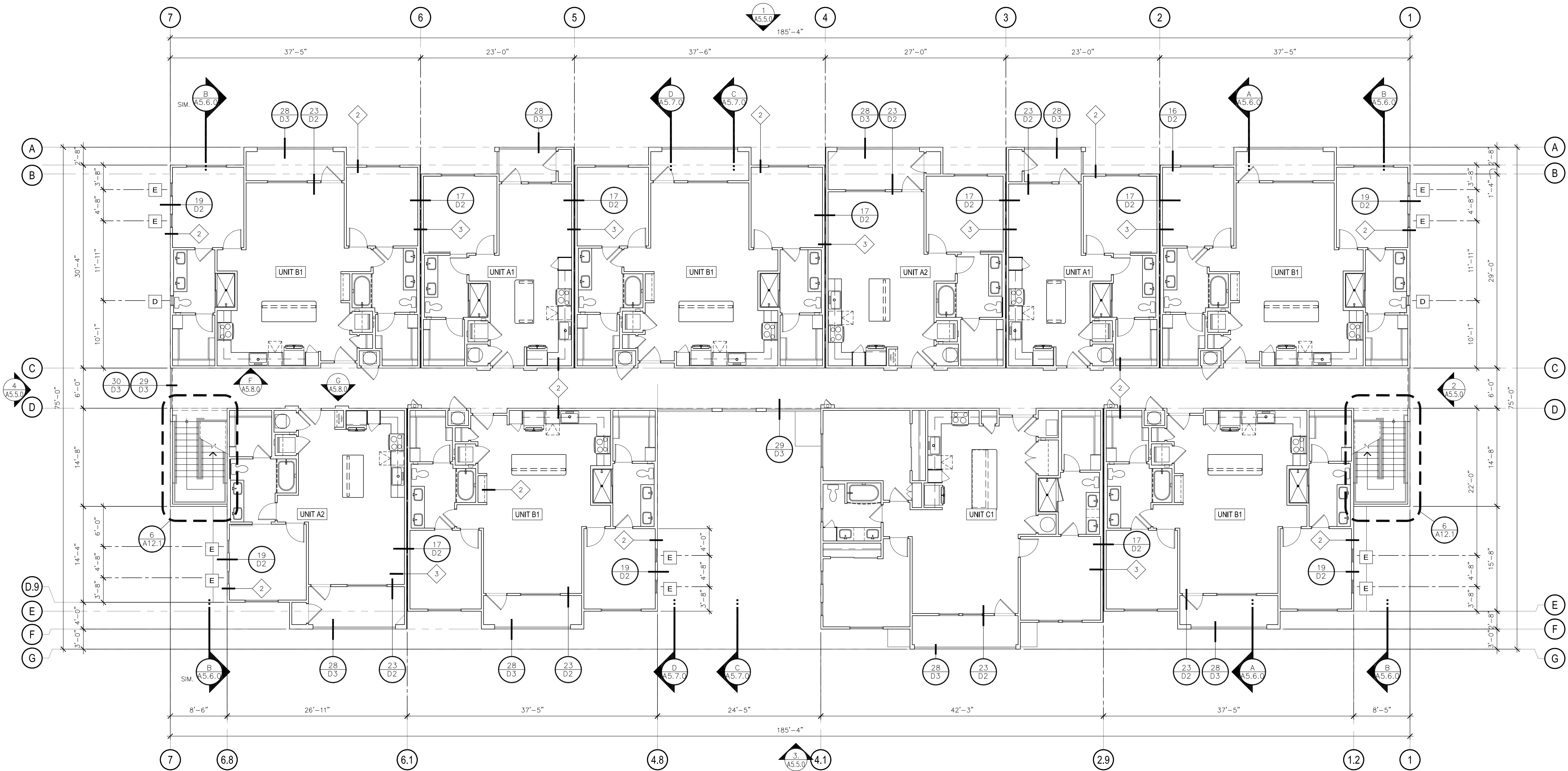
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BUILDING TYPE 1
3RD FLOOR PLAN

ASCEND at LONGBOW HIGHPOINT

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CITY OF MESA, ARIZONA

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A5.3.0-MF
BUILDING TYPE 1








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BUILDING TYPE 2 GROSS FLOOR AREA:		
FLOOR	GROSS FOOTPRINT	CONDITIONED
1ST	5,391 SF	2,320 SF
2ND	5,150 SF	4,094 SF
3RD	5,150 SF	4,094 SF
TOTAL	15,691 SF	10,508 SF

BUILDING TYPE 2: 13 PLEX UNIT TOTAL				
UNIT TYPE:	1ST FLR	2ND FLR	3RD FLR	TOTAL UNITS
A1	2	2	2	6
A2	0	1	1	2
B1	1	2	2	5
C1	0	0	0	0
TOTAL:	3	5	5	13

BUILDING PLAN NOTES:	
1.	FOR TYPICAL UNIT PLANS SEE SHEETS A2.1.0 THROUGH SHEET A2.5.0.
2.	REFER TO SHEETS A1.6, A1.7 & A1.8 FOR BUILDING CODE ANALYSIS.
3.	ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
4.	COORDINATE LIGHT PLACEMENT WITH STRUCTURAL DRAWINGS.

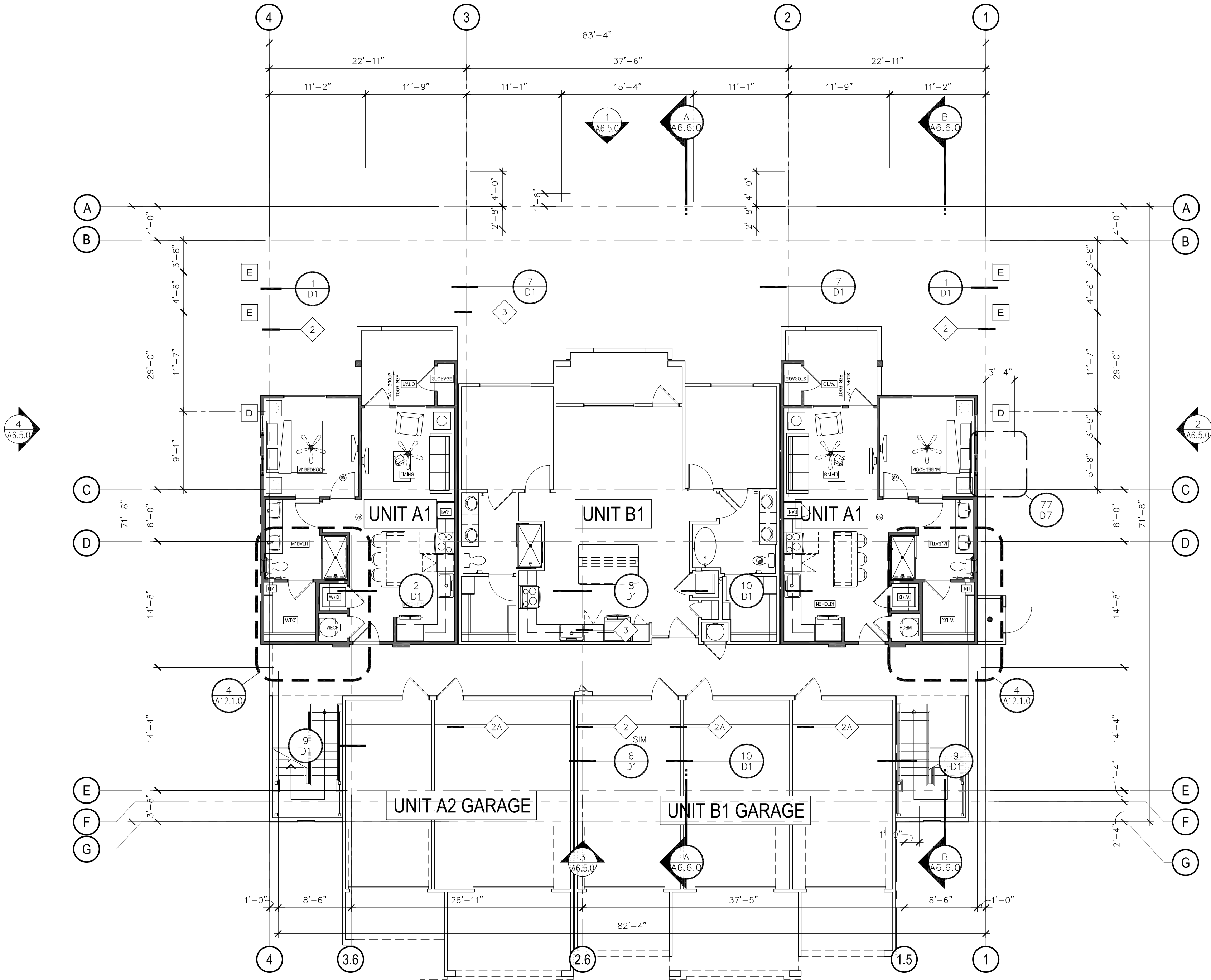
BUILDING COMPONENT SCHEDULE:		
BUILDING ELEMENT	CONSTRUCTION TYPE V-B	DETAIL REFERENCE
EXTERIOR BEARING WALL	1 HOUR RATED	2/FR1
INTERIOR BEARING WALL	NON-RATED	9/FR1
INTERIOR NON-BEARING WALL	NON-RATED	9/FR1
UNIT SEPARATION WALL	1 HOUR RATED	3/FR1
FLOOR/CEILING ASSEMBLY (DWELLING UNIT)	1 HOUR RATED	4/FR1
FLOOR/CEILING ASSEMBLY (CORRIDORS)	1 HOUR RATED	5/FR1
FLOOR/CEILING ASSEMBLY (BALCONY)	NON-RATED	6/FR1
ROOF/CEILING ASSEMBLY	NON-RATED	7/FR1

SYMBOL SCHEDULE:	
	METER PACK LOCATION REFER TO ELECTRICAL PLANS FOR EXACT LOCATION, CONFIGURATION AND SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
	TELECOMMUNICATIONS TERMINAL BOARD AND CABLE TV DISTRIBUTION PANEL REFER TO ELECTRICAL FOR EXACT LOCATION. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
	FIRE RISER ROOM, REFER TO FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
	PORTABLE FIRE EXTINGUISHER WITH CABINET NOT TO BE LOCKED. INSTALLED AT A MAXIMUM HEIGHT OF 42", REFER TO DETAIL 76/D7.
	SEE SHEET FR1 & FR2 FOR SOUND AND FIRE RATED DETAILS
	INDICATES DOOR NUMBER, REFER TO SHEET A2.0.0
	ATTIC ACCESS PANEL, REFER TO DETAIL 61/D6.



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BUILDING TYPE 2
1ST FLOOR PLAN

BLDG #

ASCEND at LONGBOW HIGHPOINT

MIXED USE PROJECT
CITY OF MESA, ARIZONA

Phone: (617) 390-8264

D.R. HORTON
America's Builder

1341 Horton Circle
Arlington, Texas 76001

REVISIONS:	
1	
2	
3	
4	
REZONE SUBMITTAL	
JOB NO:	21-031
DATE:	AUGUST 2, 2021
SCALE:	1/8" = 1'-0"
SHEET NO:	

A6.1.0-MF

BUILDING TYPE 2

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BUILDING TYPE 2 GROSS FLOOR AREA:		
FLOOR	GROSS FOOTPRINT	CONDITIONED
1ST	5,391 SF	2,320 SF
2ND	5,150 SF	4,094 SF
3RD	5,150 SF	4,094 SF
TOTAL	15,691 SF	10,508 SF

BUILDING TYPE 2: 13 PLEX UNIT TOTAL				
UNIT TYPE:	1ST FLR	2ND FLR	3RD FLR	TOTAL UNITS
A1	2	2	2	6
A2	0	1	1	2
B1	1	2	2	5
C1	0	0	0	0
TOTAL:	3	5	5	13

- BUILDING PLAN NOTES:**
- FOR TYPICAL UNIT PLANS SEE SHEETS A2.1.0 THROUGH SHEET A2.5.0.
 - REFER TO SHEETS A1.6, A1.7 & A1.8 FOR BUILDING CODE ANALYSIS.
 - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
 - COORDINATE LIGHT PLACEMENT WITH STRUCTURAL DRAWINGS.

BUILDING COMPONENT SCHEDULE:		
BUILDING ELEMENT	CONSTRUCTION TYPE V-B	DETAIL REFERENCE
EXTERIOR BEARING WALL	1 HOUR RATED	2/FR1
INTERIOR BEARING WALL	NON-RATED	9/FR1
INTERIOR NON-BEARING WALL	NON-RATED	9/FR1
UNIT SEPARATION WALL	1 HOUR RATED	3/FR1
FLOOR/CEILING ASSEMBLY (DWELLING UNIT)	1 HOUR RATED	4/FR1
FLOOR/CEILING ASSEMBLY (CORRIDORS)	1 HOUR RATED	5/FR1
FLOOR/CEILING ASSEMBLY (BALCONY)	NON-RATED	6/FR1
ROOF/CEILING ASSEMBLY	NON-RATED	7/FR1

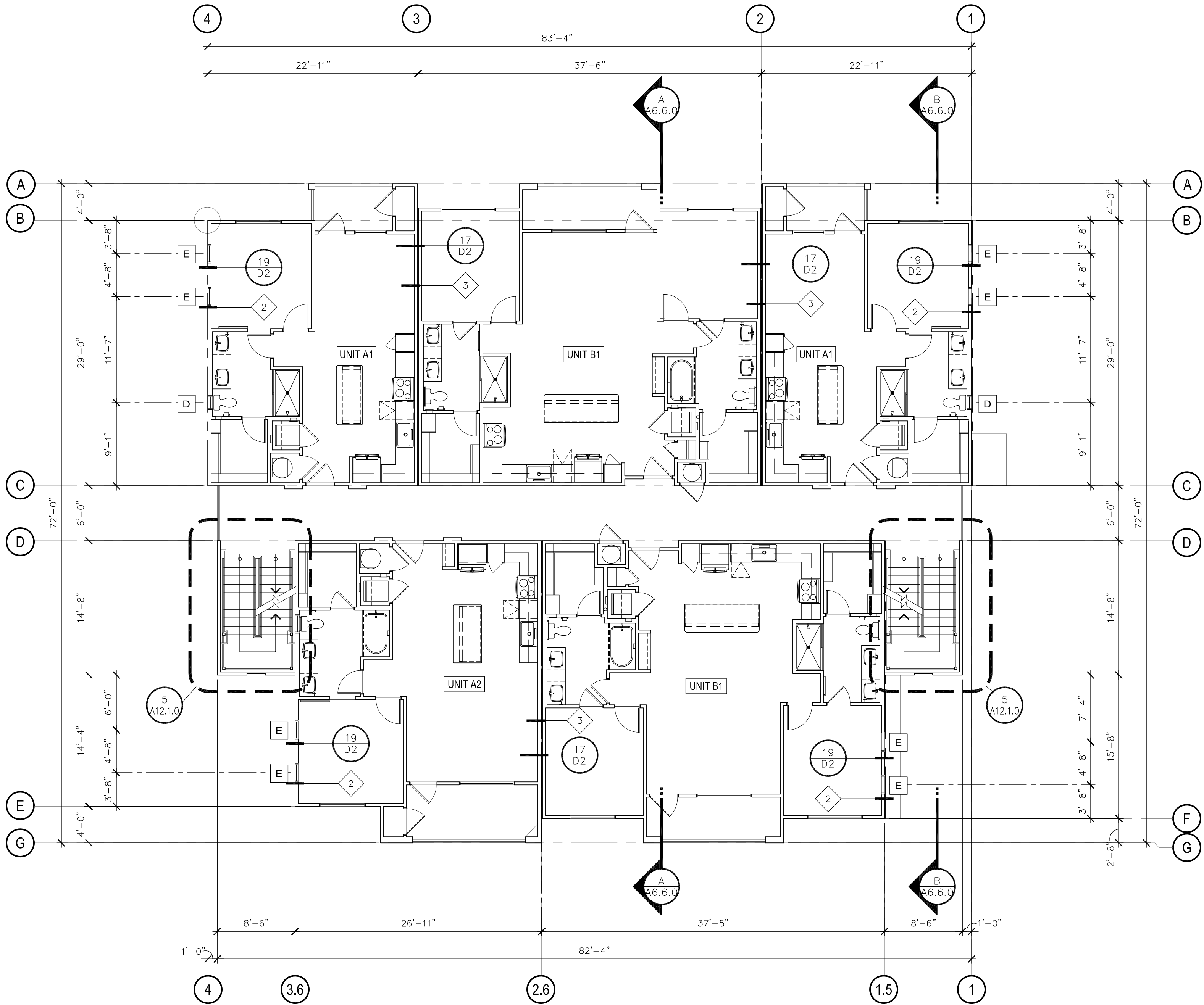
- SYMBOL SCHEDULE:**
- METER PACK LOCATION REFER TO ELECTRICAL PLANS FOR EXACT LOCATION, CONFIGURATION AND SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
- TELECOMMUNICATIONS TERMINAL BOARD AND CABLE TV DISTRIBUTION PANEL REFER TO ELECTRICAL FOR EXACT LOCATION. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
- FIRE RISER ROOM, REFER TO FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
- PORTABLE FIRE EXTINGUISHER WITH CABINET NOT TO BE LOCKED. INSTALLED AT A MAXIMUM HEIGHT OF 42". REFER TO DETAIL 76/D7.
- SEE SHEET FR1 & FR2 FOR SOUND AND FIRE RATED DETAILS
- INDICATES DOOR NUMBER, REFER TO SHEET A2.0.0
- ATTIC ACCESS PANEL, REFER TO DETAIL 61/D6.



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BUILDING TYPE 2
2ND FLOOR PLAN

A6.2.0-MF
BUILDING TYPE 2

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BUILDING TYPE 2 GROSS FLOOR AREA:		
FLOOR	GROSS FOOTPRINT	CONDITIONED
1ST	5,391 SF	2,320 SF
2ND	5,150 SF	4,094 SF
3RD	5,150 SF	4,094 SF
TOTAL	15,691 SF	10,508 SF

BUILDING TYPE 2: 13 PLEX UNIT TOTAL				
UNIT TYPE:	1ST FLR	2ND FLR	3RD FLR	TOTAL UNITS
A1	2	2	2	6
A2	0	1	1	2
B1	1	2	2	5
C1	0	0	0	0
TOTAL:	3	5	5	13

- BUILDING PLAN NOTES:**
- FOR TYPICAL UNIT PLANS SEE SHEETS A2.1.0 THROUGH SHEET A2.5.0.
 - REFER TO SHEETS A1.6, A1.7 & A1.8 FOR BUILDING CODE ANALYSIS.
 - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
 - COORDINATE LIGHT PLACEMENT WITH STRUCTURAL DRAWINGS.

BUILDING COMPONENT SCHEDULE:		
BUILDING ELEMENT	CONSTRUCTION TYPE V-B	DETAIL REFERENCE
EXTERIOR BEARING WALL	1 HOUR RATED	2/FR1
INTERIOR BEARING WALL	NON-RATED	9/FR1
INTERIOR NON-BEARING WALL	NON-RATED	9/FR1
UNIT SEPARATION WALL	1 HOUR RATED	3/FR1
FLOOR/CEILING ASSEMBLY (DWELLING UNIT)	1 HOUR RATED	4/FR1
FLOOR/CEILING ASSEMBLY (CORRIDORS)	1 HOUR RATED	5/FR1
FLOOR/CEILING ASSEMBLY (BALCONY)	NON-RATED	6/FR1
ROOF/CEILING ASSEMBLY	NON-RATED	7/FR1

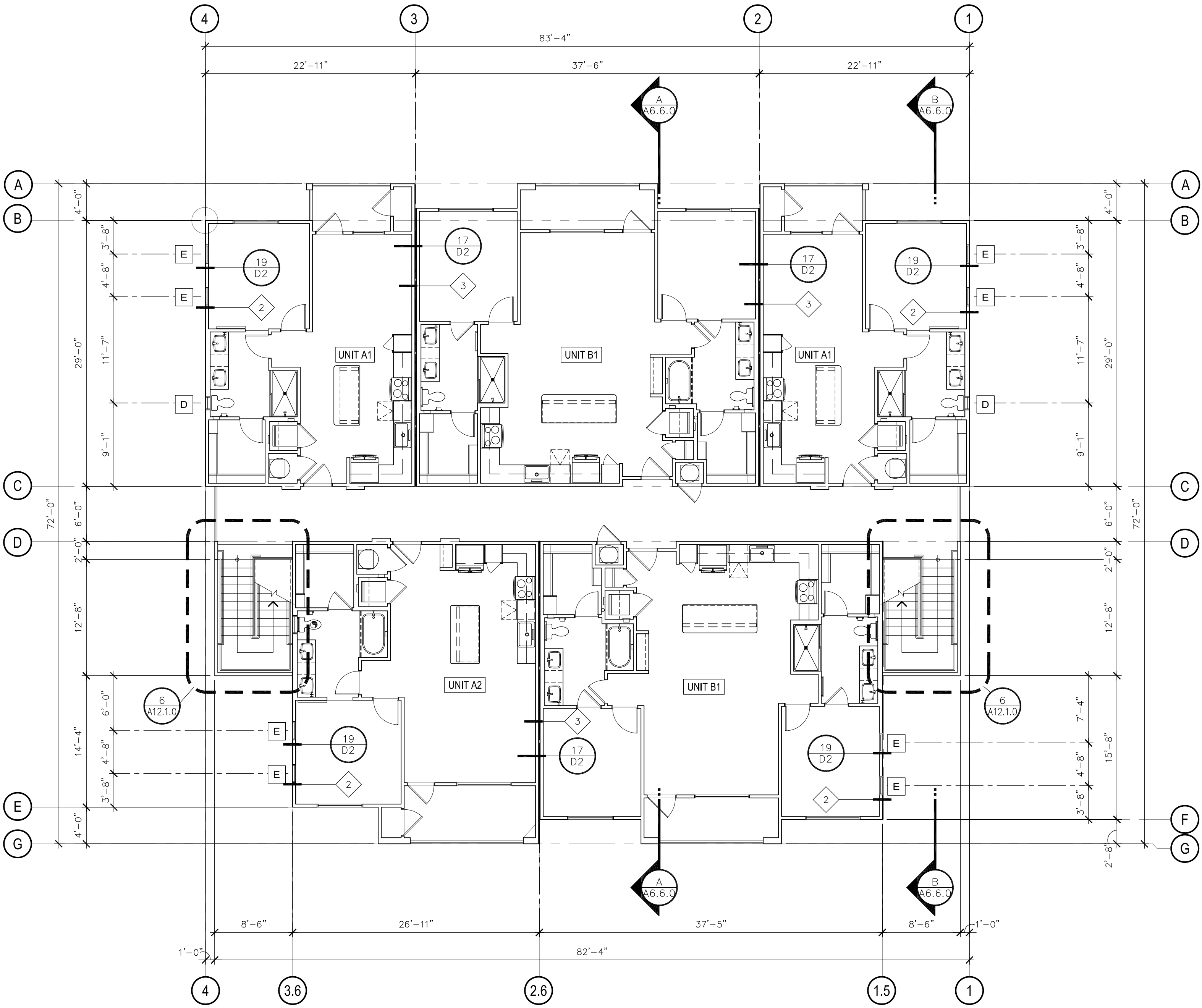
- SYMBOL SCHEDULE:**
- MP** METER PACK LOCATION REFER TO ELECTRICAL PLANS FOR EXACT LOCATION, CONFIGURATION AND SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
- T/S** TELECOMMUNICATIONS TERMINAL BOARD AND CABLE TV DISTRIBUTION PANEL REFER TO ELECTRICAL FOR EXACT LOCATION. ELECTRICAL CONTRACTOR SHALL VERIFY SIZE, CONFIGURATION AND CODE REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
- F** FIRE RISER ROOM, REFER TO FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
- F.E.** PORTABLE FIRE EXTINGUISHER WITH CABINET NOT TO BE LOCKED. INSTALLED AT A MAXIMUM HEIGHT OF 42". REFER TO DETAIL 76/D7.
- #** SEE SHEET FR1 & FR2 FOR SOUND AND FIRE RATED DETAILS
- (NO)** INDICATES DOOR NUMBER, REFER TO SHEET A2.0.0
- A** ATTIC ACCESS PANEL, REFER TO DETAIL 61/D6.



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CONSTRUCTION



BUILDING TYPE 2
3RD FLOOR PLAN

ASCEND at LONGBOW HIGHPOINT

MIXED USE PROJECT
CITY OF MESA, ARIZONA

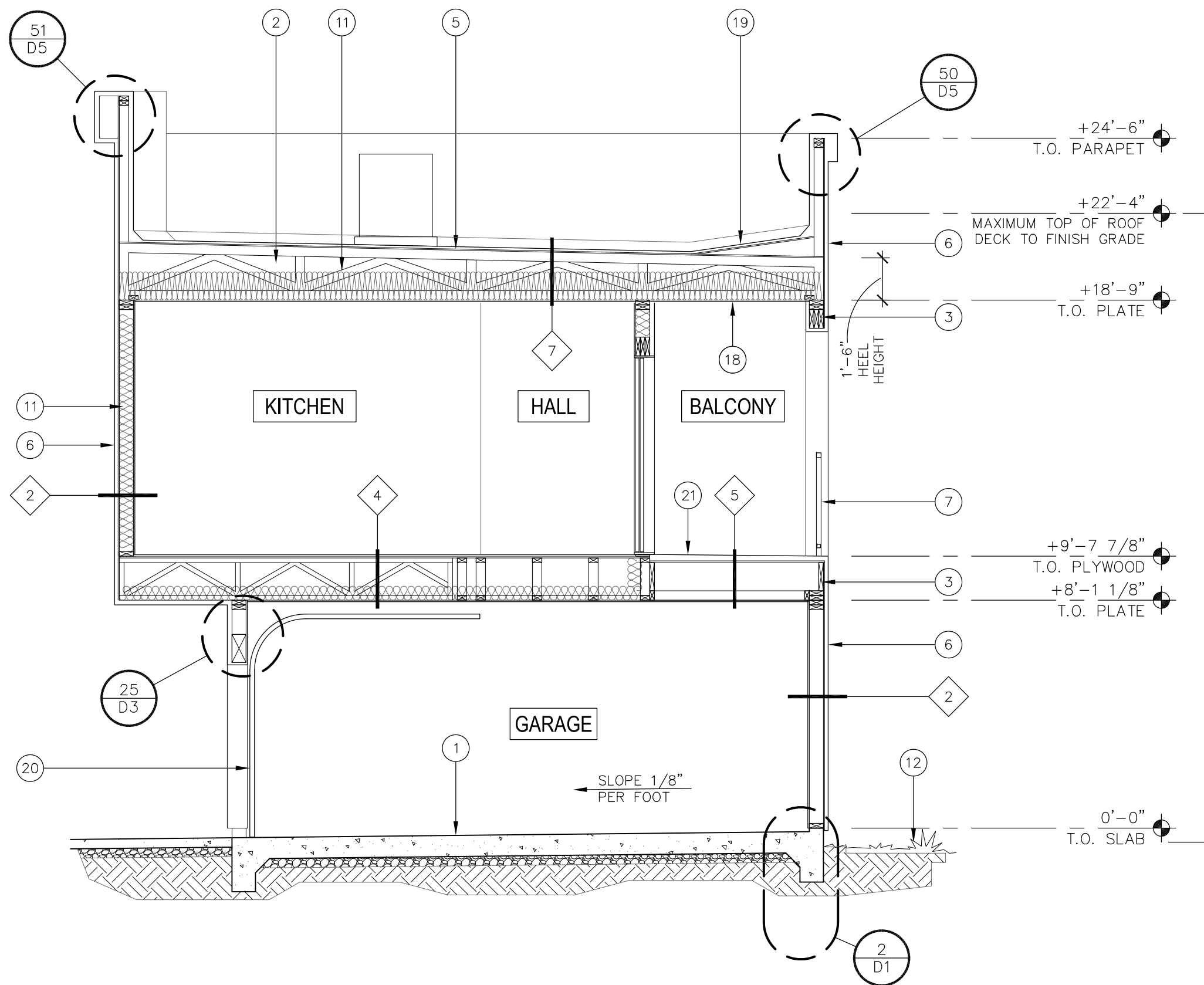
D.R. HORTON
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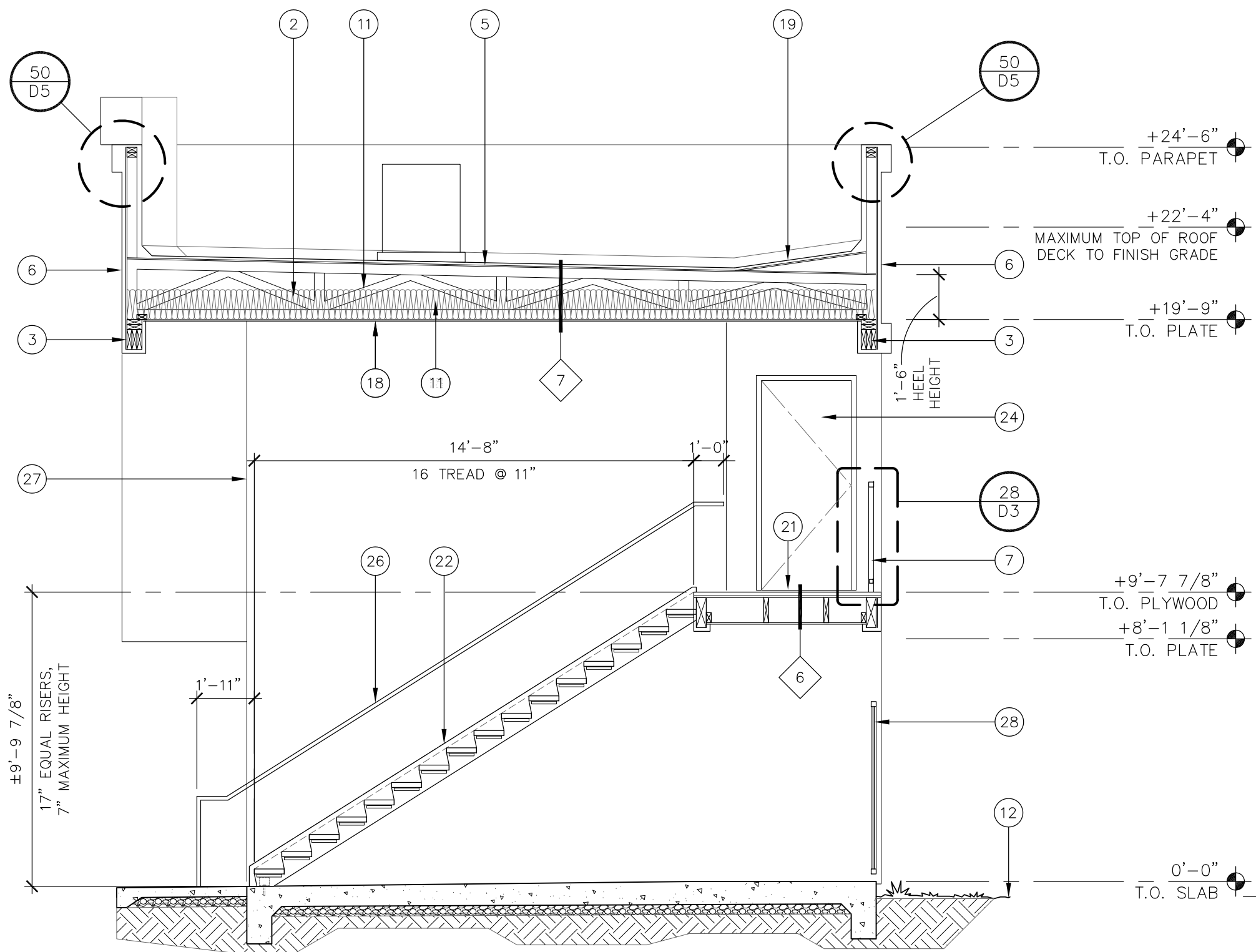
Phone: (817) 390-8264

REVISIONS:	
1	
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REZONE SUBMITTAL	
JOB NO:	21-031
DATE:	AUGUST 2, 2021
SCALE:	1/8" = 1'-0"
SHEET NO:	

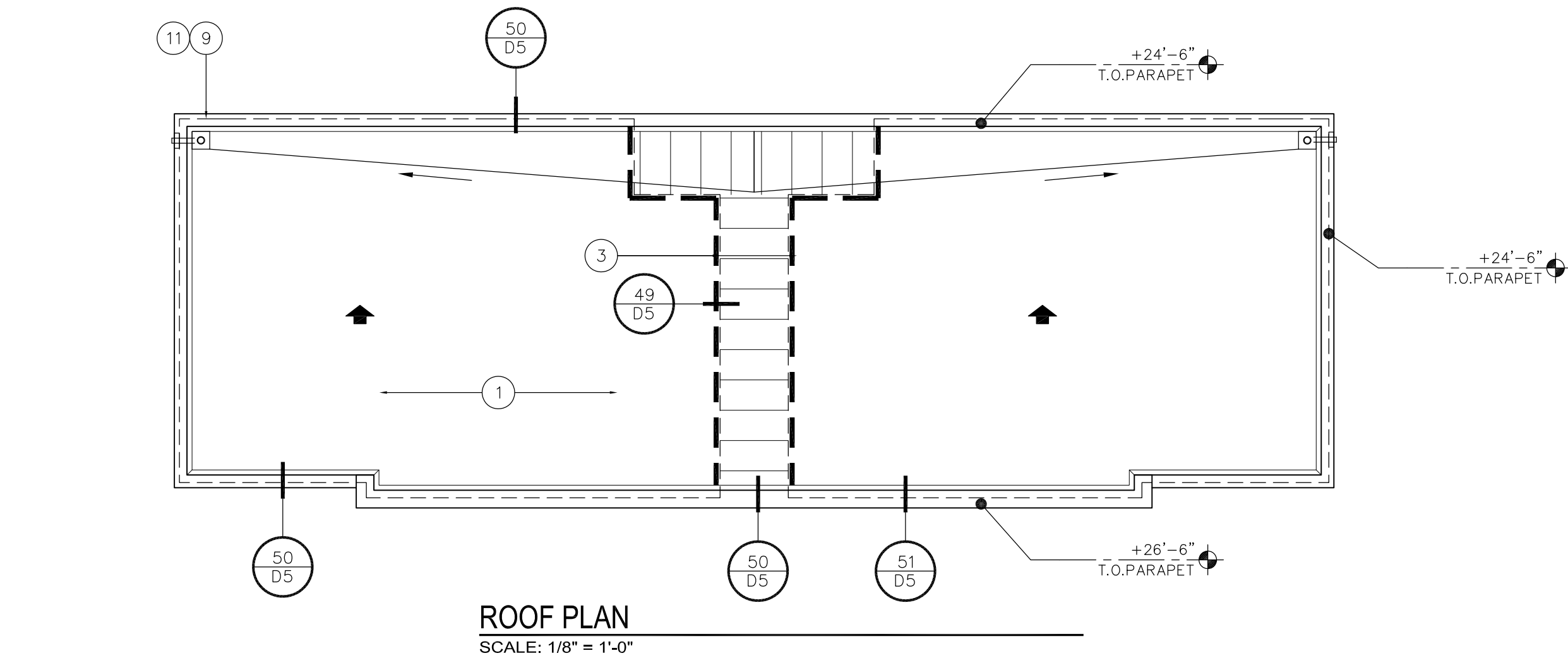
A6.3.0-MF
BUILDING TYPE 2



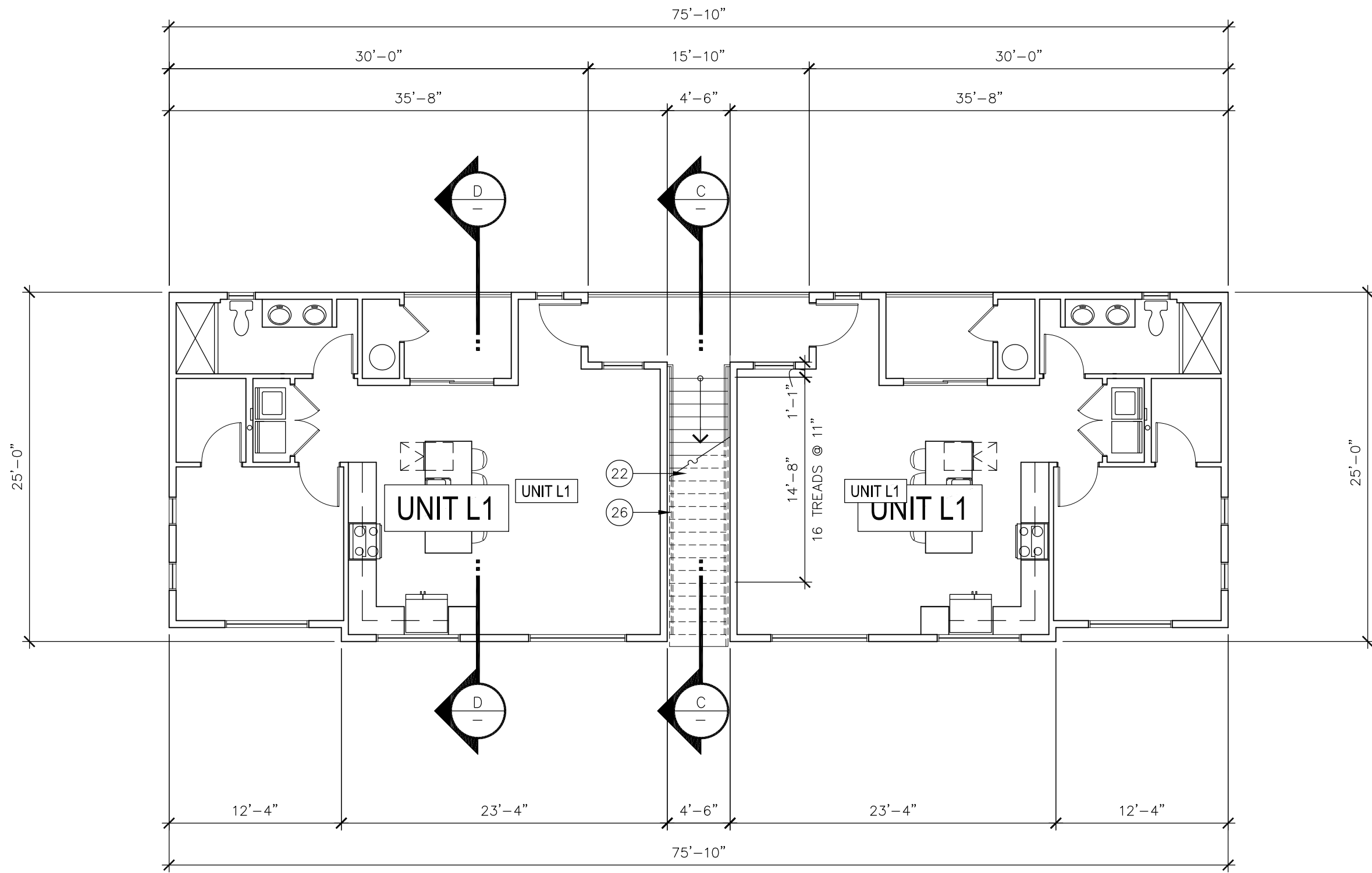
SECTION D
SCALE: 1/4" = 1'-0"



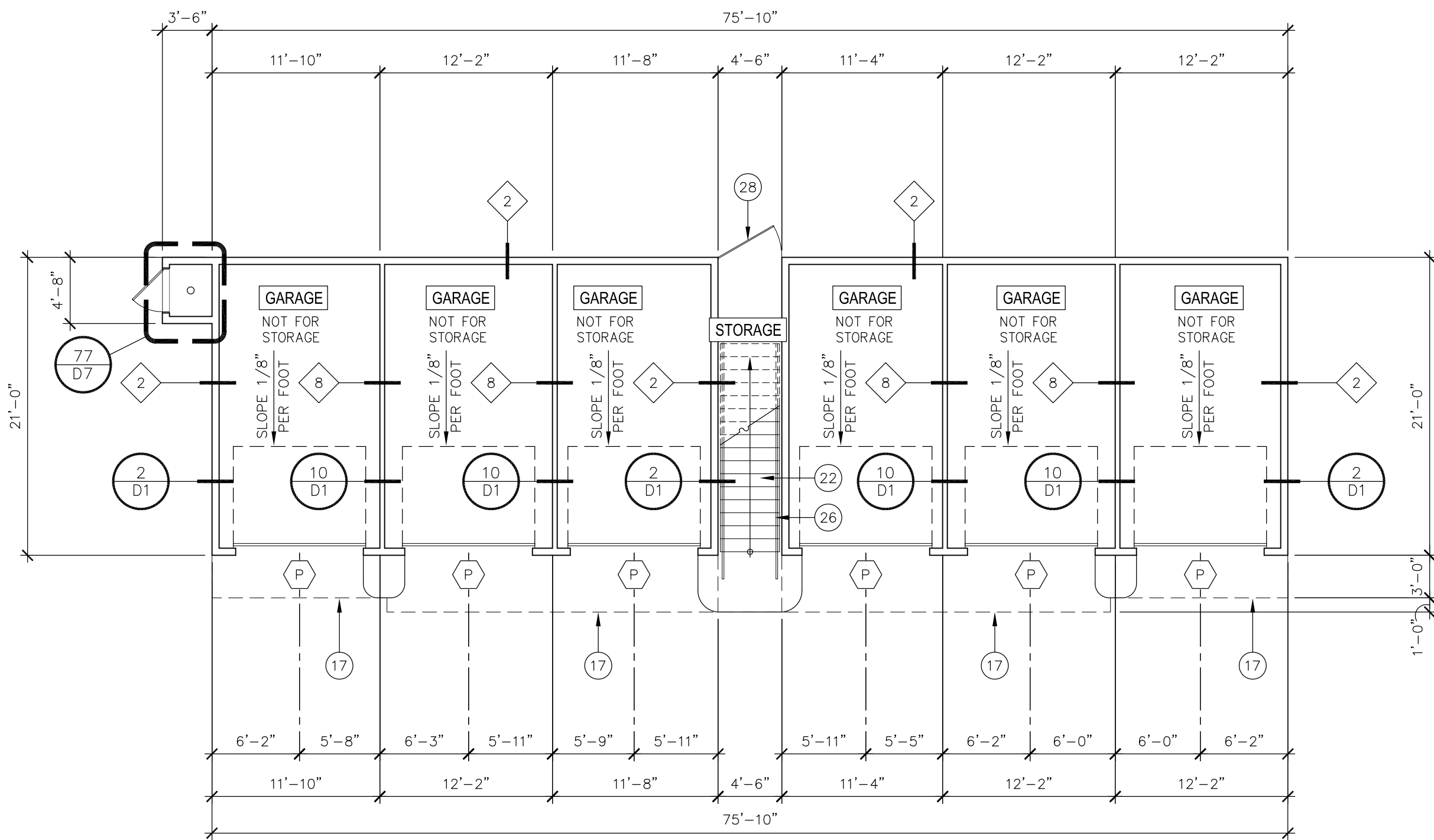
SECTION C
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

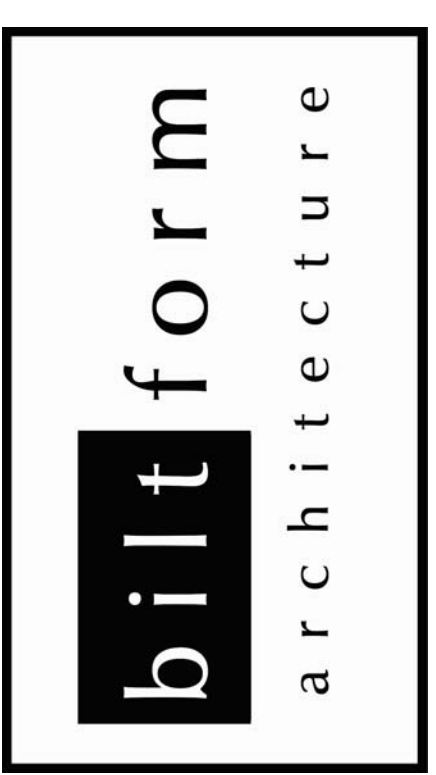
- KEYED NOTES: #**
- P.T. CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS FOR PLAN & SPECIFICATION.
 - PRE-ENGINEERED WOOD TRUSS AT 24" O.C., REFER TO STRUCTURAL DRAWINGS FOR LAYOUT AND SPECIFICATION.
 - BEAM, REFER TO STRUCTURAL DRAWINGS.
 - PRE-FINISH METAL PARAPET CAP, REFER TO EXTERIOR BUILDING ELEVATIONS AND DETAILS.
 - CLASS 'B' TPO ROOFING SYSTEM ON SHEATHING PER STRUCTURAL. INSTALL IN ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS
 - STUCCO SYSTEM REFER TO EXTERIOR BUILDING ELEVATIONS FOR TYPE.
 - BALCONY RAILING, REFER TO DETAIL 28/D3.
 - NOT USED.
 - DOOR/WINDOW HEADER, REFER TO STRUCTURAL DRAWINGS FOR SCHEDULE.
 - 2x4 STUDS @ 24" O.C. (INTERIOR WALL)
 - INSULATION - REFER TO SCHEDULE BELOW.
 - FINISHED GRADE.
 - WINDOW, SEE FLOOR PLAN FOR SIZE.
 - DOOR, SEE FLOOR PLAN FOR SIZE.
 - FOAM POPOUTS. REFER TO ELEVATIONS AND DETAILS.
 - FRAME COLUMN, REFER TO PLAN DETAIL 12/D1
 - OUTLINE OF SECOND FLOOR ABOVE.
 - 5/8" TYPE 'X' EXTERIOR GYPSUM SOFFIT BOARD CEILING FINISH.
 - CRICKET, REFER TO DETAIL 46/D4
 - GARAGE DOOR ASSEMBLY. INSTALL IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS & DETAILS.
 - 1 1/2" HARDROCK CONCRETE OVER MONOLITHIC WATERPROOFING MEMBRANE OVER SLOPED DECK FRAMING (SLOPE 1/4" PER FOOT TO OUTSIDE EDGE).
 - PRE-FAB STEEL STAIR SYSTEM WITH PRECAST CONCRETE TREADS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.
 - LIGHT FIXTURE REFER TO ELECTRICAL DRAWINGS
 - UNIT ENTRY DOOR, REFER TO PLAN
 - FIRE EXTINGUISHER CABINET. REFER TO DETAIL
 - STAIR HAND RAIL MOUNTED TO WALL @ +36" ABOVE TREAD NOSING, REFER TO DETAIL 6/A8.2.
 - STUCCO CONTROL JOINT.
 - METAL GATE

INSULATION SCHEDULE:	
EXTERIOR WALLS	R-19 BATT
ROOF	R-38 MIN. LOOSE FILL INSULATION TO FILL CAVITY
FLOOR/CEILING	LOOSE FILL INSULATION TO FILL CAVITY
GARAGE CEILING	R-19
PARTY WALLS	3" SOUND BATTS EACH SIDE
BREEZEWAY/CORRIDOR WALLS	3" SOUND BATTS

SYMBOL SCHEDULE	
	DIRECTION OF ROOF SLOPE - 3/8" PER FT. U.N.O.
	DIRECTION OF CRICKET SLOPE 1/4" PER FT.
	MECHANICAL CONDENSING UNITS ON REDWOOD SLEEPERS SEE DETAIL 56/D5.
	MECHANICAL CONDENSING UNITS ON REDWOOD SLEEPERS SEE DETAIL 56/D5.
	LOCATION OF ROOF DRAIN & OVERFLOW SCUPPER, REFER TO DETAIL 52/D5. DRAIN LEADER TO DAYLIGHT 12" ABOVE FINISH GRADE, REFER TO DETAIL 3/D1.
	ROOF DRAINAGE TO COMPLY WITH 6" RAIN DEMAND IN ACCORDANCE WITH CITY REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ROOF DRAIN AND LEADER SIZE.
	INDICATES DOOR TYPE. SEE SHEET A2.0.0
	SEE SHEET FR1 THRU FR3 FOR SOUND & FIRE RATED WALLS, FLOOR/CEILING & ROOF ASSEMBLIES.
	DRAFTSTOP SHALL BE CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING INCLUDING OVERFRAMING, TO FACE OF EXTERIOR WALL & OVERHANG.

BUILDING TYPE 3: LOFT	
LIVABLE:	1,871 SQ. FT.
STORAGE:	30 SQ. FT.
GARAGE:	1,386 SQ. FT.
RISER:	18 SQ. FT.
PATIO:	90 SQ. FT.
COMMON:	80 SQ. FT.

BUILDING TYPE 3
LOFT FLOOR PLAN, ROOF, SECTION
BLDGs #65,66,67,71,76,77



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CONSTRUCTION

ASCEND at LONGBOW HIGHPOINT
MIXED USE PROJECT
CITY OF MESA, ARIZONA

Phone: (617) 390-8264

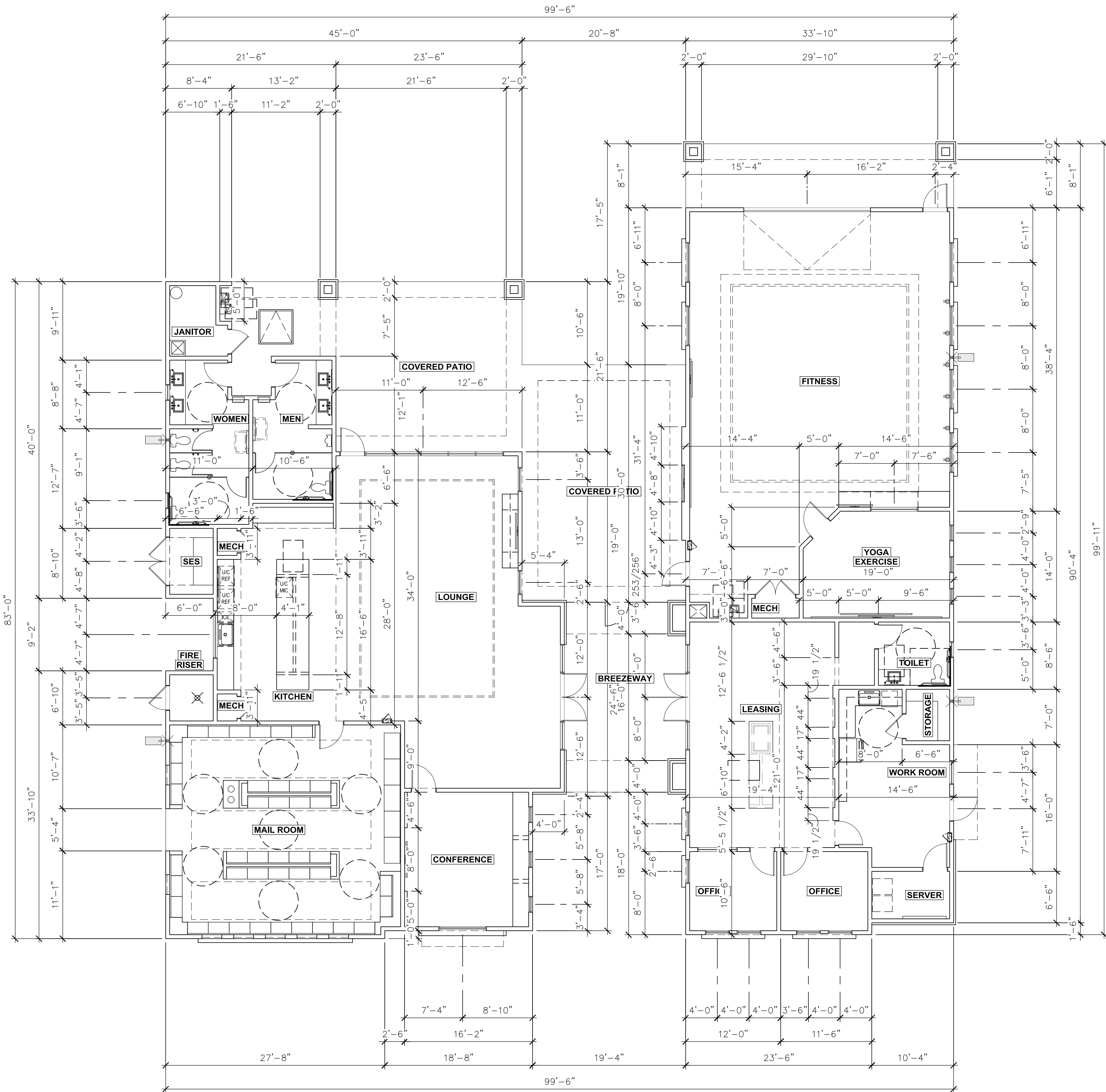
D.R. HORTON
America's Builder

1341 Horton Circle
Arlington, Texas 76001

REVISIONS:	
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3	
4	
REZONE SUBMITTAL	
JOB NO:	21-031
DATE:	AUGUST 2, 2021
SCALE:	AS NOTED
SHEET NO:	

A7.1.0-MF
BUILDING TYPE 3

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CLUBHOUSE
FLOOR PLAN (DIMENSIONED)

ACCESSIBILITY NOTES:

ACCESSIBLE ROUTE-36" WIDTH NOTE:
ENSURE A 36" MIN. WIDE ROUTE THROUGHOUT THE SPACE AS MEASURED FROM WALL BASE TO WALL BASE. MAY REDUCE TO 32" WIDE FOR 24" MAX. LENGTH OF PASSAGE. ENSURE ALL ROUTES PROVIDED TO OTHERS ARE ALSO PROVIDED TO DISABLED PERSONS.

FITNESS ROOM, YOGA / EXERCISE ROOM, LOUNGE NOTE:
ENSURE 36" MIN. ROUTE IS PROVIDED THROUGHOUT THE SPACE & TO ENTRY SIDE OF ONE OF EACH TYPE OF FITNESS EQUIPMENT. A.D.A. REQUIRES MIN. 1 OF EACH TYPE OF EXERCISE EQUIPMENT PROVIDE AN ACCESSIBLE ROUTE TO THE ACCESS POINT, OR TRANSFER POINT, AND 30" X 48" MIN. CLEAR FLOOR SPACE ADJACENT TO EQUIPMENT ACCESS POINT. ALSO ENSURE ALL ACCESSORIES, EQUIPMENT, AND OPERABLE PARTS ARE ACCESSIBLE AT TOWEL RACKS, MAGAZINE RACKS, AED'S, ETC. THIS DOES NOT APPLY TO OPERABLE PARTS ON EXERCISE OR GAME EQUIPMENT.

ACCESSIBLE EQUIPMENT-LOUNGE, COMMON KITCHEN, WORK ROOM, FITNESS ETC. NOTE:
WHERE COFFEE / ESPRESSO MACHINES, PRINTERS, AND OTHER EQUIPMENT ARE INTENDED TO BE PROVIDED, ENSURE ALL APPLIANCES A MIN. OF ONE OF EACH TYPE OF OTHER EQUIPMENT ARE ACCESSIBLE AT 15" MIN. TO 48" MAX. A.F.F. WITH MIN. 30" X 48" ADJACENT CFS.

LOOSE FURNISHINGS-LOUNGE, FITNESS, OUTDOOR SEATING, ETC. NOTE:
WHERE LOOSE SEATING IS PROVIDED FOR DINING SURFACES USED FOR THE CONSUMPTION OF FOOD OR DRINK, 68" MIN. OF LOOSE SEATING TO BE ACCESSIBLE. ENSURE 34" MAX. HEIGHT, 30" WIDE, & 27" MIN. HIGH KNEE SPACE FOR A DEPTH OF 17" MIN. AT FURNITURE. (TYPICAL PEDESTAL TABLES AND PICNIC TABLES DO NOT COMPLY WITH ACCESSIBILITY REQUIREMENTS.) ENSURE ACCESSIBLE SEATS ARE DISTRIBUTED AMONG DIFFERENT TYPES OF SEATING ARRANGEMENTS.

COUNTERTOPS-OPERABLE PARTS OVER OBSTRUCTION-COMMON KITCHEN NOTE:
AT KITCHEN COUNTERTOPS AND COUNTERTOP IN THE LEASING WORK ROOM, ENSURE THEY DO NOT EXCEED 24" DEEP & 34" HIGH (TO SINK RIM IF HIGHER) FOR A COMPLIANT SIDE REACH TO OUTLETS, SWITCHES, AND CONTROLS IN BACK WALL MOUNTED AT 46" MAX. HIGH TO CENTERLINE OF HIGHEST OPERABLE PART FROM A PARALLEL CFS. AT THE COMMON KITCHEN, FOR OUTLETS SHOWN AT REAR WALL AS SHOWN ON ELECTRICAL, ENSURE 24" MAX. DEEP COUNTERTOPS TO WALL.

MEN'S & WOMEN'S RESTROOM-PUBLIC & COMMON NOTE:
ENSURE TOILET CENTERLINE IS 18" FROM FACE OF FINISH AT SIDEWALL AT PUBLIC AND COMMON RESTROOMS. ENSURE TOILET REAR GRAB BAR FROM CENTERLINE OF TOILET IS 24" MIN. TOWARD OPEN SIDE & 12" MIN. TOWARD WALL SIDE. ENSURE GRAB BARS AT 33"-36" TO TOP. REINFORCE AS NEEDED. ENSURE 1 1/2" MIN. SPACING BETWEEN BOTTOM OF GRAB BAR AND TOP OF TANK LID. ENSURE TOILET PAPER DISPENSER IS CENTERED 7" TO 9" BEYOND TIP OF TOILET SEAT, AND DOES NOT CONTROL DELIVERY.

DOOR MANEUVERING CLEARANCE-FURNISHINGS OBSTRUCTION NOTE:
ENSURE DOOR MANEUVERING CLEARANCES ARE NOT OBSTRUCTED BY COMMON AREA FURNISHINGS. THIS OPEN MEANS 18" ON THE PULL SIDE STRIKES EXTENDING 60" PERPENDICULAR TO FACE OF DOOR, AND 12" ON THE PUSH SIDE STRIKE IF THE DOOR HAS A CLOSER, EXTENDING 48" PERPENDICULAR TO FACE OF DOOR.

CEILING FAN CONTROLS:
IF PROVIDED, ENSURE FAN LIGHT AND SPEED CONTROLS ARE LOCATED WITHIN REACH RANGE AND A MIN. 30" X 48" CLEAR FLOOR SPACE IS PROVIDED AT THESE CONTROLS. WALL SWITCHING, A REMOTE CONTROL UNIT, OR INDIVIDUAL CHAINS FOR FAN LIGHT & SPEED CONTROLS ARE ACCEPTABLE, IF PROVIDED AT THE PROPER LENGTH AND WITH PROPER CLEAR FLOOR SPACE. ENSURE CLEAR FLOOR SPACE FOR FAN LIGHT & SPEED CONTROLS, PARTICULARLY WHERE FURNITURE OR EXERCISE EQUIPMENT BLOCKS CLEAR FLOOR SPACE. AT PULL CHAIN, CEILING FAN CONTROLS ARE CLASSIFIED AS "ENVIRONMENTAL CONTROLS" PER FHADM AND MUST BE COMPLIANT. PER IBC / ANSI, CONTROLS DIRECTLY MOUNTED ON CEILING FANS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS, BUT FHADM DOES NOT HAVE THAT SPECIFIC EXCEPTION

APPLIANCE & EQUIPMENT REACH RANGE:
ALL APPLIANCES MUST BE ACCESSIBLE IN PUBLIC / COMMON SPACES. COFFEE POTS AND OR OTHER APPLIANCES SET ON COUNTERTOPS IN COMMON AREAS MUST HAVE CONTROLS WITHIN REACH RANGES, AND LOWERED COUNTERTOPS MUST SOMETIMES BE UTILIZED TO ACCOMMODATE. ALSO ENSURE COPY MACHINES AND OTHER EQUIPMENT HAVE CONTROLS WITHIN REACH RANGE.

OUTLETS & SIMILAR CONTROL FIXTURES:
AT COMMON AREAS, ENSURE OUTLETS ARE 15" MIN. TO THE CENTERLINE OF LOWEST RECEPTACLE OF OUTLET (NOT CENTERLINE OF BOX), AND 46" TO THE CENTERLINE OF HIGHEST RECEPTACLE FOR OUTLETS LOCATED ABOVE COUNTERTOPS. ENSURE SWITCHES, OUTLETS, ELECTRICAL PANEL BOARDS, FIREPLACE CONTROLS, FIRE EXTINGUISHERS, KNOX BOXES, CALL BOXES, AND ALL SIMILAR CONTROLS ARE 48" MAX. A.F.F. TO THE HIGHEST CONTROLS. ENSURE CONTROLS DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST.

PROVIDE TACTILE SIGNAGE AT ROOMS AND EXITS AT ALL PUBLIC ACCOMMODATIONS PER ADASAD 216, 703 & IBC 1011.4.1110.

FOR ICC ANSI A117.1 - 2009 REQUIREMENTS, REFER TO SHEETS A4.1 THRU A4.5 FOR ADDITIONAL INFORMATION.

biltform
architecture

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CITY OF MESA, ARIZONA

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Arlington, Texas 76001

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REVISIONS:

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REZONE SUBMITTAL

JOB NO: 21-031

DATE: AUGUST 2, 2021

SCALE: 1/8" = 1'-0"

SHEET NO:

A8.1.1-CH
CLUBHOUSE

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BUILDING TOTAL SQUARE FEET	
CONDITIONED S.F.	5,307 SF
UNCONDITIONED S.F.	970 SF
PATIO / ENTRY S.F.	1,892 SF
TOTAL S.F. UNDER ROOF	8,169 S.F.

ACCESSIBILITY NOTES:

ACCESSIBLE ROUTE—36" WIDTH NOTE:
ENSURE A 36" MIN. WIDE ROUTE THROUGHOUT THE SPACE AS MEASURED FROM WALL BASE TO WALL BASE. MAY REDUCE TO 32" WIDE FOR 24" MAX. LENGTH OF PASSAGE. ENSURE ALL ROUTES PROVIDED TO OTHERS ARE ALSO PROVIDED TO DISABLED PERSONS.

FITNESS ROOM, YOGA / EXERCISE ROOM, LOUNGE NOTE:
ENSURE 36" MIN. ROUTE IS PROVIDED THROUGHOUT THE SPACE & TO ENTRY SIDE OF ONE OF EACH TYPE OF FITNESS EQUIPMENT. A.D.A. REQUIRES MIN. 1 OF EACH TYPE OF EXERCISE EQUIPMENT PROVIDE AN ACCESSIBLE ROUTE TO THE ACCESS POINT, OR TRANSFER POINT, AND 30" X 48" MIN. CLEAR FLOOR SPACE ADJACENT TO EQUIPMENT ACCESS POINT. ALSO ENSURE ALL ACCESSORIES, EQUIPMENT, AND OPERABLE PARTS ARE ACCESSIBLE AT TOWEL RACKS, MAGAZINE RACKS, AED'S, ETC. THIS DOES NOT APPLY TO OPERABLE PARTS ON EXERCISE OR GAME EQUIPMENT.

ACCESSIBLE EQUIPMENT—LOUNGE, COMMON KITCHEN, WORK ROOM, FITNESS ETC. NOTE:
WHERE COFFEE / ESPRESSO MACHINES, PRINTERS, AND OTHER EQUIPMENT ARE INTENDED TO BE PROVIDED, ENSURE ALL APPLIANCES A MIN. OF ONE OF EACH TYPE OF OTHER EQUIPMENT ARE ACCESSIBLE AT 15" MIN. TO 48" MAX. A.F.F. WITH MIN. 30" X 48" ADJACENT CFS.

LOOSE FURNISHINGS—LOUNGE, FITNESS, OUTDOOR SEATING, ETC. NOTE:
WHERE LOOSE SEATING IS PROVIDED FOR DINING SURFACES USED FOR THE CONSUMPTION OF FOOD OR DRINK, 5/8" MIN. OF LOOSE SEATING TO BE ACCESSIBLE. ENSURE 34" MAX. HEIGHT, 30" WIDE, & 27" MIN. HIGH KNEE SPACE FOR A DEPTH OF 17" MIN. AT FURNITURE. (TYPICAL PEDESTAL TABLES AND PICNIC TABLES DO NOT COMPLY WITH ACCESSIBILITY REQUIREMENTS.) ENSURE ACCESSIBLE SEATS ARE DISTRIBUTED AMONG DIFFERENT TYPES OF SEATING ARRANGEMENTS.

COUNTERTOPS—OPERABLE PARTS OVER OBSTRUCTION—COMMON KITCHEN NOTE:
AT KITCHEN COUNTERTOPS AND COUNTERTOP IN THE LEASING WORK ROOM, ENSURE THEY DO NOT EXCEED 24" DEEP & 34" HIGH (TO SINK RIM IF HIGHER) FOR A COMPLIANT SIDE REACH TO OUTLETS, SWITCHES, AND CONTROLS IN BACK WALL MOUNTED AT 46" MAX. HIGH TO CENTERLINE OF HIGHEST OPERABLE PART FROM A PARALLEL CFS AT THE COMMON KITCHEN, FOR OUTLETS SHOWN AT REAR WALL AS SHOWN ON ELECTRICAL, ENSURE 24" MAX. DEEP COUNTERTOPS TO WALL.

MEN'S & WOMEN'S RESTROOM—PUBLIC & COMMON NOTE:
ENSURE TOILET CENTERLINE IS 18" FROM FACE OF FINISH AT SIDEWALL AT PUBLIC AND COMMON RESTROOMS. ENSURE TOILET REAR GRAB BAR FROM CENTERLINE OF TOILET IS 24" MIN. TOWARD OPEN SIDE & 12" MIN. TOWARD WALL SIDE. ENSURE GRAB BARS AT 33" TO TOP. REINFORCE AS NEEDED. ENSURE 1 1/2" MIN. SPACING BETWEEN BOTTOM OF GRAB BAR AND TOP OF TANK LID. ENSURE TOILET PAPER DISPENSER IS CENTERED 7" TO 9" BEYOND TIP OF TOILET SEAT, AND DOES NOT CONTROL DELIVERY.

DOOR MANEUVERING CLEARANCE—FURNISHINGS OBSTRUCTION NOTE:
ENSURE DOOR MANEUVERING CLEARANCES ARE NOT OBSTRUCTED BY COMMON AREA FURNISHINGS. THIS OFTEN MEANS 18" ON THE PULL SIDE STRIKE, EXTENDING 60" PERPENDICULAR TO FACE OF DOOR, AND 12" ON THE PUSH SIDE STRIKE IF THE DOOR HAS A CLOSER, EXTENDING 48" PERPENDICULAR TO FACE OF DOOR.

CEILING FAN CONTROLS:
IF PROVIDED, ENSURE FAN LIGHT AND SPEED CONTROLS ARE LOCATED WITHIN REACH RANGE AND A MIN. 30" X 48" CLEAR FLOOR SPACE IS PROVIDED AT THESE CONTROLS. WALL SWITCHING, A REMOTE CONTROL UNIT, INDIVIDUAL CHAINS FOR FAN LIGHT & SPEED CONTROLS ARE ACCEPTABLE, IF PROVIDED AT THE PROPER LENGTH AND WITH PROPER CLEAR FLOOR SPACE. ENSURE CLEAR FLOOR SPACE FOR FAN LIGHT & SPEED CONTROLS, PARTICULARLY WHERE FURNITURE OR EXERCISE EQUIPMENT BLOCKS CLEAR FLOOR SPACE AT PULL CHAIN. CEILING FAN CONTROLS ARE CLASSIFIED AS "ENVIRONMENTAL CONTROLS" PER FHADM AND MUST BE COMPLIANT, PER IBC / ANSI. CONTROLS DIRECTLY MOUNTED ON CEILING FANS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS, BUT FHADM DOES NOT HAVE THAT SPECIFIC EXCEPTION

APPLIANCE & EQUIPMENT REACH RANGE:
ALL APPLIANCES MUST BE ACCESSIBLE IN PUBLIC / COMMON SPACES. COFFEE POTS AND / OR OTHER APPLIANCES SET ON COUNTERTOPS IN COMMON AREAS MUST HAVE CONTROLS WITHIN REACH RANGES, AND LOWERED COUNTERTOPS MUST SOMETIMES BE UTILIZED TO ACCOMMODATE. ALSO ENSURE COPY MACHINES AND OTHER EQUIPMENT HAVE CONTROLS WITHIN REACH RANGE.

OUTLETS & SIMILAR CONTROL FIXTURES:
AT COMMON AREAS, ENSURE OUTLETS ARE 15" MIN. TO THE CENTERLINE OF LOWEST RECEPTACLE OF OUTLET (NOT CENTERLINE OF BOX), AND 46" TO THE CENTERLINE OF HIGHEST RECEPTACLE FOR OUTLETS LOCATED ABOVE COUNTERTOPS. ENSURE SWITCHES, OUTLETS, ELECTRICAL PANEL BOARDS, FIREPLACE CONTROLS, FIRE EXTINGUISHERS, KNOX BOXES, CALL BOXES, AND ALL SIMILAR CONTROLS ARE 48" MAX. A.F.F. TO THE HIGHEST CONTROLS. ENSURE CONTROLS DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST.

PROVIDE TACTILE SIGNAGE AT ROOMS AND EXITS AT ALL PUBLIC ACCOMMODATIONS PER ADA504 216, 703 & IBC 1011.4.1110.

FOR ICC ANSI A117.1 - 2009 REQUIREMENTS, REFER TO SHEETS A4.1 THRU A4.5 FOR ADDITIONAL INFORMATION.

CLUBHOUSE KEY NOTES: (#)

- SLOPE SLAB 2% MAXIMUM AWAY FROM DOOR.
- ALUMINUM THRESHOLD, 1/2" MAXIMUM HEIGHT, REFER TO DETAIL 8/A8.7-CH.
- 60"Ø WHEELCHAIR TURNING SPACE.
- BASE CABINET & COUNTERTOP @ +34" A.F.F, REFER TO INTERIOR DRAWINGS.
- WALL CABINET, PROVIDE BLOCKING AS REQUIRED, REFER TO INTERIOR DRAWINGS.
- UNDER COUNTER REFRIGERATOR BY OWNER.
- DISHWASHER.
- STAINLESS STEEL SINK W/ DISPOSAL.
- UNDER COUNTER ICE-MAKER.
- UNDER COUNTER BUILT-IN MICROWAVE OVEN.
- REFRIGERATOR BY OWNER.
- GRANITE COUNTERTOPS (2cm) W/ FULL HEIGHT CERAMIC TILE BACKSPLASH, +34" MAXIMUM COUNTERTOP HEIGHT, REFER TO INTERIOR DRAWINGS.
- GRANITE ISLAND TOPS W/ BASE CABINETS BELOW (SAME HEIGHT AS COUNTERTOPS), +34" MAXIMUM COUNTERTOP HEIGHT, REFER TO INTERIOR DRAWINGS.
- KNEE SPACE BELOW, PROVIDE MINIMUM 30"W. x 27"H. x 19"D. CLEAR SPACE.
- PROVIDE ACCESSIBLE SEATING AREA MINIMUM 30"W. NOT EXCEEDING 34" A.F.F. WITH 30"W. x 27"H. x 19"D. KNEE SPACE FOR FORWARD APPROACH, COORDINATE FINAL LOCATION WITH INTERIOR DRAWINGS.
- 2 x 4 FRAME LOW WALL.
- 2 x 6 FRAMED PLUMBING WALL.
- SPLASH BLOCK, REFER TO DETAIL 8/AD1.
- LINE OF SOFFIT OR CEILING HEIGHT CHANGE ABOVE.
- DRINKING FOUNTAIN WITH WATER BOTTLE REFILL STATION, REFER TO FINISH SCHEDULE FOR SPEC.
- FLOOR DRAIN, MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS, REFER TO PLUMBING DRAWINGS.
- MAILBOX, (41) VERSATILE 4C SERIES-4CADD-10 or APPROVED EQUAL, TOTAL OF 410 MAILBOXES. FINAL INSTALLATION SHALL COMPLY WITH ALL FEDERAL AND STATE ACCESSIBILITY CODES. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS.
- ROOF ACCESS HATCH, REFER TO DETAIL 49/AD5.
- WATER HEATER, REFER TO PLUMBING DRAWINGS.
- CONCRETE SLAB ON GRADE, SLOPE TO DRAIN.
- JANITOR SINK, REFER TO PLUMBING DRAWINGS.
- FIRE EXTINGUISHER IN SEMI-RECESSED CABINET. CABINET SHALL NOT BE LOCKED. INSTALL AT A MAXIMUM HEIGHT OF +42" A.F.F.
- OPEN SHELVING, REFER TO INTERIOR DESIGN DRAWINGS.
- COUNTERTOP W/ 2 x 6 WALL SUPPORTS, REFER TO INTERIOR DESIGN DRAWINGS.
- WALL MOUNTED TV NOT TO EXCEED 4" FROM THE WALL. PROVIDE BLOCKING AS REQUIRED. COORDINATE FINAL LOCATION WITH INTERIOR DESIGN DRAWINGS.
- INDOOR PACKAGE LOCKERS, FINAL INSTALLATION SHALL COMPLY WITH ALL FEDERAL AND STATE ACCESSIBILITY CODES. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS
- FRAMED OPENING, REFER TO EXTERIOR ELEVATIONS.
- 16'-0" OVERHEAD DOOR.
- CANOPY ABOVE, REFER TO SECTION 4/A8.4.2-CH AND STRUCTURAL.
- EDGE OF SLAB.
- 6' HIGH METAL SECURITY FENCE AND GATE.
- PAINTED METAL AWNING, REFER TO DETAILS 37 THROUGH 40/AD4.
- FRAMED POP-OUT, REFER TO WINDOW SCHEDULE.
- FAUX STONE VENEER OVER FRAMED COLUMN TYP. REFER TO STRUCTURAL.
- FAUX STONE VENEER OVER FRAMED WALL.

INSULATION SCHEDULE:

EXTERIOR WALLS	R-19 at 2x6 WALLS R-13 at 2x4 WALLS
ROOF	R-38 BATTS OR BLOWN TO FILL CAVITY
BREEZEWAY	R-38 BATTS OR BLOWN TO FILL CAVITY

SYMBOL SCHEDULE:

①	INDICATES DOOR NUMBER, REFER TO SHEET A8.7-CH
A	INDICATES WINDOW TYPE, REFER TO SHEETS A8.8-CH

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PRELIMINARY
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ASCEND at LONGBOW HIGHPOINT
MIXED USE PROJECT
CITY OF MESA, ARIZONA

Phone: (617) 390-8264

D.R.HORTON
America's Builder

1341 Horton Circle
Arlington, Texas 76001

REVISIONS:

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REZONE SUBMITTAL

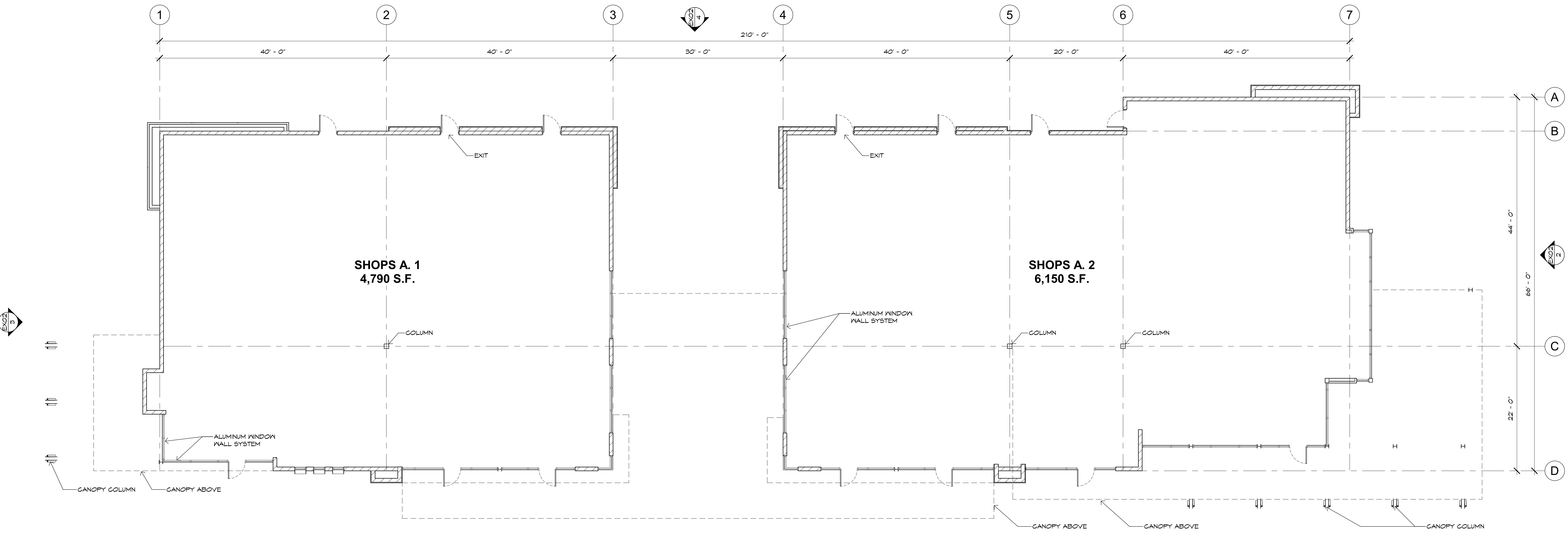
JOB NO:	21-031
DATE:	AUGUST 2, 2021
SCALE:	1/8" = 1'-0"
SHEET NO:	

CLUBHOUSE
FLOOR PLAN (NOTED)

A8.1.2-CH
CLUBHOUSE



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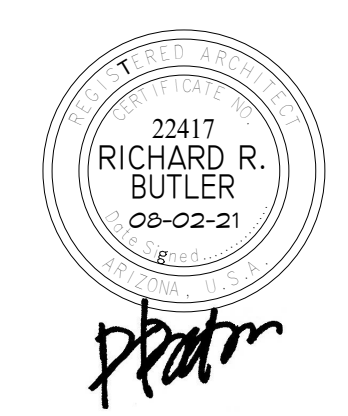
1 LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

LONGBOW MARKETPLACE II

SWC Longbow Parkway & Recker Road
Mesa, Arizona



FP-1



08/02/2021
21051