

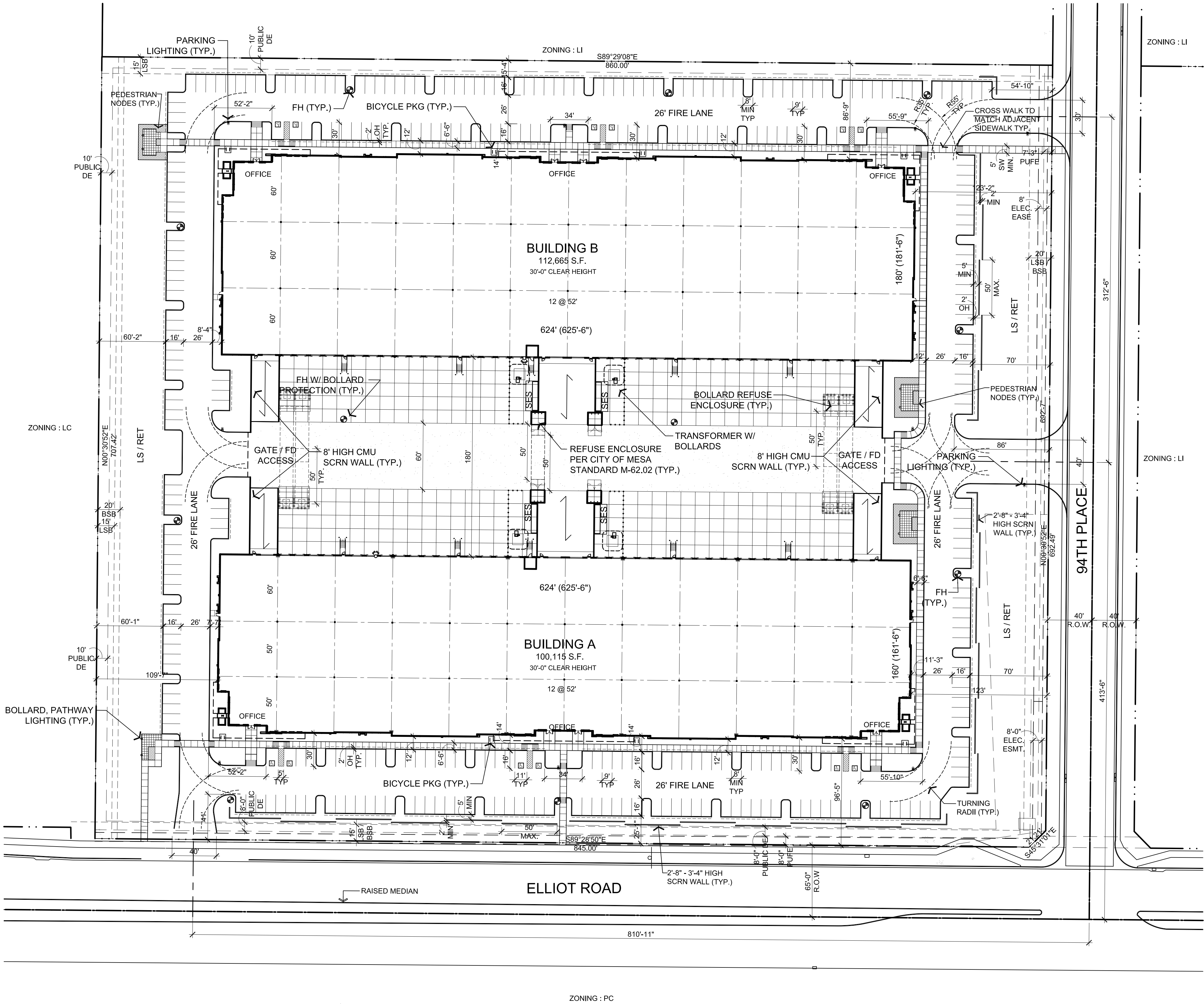
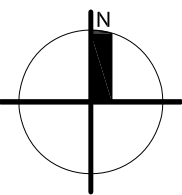
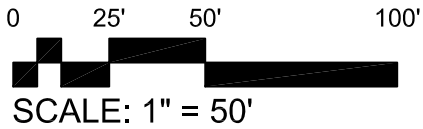
MESA FIRE CODE NOTES

- 1. PER MESA AMENDED FIRE CODE SECTION 510.1 NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING, BUILDINGS OR STRUCTURES MORE THAN 3 STORIES ABOVE GROUND LEVEL OR BUILDINGS OR STRUCTURES TOTALING 45,000 SQUARE FEET (13 716 M2) OR MORE ON ANY SINGLE FLOOR
- 2. FIRE SPRINKLERS SYSTEM WILL BE REQUIRED IN BUILDINGS AND STRUCTURES PER MESA FIRE CODE 903.2. UNLESS EXEMPTED BY THE 6 LISTED EXEMPTIONS OF 903.2.1.
- 3. MESA AMENDED FIRE CODE SECTION 903.3.3.1.1.3.2 BUILDINGS WITH ROOF STRUCTURE OVER 20 FEET. THE MINIMUM DESIGN REQUIREMENTS FOR BUILDINGS WITH THE ROOF STRUCTURE OVER 20 FEET ABOVE THE FINISHED FLOOR SHALL BE FOR RACK STORAGE OF GROUP IV COMMODITIES AS DEFINED IN CHAPTER 32 AND SECTION 903.3.1.1. AND, PER MESA AMENDED FIRE CODE SECTION 903.3.7.1. THE SIZE OF THE FIRE DEPARTMENT CONNECTION AND PIPING IS DEPENDENT ON THE AUTOMATIC SPRINKLER DESIGN FLOW. THE MAXIMUM DESIGN FLOW FOR A 2-1/2 INCH SIAMESE CONNECTION IS 500 GPM. FOR DESIGN FLOWS GREATER THAN 500 GPM INSTALL A SINGLE 2-1/2 INCH SIAMESE CONNECTION AND 5-INCH STORZ CONNECTION.

BUILDING CODES

Building Codes:
2018 International Building Code (IBC)
2018 International Existing Building Code (IEBC)
2018 International Residential Code (IRC)
2018 International Energy Conservation Code (IECC)
2018 International Fire Code (IFC)
2018 International Fuel Gas Code (IFGC)
2018 International Mechanical Code (IMC)
2018 International Plumbing Code (IPC)
2018 International Swimming Pool and Spa Code (ISPSA)
2017 National Electrical Code (NEC)

SITE PLAN



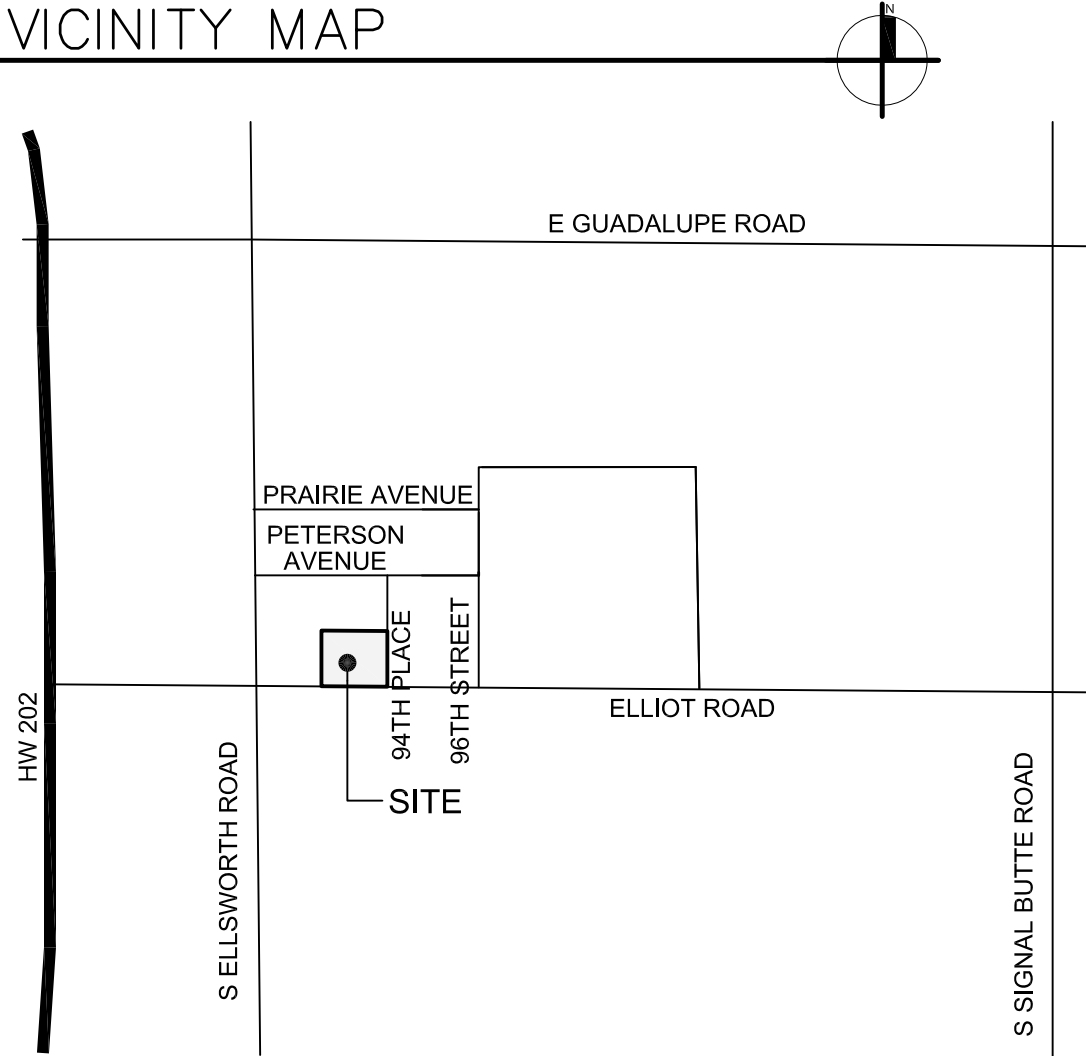
PROJECT DATA

Zoning:	LI
APN#:	304-04-925
Gross Site Area:	695,160 S.F. (15.96 AC.)
Net Site Area:	608,298 S.F. (13.96 AC.)
Building Area:	212,780 S.F.
Coverage:	212,780 S.F. / 608,298 S.F. = 34.9%
Impervious Area:	463,628 S.F. / 608,298 S.F. = 76%
Proposed Building Height:	40 feet Max.
Occupancy Types:	Group B - Office (Non-Separate Use), Group S-1 - Storage
Construction Type:	V-B
Parking Required	
25% @ 1/375 S.F. (53,195 S.F.):	142 Spaces
75% @ 1/900 S.F. (159,585 S.F.):	178 Spaces
Total Parking Required:	322 Spaces
Parking Provided:	339 Spaces
ADA Parking Required:	8 Spaces
ADA Parking Provided:	12 Spaces
Bicycle Parking Required (1/10 spaces):	35 Spaces
Bicycle Parking Provided:	36 Spaces

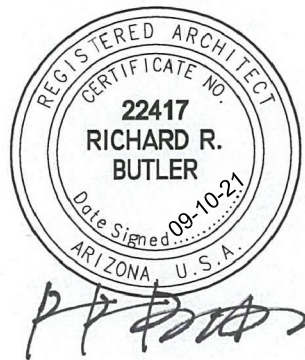
PROJECT TEAM

Developer Kitchell Development 1707 E. Highland Ave, ste 100 Phoenix, Arizona 85016 Contact: Kevin Miller Ph: (602) 631-6177 Em: kmiller@kitchell.com	Architect Butler Design Group 5017 E. Washington St. Ste 107 Phoenix, Arizona 85034 Contact: Glenn Hurd Ph: (602) 957-1800 ghurd@butlerdesigngroup.com
Civil Engineer Hunter Engineering 10450 N. 74th Street, Ste 200 Scottsdale, Arizona 85258 Contact: Jeff Hunter Ph: (480) 991-3985 jhunter@hunterengineeringpc.com	Landscape Architect Laskin & Associates, Inc 67 E. Weldon Avenue, Ste 230 Phoenix, Arizona 85012 Contact: Hardy Laskin Ph: (602) 840-7771 hardy@laskindesign.com

VICINITY MAP



REVISION 09-10-21
07-19-21
21024-ST10



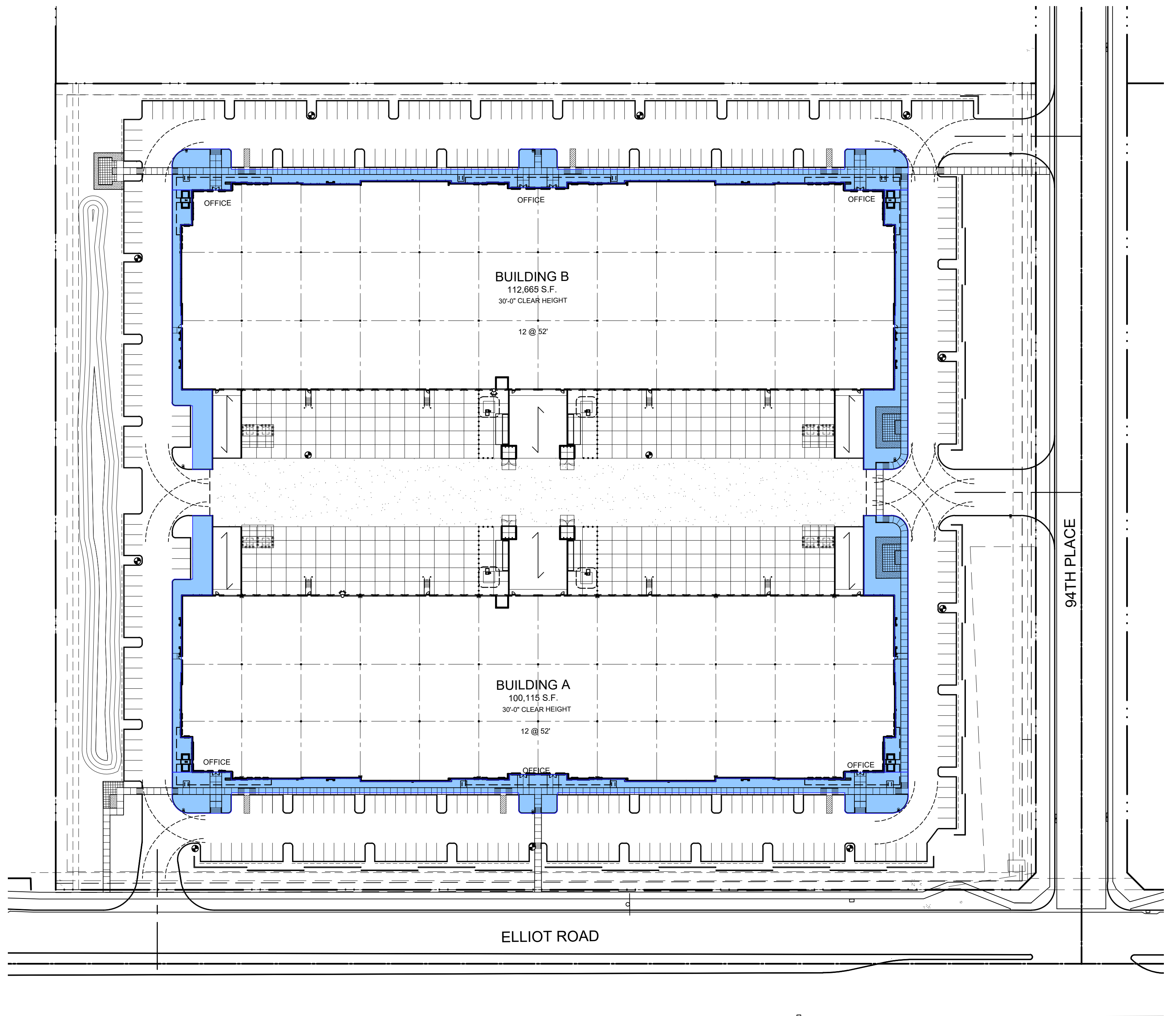
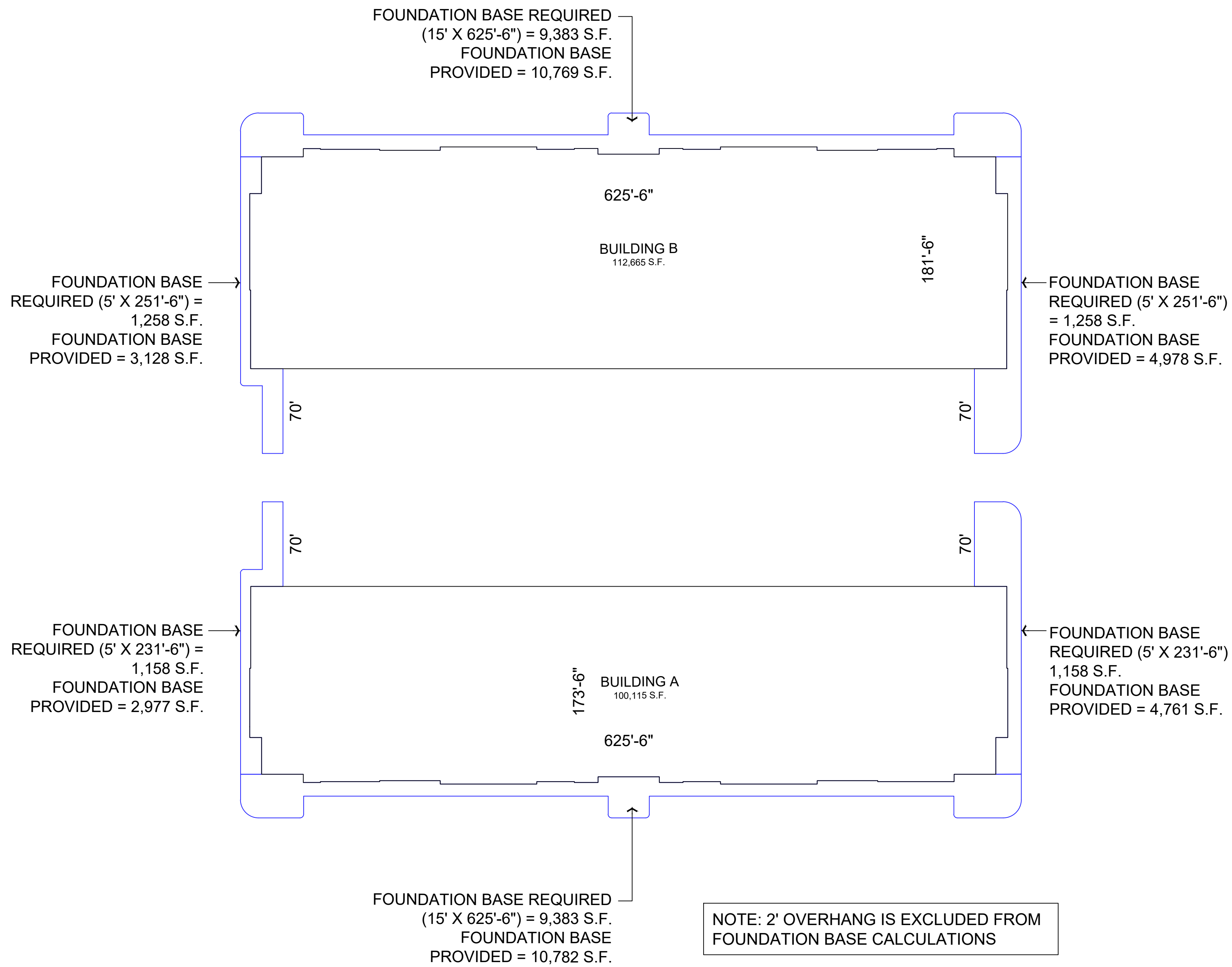
EX01
SITE PLAN



Butler Design Group, Inc
architects & planners



ELLIOT 94 / METP
Proposed Industrial Development
Mesa, Arizona





1 LOOKING NORTH
SCALE: NTS



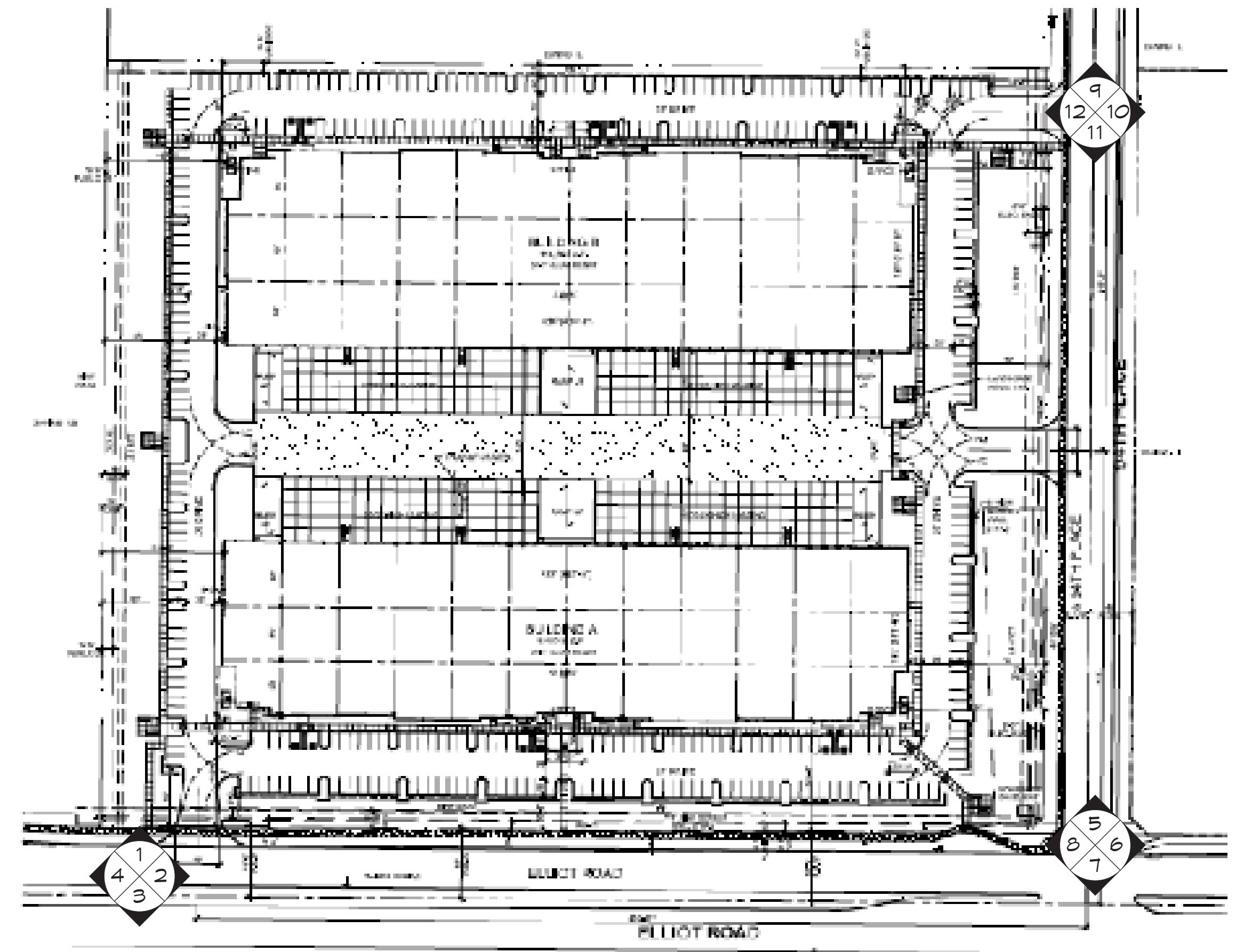
2 LOOKING SOUTH
SCALE: NTS



3 LOOKING EAST
SCALE: NTS



4 LOOKING WEST
SCALE: NTS





5 LOOKING NORTH
SCALE: NTS



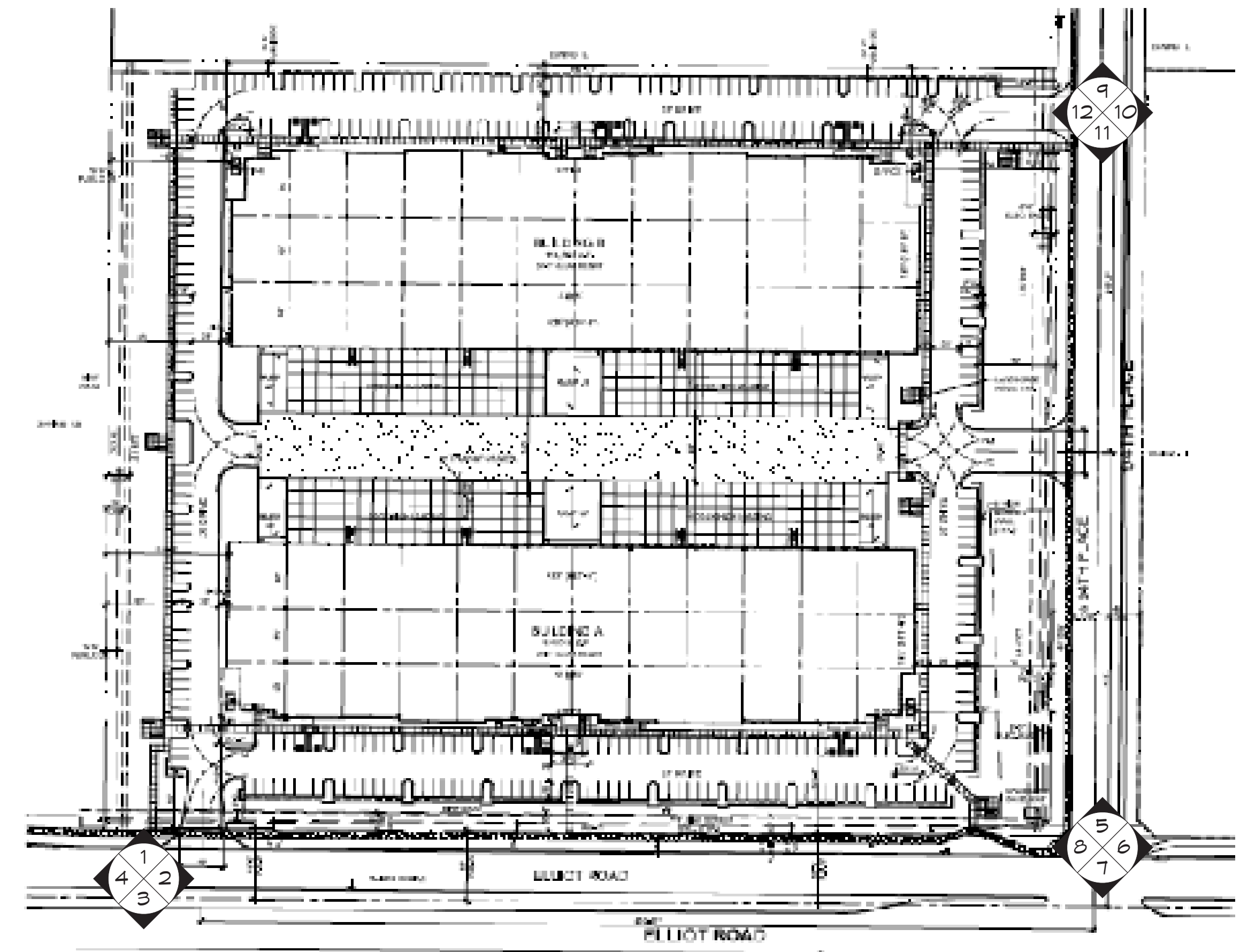
6 LOOKING SOUTH
SCALE: NTS



7 LOOKING EAST
SCALE: NTS



8 LOOKING WEST
SCALE: NTS





9 LOOKING NORTH
SCALE: NTS



10 LOOKING SOUTH
SCALE: NTS



11 LOOKING EAST
SCALE: NTS



12 LOOKING WEST
SCALE: NTS

