

**Citizen Participation Plan for Circle K Store
Northwest Corner of Broadway Road and Extension Road
Mesa, Arizona**

Date: February 16, 2021

Case No: PRS290-00718

Purpose:

This purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools and businesses in the vicinity of the site of an application for a Circle K Convenience store with fuel sales. This site is located at 824 W Broadway Road on the northwest intersection of Broadway Road and Extension Road. This application to the City of Mesa Planning Division is for a Development Incentive Permit, Design Review Board, Site Plan Review and Special Use Permit to accommodate a convenience store. This plan will ensure that those affected by this application will have adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application.

Contact:

Ryan Mojahed
Circle K Stores, Inc.
1130 West Warner Road
Tempe, Arizona 85284
602-728-6007 (Office)
Email: rmojahed@circlek.com

Jodi Hamill
Land Development Consultants, LLC
11811 North Tatum Blvd., Suite 1051
Phoenix, Arizona 85028
602-549-9125 (Direct Line)
Email: jodi@ldcaz.com

Pre-submittal Meeting:

The pre-submittal meeting with City of Mesa planning staff was held on November 5, 2020. Staff reviewed the application and recommended that all property owners within a 500 foot radius of the site be notified of the public hearing to consider the request.

Action Plan:

In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have

1. A contact list has been developed for all property owners within a 500 foot radius of the site.
2. All property owners on the contact list will receive a letter describing the project, project schedule, site plan and invitation to a virtual meeting to be held online.
 - a. The meeting will present the proposed site plan and landscape plan to those who are able to view the presentation online, providing attendees an opportunity to ask questions and state concerns.
 - b. An attendee list will be generated and attendees will be advised to submit additional questions or concerns to one of the contacts listed.
3. Neighborhood Associations and Mesa Public Schools within one mile of the site will be called by telephone to inform them personally of the project and receive comments.
4. Presentations will be made to groups of citizens or neighborhood associations upon request.

Schedule:

Pre-submittal meeting: November 5, 2020 (Completed)

Application Submittal: February 16, 2021

Design Review Board: November 12, 2019

Neighborhood Meeting: TBD

Hearing Date: May 5, 2021

Attachments:

Notification Letter *Draft*

Site Plan & Elevations

Map of Mailing Radius

Mailing List



RE: Case No: **DR21-XXXX**
824 W Broadway Road

Dear Neighbor,

An application has been filed with the City of Mesa for a Design Review, Site Plan Review and Special Use Permit to accommodate a Convenience Store for the property located at the northwest corner of Broadway Road and Extension Road. This request is for the development of a Circle K convenience store with 7-fuel dispensing pumps.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development.

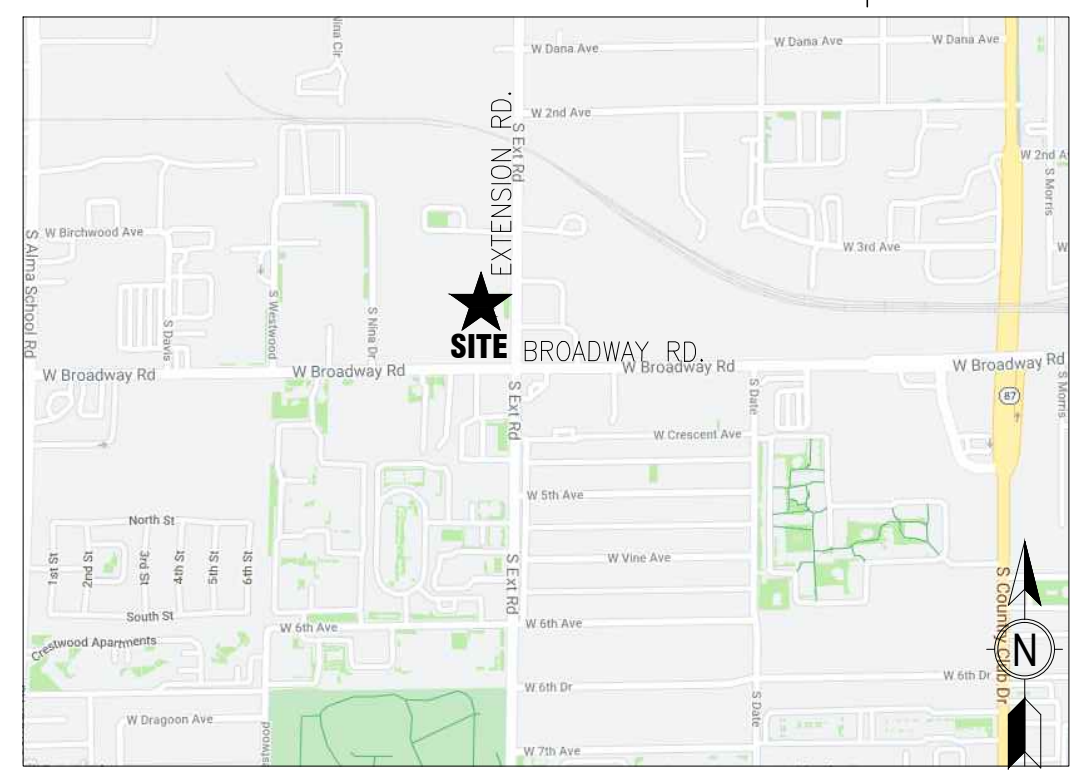
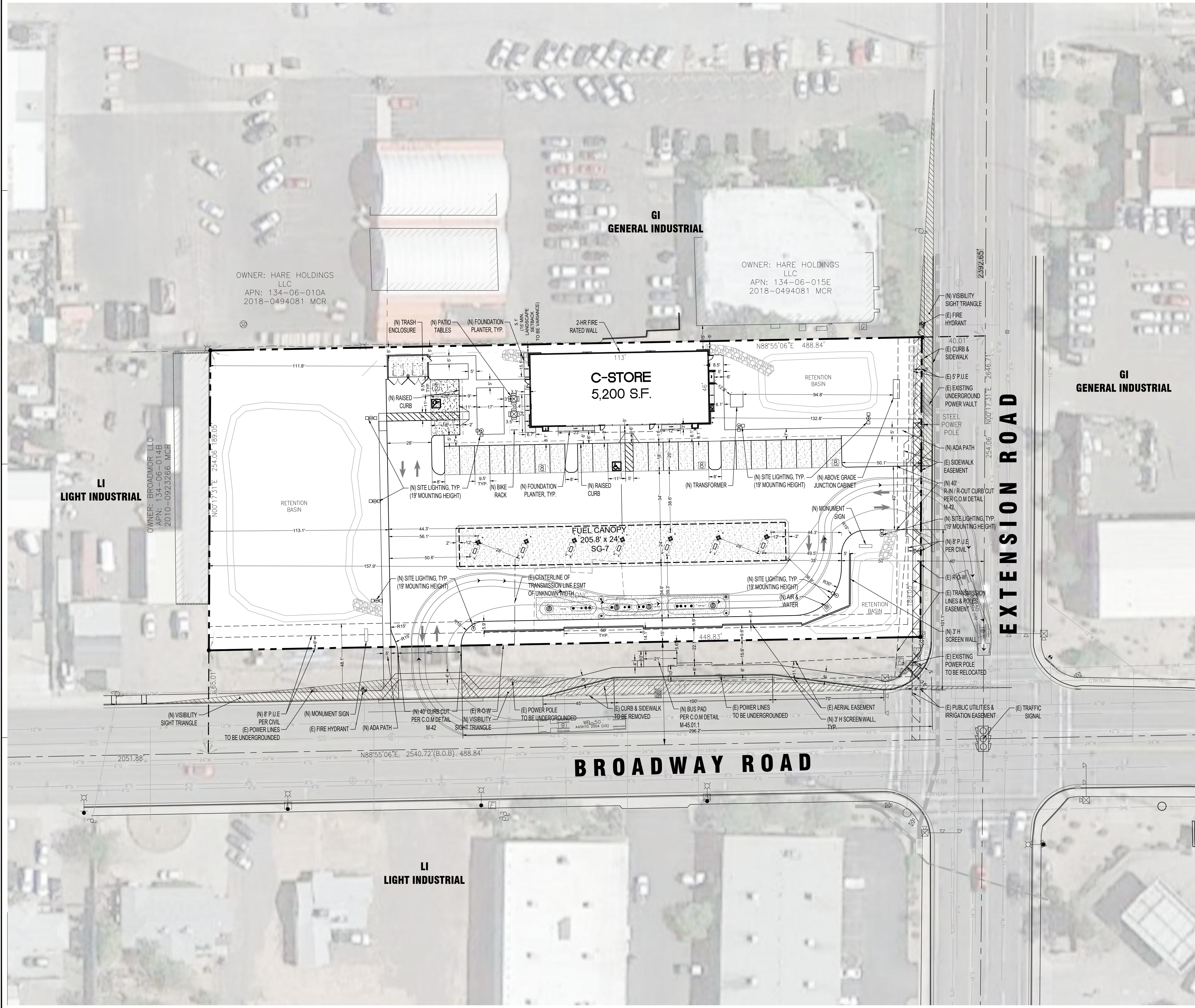
This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on May 12, 2021, in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

Should you have any questions regarding this proposal, you may contact me at 602-549-9125. If you should have any questions regarding the public hearing, please contact the City of Mesa Planning Division at 480-644-3654. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Jill Kaiser
11811 N Tatum Blvd. Suite 1051
Phoenix, AZ 85028
602-616-2494

NWC W. BROADWAY RD & S. EXTENSION RD, MESA, AZ



CIRCLE K STORES INC.
1120 WEST WARNER ROAD
TEMPE, ARIZONA 85284

LAND DEVELOPMENT CONSULTANTS, LLC
11811 N. TATUM BLVD. #1051
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101
FAX: (602) 997-9807
CONTACT: MIKE SCARBROUGH

GREENBERG FARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
PHONE: (949) 296-0450
FAX: (949) 296-0479
CONTACT: DOUG COUPER

PROJECT NAME:	CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS:	NWC BROADWAY RD & EXTENSION RD, MESA, AZ
PROJECT DESCRIPTION:	PROPOSAL FOR A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL SALES CONSISTING OF A 5,200 S.F. CONVENIENCE STORE, AND A FUEL CANOPY WITH 7 FUEL PUMPS

JURISDICTION:	CITY OF MESA, AZ
EXISTING ZONING:	LI (LIGHT INDUSTRIAL)
PROPOSED ZONING:	LI (LIGHT INDUSTRIAL)
MAX. BLDG HEIGHT ALLOWED: 40'	BLDG HEIGHT PROVIDED: 23'-8"
SETBACKS:	
FRONT/BROADWAY ROAD: 15'	
STREET/EXTENSION ROAD: 20'	
STREET: 0'	
REAR: 0'	

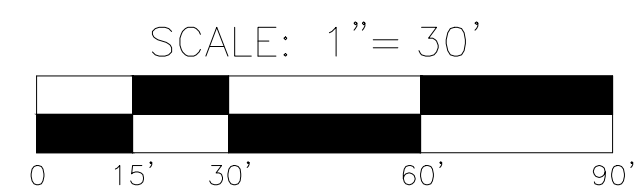
PARCEL:	134-06-015D
CIRCLE K SITE AREA:	± 1.947 AC (± 84,828 SF)

CONVENIENCE STORE BLDG AREA (MERCANTILE OCCUPANCY)	5,200 SF
TYPE V CONSTRUCTION	
FUEL CANOPY AREA	4,939 SF
TYPE II CONSTRUCTION	
CIRCLE K SITE COVERAGE	±6.13% (2,671 SF/AC)
(BASED ON 5,200 SF BLDG AND ±1.947 AC OF NET SITE AREA)	

CIRCLE K PARKING REQUIRED	
CONVENIENCE STORE: @1 SP/375 SF	14 SP*
CIRCLE K PARKING PROVIDED	
STANDARD PARKING SPACES	25 SP
ACCESSIBLE PARKING SPACES	2 SP
TOTAL CIRCLE K PARKING PROVIDED	27 SP
BICYCLE PARKING PROVIDED	2 SP

*PROVIDED PARKING CANNOT EXCEED 125% OF THE MINIMUM REQUIRED SPACES PER CITY OF MESA ZONING ORDINANCE, SECTION 11-32-3.C.)

1. THIS IS A CONCEPTUAL SITE PLAN AND IS FOR PLANNING PURPOSES ONLY.
2. THIS SITE PLAN IS BASED ON ALTA/NSPS LAND TITLE SURVEY
PREPARED BY HELIX ENGINEERING, LLC. DATED 08/20/2020, AND AN
AERIAL.



30 Executive Park, Suite 100
Irvine, CA 92614

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express written permission from the Professional

DATE	DESCRIPTION
2/11/20	PREP SP-1
2/21/20	PREP SP-2
2/23/20	PREP SP-3
1/26/20	PREP SP-4
2/12/21	PREP SP-5

PROJECT MANAGER	
QC	
QUALITY CONTROL	

DRAWN BY

PROJECT NAME

CIRCLE K
STORE #

**MESA,
ARIZONA
NWC BROADWAY RD
& EXTENSION RD**



LAND DEVELOPMENT
CONSULTANTS, LLC
11811 N. TATUM BLVD. #1051
PHOENIX, AZ 85028



CIRCLE K STORES INC.

PROJECT NUMBER
20201060.0

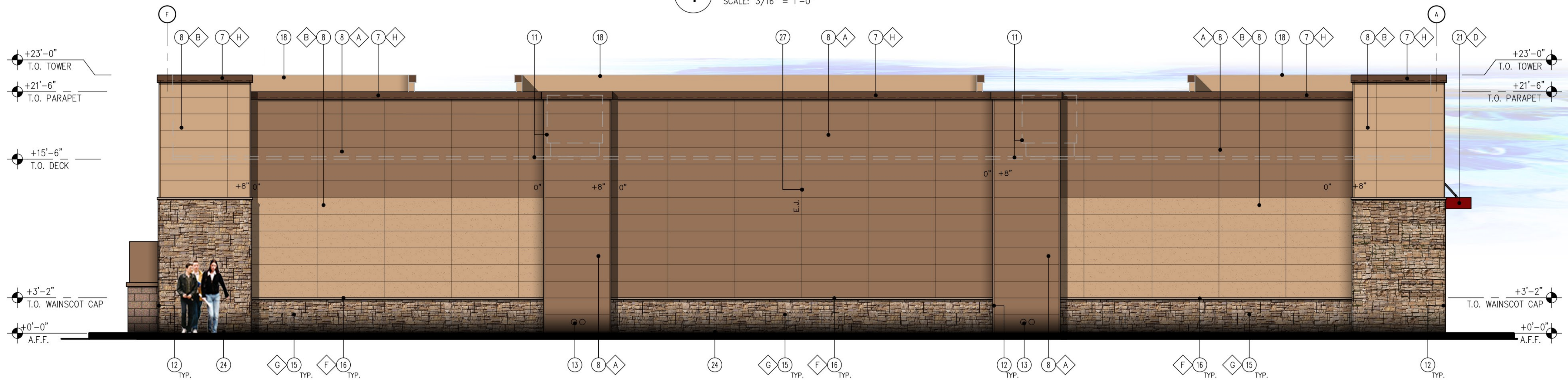
SHEET TITLE

SHEET NUMBER

SP-5



1 FRONT ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



2 BACK ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



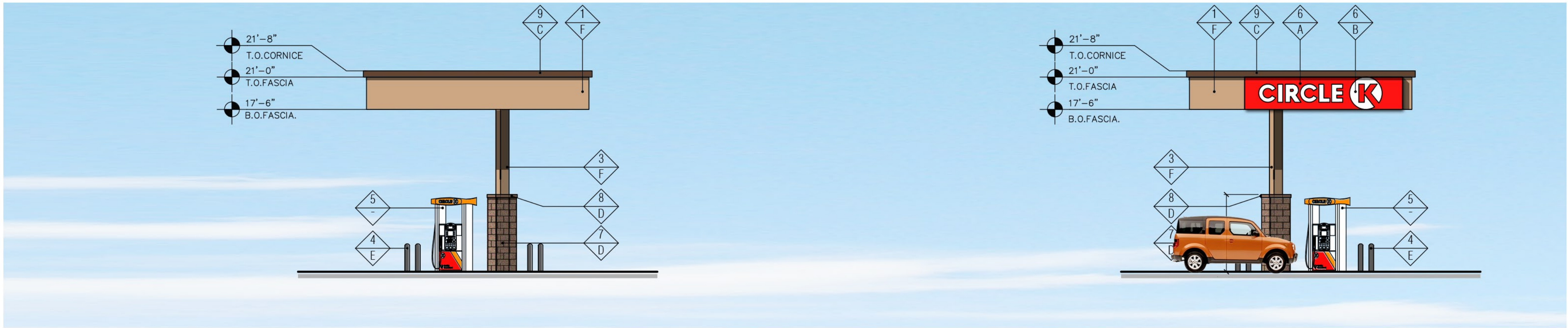
4 SIDE ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

KEY NOTES

- STEEL COLUMN WRAP WITH BREAK METAL
- LINE OF CANOPY / SOFFIT
- DARK BRONZE ANODIZED WINDOW FRAME W/ GRAY TINTED GLASS PER SOLARBAN SOLARGRAY SPECS
- INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ GRAY TINTED GLASS STOREFRONT SYSTEM
- SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED METAL COPING
- NICHHA FIBER CEMENT WALL PANEL SYSTEM
- WALL MOUNTED LIGHT FIXTURE, COLOR: BLACK
- SES PANEL LOCATION
- ROOF LINE AND HVAC UNITS
- 1-1/2" STAINLESS STEEL CORNER KEY EDGE, TYP. TO ALL CORNERS
- ROOF DRAIN TAIL OVERFLOW
- ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
- 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT
- 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
- NICHHA ESSENTIAL "OVERHANG" FLASHING
- PARAPET WALL BEYOND
- (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
- FIRE DEPARTMENT CONNECTION (IF REQUIRED)
- ALUMINUM AWNING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR. PROVIDE BLOCKING IN EXTERIOR WALL FOR AWNING AND SUPPORTS
- EMERGENCY FUEL SHUT-OFF SWITCH
- INSULATED METAL DOOR
- NICHHA ESSENTIAL "STARTER" FLASHING
- CO2 TANK WITH METAL LOUVERED CONTAINER
- EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE
- CONTROL/EXPANSION JOINT "E.J." LOCATION
- HARDIESOFFIT FIBER CEMENT PANELS

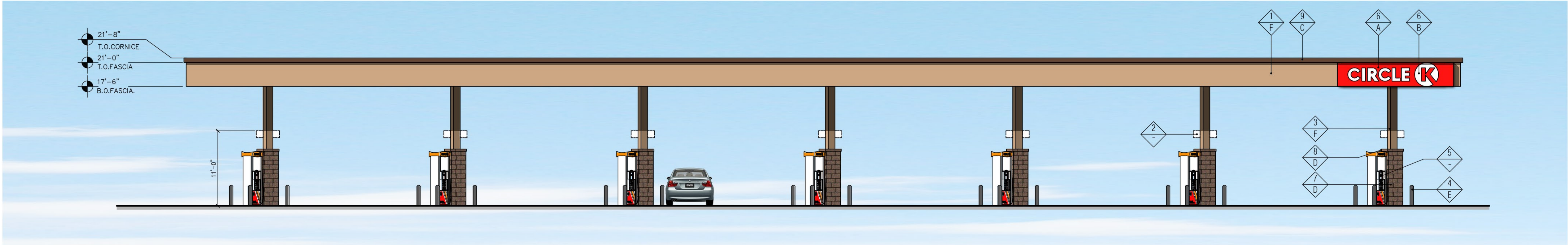
FINISH SCHEDULE

- A** - ***NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6095 TOASTY
 - B** - ***NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6115 TOTALLY TAN
 - C** - 1" INSULATED, DOUBLE PANELED GRAY TINTED GLASS
 - D** - *SHERWIN WILLIAMS #SW 4081 - **SAFETY RED
 - E** - *SHERWIN WILLIAMS #SW 7005 - CIRCLE K WHITE
 - F** - ***NICHHA CHISELED SILL TAN
 - G** - ***NICHHA LEDGESTONE BLUFF
 - H** - *SHERWIN WILLIAMS #SW 6090 - JAVA - FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
 - I** - CIRCLE K ORANGE #PMS 144
 - J** - ***NICHHA TUFF BLOCK - COLOR TO MATCH #SW 4081
- * USE SHERWIN WILLIAMS MANUFACTURER ONLY
** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
*** PURCHASED BY CIRCLE K/INSTALLED BY G.C. G.C. TO COORDINATE WITH CIRCLE K PM AND OWNER'S REP circlek@nichha.com

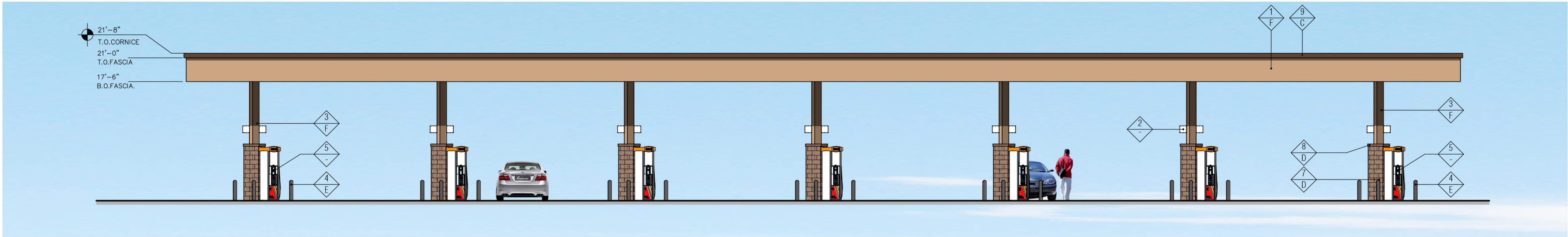


3 "SIDE" ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

4 "SIDE" ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



2 "FRONT" ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



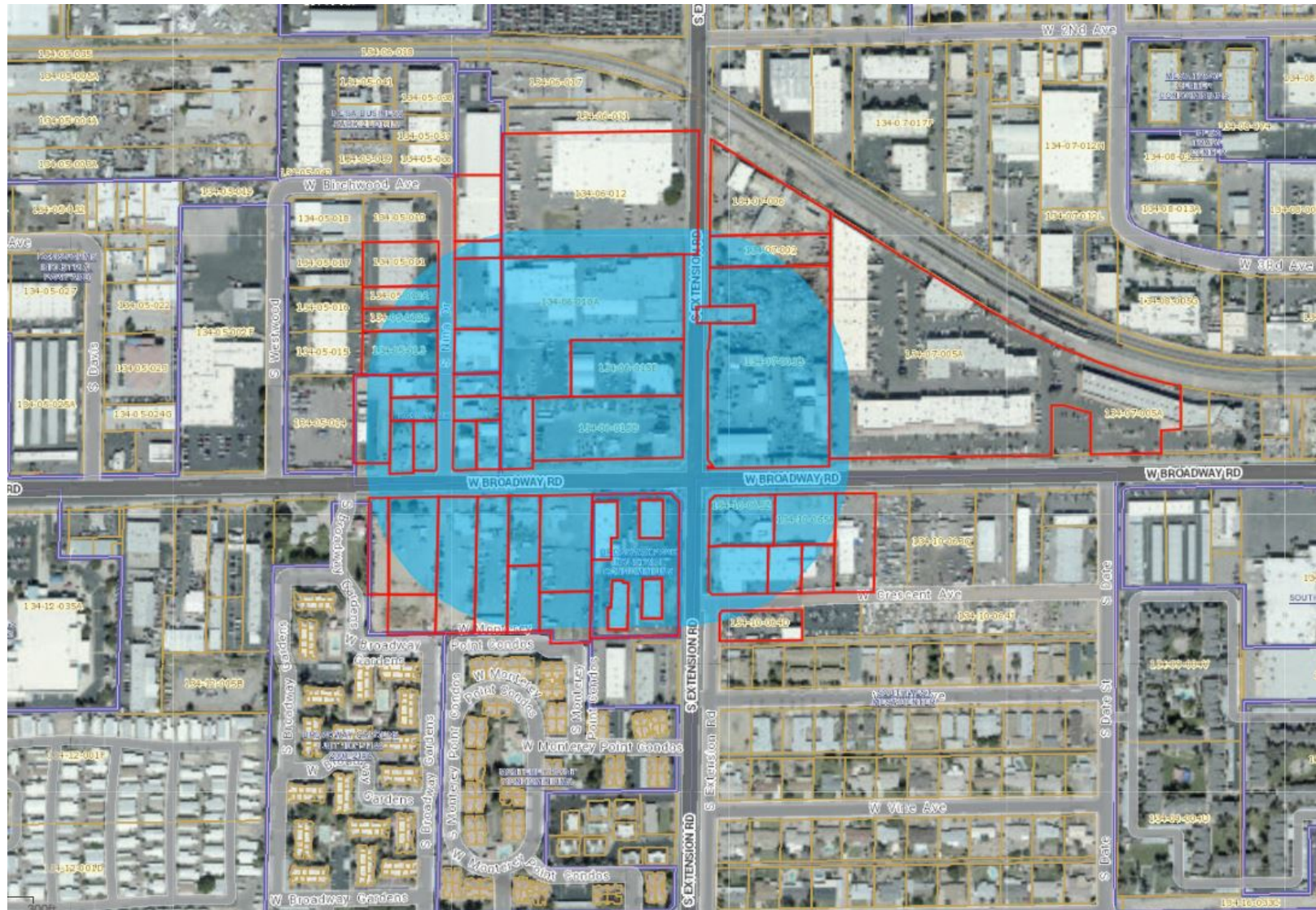
1 "REAR" ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

FINISH MATERIAL	
1	ACM PANEL "TEX-COTE"
2	COLUMN FLAGS BY SIGNAGE VENDOR
3	STEEL COLUMN WITH PAINT FINISH
4	6" Ø BOLLARD, 36" HIGH
5	FUEL PUMP
6	INTERNALLY ILLUMINATED SIGN UNDER SEPARATE PERMIT
7	4X8X16 CMU VENEER, SPLIT FACE, GROUTED TO MATCH CMU COLOR
8	4X8X16 SOLID CMU CAP, INSTALL PER MFR. SPECS.
9	PRE-FINISHED METAL COPING
FINISH COLOR	
A	CIRCLE K RED #PMS 485
B	CIRCLE K WHITE
C	FIRESTONE MANSARD BROWN SR (FOR PRE-FINISHED METAL COPING) OR MATCH SHERWIN WILLIAMS - #SW 6090-JAVA
D	SUPERLITE BLOCK SPLITFACE CMU - "BOOT BROWN"
E	PVC BOLLARD SLEEVE "DARK GRAY"
F	SHERWIN WILLIAMS - SW6115 - TOTALLY TAN

Notes:
1. Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.
2. The fascia panels are pre-finished by signage vendor
3. All signs require a separate submittal.
4. All lighting on canopy to be flush mounted with fascia

Circle K at Broadway & Extension



**Public Notification Mailing List for:
Circle K at Broadway Extension, 824 W. Broadway Road**

Parcel Number	Owner	Property Address	Mailing Address
134-05-006	WHITE BROTHERS INVESTMENTS LLC	333 S NINA DR MESA 85210	333 S NINA DR MESA AZ 85210
134-05-007A	UNITED FOOD BANK/YELWOC LLC	245 S NINA DR FH1 MESA 85210	245 S NINA DR MESA AZ 85210
134-05-008A	UNITED FOOD BANK/YELWOC LLC	245 S NINA DR MESA 85210	245 S NINA DR MESA AZ 85210
134-05-009	UNITED FOOD BANK/YELWOC LLC	245 S NINA DR 104 MESA 85210	245 S NINA DR MESA AZ 85210
134-05-011	WESTWOOD-NINA PARTNERS	310 S NINA DR MESA 85210	2122 E HIGHLAND AVE STE 400 PHOENIX AZ 85016
134-05-012A	WESTWOOD-NINA PARTNERS	310 S NINA DR MESA 85210	2122 E HIGHLAND AVE STE 400 PHOENIX AZ 85016
134-05-012B	WESTWOOD-NINA PARTNERS	320 S NINA DR 13 MESA 85210	2122 E HIGHLAND AVE STE 400 PHOENIX AZ 85016
134-05-013	WESTWOOD-NINA PARTNERS	320 S NINA DR MESA 85210	2122 E HIGHLAND AVE STE 400 PHOENIX AZ 85016
134-06-001	CELAYA LENA	928 W BROADWAY RD MESA 85210	PO BOX 42125 MESA AZ 85274-2125
134-06-002A	PADILLA MOSES/PADILLA J GUADALUPE/TERESA	922 W BROADWAY RD MESA 85210	3840 E JUDE LN GILBERT AZ 85298
134-06-003	MEYERS DEBRA L	338 S NINA DR MESA 85210	338 S NINA DR MESA AZ 85210-8430
134-06-004	RESTATED ANTHONY G SHUMWAY REV LIV TRUST	330 S NINA DR MESA 85210	734 W 6TH AVE MESA AZ 85210
134-06-005A	BURCIAGA ALBELARDO/CASANOVA ERIKA SUSANA	910 W BROADWAY RD MESA 85210	910 W BROADWAY RD MESA AZ 85210
134-06-006	PETERSEN BRANDON	904 W BROADWAY RD MESA 85210	2138 N STAPLEY DR MESA AZ 85203
134-06-007	NINAMAX LLC	343 S NINA DR MESA 85210	343 S NINA DR MESA AZ 85210
134-06-008	MOSLEY HARVEY C/N EDITH	337 S NINA DR MESA 85210	337 S NINA DR MESA AZ 85210
134-06-009	CARROLL WILLIAM J	936 W BROADWAY RD MESA 85210	2314 W COLT RD CHANDLER AZ 85224
134-06-010A	HARE HOLDINGS LLC	308 S EXTENSION RD MESA 85210	308 S EXTENSION STE 101 MESA AZ 85210
134-06-012	MESA CITY OF	234 S EXTENSION RD MESA 85210	20 E MAIN ST STE 650 PO BOX 1466 MESA AZ 85211
134-06-014B	BROADMOR LLC	856 W BROADWAY RD MESA 85210	343 S NINA DR MESA AZ 85210
134-06-015D	JJADAR MAMLECHET LLC	824 W BROADWAY RD MESA 85210	10 E SAN NIGUEL PHOENIX AZ 85012
134-06-015E	HARE HOLDINGS LLC	310 S EXTENSION RD MESA 85210	308 S EXTENSION STE 101 MESA AZ 85210
134-07-002	MENKIN RICHARD/LABADIE MONICA	263 S EXTENSION RD MESA 85210	PO BOX 243 CHEYENNE WY 82003
134-07-003B	JJADAR MAMLECHET LLC	740 W BROADWAY RD MESA 85210	10 E SAN NIGUEL PHOENIX AZ 85012
134-07-005A	BROADWAY MESA CENTER LLC	710 W BROADWAY RD MESA 85210	2122 E HIGHLAND AVE STE 400 PHOENIX AZ 85016
134-07-006	MENKIN RICHARD/LABADIE MONICA	255 S EXTENSION RD MESA 85210	PO BOX 243 CHEYENNE WY 82003
134-07-015B	MESA CITY OF	301 S EXTENSION RD MESA 85210	20 E MAIN ST STE 650 PO BOX 1466 MESA AZ 85211
134-10-063E	MARTIN MARINE LLC	715 W BROADWAY RD MESA 85210	2946 E WOOD ST PHOENIX AZ 85040
134-10-063M	FISHER PROPERTIES LLC	744 W CRESCENT AVE MESA 85210	2656 E CANYON PL CHANDLER AZ 85249
134-10-063P	FISHER PROPERTIES LLC	744 W CRESCENT AVE MESA 85210	2656 E CANYON PL CHANDLER AZ 85249
134-10-063T	FISHER PROPERTIES LLC	744 W CRESCENT AVE MESA 85210	2656 E CANYON PL CHANDLER AZ 85249
134-10-063Z	S & S FAMILY TRUST	753 W BROADWAY RD MESA 85210	1130 W WARNER RD BLDG B TEMPE AZ 85284
134-10-064D	FISHER PROPERTIES LLC	741 W CRESCENT AVE MESA 85210	2656 E CANYON PL CHANDLER AZ 85249

Public Notification Mailing List for:
Circle K at Broadway Extension, 824 W. Broadway Road

Parcel Number	Owner	Property Address	Mailing Address
134-10-065A	A TO Z PROPERTIES LLC	735 W BROADWAY RD MESA 85210	1308 E TREASURE COVE DR GILBERT AZ 85295
134-11-001	NAJ REAL ESTATE HOLDINGS LLC	919 W BROADWAY RD MESA 85210	2729 E EL MORO MESA AZ 85204
134-11-002	NAJ REAL ESTATE HOLDINGS LLC	919 W BROADWAY RD MESA 85210	2729 E EL MORO MESA AZ 85204
134-11-003	NAJ REAL ESTATE HOLDINGS LLC		2729 E EL MORO MESA AZ 85204
134-11-005C	STICKLER LAWRENCE G/MARY M	905 W BROADWAY RD MESA 85210	25565 N 113TH WAY SCOTTSDALE AZ 85255
134-11-014A	GDC PROPERTIES LLC		3687 S SKYLINE DR GILBERT AZ 85297
134-11-015	GDC PROPERTIES LLC	833 W BROADWAY RD MESA 85210	3687 S SKYLINE DR GILBERT AZ 85297
134-11-021A	GRAY DALE/JANICE TR	853 W BROADWAY RD MESA 85210	853 W BROADWAY RD MESA AZ 85210
134-11-025B	ROWLEY CLINTON D/CHRISTINA A	835 W BROADWAY RD MESA 85210	1705 N HORNE MESA AZ 85203
134-11-026A	ROWLEY CLINTON D/CHRISTINA A		1705 N HORNE MESA AZ 85203
134-11-559	7575 E REDFIELD LLC	807 W BROADWAY RD MESA 85210	2150 E HIGHLAND AVE STE 207 PHOENIX AZ 85016
134-11-560	7575 E REDFIELD LLC	432 S EXTENSION RD MESA 85210	2150 E HIGHLAND AVE STE 207 PHOENIX AZ 85016
134-11-561	FORNOFF VENTURES LLC	440 S EXTENSION RD MESA 85210	440 S EXTENSION MESA AZ 85210
134-11-562	GDC PROPERTIES LLC	821 W BROADWAY RD MESA 85210	821 W BROADWAY RD MESA AZ 85210
134-11-563	7575 E REDFIELD LLC	807 W BROADWAY RD MESA 85210	2150 E HIGHLAND AVE STE 207 PHOENIX AZ 85016