

**Rezoning, Council Use Permit, Site Plan, and
Design Review Applications**

for

Stillwater Superstition

**West and South of the Southwest corner of
Hampton Avenue and Clearview Avenue**

by:

Stillwater Capital, LLC

Case Nos.: ZON21-00397

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STILLWATER SUPERSITION

I. INTRODUCTION

Stillwater Capital, LLC¹ (“Stillwater”) is in escrow to acquire 17.52± gross (16.65± net) acres west and south of the southwest corner of Hampton Avenue and Clearview Avenue (the “Site”) and develop it with a high-quality residential community known as “Stillwater Superstition.” Stillwater proposes developing this challenging, in-fill, redevelopment site with a high-quality, highly amenitized multi-family development. The development will contain 395 residences, a density of approximately 23.8 dus/ac.

The Site presently consists of a former K-Mart building (vacant for approximately 4 years) and an in-line commercial retail building (vacant except for a Sally’s Beauty Supply) along the Site’s southern boundary. The present commercial uses are no longer viable due to the ever changing and shrinking physical retail footprint. Additional housing opportunities in the area will provide much needed support to the existing retail further west of the Site. A high-quality multi-family development will also provide housing for people looking to live in an urban-like setting, giving individuals and families the ability to live, work, and shop in close proximity to each other.

To achieve this, Stillwater requests the following:

- Rezone the Site from LC/PAD to LC/PAD;
- Council Use Permit;
- Site Plan approval for 395 residences ; and
- Design Review approval for the Site Plan, Landscape Plan, Building Elevations, etc.

II. SITE AND SURROUNDING AREA

An aerial of the Site is attached as ***Exhibit 1***. The Site is designated on the City’s General Plan as Mixed-Use Activity District and is part of a larger area that zoned LC. LC permits multi-family uses with a Council Use Permit between 15-25 dus/ac and a minimum of 60% of the Gross Floor Area reserved for commercial land use classification. The adjacent areas around the Site are designated on the General Plan and are zoned as follows:

Direction	General Plan	Zoning
North	Mixed-Use Activity District; Neighborhood	LC; LI/CUP; PEP
West	Mixed-Use Activity District	LC
South (of the US 60)	Mixed-Use Activity District	LC
East	Mixed-Use Activity District; Employment; Neighborhood	LI/PAD; LI

¹ Stillwater Capital, LLC is a Texas based company that has completed, or currently has in the development pipeline, over 6,000 multi-family units totaling over 1.75B in total capitalization since 2006.

III. PROPOSED REZONING

As discussed, Stillwater is proposing the Site be rezoned from LC/PAD to LC/PAD. Stillwater's proposed applications and development plans for an upscale, high-quality multi-family development are compatible with the City's General Plan and are a viable and sustainable solution on a challenging, in-fill redevelopment site. The General Plan's Goals and Policies identified in *Appendix A: General Plan Compatibility* support Stillwater's applications. Stillwater's requests will provide for a coordinated and compatibly arranged variety of land uses in the area through innovative site planning by introducing housing opportunities that will sustain and support the surrounding commercial businesses.

The proposed zoning change is to modify the LC development standards for multi-family residential through the PAD Overlay to allow the Site to development with a high-quality community at a density that will bring additional retail/commercial consumers to the area. Stillwater's community has been planned with the following development standards (changes noted in **bold**):

Regulation	City of Mesa LC Development Regulations	Proposed Development Regulations
Min. Lot Area (sq. ft.)	10,000	10,000
Min. Lot Width (ft.) – Multi-Family Res.	100	100
Min. Lot Depth (ft.) – Multi-Family Res.	100	100
Max. Lot Coverage (% of lot)	80%	80%
Max. Height (ft.)	30	58
Building Setbacks (ft.)		
Front (Hampton Ave.)	20	20
Side (east)	15	10
Side (west)	15	10
Rear (south)	15	15
Landscape Setbacks (ft.)		
Single residence uses adjacent to non-residential uses	15	7.5 (north) 8 (west) 5 (south) 10 (east)
Separation Between Buildings (ft.)		
- Building height up to 20 ft.	25	25
- Building height between 20 and 40 ft.	30	30
- Building height over 40 ft.	35	35
Max. Density (du/net ac.)	25	25
Minimum Outdoor Living Area (sq. ft./unit)	1 bdr – 60 2 bdr – 100 3bdr – 120	1 bdr – 60 2 bdr – 100 3bdr – 120
Parking	2.1 spaces per du	1.57 spaces per du

Regulation	City of Mesa LC Development Regulations	Proposed Development Regulations
Fence Height – Front Yard (feet)	3.5	6
Building Façade Material – 1 material	50%	70%
Garage Doors Adjacent to each other	3	4

The proposed modifications for building height and side yard setbacks is appropriate when considering the Site's infill nature, proximity to the US-60, and location in the Superstition Springs Mall area. The Superstition Springs Mall area contains significant commercial developments that lends itself to more intense and dense developments as the area continues to redevelop and redefine itself. The Site is a substantially vacant, in-fill parcel located on the edge of a major-anchor commercial development (Target) at the mid-block of a collector street. Because of the Site's location the intent is to bring additional building height and more residents to the area, creating more support for the existing retail/commercial developments.

Alternate Compliance:

Stillwater requests alternate compliance for the following items:

- **Per 11-6-3.B.5 of the MZO, no more than fifty percent (50%) of the total facade may be covered with one (1) single material.** It is understood that the Development Standards identified by the City are to encourage higher quality developments, with the expectation that these standards create an environment that is both welcoming and engaging for the residents and visitors of the City. The current building design proposed takes a simple contemporary approach to some of the materials and forms that are already found in the region but brought together in a new composition to present a new take on the multi-family product type. Alternative Compliance is requested to allow for more than fifty percent (50%) of the total façade to be covered by one material in order to achieve the goals of the project: simple, clean, and slightly contemporary. The facades are broken up both in physical nature by the façade moving in and out, along with a change in materials so that it is not a constant, or uninterrupted façade.
- **Per Section 11-5-5.A.4 of the MZO, when multiple garage doors are located within one (1) building, the maximum number of garage doors adjacent to one another shall be limited to three (3), unless there is a break in the building façade between garage doors.** The current building design embraces the use of enclosed parking to provide a secure and shaded option for residents, while also keeping the garage locations in the back and side locations of the project. Minimizing the locations of the garages creates a minor cluster effect, in which an Alternative Compliance is requested to allow for a maximum number of garage doors of four (4) in lieu of three (3).
- **Per Section 11-30-9 of the MZO, please bring all external downspouts internal. If downspouts are proposed as a design feature, the thoughtful consideration of placement and material are necessary.** The use of external downspouts is a design feature and opportunity to add some texture to the elevations/facades. All downspouts will be located carefully to stay within the design rhythm developed for the facades, with most tucked within or beside features that allows the downspouts to be less intrusive. The

downspouts will be made with pre-finished metal, in a darker finish to match adjacent metal features and coping.

Stillwater's proposed redevelopment of an existing, dilapidated, vacant commercial development likewise satisfies the PAD criteria found in Section 11-22-1:

A. Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use;

The design of layout of Stillwater's proposed development creates unique and usable open space areas for residents and guest to enjoy. Appropriately designed amenity areas are conveniently located to provide opportunities for residents to socialize, interact, and recreate. The amenities and open space area are held under common ownership.

B. Options for the design and use of private or public streets;

The Site is a challenging in-fill site with no changes proposed to the existing public streets. Hampton is fully built.

C. Preservation of significant aspects of the natural character of the land;

There is nothing remarkable about this vacant commercial development that would require retention or preservation with the redevelopment. As is shown on the exhibits, the proposed layout and elevations bring an exciting, fresh development to the area, providing critical support to the struggling existing commercial developments.

D. Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development;

Stillwater has created a community that is attractively designed, aesthetically landscaped, and provides an appropriate use of this challenging, in-fill redevelopment Site. The proposed design and layout provide convenient, safe, and attractive pedestrian connections throughout the development to the existing retail/commercial developments west and north of the Site. Particular attention has also been given to provide pedestrians with convenient access to centrally located amenities and open space areas.

E. Sustainable property owners' associations;

The development will be managed by a single property management company.

F. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions; and

There is only one property owner for the Site, therefore there is no need for recorded covenants, conditions, and restrictions.

G. Single or multiple land use activities organized in a comprehensive manner, and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.

The location of the buildings throughout the Site creates a development that is appropriate for the Site and surrounding area, with the three-story buildings arranged along the perimeter of a large central courtyard, creating a neighborhood inspired by great public squares across the United States. This orientation provides opportunity for every internally facing unit to engage the amenity and common area, allowing for great sightlines across the square and its amenities. The four-story

building is located on the northeast portion of the Site and completes the corner of the grand public amenity square. This building is designed with its own smaller, more intimate courtyard with an open end that flows into the larger central square. Incorporating two unique and connected amenity spaces provides variety and choice for an amazing residential neighborhood experience.

IV. COUNCIL USE PERMIT

Residential uses are permitted in the LC District with approval of a Council Use Permit (“CUP”). Per Section 11-31-31(A) of the Zoning Ordinance, a multi-family development with multiple-story buildings (as proposed by Stillwater) must have commercial uses in a minimum of 60% of the gross floor area of all the buildings within the development and have a maximum density of no more than 25 dus/ac. Stillwater requests that its development and satisfaction of this criteria be analyzed when looking at the significant amount of existing commercial developments in the area, starting with Superstition Spring Mall and head east toward the Site—an area that is zoned LC. When looking at the substantial amount of existing commercial development, it becomes evident that far greater than 60% of the area will remain commercial uses. ***See Exhibit 12, Commercial Context.*** The redevelopment of the Site includes leaving approximately 2 acres along Hampton Avenue for future commercial development.

Additionally, the CUP review criteria and Stillwater’s responses are as follows:

1. The use is found to be in compliance with the General Plan, Sub-Area Plans and other recognized development plans or policies, and will be compatible with surrounding uses; and

As is detailed in *Appendix A: General Plan Compatibility*, Stillwater’s proposed development is supported by several Goals and Policies within the General Plan. Commercial uses on this Site are no longer viable and sustainable given the Site’s location (mid-block along a collector street—Hampton Avenue), lack of visibility from a major arterial street (Power Road), and ever-changing commercial retail market. Redeveloping an almost entirely vacant commercial center with a high-quality multi-family development makes good land uses sense. The additional residents will provide much needed support to the existing commercial developments.

2. A finding that a plan of operation has been submitted, which includes, but is not limited to, acceptable evidence of compliance with all zoning, building, and fire safety regulations; and

The proposed development plans comply or will comply (upon review by City Staff) with zoning, building, and fire safety regulations.

3. A finding that a "good neighbor policy" in narrative form has been submitted, which includes, but is not limited to, descriptions of acceptable measures to ensure ongoing compatibility with adjacent uses; including measures to assure that commercial activity will remain as a viable activity on this site; and

As described in greater detail throughout this Narrative, the multi-family land use is compatible and supports the existing commercial retail developments. Multi-family housing in the Superstition Springs area will provide new opportunities for people to live, work, shop, and play near each other. The redevelopment of the Site will leave approximately 2 acres for future commercial development (along Hampton Avenue) and still preserves existing commercial activity in the surrounding area.

4. Evidence that acceptable documentation is present demonstrating that the building or site proposed for the use is in, or will be brought into, substantial conformance with all current City

development standards, including, but not limited to, landscaping, parking, screen walls, signage, and design guidelines; and

As described in this narrative and exhibits, Stillwater Superstition is in or will be brought in to substantial conformance with the City's development standards, except as modified by the PAD Overlay.

5. The overall project conforms to the intent and character of the zoning district and is part of a well integrated mixed-use project.

Stillwater Superstition conforms to the intent and character of the LC zoning district. The design of the development described in this narrative and exhibits demonstrate a commitment to creating a high-quality development that meets the City's standards and Design Guidelines.

V. SITE PLAN AND DESIGN REVIEW

As is depicted on the ***Preliminary Site Plan*** attached as ***Exhibit 2***, careful consideration has gone into planning Stillwater Superstition. Stillwater has created a community that is attractively designed, aesthetically landscaped, and provides an appropriate use of this challenging, in-fill redevelopment Site. ***See Exhibit 3, Landscape Plan, Exhibit 4, Amenities Plan, and Exhibit 5, Perspectives.*** Stillwater Superstition is a gated community that will consist of approximately 395 residences at a density of approximately 23.8 net du/ac. The proposed design and layout provide convenient, safe, and attractive pedestrian connections throughout the development to the existing retail/commercial developments west and north of the Site. Particular attention has also been given to provide pedestrians with convenient access to centrally located amenities and open space areas. ***See Exhibit 13, Pedestrian Circulation.***

Stillwater Superstition contains a combination of 3- and 4-story buildings. The buildings are appropriately located throughout the Site, with the three-story buildings arranged along the perimeter of a large central courtyard, creating a neighborhood inspired by great public squares across the United States. This orientation provides opportunity for every internally facing unit to engage the amenity and common area, allowing for great sightlines across the square and its amenities. The four-story building is located on the northeast portion of the Site and completes the corner of the grand public amenity square. This building is designed with its own smaller, more intimate courtyard with an open end that flows into the larger central square. Incorporating two unique and connected amenity spaces provides variety and choice for an amazing residential neighborhood experience.

The primary entrance for the development is from Hampton Avenue, north of the Site. A grand sense of arrival is created at this primary entrance through lushly landscaping, monument sign, and entryway. The axis of the entry drive is oriented so that residents and visitors are taken into the Site along the drive with the leasing and amenity building lying at the terminus of the drive. There are parking spaces for guests and a circular drive for drop-off and pick-ups. In keeping with the design of a town square, vehicular circulation is achieved at the perimeter of the buildings with pedestrian circulation being achieved around the site on both the exterior and interior of the square.

A. Landscaping, Amenities, and Open Space

The overall landscape theme is inspired by the Sonoran Desert with accents of lush, native and native adapted, desert oasis landscaping at focal points to create an environment of luxury resort living at Stillwater Superstition. ***See Exhibit 3, Preliminary Landscape Plan.*** As shown

on the Conceptual Landscape Plan, the design, elements, and materials create a sense of community and neighborhood, both echoing the architectural character and responding to the desert landscape surrounding it. The elements and features are designed to create a “sense of place” and a permanence achieved by relating the elements to the “human scale” and integrating with the architecture.

The landscape palette is a combination of native and non-native plant material that draws from the lush desert look and feel of an adapted Sonoran Desert residential experience. The use of palms at the community entry and pool area creates a sense of priority and a resort style look and feel. The landscape palette provides a diversity of colorful plant materials that enhance the community environment throughout the year with a variety of compositions, texture, and seasonal color. The hardscape and pedestrian amenities throughout the Site integrate design cues from the architectural vernacular and design elements of the building architecture. Together these elements embrace the architecture of the proposed buildings and blend with the existing built environment of the area.

Stillwater Superstition has been planned with quality amenities consistent with Stillwater’s desire to create an upscale community where residents will be able to play, relax, or socialize in a pleasing environment. ***See Exhibit 4, Amenities.*** The amenity areas within Stillwater Superstition are designed to enhance the community character and quality of life by providing recreational opportunities and connectivity for residents through the integration of effective internal and external open spaces. The amenity and theming elements have been designed to maintain the overall “sense of place” and the identity of the community. Stillwater Superstition will contain a centrally located main amenity area with additional open space and amenities that are connected by a series of walking paths and trails. The outdoor amenity offering provides active and passive open space for residents and guests to enjoy. Outdoor amenities include a resort style pool and separate spa surrounded by various seating options, both covered and open. Large turf areas for active and passive events and recreation. Various activity nodes, seating areas, lawn games, occur throughout the community space to provide all residence access to outdoor amenities. The activity areas are surrounded by generous landscaping, ramadas, and outdoor kitchen facilities for resident use. A dog park located in the southeast corner of the Site. Indoor amenities include a large recreation facility that houses community spaces for fitness, business services, game room, wi-fi café/rideshare lounge, and mail facilities.

B. Architecture

The proposed architecture for Stillwater Superstition is appropriate for this Site and is compatible with the surrounding area. ***See Exhibit 5, Perspectives and Exhibit 6, Building Elevations.*** The basis of design for the buildings in this development is born from the clean and simple main massing found in the historical missions and churches of the southwest. With a contemporary interpretation of those forms, the buildings keep their traditional forms and blend with current design approaches. The bright white base stucco exterior of the buildings mimics the limestone cliffs of the Montezuma Castle National Monument miles to the north of the City. Complementing the design of the buildings are natural gray stone and dark gray accents and balconies. ***See Exhibit 9, Color and Material Palette.*** These material changes enhance the in-and-out movement along the facades creating visual interest and provide warmth and contrast to the buildings. Stillwater Superstition has been designed to meet the intent of the City’s Quality Development Design Guidelines. ***See Exhibit 7, Quality Development Design Guidelines.***

The site has a mix of 3- and 4-story buildings. *See Exhibit 8, Floor and Roof Plans.* There are three floor plans: studio, 1-, 2-, and 3-bedroom units ranging in square footage from 506 square feet to 1,392 square feet.

C. Theme Walls, Entry Gates, and Entry Monument

The theme walls, view fencing, and entry monument have been designed to be consistent with the residential building elevations and landscaping theme. *See Exhibit 11, Wall Plan, Elevations, and Monument Signage.* The site elements are a mixture of accent metal, wrought iron fencing, and stucco walls to match the residential building architecture. These elements transition into the landscape with the use of a strong foundation planting palette.

VI. MISCELLANEOUS

A. Parking

Stillwater Superstition is required to provide approximately 829 parking spaces. Due to the unique nature of the Site (infill, redevelopment), Stillwater requests a deviation from the City's Zoning Ordinance requirement and will provide approximately 625 parking spaces, a ratio of 1.57 spaces per unit. The provided parking is appropriate for the needs of this type of development. The City's Zoning Ordinance contemplates that 2.1 spaces are to be provided for each dwelling unit, without any distinction between a given unit's bedroom count, e.g., studio, 1-bedroom, 2-bedroom, or 3-bedroom. With a lower bedroom count per unit, there is a corresponding potential reduction in the amount of parking spaces needed for that unit. Stillwater Superstition will contain 230 studio and 1-bedroom units (approximately 58% of the total number of units) and 135 2-bedroom units. Because of the significant amount of studio/1-bedrooms, the proposed ratio of 1.57 spaces per unit is appropriate. *See also Exhibit 14, Parking Study.*

B. Phasing

It is anticipated that Stillwater Superstition will be constructed in one phase.

C. Grading and Drainage

The Preliminary Grading and Drainage Plan is attached as *Exhibit 11*. All project drainage systems will be designed and constructed in accordance to the latest MAG Standard Specifications and Details and the latest City of Mesa Standard Details and Specifications. Onsite drainage (including adjacent half-street areas) and retention shall consist of some onsite surface retention and an underground storm drain system that will be designed to capture storm water runoff according to the City's calculation requirements.

VII. PROJECT TEAM

Developer:

Stillwater Capital, LLC
Attn: Thomas Hoy
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Dallas, Texas 75204

Architect:

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Dallas, Texas 75201

Landscape:

ABLA
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Colin Hansen
310 E Rio Salado Parkway
Tempe, Arizona 85281

Civil Engineer:

Sustainability Engineering Group
Attn: Ali Fakih
Tadamon Mohammed
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Scottsdale, Arizona 85260

Traffic Engineer:

CivTech, Inc.
Attn: Dawn Cartier
10605 N. Hayden Road, Suite 140
Scottsdale, Arizona 85260

Zoning & Entitlements:

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Attn: Brennan Ray
1850 N. Central Avenue, Suite 1700
Phoenix, Arizona 85004
Phone: (602) 234-8794

VIII. CONCLUSION

Stillwater Superstition is an exciting, high-quality multi-family development that makes good use of this challenging, infill, redevelopment Site. The proposed Rezoning, CUP, Site Plan, and Design Review approvals are supported by the City's General Plan and are compatible with the surrounding area. Stillwater Superstition creates a sustainable solution for this Site and an attractive presence in the area. We request your approval.

Stillwater Capital, LLC

APPENDIX A: GENERAL PLAN COMPATIBILITY

Stillwater Superstition proposed Rezoning, CUP, Site Plan, and Design Review applications are supported by the City's General Plan goals, objectives, and policies as follows:

Guiding Principle 1: Create and maintain a variety of great neighborhoods.

Key Element 1: Safe, Clean and Healthy Living Environment

- Initial site planning and design/redesign that includes application of Crime Prevention Through Environmental Design (CPTED) standards.
- Maintenance of streets, sidewalks, street lighting, etc. to ensure roadways, paths and trails are safe; improve lighting where needed.
- Avoiding incompatible land uses and/or providing appropriate transitions between uses.
- Encouraging new development and redevelopment that improves walkability between housing and key amenities and services.
- Locate and design public spaces so that there is a high degree of natural surveillance.
- Provision of active outdoor open space for all ages.

Key Element 2: Build Community and Foster Social Interaction

- Providing pedestrian systems that link residents to neighborhood focal points to naturally bring people together.

Key Element 3: Connectivity and Walkability

- It is also important to design and maintain neighborhoods to be walkable. Walkable neighborhoods have streets, sidewalks, and trails designed and maintained to help people feel safe and comfortable using them.
- Block lengths developed consistent with the character area standards.
- Trees and shade provided along streets and pedestrian ways consistent with the character area standards in a way that does not interfere with night time lighting of the street, sidewalk and paths.
- Utilizing Crime Prevention Through Environmental Design standards and techniques for the design of lighting, landscaping, and buildings along streets.
- Encouraging a development pattern that provides easy, multimodal access to shopping, work, recreation, and other nearby amenities.

Key Element 4: Provide for Diversity

- Having a variety of housing types provides interest to the built environment and provides the opportunity for differing people to live in close proximity to one another. The variety of housing also allows people to stay in the same neighborhood as their housing needs change throughout their life.
- Neighborhoods become interesting place to live when you can encounter a variety of people. Diverse and inclusive neighborhoods allow people of different incomes, ages, races, and ethnicities to gather and get to know each other which make the community stronger.

- Encouraging a variety of dwelling types within each area of the community consistent with the character area standards and not allowing an over concentration of multi-residence dwellings in an area.

Key Element 5: Neighborhood Character and Personality

- Reviewing new/reuse developments for the elements needed to add to the surrounding community and create a unique sense of place.
- Requiring the use of high-quality architecture, building materials and landscape design and maintenance in all developments.
- Creating neighborhood boundaries and limiting through traffic into the neighborhoods.
- Supporting new development and redevelopment projects that support the identity of the neighborhood, and rejecting proposals which fail to do this.

Key Element 6: Quality Design and Development

- Reviewing all development projects for conformance with high-quality design/construction standards.
- Requiring that all building facades that face a street or public space have architectural interest.
- Using a variety of high-quality, durable materials that are appropriate for this climate.
- Unique public or community spaces that provide a focal point to draw people together.
- Maintaining a pedestrian scale and attractiveness along streets

Neighborhoods Policy P1: Encourage the appropriate mix of uses that will bring life and energy to neighborhoods while protecting them from encroachment by incompatible development.

Neighborhoods Strategy S5: Investigate strategies and incentives to encourage appropriate infill and property reuse consistent with neighborhood goals and values.

Housing

- Providing a mix of high-quality housing options throughout the city, in conjunction with supporting uses and activities, is the key to achieving the goal of creating and monitoring a variety of great neighborhoods.
- Encouraging the integration of a mix of housing options in each area of the city.
- Requiring the application of Crime Prevention Through Environmental Design principles to the development and redevelopment of multi residence projects.
- Requiring architectural design, outdoor space, and amenities that will maintain value over time, and including a requirement for perpetual maintenance of these original design features.

Housing Policy 1: Encourage a range of housing options in all areas of the city in order to allow people to stay in their neighborhood as their housing needs change.

Redevelopment

Redevelopment P2: Encourage and facilitate infill development that improves the quality of the neighborhood.

Transportation

Transportation Goal 2

- Objective 2 – Make walking safe, convenient and enjoyable while encouraging social interaction in public places.

LOCATION: Z:\SHARED\PROJECTS\STILLWATER CAPITAL\SUPERSTITION APARTMENTS - MESA - SEC HAMPTON & CLEARVIEW - 201104\11 CAD (SEG)\11.2 ENTITLEMENT--PLANNING\201104-C3.00.DWG
DATE: 7/26/2021
SAVED BY: TADAMOMMOHAMMED

INDEX OF DRAWINGS

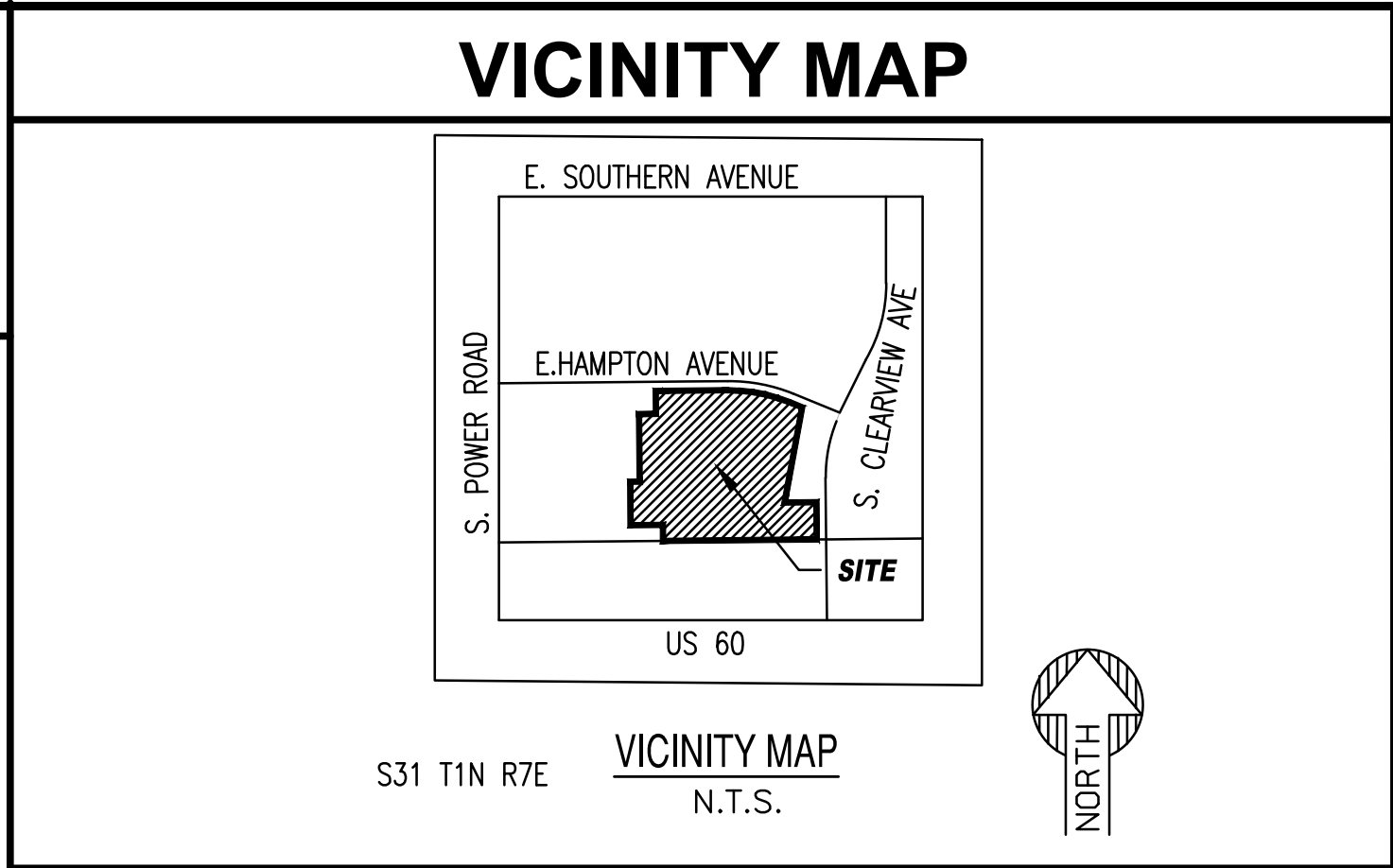
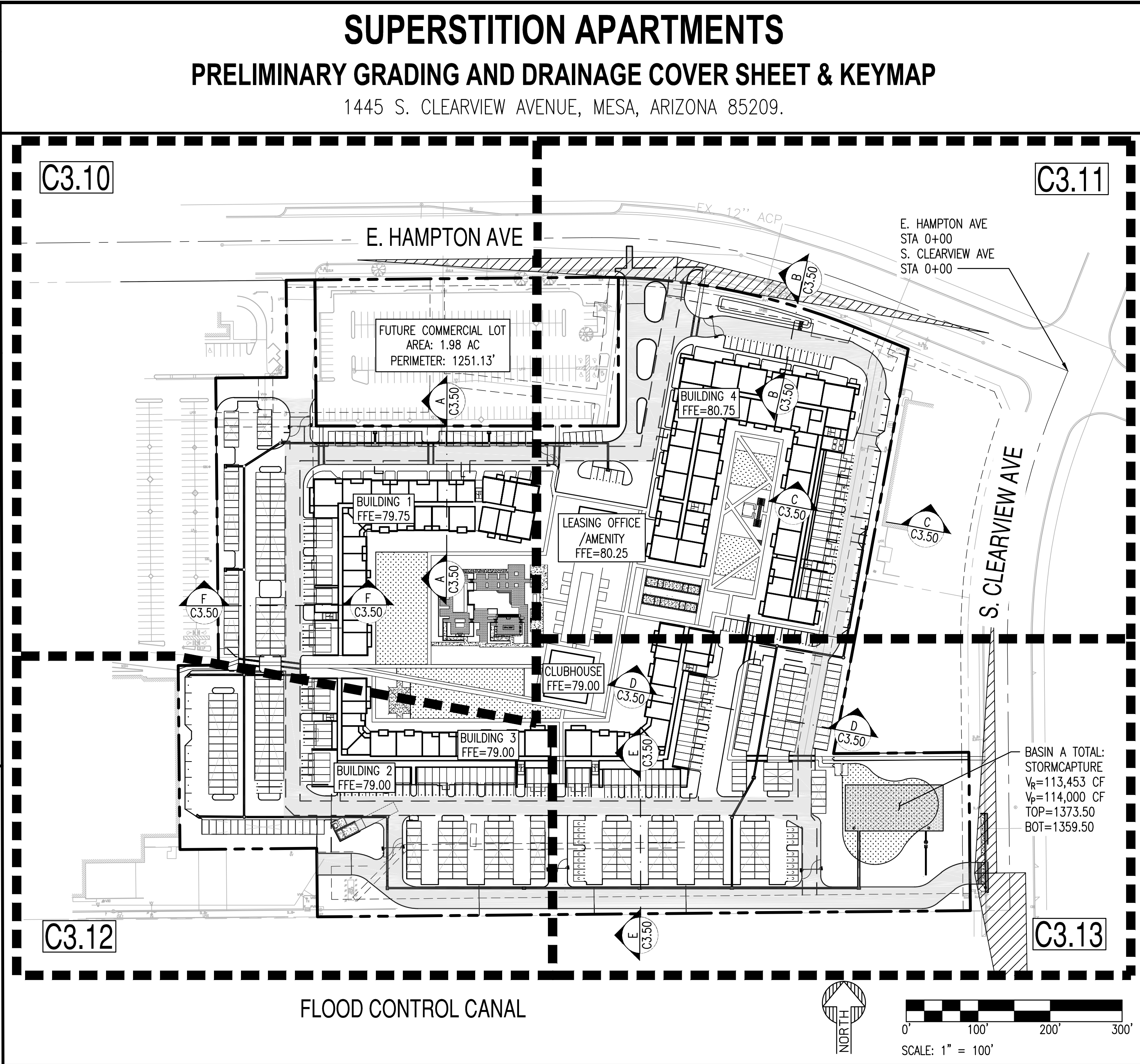
SHEET INDEX				
		<u>SHEET NO.:</u>	<u>DESCRIPTION:</u>	<u>LATEST DATE:</u>
●	1	C3.00	PRELIMINARY GRADING AND DRAINAGE COVER SHEET & KEYMAP.	7/26/2021
●	2	C3.10	PRELIMINARY GRADING AND DRAINAGE PLAN.	7/26/2021
●	3	C3.11	PRELIMINARY GRADING AND DRAINAGE PLAN.	7/26/2021
●	4	C3.12	PRELIMINARY GRADING AND DRAINAGE PLAN.	7/26/2021
●	5	C3.13	PRELIMINARY GRADING AND DRAINAGE PLAN.	7/26/2021
●	6	C3.50	PRELIMINARY CROSS SECTIONS.	7/26/2021

● FILLED CIRCLE INDICATES PLAN IS INCLUDED WITH THIS SUBMITTAL

ABBREVIATIONS			
ABAND.	TO BE ABANDONED	MAG	MARICOPA ASSOCIATION
AC	ACRE OR ASPHALT	MH	OF GOVERNMENT
ACP	ASBESTOS CEMENT PIPE	N	MANHOLE
ADA	AMERICANS WITH	NG	NORTH
	DISABILITIES ACT	NP	NATURAL GROUND
BLD	BUILDING	P	NYLOPLAST DRAIN BASIN
BOT	BOTTOM	PROP	PAVEMENT
C	CONCRETE	Pufe	PROPOSED
CB	CATCH BASIN	PVC	PUBLIC UTILITY & FACILITIES
CF	CUBIC FEET	RGRCP	EASEMENT
C.O.M.	CITY OF MESA		POLYVINYL CHLORIDE PIPE
DET.	DETAIL		RUBBER GASKETED
E	EAST		PIPE
EA	EACH		REINFORCED CONCRETE
ESMT.	EASEMENT	R.E.	RETENTION EASEMENT
EX.	EXISTING	R.O.W.	RIGHTS-OF-WAY
FFE	FINISH FLOOR ELEVATION	S	SOUTH OR SLOPE
FG	FINISH GRADE	SD	STORM DRAIN PIPE
FT	FEET	SF	SQUARE FEET
G	GUTTER	STD.	STANDARD
HDPE	HIGH DENSITY	SY	SQUARE YARD
	POLYETHYLENE PIPE	TC	TOP OF CURB
IE	INVERT ELEVATION	TYP	TYPICAL
LF	LINEAR FEET	W	WEST

LEGEND			
EXISTING LEGEND:			
---	EX. MAJOR CONTOURS	EX. S	SEWER LINE
---	EX. MINOR CONTOURS	(S)	SEWER MANHOLE
TC=XX.XX GE=XX.XX	EX. SPOT ELEVATION	EX. W	WATER LINE
---	EASEMENT LINE AS NOTED	WV ⊗	WATER VALVE
		⊕	FIRE HYDRANT
		---	GAS LINE
		---	FENCE
		---	ROAD CENTERLINE
		---	STORM DRAIN LINE
		---	STORM CATCH BASIN
		---	STORM MANHOLE
		---	GAS
		---	STORM PIPE
		---	STORM MANHOLE
		---	FLOW ARROW
		---	CATCH BASIN
		---	STORM PIPE
		---	STORM MANHOLE
		---	DRYWELL
		---	WATER METER
		---	GATE VALVE
		---	FIRE HYDRANT
		---	RIP-RAP
		---	CONCRETE PAVEMENT
		---	HEAVY DUTY PAVEMENT
		---	LIGHT DUTY PAVEMENT

LEGEND			
PROPOSED GRADING LEGEND:			
G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	---	PROPERTY LINE
P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB
		RL	RIDGELINE
		---	FLOW ARROW
		---	CATCH BASIN
		---	STORM PIPE
		---	STORM MANHOLE
		---	DRYWELL
		---	WATER METER
		---	GATE VALVE
		---	FIRE HYDRANT
		---	RIP-RAP
		---	CONCRETE PAVEMENT
		---	HEAVY DUTY PAVEMENT
		---	LIGHT DUTY PAVEMENT



PROJECT TEAM	
OWNER: APN 218-56-569 KMART CORPORATION (LEASE) 74 E. 500, STE 200 BOUNTIFUL, UT 84010	OWNER: APN 218-56-571 MESA PAVILIONS RETAIL, LLC 695 ROUTE 46, STE 210 FAIRFIELD, NJ 07004
DEVELOPER STILLWATER CAPITAL 4145 TRAVIS STREET, SUITE 300, DALLAS, TEXAS 75204 PHONE: (936) 524-1951 CONTACT: THOMAS HOY	CIVIL ENGINEER SUSTAINABILITY ENGINEERING GROUP 8280 E. GELDING DR., SUITE 101 SCOTTSDALE, ARIZONA 85260 PHONE 480-237-2507 ATTN. ALI FAKIH
ARCHITECT: OMNIPLAN 1 N 1ST ST 6TH FLOOR, PHOENIX, AZ 85004 PHONE: (602) 344-9553 ATTN. CONNOR PIERCE	LANDSCAPE ARCHITECT: ABLASTUDIO 310 E RIO SALADO PKWY, TEMPE, AZ 85281 PHONE: (480) 530-0596 ATTN. COLIN HANSON

PROJECT INFO	
PROJECT LOCATION: SITE ADDRESS: 1445 S. CLEARVIEW AVENUE, MESA, ARIZONA 85209.	
PROJECT DESCRIPTION: THE PROJECT IS PROPOSING TO DEMOLISH THE EXISTING STRUCTURES ON THE PROPERTY AND CONSTRUCT NEW STRUCTURES CONSISTING OF MULT-FAMILY RESIDENTIAL, COMMERCIAL, OFFICE AND RETAIL USES.	
SITE DATA: ASSESSOR PARCEL NUMBER: 218-56-569 & 218-56-571 ZONING: PUD GROSS AREA: 763,257 SF (17.52+/- AC) NET AREA: 725,449 SF (16.65+/- AC)	
BASIS OF BEARING: THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE CENTERLINE OF HAMPTON AVENUE, USING A BEARING OF NORTH 89 DEGREES 26 MINUTES 55 SECONDS EAST, AS SHOWN ON FINAL PLAT OF SUPERSTITION SPRINGS PARCEL G, RECORDED IN BOOK 364, PAGE 19, MARICOPA COUNTY RECORDS.	
BENCHMARK: BENCHMARK IS A CITY OF MESA BRASS TAG ON TOP OF CURB NE CORNER OF POWER ROAD AND SOUTHERN AVENUE	
ELEVATION: 1376.59' NAVD 88 (CITY OF MESA DATUM)	
PARCEL DESCRIPTION LOT 4 AND LOT 6 OF THE "REPLAT OF LOTS 4, 5 & 6 OF SUPERSTITION SPRINGS PARCEL G" RECORDED IN BOOK 394, PAGE 19 PER MARICOPA COUNTY RECORDER.	
FEMA	

MAP NUMBER	COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE USE DEPTH)
04013C2295L	040048	2295 10/16/2013	L	X SHADED	N/A

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG

STILLWATER
CAPITAL

PROJECT: SUPERSTITION APARTMENTS

LOCATION: 1445 SOUTH CLEARVIEW AVENUE
MESA, ARIZONA 85209

DATE: 07/26/2021

ISSUED FOR: REZONING

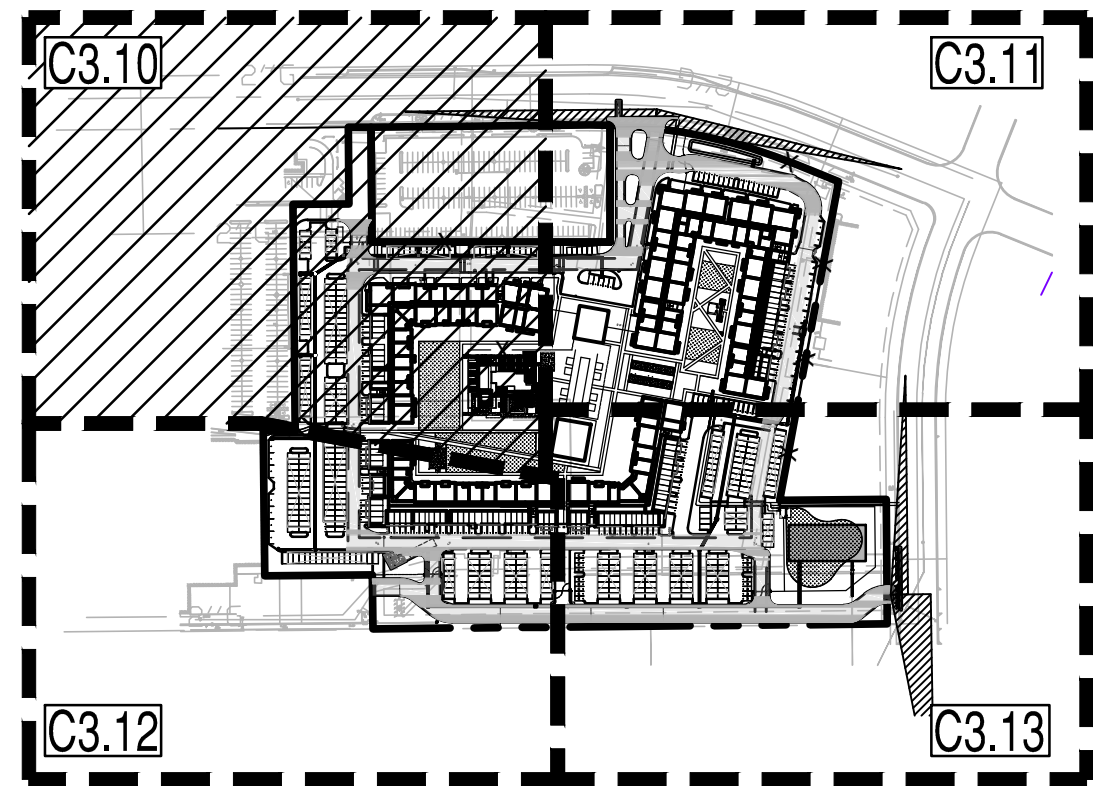
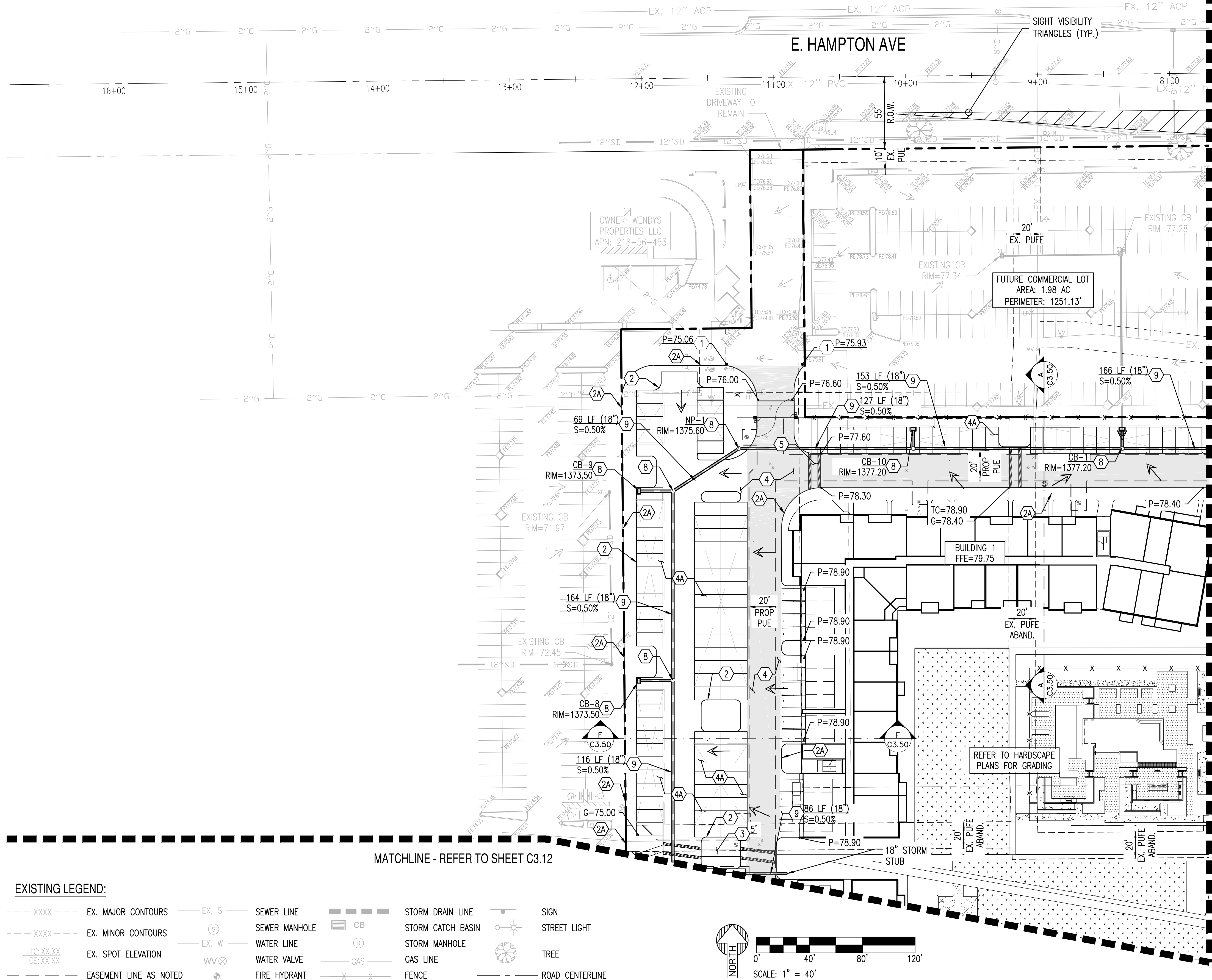
REVISION NO.: DATE:

JOB NO.: 201104

SHEET TITLE: PRELIMINARY GRADING AND DRAINAGE KEYMAP

PAGE NO.: SHEET NO.: C3.00

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.



PRELIMINARY GRADING CONSTRUCTION KEY NOTES

- 1 MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 CONSTRUCT 6" CONCRETE CURB AND GUTTER PER MAG STD. DET. 220-1 TYPE "A".
- 2A CONSTRUCT 6" VERTICAL CURB PER MAG STD. DET. 222 TYPE "B".
- 3 CONSTRUCT CONCRETE SIDEWALK PER MAG STD. DET. 230. WIDTH PER PLAN.
- 4 HEAVY DUTY PAVEMENT
- 4A LIGHT DUTY PAVEMENT
- 5 CONSTRUCT PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
- 6 CONSTRUCT ADA RAMP.
- 6A CONSTRUCT ADA RAMP.
- 7 INSTALL 4' PRECAST MANHOLE WITH 48-INCH BASE PER MAG STD. DET. 520 AND 522 WITH CONCRETE COLLAR PER MAG STD. DET. 422.; FRAME AND COVER PER MAG STD. DET. 423-1.
- 8 INSTALL NYLOPLAST DRAIN BASIN WITH 30" RISER AND 2'X3' STEEL GRATE.
- 8A INSTALL 30" NYLOPLAST DRAIN BASIN WITH STANDARD H-20 GRATE.
- 8B INSTALL 30" NYLOPLAST DRAIN BASIN WITH STANDARD SOLID LID.
- 9 INSTALL HDPE DOUBLE WALL PIPE, CLASS 100; PIPE MATERIAL PER MAG SPECIFICATION 738. LENGTH, SIZE AND SLOPE PER PLAN.
- 10 INSTALL LIFT STATION.
- 11 INSTALL PROPOSED UNDERGROUND STORAGE SYSTEM. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO MANUFACTURING.
- 12 CONSTRUCT CURB ISLAND OPENING.
- 13 CONSTRUCT SOLID WASTE CONTAINER PER C.O.M. STD. DET. M-62.01 THRU M62.07.
- 14 INSTALL 30" RISER WITH STANDARD H-20 GRATE.
- 15 INSTALL DRIVEWAY PER C.O.M. STD. DET. M-40.01.
- 16 SAWCUT EXISTING PAVEMENT TO PROVIDE STRAIGHT VERTICAL EDGES, FREE FROM IRREGULARITIES. REPLACE EXISTING PAVEMENT PER MAG STD. DET. 200-1 & 200-2.

EXISTING LEGEND:

--- XXXX ---	EX. MAJOR CONTOURS	--- EX. S ---	SEWER LINE	--- STORM DRAIN LINE ---	--- SIGN ---
--- XXXX ---	EX. MINOR CONTOURS	--- EX. W ---	SEWER MANHOLE	--- STORM CATCH BASIN ---	--- STREET LIGHT ---
TC: XX.XX GE: XX.XX	EX. SPOT ELEVATION	WV	WATER VALVE	--- GAS ---	--- TREE ---
---	EASEMENT LINE AS NOTED	+	FIRE HYDRANT	--- GAS LINE ---	--- ROAD CENTERLINE ---

PROPOSED GRADING LEGEND:

G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	--- PROPERTY LINE ---	--- FLOW ARROW ---	--- DW --- DW ---	DRYWELL	--- RIP-RAP ---
P=XX.XX	PAVEMENT ELEVATION	--- CURB AND GUTTER ---	--- CATCH BASIN ---	--- WM ---	WATER METER	--- CONCRETE PAVEMENT ---
C=XX.XX	CONCRETE ELEVATION	--- VERTICAL CURB ---	--- STORM PIPE ---	--- G ---	GATE VALVE	--- HEAVY DUTY PAVEMENT ---
		--- RL --- RIDGELINE ---	--- SD ---	--- FM ---	FIRE HYDRANT	--- LIGHT DUTY PAVEMENT ---

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



STILLWATER
CAPITAL



PROJECT
SUPERSTITION APARTMENTS

LOCATION
1455 SOUTH CLEARVIEW AVENUE
MESA, ARIZONA 85209

DATE: 07/26/2021

ISSUED FOR: REZONING

REVISION NO.:

DATE:

JOB NO.:

201104

SHEET TITLE:

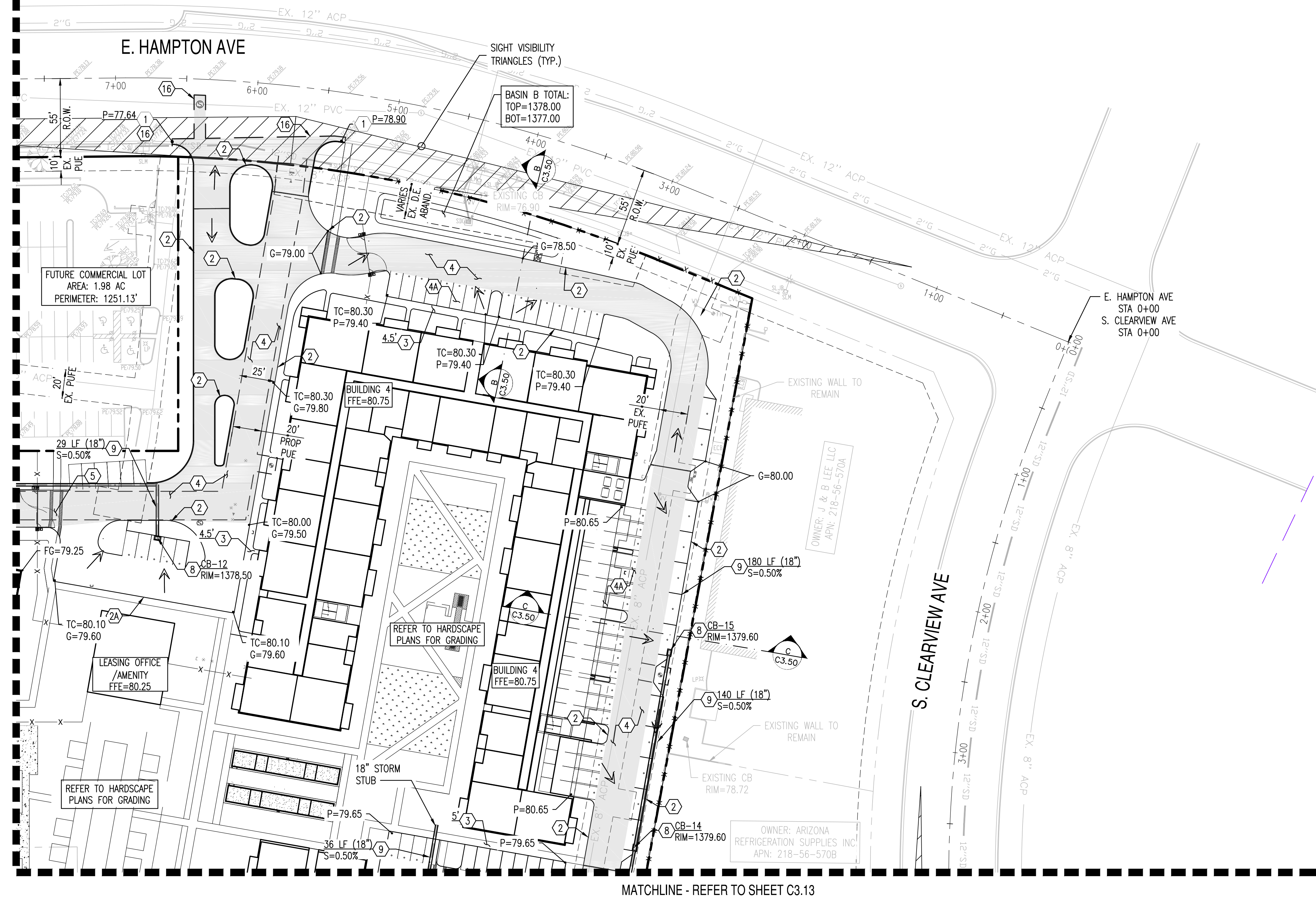
PRELIMINARY GRADING
AND DRAINAGE PLAN

PAGE NO.:

SHEET NO.:

C3.10

MATCHLINE - REFER TO SHEET C3.10



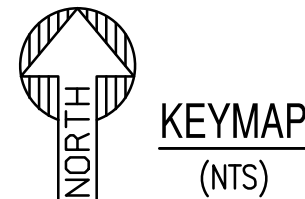
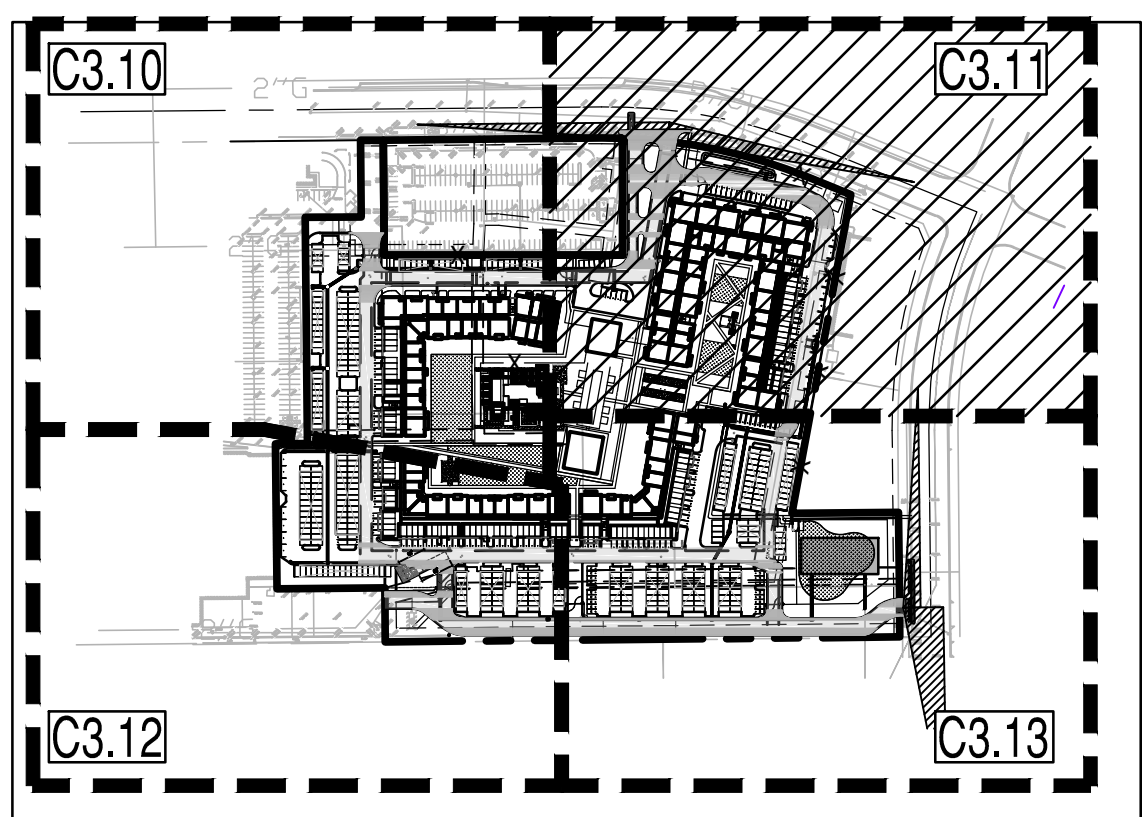
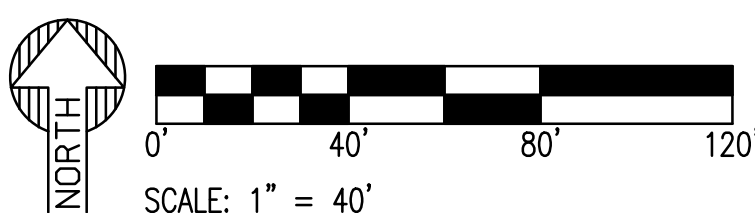
MATCHLINE - REFER TO SHEET C3.13

EXISTING LEGEND:

--- XXXX ---	EX. MAJOR CONTOURS	--- EX. S ---	SEWER LINE	--- STORM DRAIN LINE ---	--- SIGN ---
--- XXXX ---	EX. MINOR CONTOURS	--- EX. W ---	SEWER MANHOLE	--- STORM CATCH BASIN ---	--- STREET LIGHT ---
TC=XX.XX GE=XX.XX	EX. SPOT ELEVATION	WV	WATER LINE	--- STORM MANHOLE ---	--- TREE ---
---	EASEMENT LINE AS NOTED	+	WATER VALVE	--- GAS ---	---
			FIRE HYDRANT	--- GAS LINE ---	---
				--- FENCE ---	---
				---	---

PROPOSED GRADING LEGEND:

G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	---	PROPERTY LINE	→	FLOW ARROW	--- DW --- DW ---	DRYWELL	---	RIP-RAP
P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER	●	CATCH BASIN	---	WATER METER	---	CONCRETE PAVEMENT
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB	---	STORM PIPE	---	GATE VALVE	---	HEAVY DUTY PAVEMENT
		---	RIDGELINE	---	SD	---	FIRE HYDRANT	---	LIGHT DUTY PAVEMENT



PRELIMINARY GRADING CONSTRUCTION KEY NOTES

- MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- CONSTRUCT 6" CONCRETE CURB AND GUTTER PER MAG STD. DET. 220-1 TYPE "A".
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- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- CONSTRUCT PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
- CONSTRUCT ADA RAMP.
- CONSTRUCT ADA RAMP.
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PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



PROJECT
SUPERSTITION APARTMENTS

LOCATION
1455 SOUTH CLEARVIEW AVENUE
MESA, ARIZONA 85209

DATE: 07/26/2021

ISSUED FOR:

REZONING

REVISION NO.:

DATE:

1		
2		
3		
4		

JOB NO.:

201104

SHEET TITLE:

PRELIMINARY GRADING
AND DRAINAGE PLAN

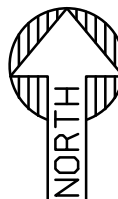
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SHEET NO.:

C3.11



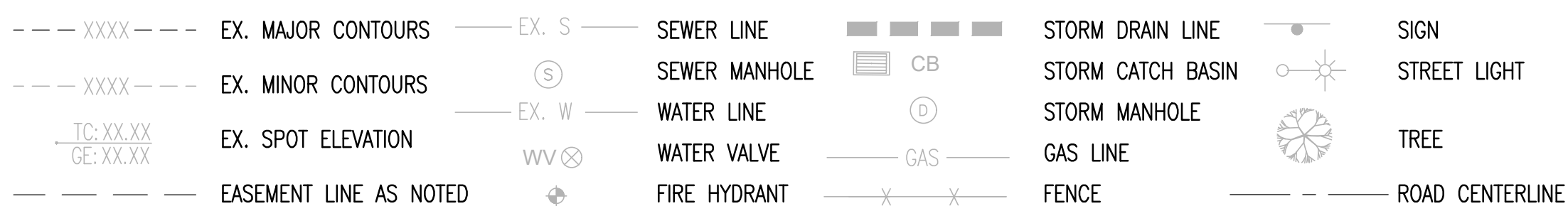
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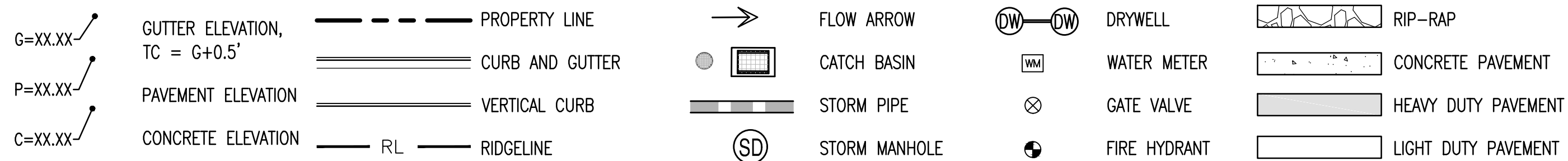
PRELIMINARY GRADING CONSTRUCTION KEY NOTE:

- 1 MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.

EXISTING LEGEND



PROPOSED GRADING LEGEND

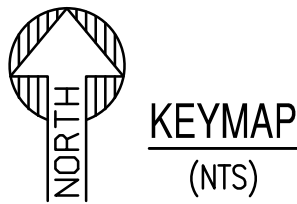
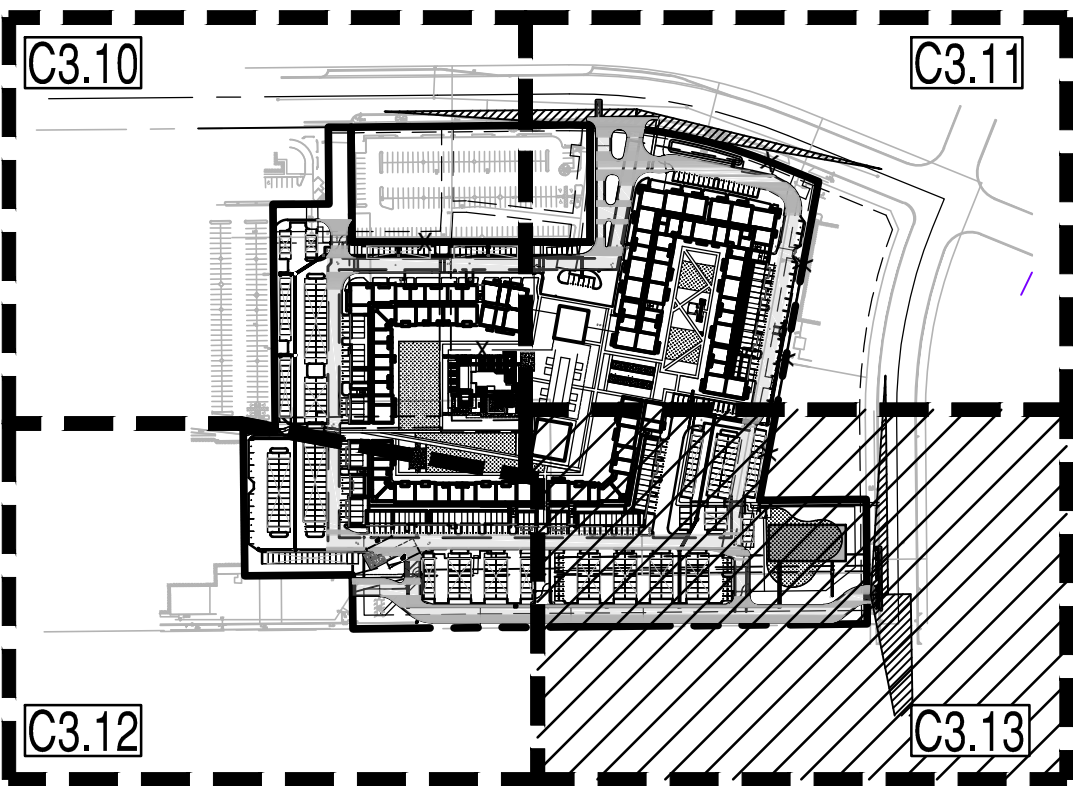
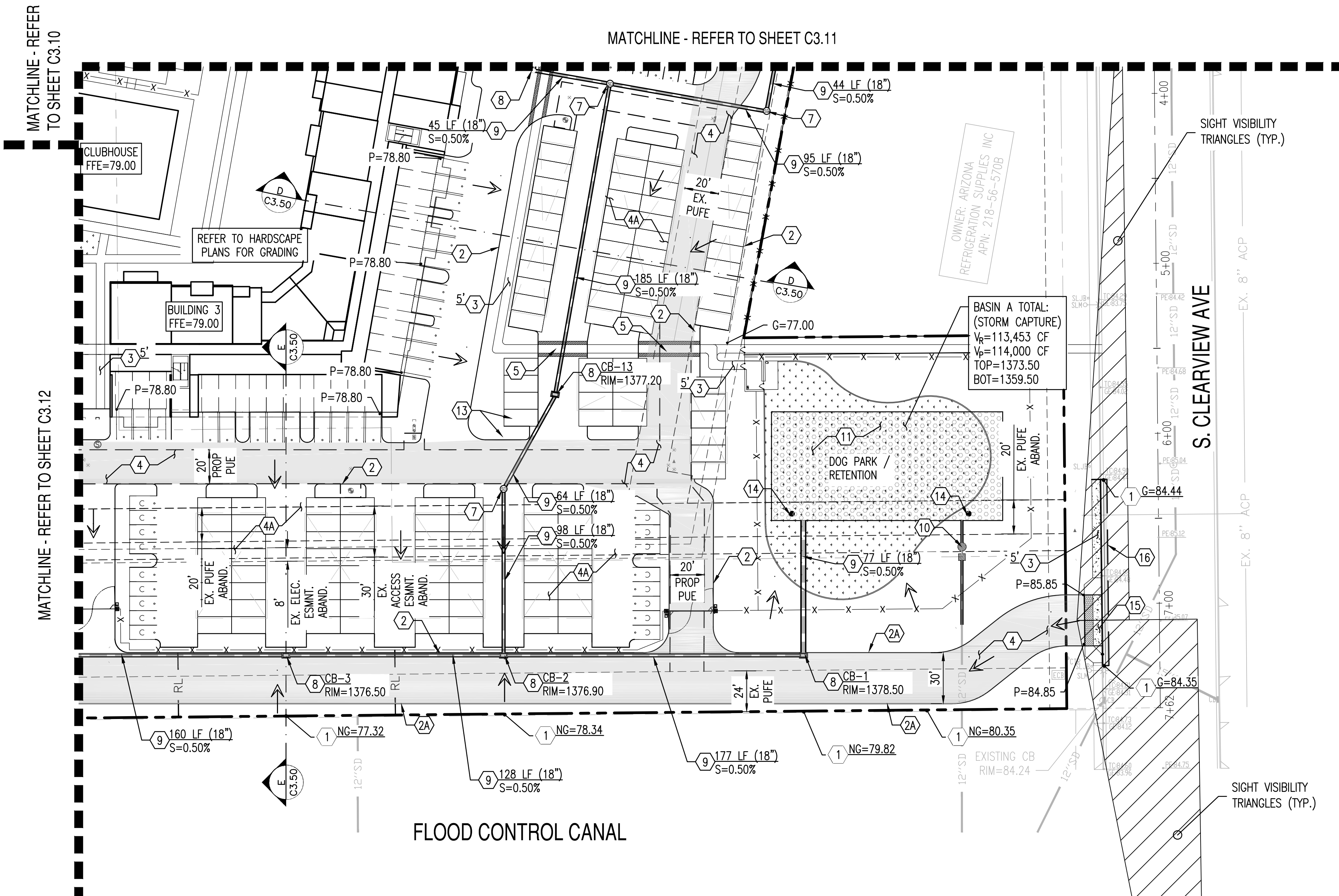


EXISTING LEGEND:

--- XXXX ---	EX. MAJOR CONTOURS	--- EX. S ---	SEWER LINE	--- STORM DRAIN LINE ---	● SIGN
--- XXXX ---	EX. MINOR CONTOURS	⊙	SEWER MANHOLE	▒ STORM CATCH BASIN	⊙ STREET LIGHT
--- TC: XX.XX GE: XX.XX ---	EX. SPOT ELEVATION	--- EX. W ---	WATER LINE	⊙ STORM MANHOLE	⊙ TREE
---	EASEMENT LINE AS NOTED	WV ⊗	WATER VALVE	--- GAS ---	--- ROAD CENTERLINE ---
		⊙	FIRE HYDRANT	--- X ---	FENCE

PROPOSED GRADING LEGEND:

G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	--- PROPERTY LINE ---	→ FLOW ARROW	⊙ DW --- DW	DRYWELL	▒ RIP-RAP
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C=XX.XX	CONCRETE ELEVATION	--- RL --- RIDGELINE	--- STORM PIPE ---	⊗	GATE VALVE	▒ HEAVY DUTY PAVEMENT
			⊙ SD	⊙	FIRE HYDRANT	▒ LIGHT DUTY PAVEMENT



PRELIMINARY GRADING CONSTRUCTION KEY NOTES

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PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534



PROJECT
SUPERSTITION APARTMENTS

DRAWN	TM, JG	06/04/2021
DESIGNED	TM, JG	06/04/2021
QC	AF	06/07/2021
FINAL QC	AF	07/26/2021
PROJ. MGR.	AF	07/26/2021

DATE: 07/26/2021

ISSUED FOR:

LOCATION
1455 SOUTH CLEARVIEW AVENUE
MESA, ARIZONA 85209

REZONING

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 201104

SHEET TITLE:

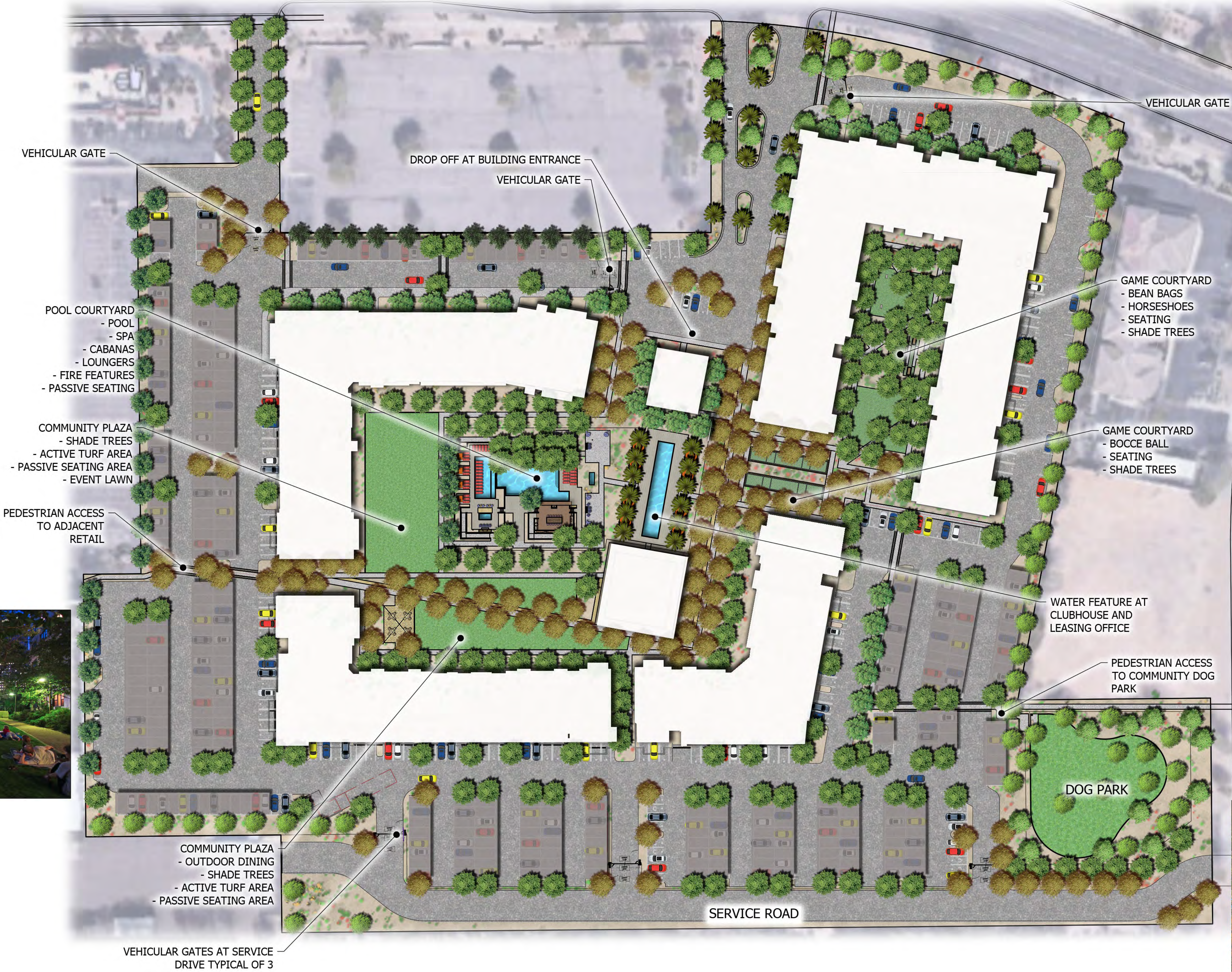
PRELIMINARY GRADING
AND DRAINAGE PLAN

PAGE NO.:

SHEET NO.:

C3.13

E. HAMPTON AVE.



HAMPTON AND CLEARVIEW APARTMENTS

CONCEPTUAL LANDSCAPE PLAN

Scale 1:50
Date: 07-26-2021
ABLASTUDIO.COM



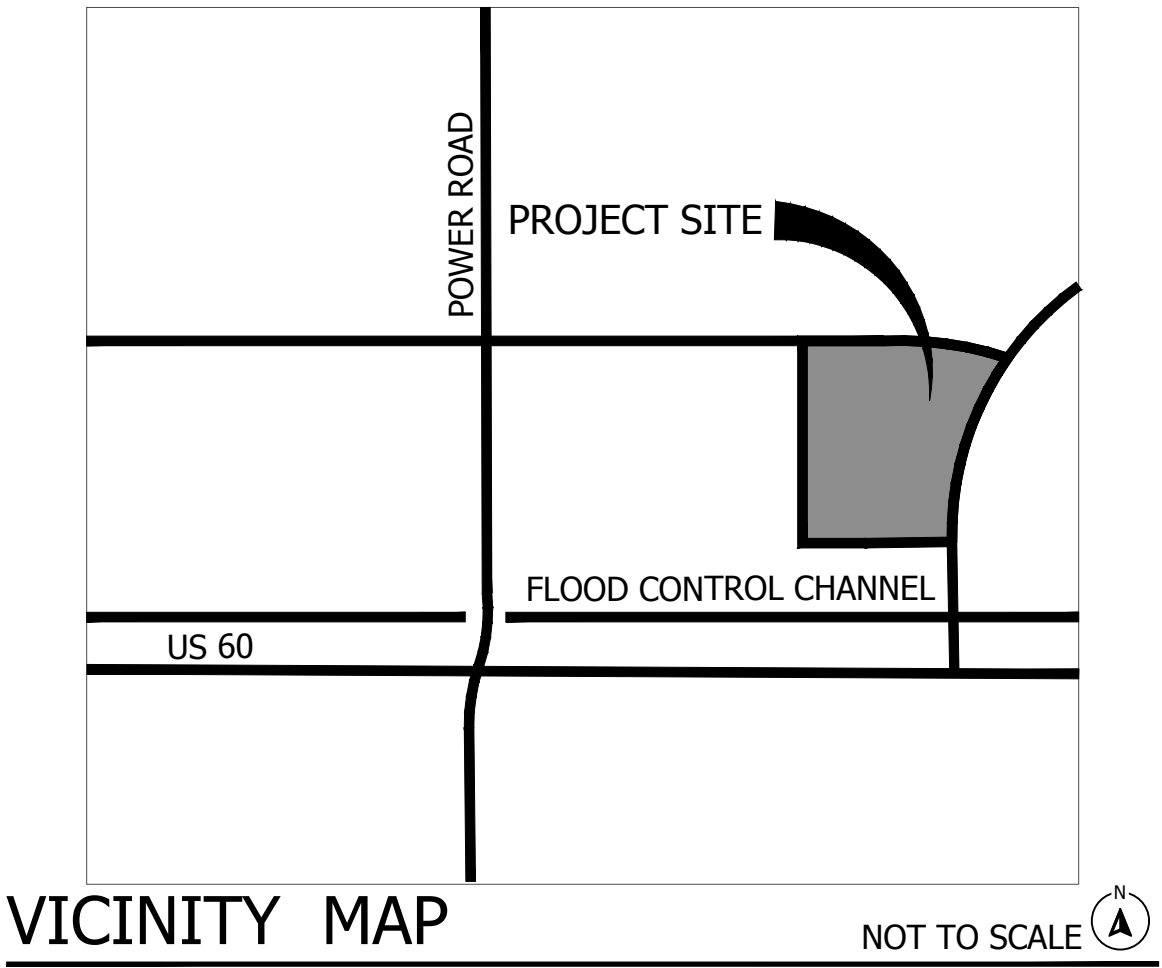
LANDSCAPE IMPROVEMENT PLANS

FOR

HAMPTON AND CLEARVIEW APARTMENTS

MESA, AZ

SHEET INDEX		
PG #	SHEET LABLE	DESCRIPTION
1	LA CV	LANDSCAPE COVER SHEET
2	LA0.1	GENERAL NOTES
3	LA2.0	WALL PLANS
4-10	LA3.1-LA3.7	PLANTING PLANS



CLIENT / OWNER DEVELOPER:

CLIENT / OWNER
STILLWATER CAPITAL
THOMAS HOY
4145 TRAVIS STREET SUITE 300
DALLAS, TX 75204
972.629.6028
THOMAS.HOY@STILLWATERCAP.COM

CONSULTANT TEAM:

LANDSCAPE ARCHITECT
ABLA, LLC
ANDY BARON
310 E. RIO SALADO PARKWAY
TEMPE, AZ 85281
480-530-0077
andy.baron@ablstudio.com

CIVIL ENGINEER
SEG
ALI FAKIH
8280 E. GELDING DR., SUITE 101,
SCOTTSDALE, AZ
480.237.2507
ALI@AZSEG.COM

ARCHITECT
OMNIPLAN
JEFF SLAJER
1845 WOODALL RODGERS FREEWAY
SUITE 1600 DALLAS, TX 75201
214.775.0676
JSLAJER@OMNIPLAN.COM

SITE LANDSCAPE DATA:		
DESCRIPTION:	QUANTITY:	
LANDSCAPE AREA	227,759 S.F.	
	REQUIRED:	PROVIDE:
TREES AT STREETScape	28	28
SHRUBS AT STREETScape	168	168
TREES AT PARKING	100	100
SHRUBS AT PARKING	300	300
TREES AT FOUNDATION BASE	41	41
SHRUBS AT FOUNDATION BASE	123	123
% OF LANDSCAPE COVERAGE OPEN SPACE	50%	50%

NOTE:

- A MINIMUM OF 1 TREE AND 6 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE WILL BE PROVIDED PER SECTION 11-33-3.A OF THE MZO.
- A MINIMUM OF 1 TREE AND 3 SHRUBS PER 15 FOOT FOOT PARKING ISLAND WILL BE PROVIDED PER SECTION 11-33-4.D OF THE MZO.
- A MINIMUM OF 25% OF THE TOTAL NUMBER OF PERIMETER TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-3.A.6 OF THE MZO.
- A MINIMUM OF 10% OF THE TOTAL NUMBER OF FOUNDATION BASE TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-5.B.2 OF THE MZO.

APPROVAL STAMP

KEY MAP

NOT TO SCALE

1

2

3

4

5

6

Stillwater Capital
Hampton and Clearview Apartments
SWC of Hampton and Clearview
Mesa, AZ
SHEET TITLE: LANDSCAPE COVER

STILLWATER
CAPITAL

SW

ABLA

310 E. RIO SALADO PARKWAY
TEMPE, ARIZONA 85281
OFFICE: 480-530-0077
WEB: ABLASTUDIO.COM

PROFESSIONAL LANDSCAPE ARCHITECT
ANDREW D. BARON
07/26/2021
EXP. 2-31-21

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DATE: 07/26/2021
ISSUED FOR: DRB
DRAWN BY: CH/CR
CHECKED BY: TD
PERMIT NUMBER:
ABLA PROJECT NUMBER:
289-001-20

LA CV
PG: 1 OF 10

\\FSERVER\B\A\Projects\Stillwater Capital\Superstition\Landscap\Construction Documents\00-Cover_Super.dwg

POOL PROJECT NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBMITTALS AND PERMITS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL STANDARDS AND CODES.
3. THE CONTRACTOR SHALL IDENTIFY ANY POSSIBLE VARIANCES TO ALL APPLICABLE STANDARDS AND CODES AND SHALL SUBMIT THE NECESSARY APPLICATIONS TO THE APPROPRIATE DEPARTMENTS IN ACCORDANCE WITH THE PROJECT SCHEDULE.
4. THE CONTRACTOR SHALL REVIEW POOL EQUIPMENT AND COORDINATE WITH REQUIRED UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL REVIEW POOL EQUIPMENT LOCATION AND FACILITIES TO ENSURE APPROPRIATE SPACE AND CONDITIONS ARE PROVIDED.
6. THE CONTRACTOR SHALL LOCATE AND PROVIDE SIGNAGE AND SAFETY EQUIPMENT ACCORDING TO APPROPRIATE CODES.
7. THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE PROPERTY OWNER'S AUTHORIZED REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL PROVIDE ALL STRUCTURAL DRAWINGS ACCORDING TO APPROPRIATE CODES AND SOILS REPORTS TO THE PROPERTY OWNER'S AUTHORIZED REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL ENSURE THROUGH THEIR REVIEW THAT ALL NECESSARY SUPPORTING FACILITIES ARE PROVIDED IN ACCORDANCE TO APPROPRIATE CODES.
10. THE CONTRACTOR SHALL ENSURE PROPER DRAINAGE AWAY FROM THE POOL/WATER FEATURE IN COMPLIANCE WITH ALL APPLICABLE STANDARDS AND CODES AND THAT DRAINAGE DOES NOT IMPEDE OR CAUSE HARM TO OTHER BUILT FACILITIES.

GRADING PROJECT NOTES:

1. CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND MAINTAIN AND/OR CREATE DRAINAGE SPECIFIED ON THE PROJECT CIVIL ENGINEERS CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL KEEP DRAINAGE WAYS AND NATURAL FLOW CHANNELS SPECIFIED FREE FROM OBSTRUCTIONS THAT MAY IMPAIR FLOW.
2. FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT. ALL GRADING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PLANTING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY CALICHES ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER.
4. FINISH GRADE OF ALL PLANTING AREAS SHALL COMPLY WITH PART 3 OF THE PLANTING SPECIFICATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CREATING A NATURAL UNDULATING GROUNDPLANE IN ALL PLANTING AREAS AT/PER THE DIRECTION OF THE LANDSCAPE ARCHITECT.

INERTS NOTES:

- ANGULAR GRANITE RIP-RAP
1. INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS. TYPICAL SIZE OF RIP-RAP SHALL BE 3"-6", SIZED. COLOR OF GRANITE RIP-RAP TO MATCH EXISTING GRANITE. CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- DECOMPOSED GRANITE
1. DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS EXCEPT AREAS OF TURF AND GRANITE RIP-RAP.
 2. SURFACE ROCKS LARGER THAN 1" DIA. ARE TO BE REMOVED PRIOR TO SPREADING DECOMPOSED GRANITE. AFTER SPREADING DECOMPOSED GRANITE TO A NEAT, UNIFORM 2" LAYER, REMOVE ALL EXISTING CALICHE ROCKS THAT SHOW THROUGH. SUPPLY ADEQUATE SIZE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING.

GENERAL PROJECT NOTES:

1. THESE NOTES ARE TO BE USED AS A GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND CHANGE ORDERS ASSOCIATED WITH THIS DOCUMENT SET.
2. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS (THIS DOCUMENT SET) AND PER LOCAL OR STATE GOVERNING CODES AND/OR ORDINANCES, WHICHEVER IS APPLICABLE.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
4. THE CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE PROJECT SITE AND LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. THE CONTRACTOR SHALL UTILIZE AN UNDERGROUND UTILITY COORDINATION SERVICE TO MARK EXISTING UTILITIES 48 HOURS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD ANY CONFLICT ARISE.
5. THE CONTRACTOR SHALL PROVIDE MATERIALS OR EQUIPMENT AND PERFORM REQUIRED INCIDENTAL PROCEDURES THAT MAY BE NECESSARY TO COMPLETE THE PROJECT TO SATISFACTORY CONDITION AS DIRECTED BY THE DESIGN INTENT OF THIS DOCUMENT SET AND THEREFORE SHALL MEET MINIMUM CONSTRUCTION REQUIREMENTS AND INDUSTRY STANDARDS NOTWITHSTANDING MENTION OR REFERENCE IN THIS DOCUMENT SET.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
7. INTERPRETATION OF THIS DOCUMENT SET IN ITS ENTIRETY SHALL BE MADE BY THE LANDSCAPE ARCHITECT OF RECORD AND SHALL BE CONSIDERED FINAL. DISCREPANCIES SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE LANDSCAPE ARCHITECT OF RECORD AS THE CORRECT AND FINAL INTERPRETATION.
8. THIS DOCUMENT SET, INCLUDING ALL PLAN SHEETS, NOTES, DETAILS AND SPECIFICATIONS SHALL BE UTILIZED BY THE CONTRACTOR PERFORMING INSTALLATION AS GENERAL GUIDELINES FOR THE PROJECT DESIGN INTENT. QUANTITIES SHOWN IN THIS DOCUMENT SET ARE ESTIMATES ONLY AND ARE NOT THEREFORE GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER COMPLETE PROJECT AS SPECIFIED IN THESE DOCUMENTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO THE START OF WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
11. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS.
12. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THIS DOCUMENT SET OR SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
13. CONTRACTOR SHALL PROPERLY COORDINATE WORK TO BE PERFORMED WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
14. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE INCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
15. EXISTING SITE CONDITIONS AND THE DOCUMENT SET BASE INFORMATION HAVE BEEN PROVIDED BY THE PROJECT CIVIL ENGINEER.
16. CONTRACTOR SHALL MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.
17. THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION AND SHALL BE RESPONSIBLE FOR SECURING APPROVAL AND PERMIT FOR THE PROCESS.

HARDSCAPE GENERAL NOTES:

1. CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE SHOULD ANY DISCREPANCIES EXIST. THE CONTRACTOR SHALL SUBMIT IN WRITING SUGGESTED MODIFICATION AND RECEIVE TRANSMITTED RECORD OF APPROVAL FROM OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE DOCUMENTS SUBMITTED BY THE PROJECT CIVIL ENGINEER. THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE SHOULD ANY DISCREPANCIES OCCUR. THE CONTRACTOR SHALL SUBMIT IN WRITING SUGGESTED MODIFICATION AND RECEIVE TRANSMITTED RECORD OF APPROVAL FROM OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY FIELD REVISIONS.
3. REFER TO CONSTRUCTION DOCUMENTS PREPARED BY THE PROJECT CIVIL ENGINEER FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROL DIMENSIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL STRUCTURES REPRESENTED IN THE CONTRACT DOCUMENTS (THIS DOCUMENT SET) REVIEWED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION UNLESS OTHERWISE STATED.
5. FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
6. CONTRACTOR SHALL HAVE SIDEWALKS SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE FOR SITE REVIEW.
7. UNLESS OTHERWISE NOTED IN THIS DOCUMENT SET OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" IN WIDTH, 4" THICK, 2500 PSI CONCRETE ON COMPACTED BASE PER SITE SOILS REPORT WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH PERPENDICULAR TO DIRECTION OF TRAVEL WITH 1/2" RADIUS TOOLED EDGES.
8. RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF HARDSCAPE MATERIAL SPECIFIED IN THE CONTRACT DOCUMENTS (THIS DOCUMENT SET) FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVING STAINS AND SPILLS ON FINISHED HARDSCAPE IMMEDIATELY.
11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING FINISHED WORK UNTIL PROJECT ACCEPTANCE BY OWNER/OWNER'S REPRESENTATIVE.

PLANTING GENERAL NOTES:

1. CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL REVIEW SITE SOILS REPORT PRIOR TO PLANTING. WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT, SEE HARDPAN DETAIL.
3. PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO HARDSCAPE CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE. SUBSTANTIAL DEVIATION FROM THIS DOCUMENT SET WILL REQUIRE REVIEW AND APPROVAL FROM OWNER'S AUTHORIZED REPRESENTATIVE.
4. LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT MATERIALS DEEMED UNACCEPTABLE. SEE SPECIFICATIONS AND THIS DOCUMENT SET FOR MINIMUM REQUIREMENTS.
5. THE CONTRACTOR SHALL SUBMIT IN WRITING REQUESTS FOR ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
7. ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION AND STANDARDIZED PLANT NAMES, LATEST EDITION.
8. PLANT MATERIAL MARKED 'SALVAGE' SHALL BE SELECTED FROM FROM ON-SITE SALVAGE INVENTORY OR LOCATED BY THE LANDSCAPE ARCHITECT FROM ANOTHER SOURCE. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
9. FINAL LOCATION OF PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
10. ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
11. LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS. CONTRACTOR SHALL OBSERVE MINIMUM OFFSETS FROM THE FOLLOWING STRUCTURES; TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS (MEASURED FROM MATERIAL MATURITY), 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM HARDSCAPE, CURBS AND WALLS (MEASURED FROM CENTER OF PLANT MATERIAL). SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS AND 3'-0" FROM FIRE SUPPRESSION DEVICES (MEASURED FROM MATERIAL MATURITY). LOCAL OR STATE GOVERNING CODES AND/OR ORDINANCES SHALL SUPERCEDE SPECIFIED DISTANCES SO LONG AS THEY SURPASS STATED REQUIREMENTS.
12. CONTRACTOR SHALL INSTALL "NDS EP SERIES" (OR APPROVED EQUAL) AT ALL TREES WITHIN 5'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
14. ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
15. CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
16. CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
17. ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.
20. CONTRACTOR SHALL INSTALL ANGULAR GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR COLOR AND SIZE OF ANGULAR GRANITE RIP-RAP. CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
21. DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS EXCEPT AREAS OF TURF AND ANGULAR GRANITE RIP-RAP AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE THROUGHOUT. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR SIZE AND COLOR OF DECOMPOSED GRANITE. CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
22. THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
23. PLANT MATERIAL SHALL NOT BE INSTALLED OR ALLOWED TO GROW TO WITHIN 3'-0" OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION (FDC). MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 15'-0" WHERE TREES OVERHANG THE CURB LINE. TREES SHALL BE PLANTED A MINIMUM OF 5'-0" FROM ANY STRUCTURE UNLESS OTHERWISE NOTED.
24. IN DISTURBED AREAS INDICATED TO RECEIVE REVEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT FLOOR GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
25. NATIVE REVEGETATION AREAS AND PLANTER BEDS NOTED IN THIS DOCUMENT SET SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
26. THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCKUP OF NATIVE REVEGETATION AREAS NOTED IN THIS DOCUMENT SET FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.

IRRIGATION GENERAL NOTES:

1. THE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
2. CONTRACTOR TO VERIFY PRESSURE ON-SITE AND NOTIFY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY THE PROPER PARTY, THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ALL NECESSARY SYSTEM ALTERATIONS REQUIRED TO FACILITATE AN EFFICIENT AND OPERATIONAL SYSTEM. THIS IRRIGATION SYSTEM REQUIRES A MINIMUM OF XX TO XX PSI WATER PRESSURE AT WATER METER.
3. THE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
4. THE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS. ALL NEW METERS SHALL BE INSTALLED PER THE IRRIGATION SCHEDULE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL INCLUDING TURF.
6. WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
7. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT AN UNDERGROUND UTILITY COORDINATION SERVICE TO VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES THAT MAY BE AFFECTED BY DESCRIBED WORK, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE IRRIGATION INSTALLATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
9. ALL VALVES SHALL NOT EXCEED MANUFACTURES SPECIFICATIONS.
10. SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
 - 10.1. TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
 - 10.2. TWO KEYS FOR EACH OF THE CONTROLLERS.
 - 10.3. TWO COUPLERS WITH MATCHING HOSE BIBBS AND SHUT-OFF VALVE.
 - 10.4. TWO VALVE BOX KEYS.
11. INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
12. VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE AND GROUPED TOGETHER WHEN POSSIBLE.
13. CONTRACTOR SHALL INSTALL TAN VALVE BOXES IN DECOMPOSED GRANITE FOR POTABLE WATER SYSTEMS. INSTALL AND MARK PURPLE VALVE BOXES FOR RECLAIMED WATER SYSTEMS.
14. VALVE BOXES TO BE BRANDED WITH CONTROLLER AND STATION NUMBER.
15. INSTALL ALL MAINLINES WITH A MINIMUM OF 18" OF COVER.
16. INSTALL ALL LATERALS WITH A MINIMUM OF 12" OF COVER.
17. ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 2774.
18. FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
19. INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
20. CONTROLLER TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINT OF CONNECTIONS. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
21. ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
23. CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12") FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNTIED PRIOR TO TRENCH FILL IN.
24. INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILED.
25. INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
26. THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA, ADJACENT TO HARDSCAPE WITHIN DESCRIBED LIMIT OF WORK.
27. ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
28. ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPE AREAS.
29. SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE AND INSTALLED AS SCHEDULE 40 PVC MINIMUM.
30. ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
31. FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL LATERALS.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
33. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
34. INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
35. ALL 120 VOLT VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE.
36. INSTALL ALL REMOTE CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
37. ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2") INCHES OF PEA GRAVEL.
38. ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIBLE MARKING.
39. ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6") INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
40. BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
41. AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
42. PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN ARIZONA/NEVADA CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE PROPER GOVERNING AGENCIES.

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Stillwater Capital

Hampton and Clearview Apartments

SWC of Hampton and Clearview

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ARIZONA

Professional Engineer

Pre-#5440-D

ANDREW D. BARON

07/26/2021

EXP. 2-31-21

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DATE: 07/26/2021

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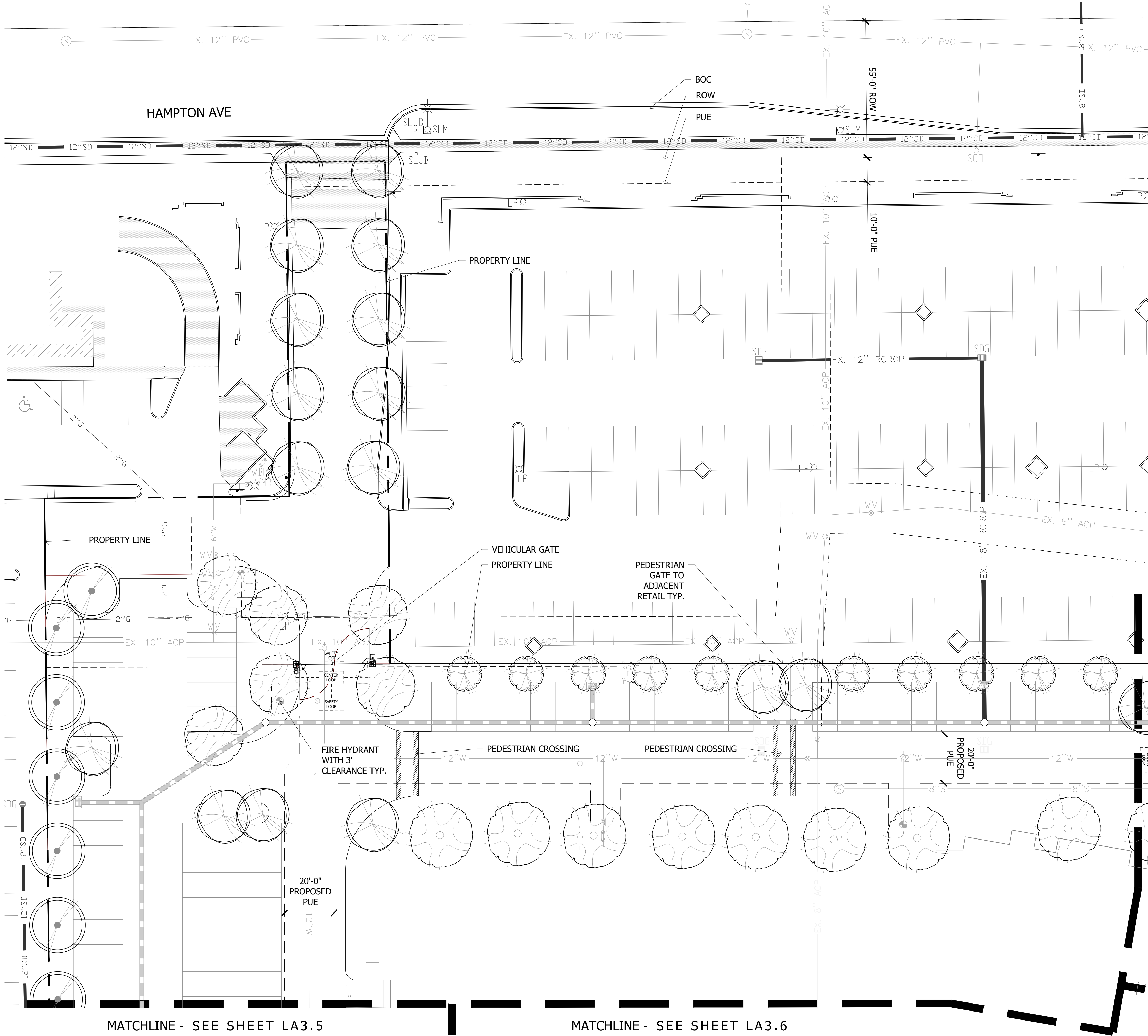
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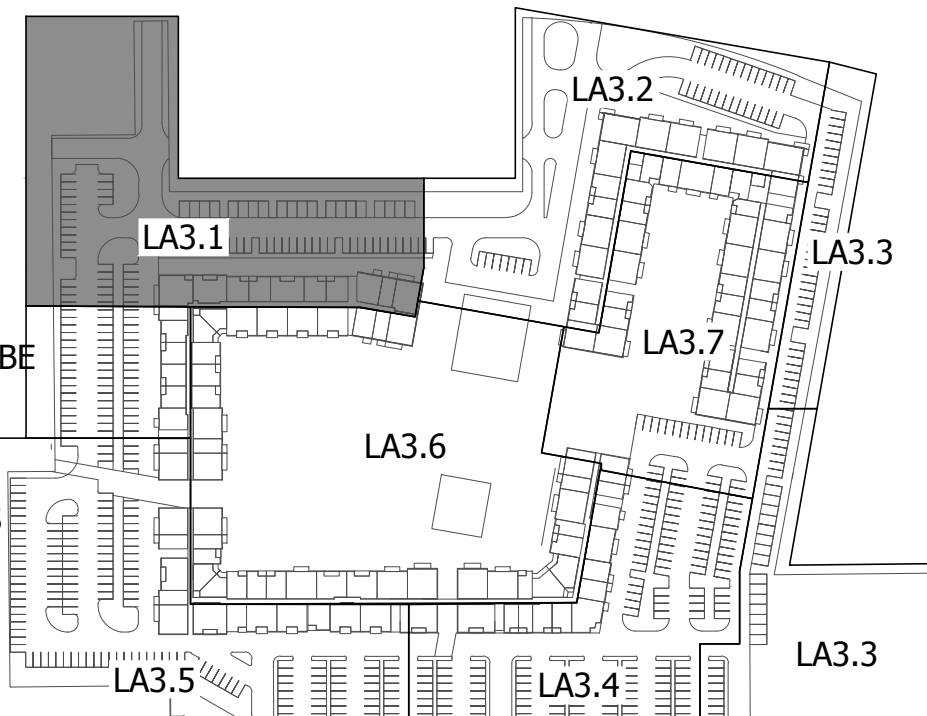


PLANT MATERIALS LEGEND				
Tree	Cal (in.)	Height (Ft.)	Width (Ft.)	Box Qty (in.)
Acacia aneura	.75"	6.0'	2.0'	24"/36" 25
Mulga Acacia				
Olea europea 'Swan Hill'	1.0"	6.0'	3.0'	24"/36" -
Swan Hill Olive				
Parkinsonia floridum	1.0"	5.0'	3.0'	24"/36" 25
Blue Palo Verde				
Phoenix dactylifera	18'-0" to Bottom of Pineapple			25
Date Palm				
Pistacia chinensis	1.0"	7.0'	2.5'	24"/36" 116
Chinese Pistache				
Pistacia lentiscus	1.0"	2.5'	7.0'	24"/36" -
Mastic Tree				
Prosopis hybrid	1.25"	5.0'	6.0'	24"/36" 50
Thornless Mesquite				
Quercus virginiana 'Cathedral Oak'	1.0"	7.0'	3.0'	24"/36" 207
Sophora secundiflora	.75"	3.0'	2.0'	24"/36" 10
Texas Mountain Laurel				
Ulmus parvifolia 'Allee' Elm	1.0"	7.0'	3.0'	24"/36" 22

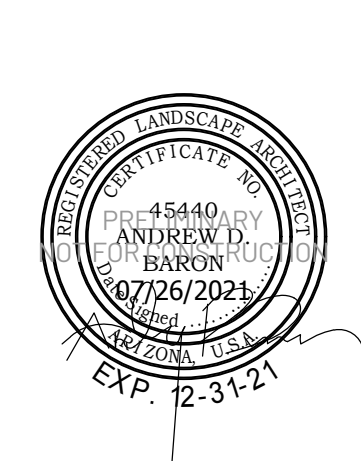
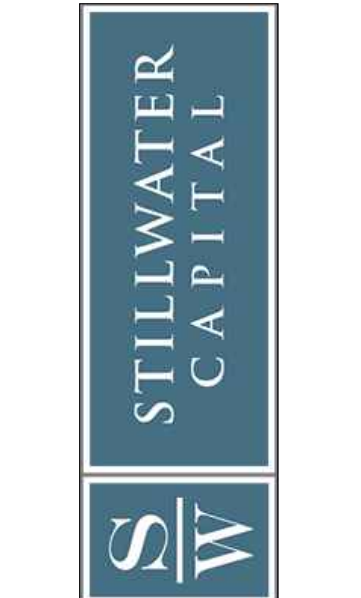
Extra Large Shrubs			Groundcovers		
Size	Qty		Size	Qty	
Bougainvillea 'Rosenka'	5 gal. -		Eremophila prostrata 'Outback Sunrise'		
Bougainvillea			Outback Sunrise Eremophila gal	-	
Caesalpinia gillesii	5 gal. -		Lantana montevidensis		
Yellow Bird of Paradise			Purple Trailing Lantana	1 gal. -	
Cordia Boissieri	5 gal. -		Lantana x 'Dallas Red'		
Anachuita			Dallas Red Lantana	1 gal. -	
Dodonea viscosa	5 gal. -		Rosmarinus officinalis 'Prostratus'		
Green Hopbush			Trailing Rosemary	1 gal. -	
Tecoma sp. 'Sparky'	5 gal. -		Ruellia brittoniana 'Katie'		
Sparky			Dwarf Katie Ruellia	1 gal. -	
Vaqueria californica	15 gal. -		Trachileospermum jasminoides Asiaticum		
Arizona Rosewood			Asiatic Jasmine	1 gal. -	
Large Shrubs			Cacti/ Accents		
Size	Qty		Size	Qty	
Leucophyllum langmaniae 'Rio Bravo'	5 gal. -		Agave americana 'Marginata'		
Rio Bravo Sage			Century Plant	5 gal. -	
Ligustrum japonicum	5 gal. -		Agave geminiflora		
Japanese Privet			Twin Flowered Agave	5 gal. -	
Medium Shrubs					
Size	Qty				
Eremophila hygrophana Blue Bells	5 gal. -		Agave weberi		
Blue Bells			Weber's Agave	1 gal. -	
Leucophyllum frutescens 'Lynn's Legacy'	5 gal. -		Aloe barbadensis		
Lynn's Legacy			Medicinal Aloe	5 gal. -	
Leucophyllum zygophyllum	5 gal. -		Bouteloua gracilis		
Cimarron Sage			Blond Ambition	1 gal. -	
Nerium oleander 'Petite Pink'	5 gal. -		Cereus peruvianus		
Oleander 'Petite Pink'			Cereus	5 gal. -	
Rosmarinus officinalis 'Upright'	5 gal. -		Cereus hildmannianus		
Upright Rosemary			Twisted Cactus	5 gal. -	
Ruellia brittoniana	5 gal. -		Cycas revoluta	5 gal. -	
Ruellia			Sago Palm		
Xylosma congestum 'Compactum'	5 gal. -		Muhlenbergia capillaris		
Dwarf Shiny Xylosma			Regal Mist	5 gal. -	
Small Shrubs					
Size	Qty				
Buxus microphylla japonica	5 gal. -		Muhlenbergia lindheimeri		
Green Beauty Boxwood			'Autumn Glow'	5 gal. -	
Callistemon viminalis 'Little John'	5 gal. -		Muhlenbergia rigida 'Nashville		
Little John Bottle Brush			Nashville Muhly Grass	1 gal. -	
Myrtus communis 'compacta'	5 gal. -		Opuntia ficus indica		
Dwarf Myrtle			Indian Fig Prickly Pear	8 Pad Min.	
Teucrium chamaedrys	5 gal. -		Opuntia sp. Kelly's Choice		
Germanier			Kelly's Choice Prickly Pear	5 gal. -	
Vines					
Size	Qty				
Bougainvillea 'Barbara Karst'	5 gal. -		Pedilanthus macrocarpus		
Bougainvillea			Slipper Plant	5 gal. -	
Bougainvillea 'Flame'	5 gal. -		Yucca baccata		
Gelsemium sempervirens	5 gal. -		Banana Yucca	5 gal. -	
Carolina Jessamine			Yucca pallida		
Rosa banksiae	5 Gal. -		Pale Leaf Yucca	5 gal. -	
Lady Bank's Rose			Yucca rostrata		
Inerts					
Size	Qty				
1/2" Screened Decomposed Granite			Beaked Yucca	20 gal. -	
Not Shown or Drawn			Yucca rupicola		
			Twisted Leaf Yucca	5 gal. -	
			Yucca gloriosa		
			Spanish Dagger	-	

SITE LANDSCAPE DATA:	
DESCRIPTION:	QUANTITY:
LANDSCAPE AREA	227,759 S.F.
TREES AT STREETSCAPE	28
SHRUBS AT STREETSCAPE	168
TREES AT PARKING	100
SHRUBS AT PARKING	300
TREES AT FOUNDATION BASE	41
SHRUBS AT FOUNDATION BASE	123
% OF LANDSCAPE COVERAGE OPEN SPACE	50%

- NOTE:
- A MINIMUM OF 1 TREE AND 6 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE WILL BE PROVIDED PER SECTION 11-33-3.A OF THE MZO.
 - A MINIMUM OF 1 TREE AND 3 SHRUBS PER 15 FOOT FOOT PARKING ISLAND WILL BE PROVIDED PER SECTION 11-33-4.D OF THE MZO.
 - A MINIMUM OF 25% OF THE TOTAL NUMBER OF PERIMETER TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-3.A.6 OF THE MZO.
 - A MINIMUM OF 10% OF THE TOTAL NUMBER OF FOUNDATION BASE TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-5.B.2 OF THE MZO.

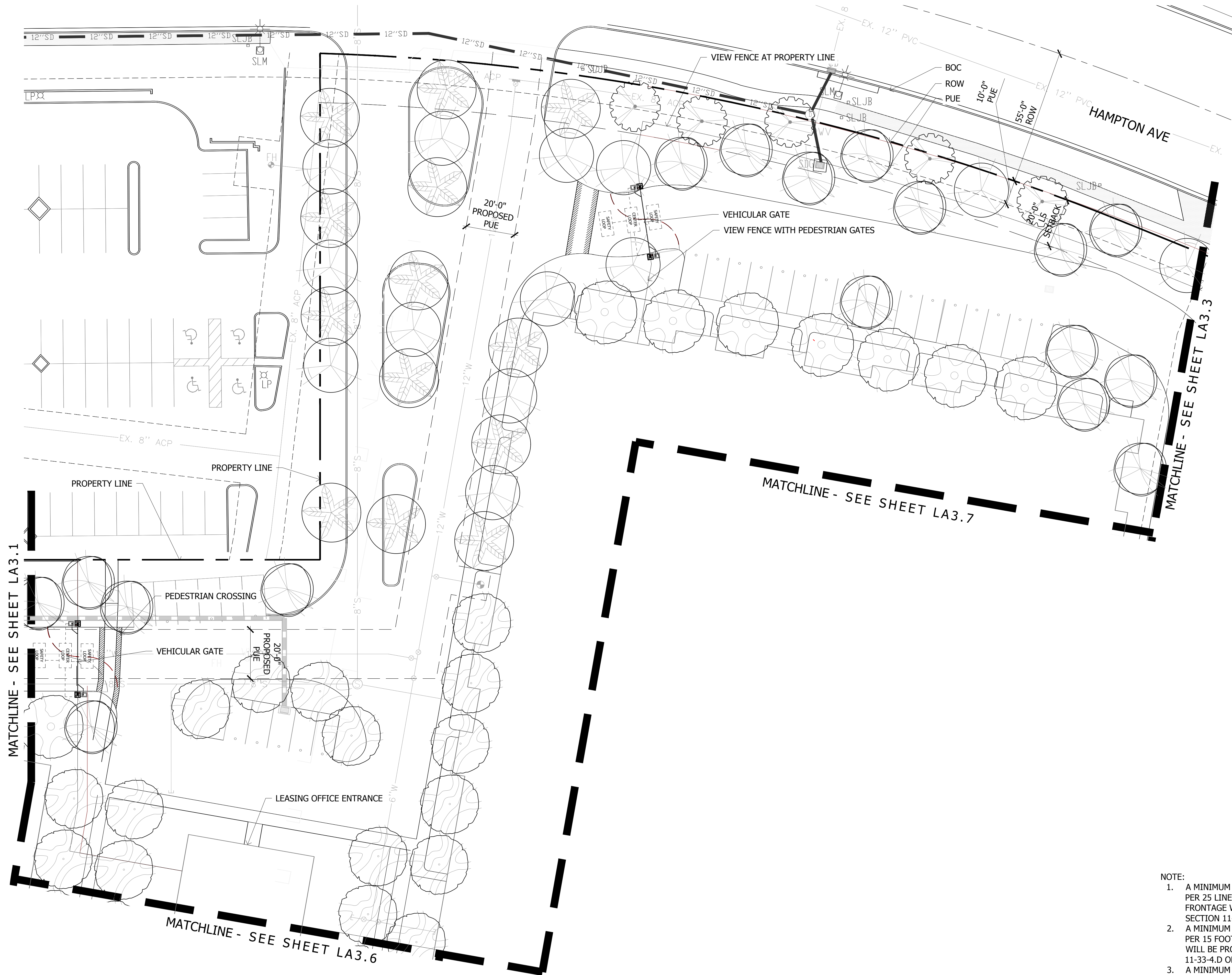


Stillwater Capital
Hampton and Clearview Apartments
SWC of Hampton and Clearview
Mesa, AZ
SHEET TITLE: PLANTING PLAN



DATE: 07/26/2021
ISSUED FOR: DRB
DRAWN BY: CH/CR
CHECKED BY: TD
PERMIT NUMBER:
ABLA PROJECT NUMBER:
289-001-20

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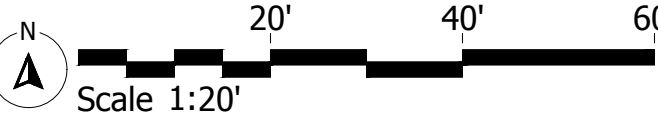
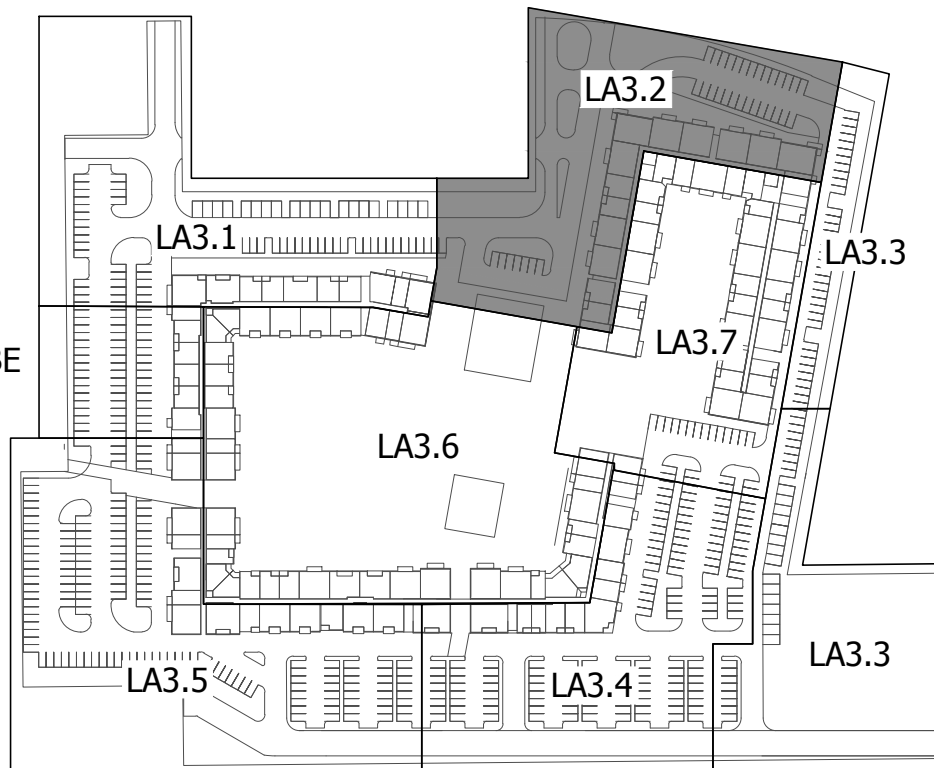


PLANT MATERIALS LEGEND				
Tree	Cal (in.)	Height (Ft.)	Width (Ft.)	Box Qty (in.)
Acacia aneura	.75"	6.0'	2.0'	24"/36" 25
Mulga Acacia				
Olea europea 'Swan Hill'	1.0"	6.0'	3.0'	24"/36" -
Swan Hill Olive				
Parkinsonia floridum	1.0"	5.0'	3.0'	24"/36" 25
Blue Palo Verde				
Phoenix dactylifera	18'-0" to Bottom of Pineapple			25
Date Palm				
Pistacia chinensis	1.0"	7.0'	2.5'	24"/36" 116
Chinese Pistache				
Pistacia lentiscus	1.0"	2.5'	7.0'	24"/36" -
Mastic Tree				
Prosopis hybrid	1.25"	5.0'	6.0'	24"/36" 50
Thornless Mesquite				
Quercus virginiana	1.0"	7.0'	3.0'	24"/36" 207
'Cathedral Oak'				
Sophora secundiflora	.75"	3.0'	2.0'	24"/36" 10
Texas Mountain Laurel				
Ulmus parvifolia	1.0"	7.0'	3.0'	24"/36" 22
'Allee' Elm				

Extra Large Shrubs				Groundcovers			
Size	Qty			Size	Qty		
Bougainvillea 'Rosenka'	5 gal. -			Eremophila prostrata 'Outback Sunrise'			
Bougainvillea				Outback Sunrise Eremophila gal			
Caesalpinia gillesii	5 gal. -			Lantana montevidensis	1 gal. -		
Yellow Bird of Paradise				Purple Trailing Lantana			
Cordia Boissieri	5 gal. -			Lantana x 'Dallas Red'	1 gal. -		
Anachuita				Dallas Red Lantana			
Dodonea viscosa	5 gal. -			Rosmarinus officinalis 'Prostratus'	1 gal. -		
Green Hopbush				Trailing Rosemary			
Tecoma sp. 'Sparky	5 gal. -			Ruellia brittoniana 'Katie'	1 gal. -		
Sparky				Dwarf Katie Ruellia			
Vaqualina californica	15 gal. -			Trachileospermum jasminoides Asiaticum	1 gal. -		
Arizona Rosewood				Asiatic Jasmine			
Large Shrubs	Size Qty			Cacti/ Accents	Size Qty		
Leucophyllum langmaniae 'Rio Bravo'	5 gal. -			Agave americana 'Marginata'	5 gal. -		
Rio Bravo Sage				Century Plant			
Ligustrum japonicum	5 gal. -			Agave geminiflora	5 gal. -		
Japanese Privet				Twin Flowered Agave			
Medium Shrubs	Size Qty			Agave weberi	1 gal. -		
Eremophila hygrophana Blue Bells	5 gal. -			Weber's Agave			
Blue Bells				Aloe barbadensis	5 gal. -		
Leucophyllum frutescens 'Lynn's Legacy'	5 gal. -			Medicinal Aloe			
Lynn's Legacy				Bouteloua gracilis	1 gal. -		
Leucophyllum zygothallum	5 gal. -			Blond Ambition			
Cimarron Sage				Cereus peruvianus	5 gal. -		
Nerium oleander 'Petite Pink'	5 gal. -			Cereus			
Oleander 'Petite Pink'				Cereus hildmannianus	5 gal. -		
Rosmarinus officinalis 'Upright'	5 gal. -			Twisted Cactus			
Upright Rosemary				Cycas revoluta	5 gal. -		
Ruellia brittoniana	5 gal. -			Sago Palm			
Ruellia				Muhlenbergia capillaris	5 gal. -		
Xylosma congestum 'Compactum'	5 gal. -			'Regal Mist'			
Dwarf Shiny Xylosma				Muhlenbergia lindheimeri	5 gal. -		
Small Shrubs	Size Qty			'Autumn Glow'			
Buxus microphylla japonica	5 gal. -			Muhlenbergia rigida 'Nashville	1 gal. -		
Green Beauty Boxwood				Nashville Muhly Grass			
Callistemon viminalis 'Little John'	5 gal. -			Opuntia ficus indica	8 Pad Min.		
Little John Bottle Brush				Indian Fig Prickly Pear			
Myrtus communis 'compacta'	5 gal. -			Opuntia sp. Kelly's Choice	5 gal. -		
Dwarf Myrtle				Kelly's Choice Prickly Pear			
Teucrium chamaedrys	5 gal. -			Pedilanthus macrocarpus	5 gal. -		
Germander				Slipper Plant			
Vines	Size Qty			Yucca baccata	5 gal. -		
Bougainvillea 'Barbara Karst'	5 gal. -			Banana Yucca			
Bougainvillea				Yucca pallida	5 gal. -		
Bougainvillea 'Flame'	5 gal. -			Pale Leaf Yucca			
Bougainvillea				Yucca rostrata	20 gal. -		
Gelsemium sempervirens	5 gal. -			Beaked Yucca			
Carolina Jessamine				Yucca rupicola	5 gal. -		
Rosa banksiae	5 Gal. -			Twisted Leaf Yucca			
Lady Bank's Rose				Yucca gloriosa	-		
				Spanish Dagger	-		
				Inerts	Size Qty		
				1/2" Screened Decomposed Granite			
				Not Shown or Drawn			

SITE LANDSCAPE DATA:	
DESCRIPTION:	QUANTITY:
LANDSCAPE AREA	227,759 S.F.
	REQUIRED: PROVIDE:
TREES AT STREETSCAPE	28 28
SHRUBS AT STREETSCAPE	168 168
TREES AT PARKING	100 100
SHRUBS AT PARKING	300 300
TREES AT FOUNDATION BASE	41 41
SHRUBS AT FOUNDATION BASE	123 123
% OF LANDSCAPE COVERAGE OPEN SPACE	50% 50%

- NOTE:
- A MINIMUM OF 1 TREE AND 6 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE WILL BE PROVIDED PER SECTION 11-33-3.A OF THE MZO.
 - A MINIMUM OF 1 TREE AND 3 SHRUBS PER 15 FOOT FOOT PARKING ISLAND WILL BE PROVIDED PER SECTION 11-33-4.D OF THE MZO.
 - A MINIMUM OF 25% OF THE TOTAL NUMBER OF PERIMETER TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-3.A.6 OF THE MZO.
 - A MINIMUM OF 10% OF THE TOTAL NUMBER OF FOUNDATION BASE TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-5.B.2 OF THE MZO.



123456

Stillwater Capital
Hampton and Clearview Apartments
SWC of Hampton and Clearview
Mesa, AZ
SHEET TITLE: PLANTING PLAN

STILLWATER CAPITAL

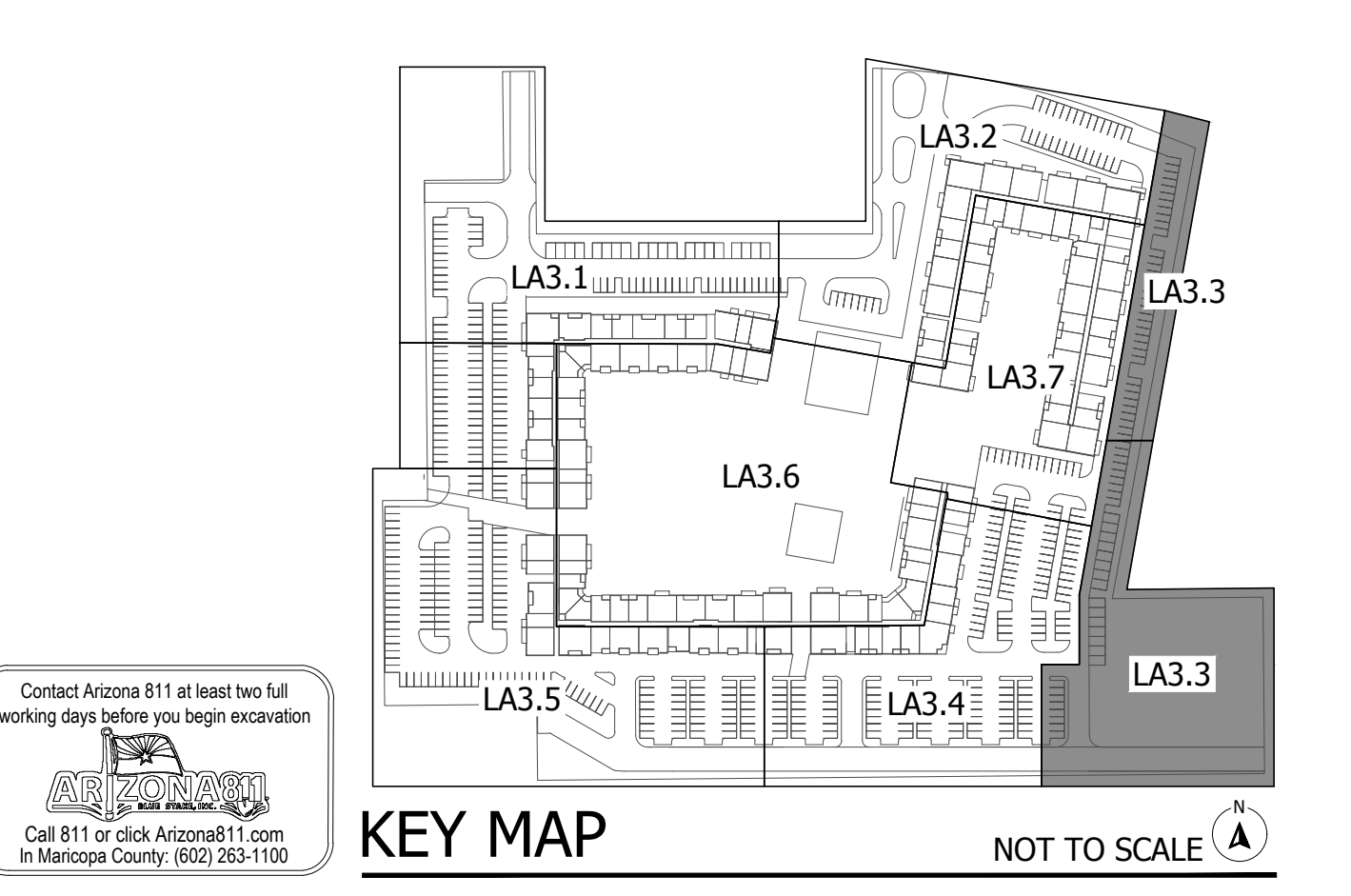
ABLA
310 E. RIO SALADO PARKWAY
TEMPE, ARIZONA 85281
OFFICE: 480-530-0077
WEB: ABLASTUDIO.COM

PROFESSIONAL LANDSCAPE ARCHITECT
ANDREW D. BARRON
07/26/2021
EXP. 12-31-21

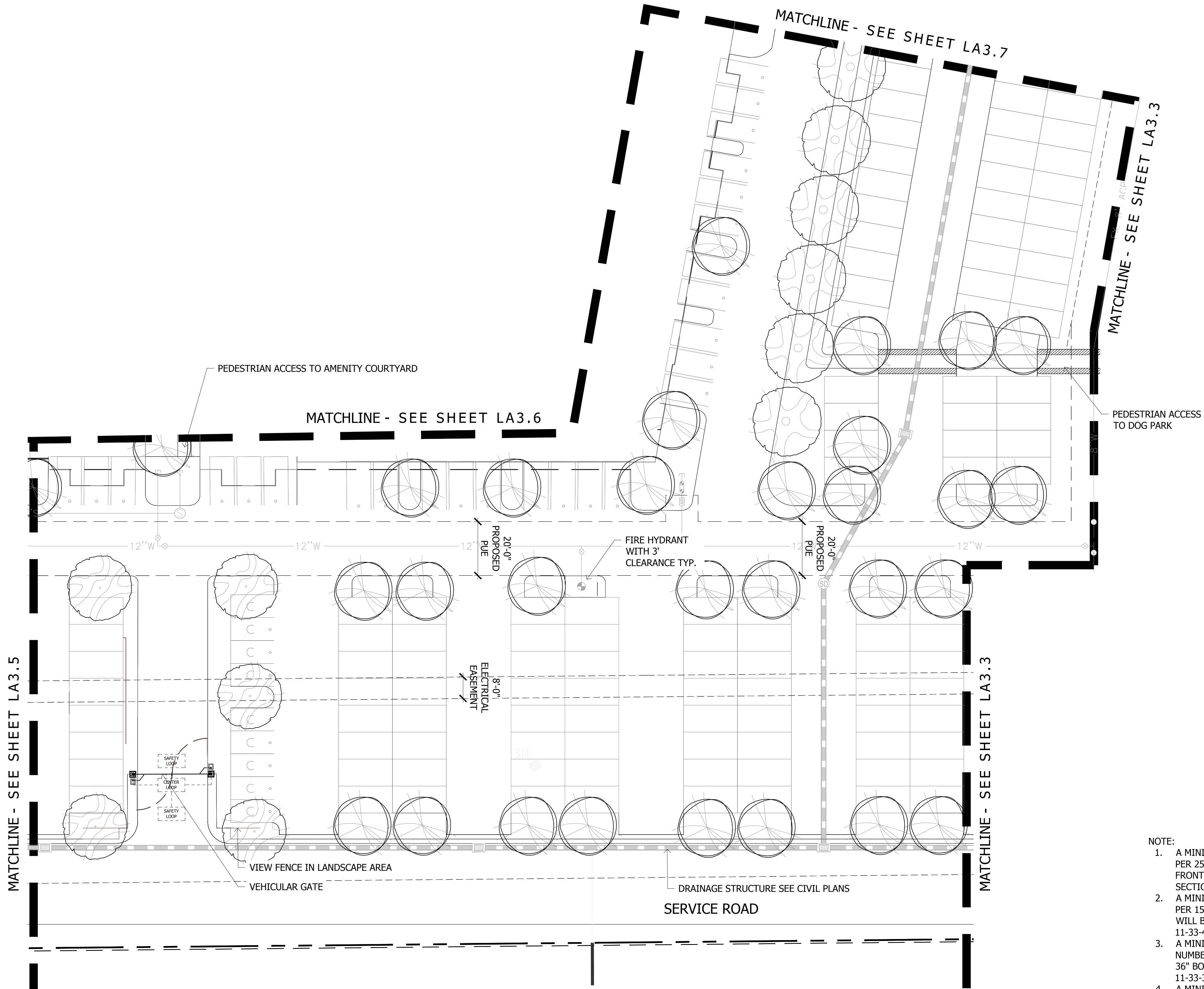
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DATE: 07/26/2021
ISSUED FOR: DRB
DRAWN BY: CH/CR
CHECKED BY: TD
PERMIT NUMBER:
ABLA PROJECT NUMBER:
289-001-20

LA3.2
PG: 5 OF 10



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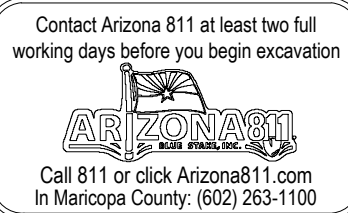
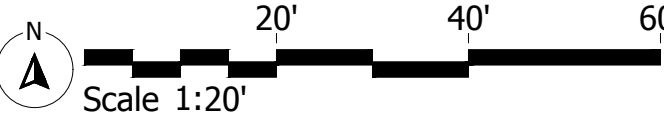
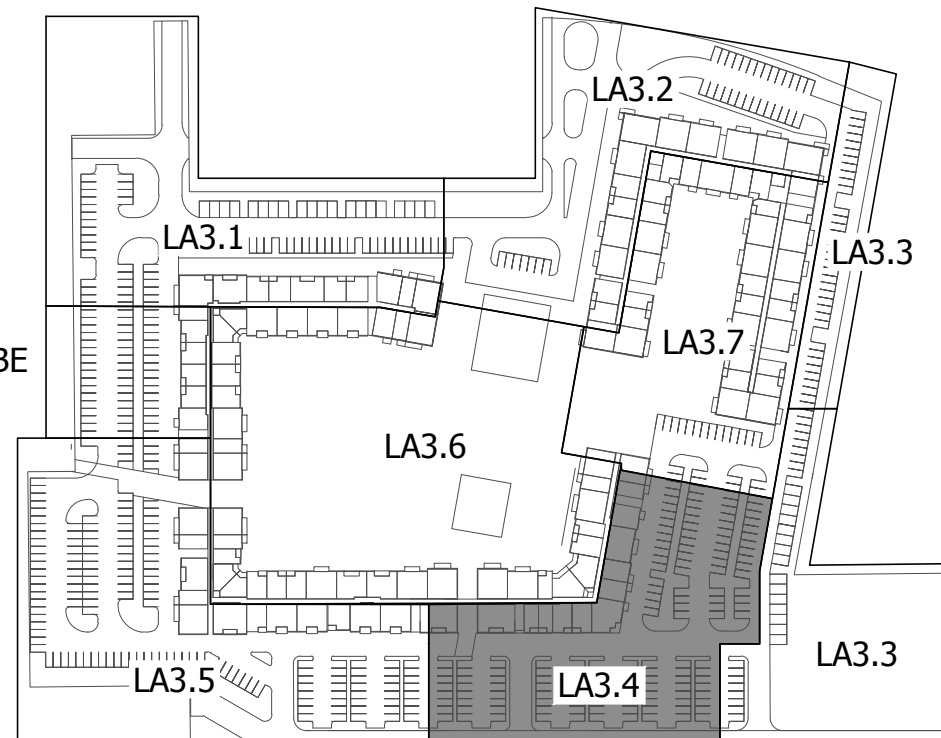
PLANT MATERIALS LEGEND				
Tree	Cal (in.)	Height (Ft.)	Width (Ft.)	Box Qty (in.)
Acacia aneura	.75"	6.0'	2.0'	24"/36" 25
Mulga Acacia				
Olea europea 'Swan Hill'	1.0"	6.0'	3.0'	24"/36" -
Swan Hill Olive				
Parkinsonia floridum	1.0"	5.0'	3.0'	24"/36" 25
Blue Palo Verde				
Phoenix dactylifera	18'-0" to Bottom of Pineapple			25
Date Palm				
Pistacia chinensis	1.0"	7.0'	2.5'	24"/36" 116
Chinese Pistache				
Pistacia lentiscus	1.0"	2.5'	7.0'	24"/36" -
Mastic Tree				
Prosopis hybrid	1.25"	5.0'	6.0'	24"/36" 50
Thornless Mesquite				
Quercus virginiana 'Cathedral Oak'	1.0"	7.0'	3.0'	24"/36" 207
Sophora secundiflora	.75"	3.0'	2.0'	24"/36" 10
Texas Mountain Laurel				
Ulmus parvifolia 'Allee' Elm	1.0"	7.0'	3.0'	24"/36" 22

Extra Large Shrubs			Groundcovers		
Size	Qty		Size	Qty	
Bougainvillea 'Rosenka'	5 gal. -	Ⓢ	Eremophila prostrata 'Outback Sunrise'		-
Bougainvillea			Outback Sunrise Eremophila gal		-
Caesalpinia gillesii	5 gal. -	Ⓢ	Lantana montevidensis	1 gal. -	
Yellow Bird of Paradise			Purple Trailing Lantana		
Cordia Boissieri	5 gal. -	Ⓢ	Lantana x 'Dallas Red'	1 gal. -	
Anachuita			Dallas Red Lantana		
Dodonea viscosa	5 gal. -	Ⓢ	Rosmarinus officinalis 'Prostratus'	1 gal. -	
Green Hopbush			Trailing Rosemary		
Tecoma sp. 'Sparky	5 gal. -	Ⓢ	Ruellia brittoniana 'Katie'	1 gal. -	
Sparky			Dwarf Katie Ruellia		
Vaqueria californica	15 gal. -	Ⓢ	Trachileospermum jasminoides Asiaticum	1 gal. -	
Arizona Rosewood			Asiatic Jasmine		
Large Shrubs	Size Qty		Cacti/ Accents	Size Qty	

Leucophyllum langmaniae 'Rio Bravo'	5 gal. -	Ⓢ	Agave americana 'Marginata'	5 gal. -	
Rio Bravo Sage			Century Plant		
Ligustrum japonicum	5 gal. -	Ⓢ	Agave geminiflora	5 gal. -	
Japanese Privet			Twin Flowered Agave		
Medium Shrubs	Size Qty		Agave weberi	1 gal. -	
Eremophila hygrophana Blue Bells	5 gal. -	Ⓢ	Weber's Agave		
Blue Bells			Aloe barbadensis	5 Gal. -	
Leucophyllum frutescens 'Lynn's Legacy'	5 gal. -	Ⓢ	Medicinal Aloe		
Lynn's Legacy			Bouteloua gracilis	1 gal. -	
Leucophyllum zygothymum	5 gal. -	Ⓢ	Blond Ambition		
Cimarron Sage	5 gal. -	Ⓢ	Cereus peruvianus	5 gal. -	
Nerium oleander 'Petite Pink'	5 gal. -	Ⓢ	Cereus		
Oleander 'Petite Pink'			Cereus hildmannianus	5 gal. -	
Rosmarinus officinalis 'Upright'	5 gal. -	Ⓢ	Twisted Cactus		
Upright Rosemary			Cycas revoluta	5 gal. -	
Ruellia brittoniana	5 gal. -	Ⓢ	Sago Palm		
Ruellia			Muhlenbergia capillaris	5 gal. -	
Xylosma congestum 'Compactum'	5 gal. -	Ⓢ	'Regal Mist'		
Dwarf Shiny Xylosma	5 gal. -	Ⓢ	Muhlenbergia lindheimeri	5 gal. -	
Small Shrubs	Size Qty		'Autumn Glow'		
Buxus microphylla japonica	5 gal. -	Ⓢ	Muhlenbergia rigida 'Nashville	1 gal. -	
Green Beauty Boxwood			Nashville Muhly Grass		
Callistemon viminalis 'Little John'	5 gal. -	Ⓢ	Opuntia ficus indica	8 Pad Min.	
Little John Bottle Brush			Indian Fig Prickly Pear		
Myrtus communis 'compacta'	5 gal. -	Ⓢ	Opuntia sp. Kelly's Choice	5 gal. -	
Dwarf Myrtle			Kelly's Choice Prickly Pear		
Teucrium chamaedrys	5 gal. -	Ⓢ	Pedilanthus macrocarpus	5 gal. -	
Germanier			Slipper Plant		
Vines	Size Qty		Yucca baccata	5 Gal. -	
Bougainvillea 'Barbara Karst'	5 gal. -	Ⓢ	Banana Yucca		
Bougainvillea			Yucca pallida	5 gal. -	
Bougainvillea 'Flame'	5 gal. -	Ⓢ	Pale Leaf Yucca		
Bougainvillea			Yucca rostrata	20 gal. -	
Gelsemium sempervirens	5 gal. -	Ⓢ	Beaked Yucca		
Carolina Jessamine			Yucca rupicola	5 gal. -	
Rosa banksiae	5 Gal. -	Ⓢ	Twisted Leaf Yucca		
Lady Bank's Rose			Yucca gloriosa	-	
			Spanish Dagger		

SITE LANDSCAPE DATA:		
DESCRIPTION:	QUANTITY:	
LANDSCAPE AREA	227,759 S.F.	
TREES AT STREETSCAPE	28	28
SHRUBS AT STREETSCAPE	168	168
TREES AT PARKING	100	100
SHRUBS AT PARKING	300	300
TREES AT FOUNDATION BASE	41	41
SHRUBS AT FOUNDATION BASE	123	123
% OF LANDSCAPE COVERAGE OPEN SPACE	50%	50%

- NOTE:
1. A MINIMUM OF 1 TREE AND 6 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE WILL BE PROVIDED PER SECTION 11-33-3.A OF THE MZO.
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123456

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Hampton and Clearview Apartments
SWC of Hampton and Clearview
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SHEET TITLE: PLANTING PLAN

STILLWATER CAPITAL

ABLA
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TEMPE, ARIZONA 85281
OFFICE: 480-530-0077
WEB: ABLASTUDIO.COM

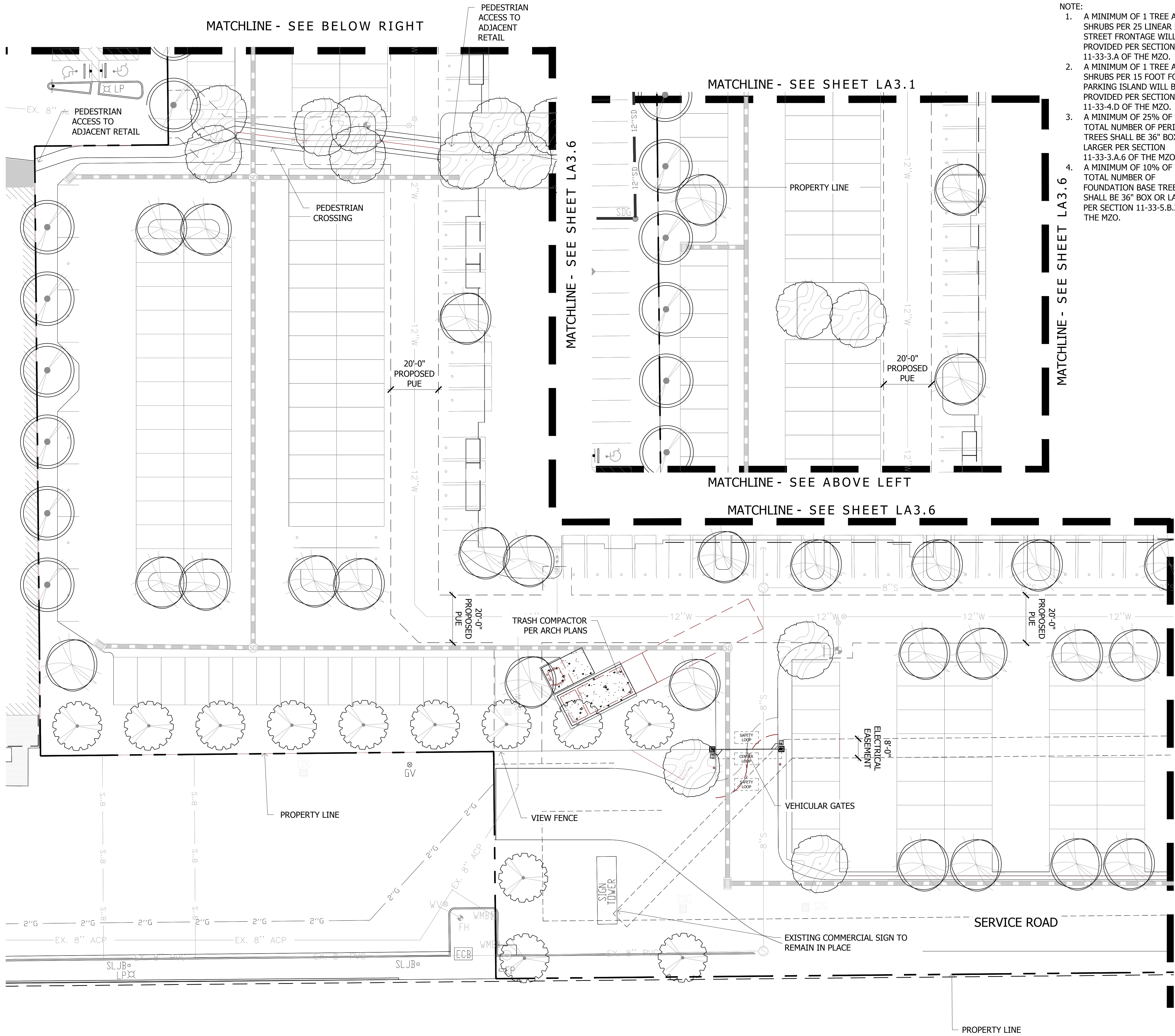
PROFESSIONAL LANDSCAPE ARCHITECT
ANDREW D. BARON
07/26/2021
EXP. 12-31-21

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LA3.4
PG: 7 OF 10

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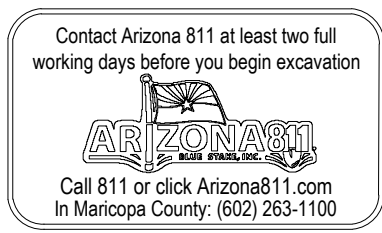
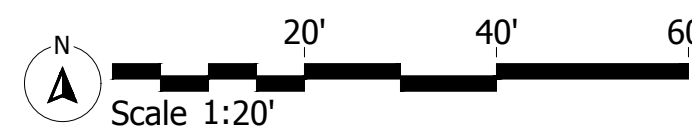
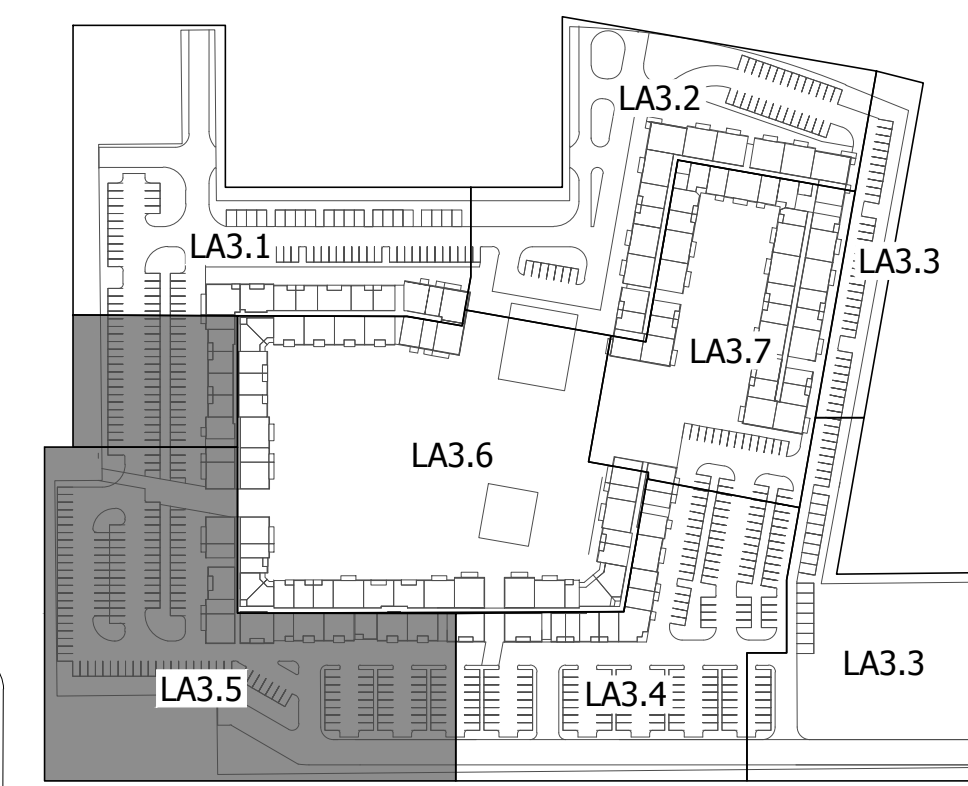


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Olea europea 'Swan Hill'	1.0"	6.0'	3.0'	24"/36" -
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Texas Mountain Laurel				
Ulmus parvifolia	1.0"	7.0'	3.0'	24"/36" 22
'Allee' Elm				

Extra Large Shrubs		Size	Qty	Groundcovers		Size	Qty
Bougainvillea 'Rosenka'	5 gal. -	-		Eremophila prostrata 'Outback Sunrise'	gal. -	-	
Bougainvillea	5 gal. -	-		Outback Sunrise Eremophila	gal. -	-	
Caesalpinia gillesii	5 gal. -	-		Lantana montevidensis	1 gal. -	-	
Yellow Bird of Paradise	5 gal. -	-		Purple Trailing Lantana	1 gal. -	-	
Cordia Boissieri	5 gal. -	-		Lantana x 'Dallas Red'	1 gal. -	-	
Anachuita	5 gal. -	-		Dallas Red Lantana	1 gal. -	-	
Dodonea viscosa	5 gal. -	-		Rosmarinus officinalis 'Prostratus'	1 gal. -	-	
Green Hopbush	5 gal. -	-		Trailing Rosemary	1 gal. -	-	
Tecoma sp. 'Sparky'	5 gal. -	-		Ruellia brittoniana 'Katie'	1 gal. -	-	
Sparky	5 gal. -	-		Dwarf Katie Ruellia	1 gal. -	-	
Vaqualina californica	15 gal. -	-		Trachileospermum jasminoides Asiaticum	1 gal. -	-	
Arizona Rosewood	15 gal. -	-		Asiatic Jasmine	1 gal. -	-	
Large Shrubs		Size	Qty	Cacti/ Accents		Size	Qty
Leucophyllum langmaniae 'Rio Bravo'	5 gal. -	-		Agave americana 'Marginata'	5 gal. -	-	
Rio Bravo Sage	5 gal. -	-		Century Plant	5 gal. -	-	
Ligustrum japonicum	5 gal. -	-		Agave geminiflora	5 gal. -	-	
Japanese Privet	5 gal. -	-		Twin Flowered Agave	5 gal. -	-	
Medium Shrubs		Size	Qty			Size	Qty
Eremophila hygrophana Blue Bells	5 gal. -	-		Agave weberi	1 gal. -	-	
Blue Bells	5 gal. -	-		Weber's Agave	1 gal. -	-	
Leucophyllum frutescens 'Lynn's Legacy'	5 gal. -	-		Aloe barbadensis	5 gal. -	-	
Lynn's Legacy	5 gal. -	-		Medicinal Aloe	5 gal. -	-	
Leucophyllum zygophyllum	5 gal. -	-		Bouteloua gracilis	1 gal. -	-	
Cimarron Sage	5 gal. -	-		Blond Ambition	1 gal. -	-	
Nerium oleander 'Petite Pink'	5 gal. -	-		Cereus peruvianus	5 gal. -	-	
Oleander 'Petite Pink'	5 gal. -	-		Cereus	5 gal. -	-	
Rosmarinus officinalis 'Upright'	5 gal. -	-		Cereus hildmannianus	5 gal. -	-	
Upright Rosemary	5 gal. -	-		Twisted Cactus	5 gal. -	-	
Ruellia brittoniana	5 gal. -	-		Cycas revoluta	5 gal. -	-	
Ruellia	5 gal. -	-		Sago Palm	5 gal. -	-	
Xylosma congestum 'Compactum'	5 gal. -	-		Muhlenbergia capillaris	5 gal. -	-	
Dwarf Shiny Xylosma	5 gal. -	-		'Regal Mist'	5 gal. -	-	
Small Shrubs		Size	Qty			Size	Qty
Buxus microphylla japonica	5 gal. -	-		Muhlenbergia lindheimeri	5 gal. -	-	
Green Beauty Boxwood	5 gal. -	-		'Autumn Glow'	5 gal. -	-	
Callistemon viminalis 'Little John'	5 gal. -	-		Muhlenbergia rigida 'Nashville'	1 gal. -	-	
Little John Bottle Brush	5 gal. -	-		Nashville Muhly Grass	1 gal. -	-	
Myrtus communis 'compacta'	5 gal. -	-		Opuntia ficus indica	8 Pad Min.	-	
Dwarf Myrtle	5 gal. -	-		Indian Fig Prickly Pear	8 Pad Min.	-	
Teucrium chamaedrys	1 gal. -	-		Opuntia sp. Kelly's Choice	5 gal. -	-	
Germander	1 gal. -	-		Kelly's Choice Prickly Pear	5 gal. -	-	
Vines		Size	Qty			Size	Qty
Bougainvillea 'Barbara Karst'	5 gal. -	-		Pedilanthus macrocarpus	5 gal. -	-	
Bougainvillea	5 gal. -	-		Slipper Plant	5 gal. -	-	
Bougainvillea 'Flame'	5 gal. -	-		Yucca baccata	5 gal. -	-	
Bougainvillea	5 gal. -	-		Banana Yucca	5 gal. -	-	
Gelsemium sempevirens	5 gal. -	-		Yucca pallida	5 gal. -	-	
Carolina Jessamine	5 gal. -	-		Pale Leaf Yucca	5 gal. -	-	
Rosa banksiae	5 gal. -	-		Yucca rostrata	20 gal. -	-	
Lady Bank's Rose	5 gal. -	-		Beaked Yucca	20 gal. -	-	
Inerts		Size	Qty			Size	Qty
				Yucca rupicola	5 gal. -	-	
				Twisted Leaf Yucca	5 gal. -	-	
				Yucca gloriosa	-	-	
				Spanish Dagger	-	-	

SITE LANDSCAPE DATA:		
DESCRIPTION:		QUANTITY:
LANDSCAPE AREA		227,759 S.F.
		REQUIRED: PROVIDE:
TREES AT STREETSCAPE	28	28
SHRUBS AT STREETSCAPE	168	168
TREES AT PARKING	100	100
SHRUBS AT PARKING	300	300
TREES AT FOUNDATION BASE	41	41
SHRUBS AT FOUNDATION BASE	123	123
% OF LANDSCAPE COVERAGE OPEN SPACE	50%	50%



123456

Stillwater Capital
Hampton and Clearview Apartments
SWC of Hampton and Clearview
Mesa, AZ
SHEET TITLE: PLANTING PLAN

STILLWATER CAPITAL
SW

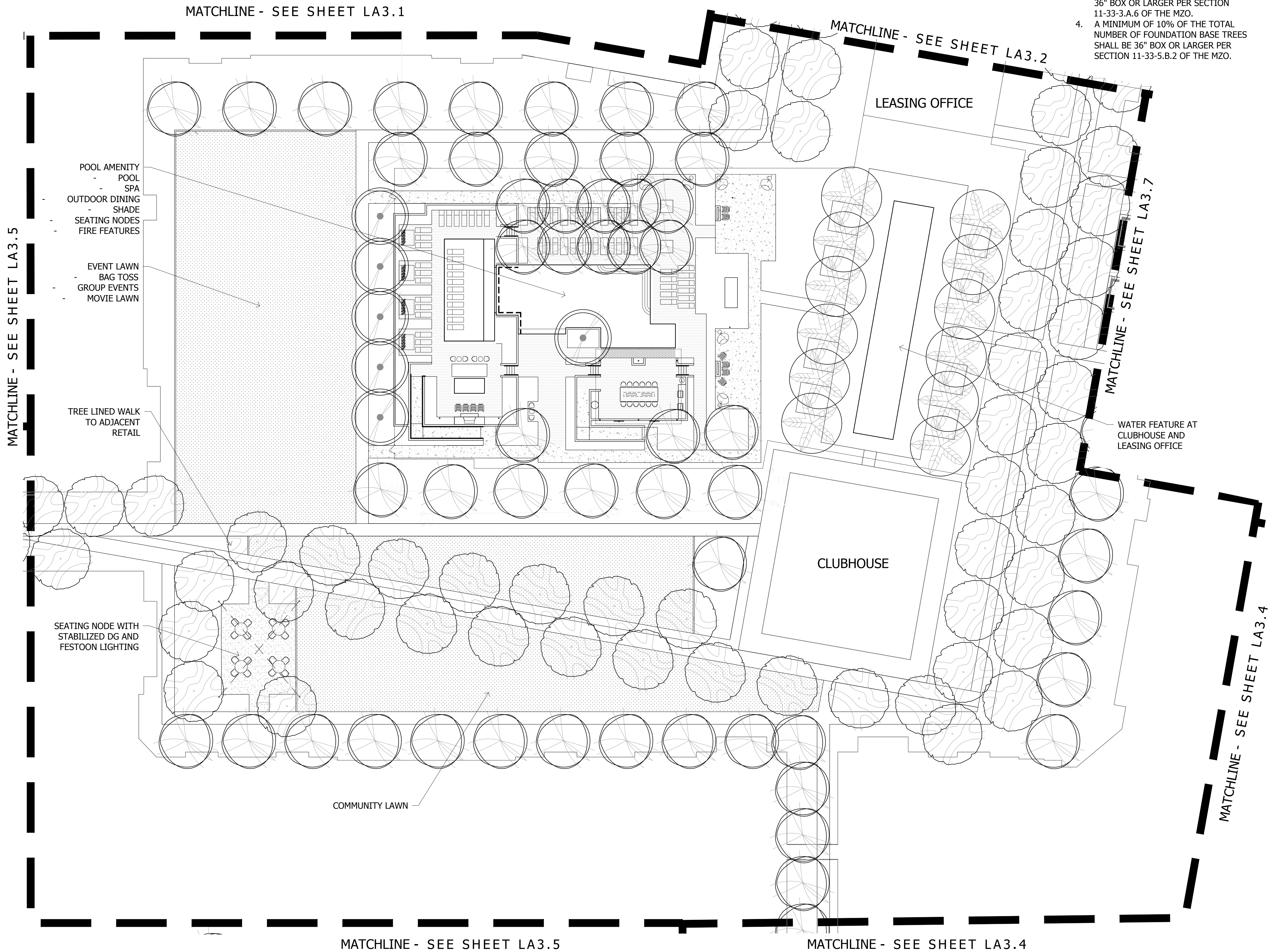
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310 E. RIO SALADO PARKWAY
TEMPE, ARIZONA 85281
OFFICE: 480-530-0077
WEB: ABLASTUDIO.COM

PROFESSIONAL LANDSCAPE ARCHITECT
ANDREW D. BARRON
07/26/2021
EXP. 2-31-21

DATE: 07/26/2021
ISSUED FOR: DRB
DRAWN BY: CH/CR
CHECKED BY: TD
PERMIT NUMBER:
ABLA PROJECT NUMBER:
289-001-20

LA3.5
PG: 8 OF 10

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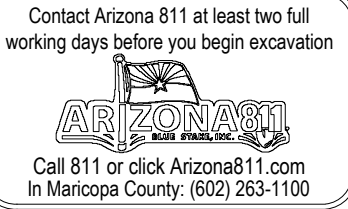
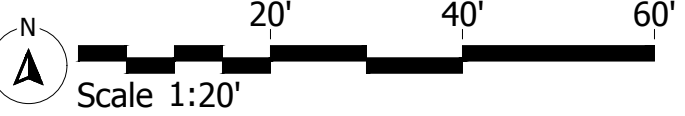
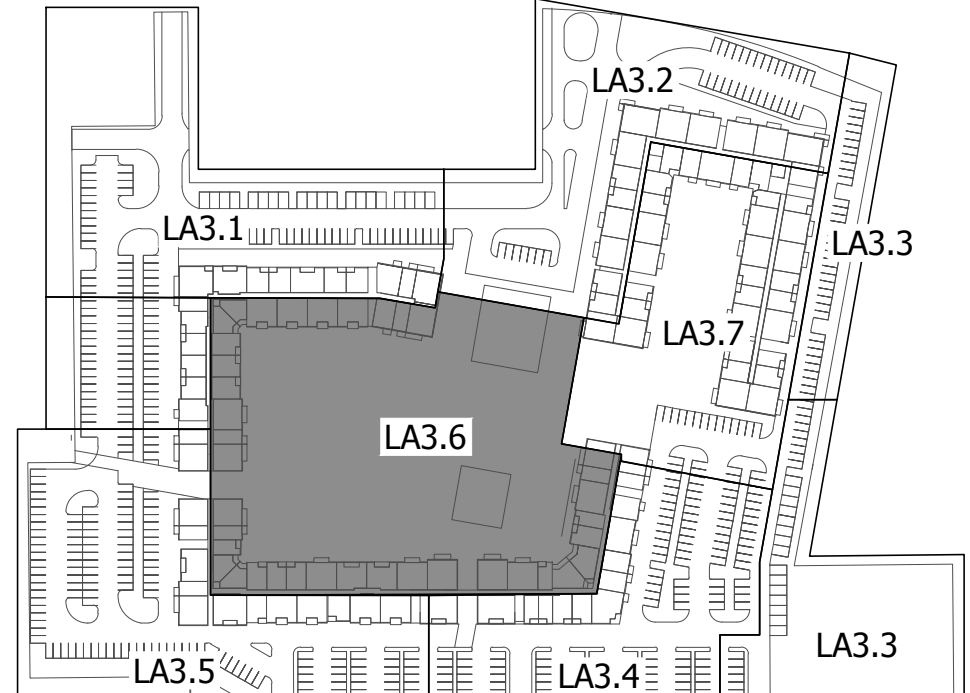


- NOTE:
1. A MINIMUM OF 1 TREE AND 6 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE WILL BE PROVIDED PER SECTION 11-33-3.A OF THE MZO.
 2. A MINIMUM OF 1 TREE AND 3 SHRUBS PER 15 FOOT FOOT PARKING ISLAND WILL BE PROVIDED PER SECTION 11-33-4.D OF THE MZO.
 3. A MINIMUM OF 25% OF THE TOTAL NUMBER OF PERIMETER TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-3.A.6 OF THE MZO.
 4. A MINIMUM OF 10% OF THE TOTAL NUMBER OF FOUNDATION BASE TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-5.B.2 OF THE MZO.

PLANT MATERIALS LEGEND				
Tree	Cal (in.)	Height (Ft.)	Width (Ft.)	Box (in.) Qty
Acacia aneura	.75"	6.0'	2.0' 24"/36"	25
Mulga Acacia				
Olea europea 'Swan Hill'	1.0"	6.0'	3.0' 24"/36"	-
Swan Hill Olive				
Parkinsonia floridum	1.0"	5.0'	3.0' 24"/36"	25
Blue Palo Verde				
Phoenix dactylifera	18'-0" to Bottom of Pineapple			25
Date Palm				
Pistacia chinensis	1.0"	7.0'	2.5' 24"/36"	116
Chinese Pistache				
Pistacia lentiscus	1.0"	2.5'	7.0' 24"/36"	-
Mastic Tree				
Prosopis hybrid	1.25"	5.0'	6.0' 24"/36"	50
Thornless Mesquite				
Quercus virginiana 'Cathedral Oak'	1.0"	7.0'	3.0' 24"/36"	207
Sophora secundiflora	.75"	3.0'	2.0' 24"/36"	10
Texas Mountain Laurel				
Ulmus parvifolia 'Allee' Elm	1.0"	7.0'	3.0' 24"/36"	22

Extra Large Shrubs			Groundcovers		
Size	Qty		Size	Qty	
Bougainvillea 'Rosenka'	5 gal. -		Eremophila prostrata 'Outback Sunrise'	-	
Bougainvillea			Outback Sunrise Eremophila gal	-	
Caesalpinia gillesii	5 gal. -		Lantana montevidensis	1 gal. -	
Yellow Bird of Paradise			Purple Trailing Lantana		
Cordia Boissieri	5 gal. -		Lantana x 'Dallas Red'	1 gal. -	
Anachuita			Dallas Red Lantana		
Dodonaea viscosa	5 gal. -		Rosmarinus officinalis 'Prostratus'	1 gal. -	
Green Hopbush			Trailing Rosemary		
Tecoma sp. 'Sparky	5 gal. -		Ruellia brittoniana 'Katie'	1 gal. -	
Sparky			Dwarf Katie Ruellia		
Vaquelina californica	15 gal. -		Trachileospermum jasminoides Asiaticum	1 gal. -	
Arizona Rosewood			Asiatic Jasmine		
Large Shrubs			Cacti/ Accents		
Size	Qty		Size	Qty	
Leucophyllum langmaniae 'Rio Bravo'	5 gal. -		Agave americana 'Marginata'	5 gal. -	
Rio Bravo Sage			Century Plant		
Ligustrum japonicum	5 gal. -		Agave geminiflora	5 gal. -	
Japanese Privet			Twin Flowered Agave		
Medium Shrubs					
Size	Qty				
Eremophila hygrophana Blue Bells	5 gal. -		Agave weberi	1 gal. -	
Blue Bells			Weber's Agave		
Leucophyllum frutescens 'Lynn's Legacy'	5 gal. -		Aloe barbadensis	5 gal. -	
Lynn's Legacy			Medicinal Aloe		
Leucophyllum zygophyllum	5 gal. -		Bouteloua gracilis	1 gal. -	
Cimarron Sage			Blond Ambition		
Nerium oleander 'Petite Pink'	5 gal. -		Cereus peruvianus	5 gal. -	
Oleander 'Petite Pink'			Cereus		
Rosmarinus officinalis 'Upright'	5 gal. -		Cereus hildmannianus	5 gal. -	
Upright Rosemary			Twisted Cactus		
Ruellia brittoniana	5 gal. -		Cycas revoluta	5 gal. -	
Ruellia			Sago Palm		
Xylosma congestum 'Compactum'	5 gal. -		Muhlenbergia capillaris	5 gal. -	
Dwarf Shiny Xylosma			'Regal Mist'		
Small Shrubs					
Size	Qty				
Buxus microphylla japonica	5 gal. -		Muhlenbergia rigida 'Nashville	1 gal. -	
Green Beauty Boxwood			Nashville Muhly Grass		
Callistemon viminalis 'Little John'	5 gal. -		Opuntia ficus indica	8 Pad Min.	
Little John Bottle Brush			Indian Fig Prickly Pear		
Myrtus communis 'compacta'	5 gal. -		Opuntia sp. Kelly's Choice	5 gal. -	
Dwarf Myrtle			Kelly's Choice Prickly Pear		
Teucrium chamaedrys	5 gal. -		Pedilanthus macrocarpus	5 gal. -	
Germander			Slipper Plant		
Vines					
Size	Qty				
Bougainvillea 'Barbara Karst'	5 gal. -		Yucca baccata	5 Gal. -	
Bougainvillea			Banana Yucca		
Bougainvillea 'Flame'	5 gal. -		Yucca pallida	5 gal. -	
Bougainvillea			Pale Leaf Yucca		
Gelsemium sempevirens	5 gal. -		Yucca rostrata	20 gal. -	
Carolina Jessamine			Beaked Yucca		
Rosa banksiae	5 gal. -		Yucca rupicola	5 gal. -	
Lady Bank's Rose			Twisted Leaf Yucca		
Inerts					
Size	Qty				
1/2" Screened Decomposed Granite			Yucca gloriosa	-	
Not Shown or Drawn			Spanish Dagger		

SITE LANDSCAPE DATA:		
DESCRIPTION:		QUANTITY:
LANDSCAPE AREA	227,759 S.F.	
REQUIRED:		PROVIDE:
TREES AT STREETSCAPE	28	28
SHRUBS AT STREETSCAPE	168	168
TREES AT PARKING	100	100
SHRUBS AT PARKING	300	300
TREES AT FOUNDATION BASE	41	41
SHRUBS AT FOUNDATION BASE	123	123
% OF LANDSCAPE COVERAGE OPEN SPACE	50%	50%



123456

Stillwater Capital
Hampton and Clearview Apartments
SWC of Hampton and Clearview
Mesa, AZ
SHEET TITLE: PLANTING PLAN

STILLWATER CAPITAL

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TEMPE, ARIZONA 85281
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WEB: ABLASTUDIO.COM

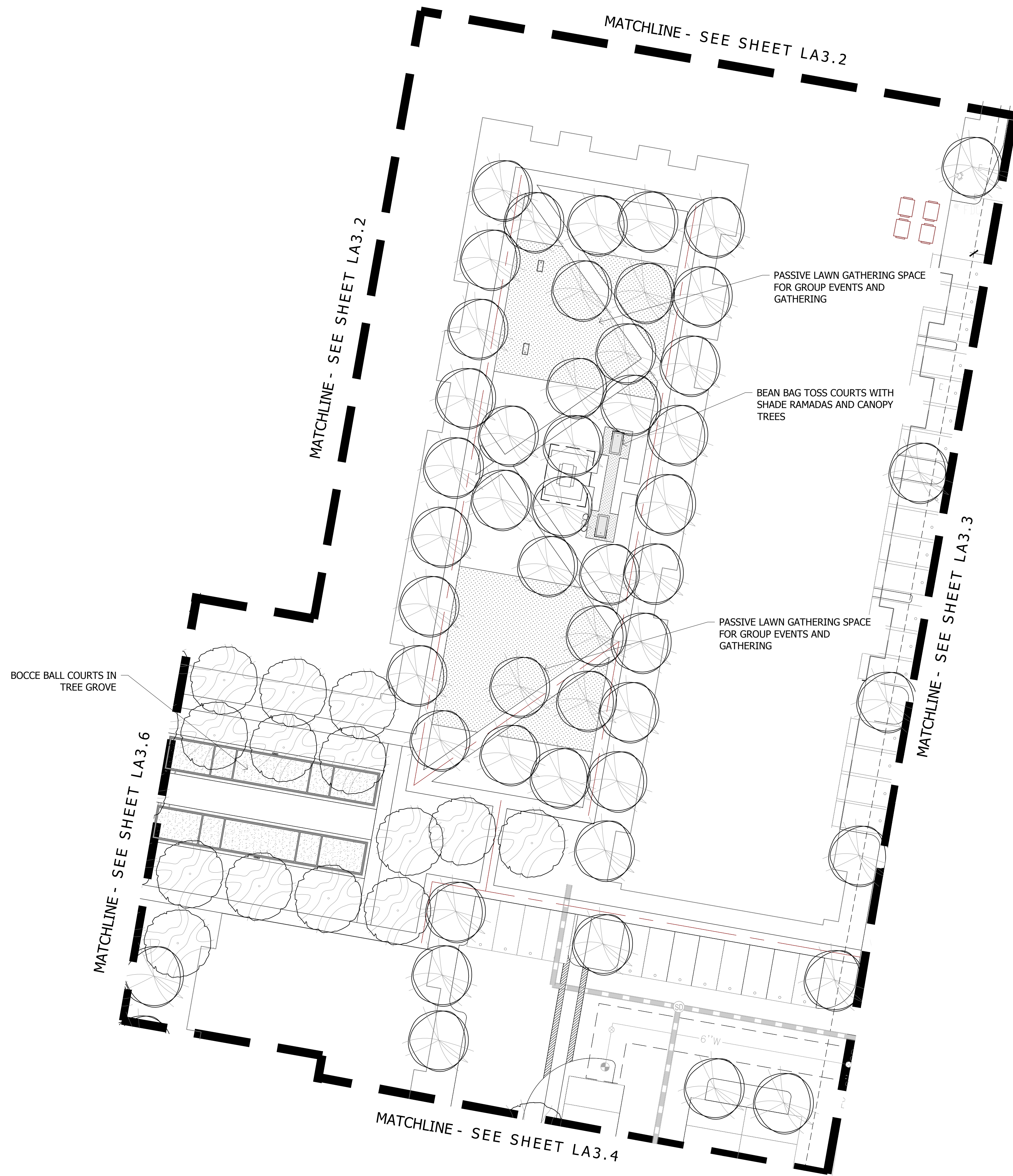
PROFESSIONAL LANDSCAPE ARCHITECT
PREPARED BY
ANDREW D. BARRON
07/26/2021
EXP. 12-31-21


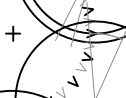






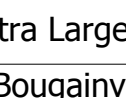
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PERMIT NUMBER:
ABLA PROJECT NUMBER:
289-001-20

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PG: 9 OF 10

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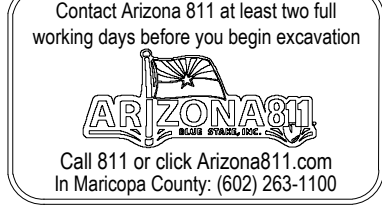
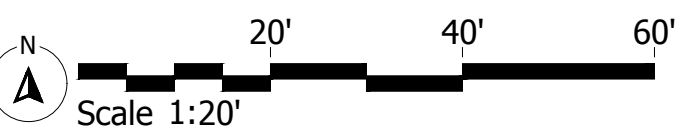
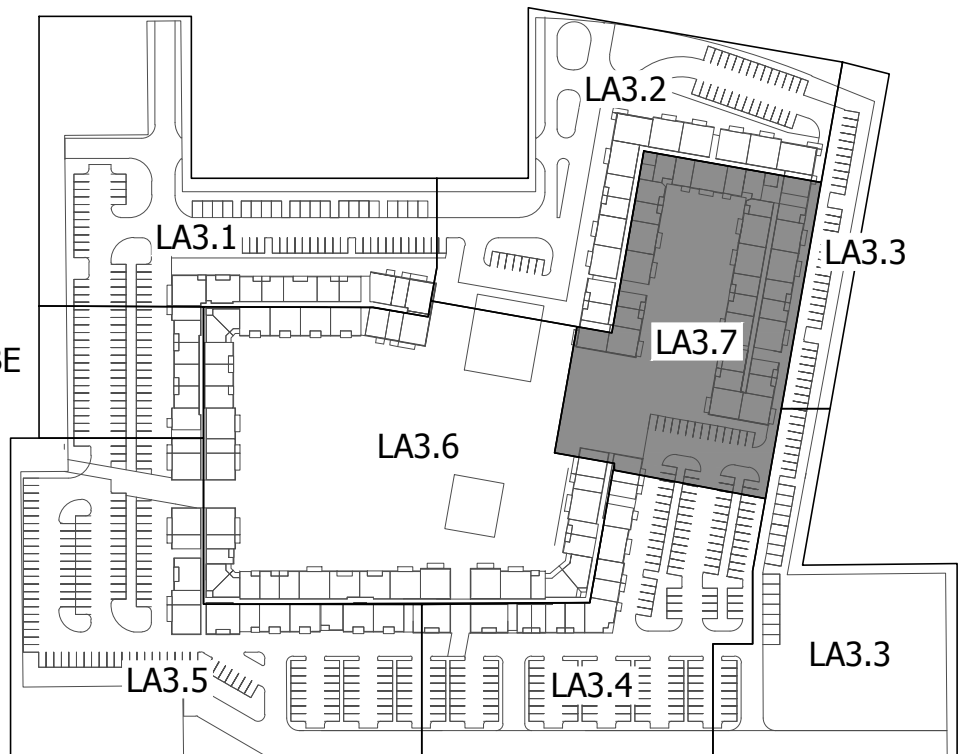


PLANT MATERIALS LEGEND					Cal	Height	Width	Box Qty
Tree					(In.)	(Ft.)	(Ft.)	(In.)
	Acacia aneura				.75"	6.0'	2.0' 24"/36"	25
	Mulga Acacia							
	Olea europea 'Swan Hill'				1.0"	6.0'	3.0' 24"/36"	-
	Swan Hill Olive							
	Parkinsonia floridum				1.0"	5.0'	3.0' 24"/36"	25
	Blue Palo Verde							
	Phoenix dactylifera				18'-0" to Bottom of Pineapple			25
	Date Palm							
	Pistacia chinensis				1.0"	7.0'	2.5' 24"/36"	116
	Chinese Pistache							
	Pistacia lentiscus				1.0"	2.5'	7.0' 24"/36"	-
	Mastic Tree							
	Prosopis hybrid				1.25"	5.0'	6.0' 24"/36"	50
	Thornless Mesquite							
	Quercus virginiana 'Cathedral Oak'				1.0"	7.0'	3.0' 24"/36"	207
	Sophora secundiflora				.75"	3.0'	2.0' 24"/36"	10
	Texas Mountain Laurel							
	Ulmus parvifolia 'Allee' Elm				1.0"	7.0'	3.0' 24"/36"	22

Extra Large Shrubs			Groundcovers		
Size	Qty		Size	Qty	
Bougainvillea 'Rosenka'	5 gal.	-	Eremophila prostrata 'Outback Sunrise'		-
Bougainvillea			Outback Sunrise Eremophila gal		-
Caesalpinia gillesii	5 gal.	-	Lantana montevidensis	1 gal.	-
Yellow Bird of Paradise			Purple Trailing Lantana		
Cordia Boissieri	5 gal.	-	Lantana x 'Dallas Red'	1 gal.	-
Anachuita			Dallas Red Lantana		
Dodonea viscosa	5 gal.	-	Rosmarinus officinalis 'Prostratus'	1 gal.	-
Green Hopbush			Trailing Rosemary		
Tecoma sp. 'Sparky	5 gal.	-	Ruellia brittoniana 'Katie'	1 gal.	-
Sparky			Dwarf Katie Ruellia		
Vaughelia californica	15 gal.	-	Trachileospermum jasminoides Asiaticum	1 gal.	-
Arizona Rosewood			Asiatic Jasmine		
Large Shrubs	Size	Qty	Cacti/ Accents	Size	Qty
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	-	Agave americana 'Marginata'	5 gal.	-
Rio Bravo Sage			Century Plant		
Ligustrum japonicum	5 gal.	-	Agave geminiflora	5 gal.	-
Japanese Privet			Twin Flowered Agave		
Medium Shrubs	Size	Qty	Agave weberi	1 gal.	-
Eremophila hygrophana Blue Bells	5 gal.	-	Weber's Agave		
Blue Bells			Aloe barbadensis	5 gal.	-
Leucophyllum frutescens 'Lynn's Legacy'	5 gal.	-	Medicinal Aloe		
Lynn's Legacy			Bouteloua gracilis	1 gal.	-
Leucophyllum zygothyllum	5 gal.	-	Blond Ambition		
Cimarron Sage			Cereus peruvianus	5 gal.	-
Nerium oleander 'Petite Pink'	5 gal.	-	Cereus		
Oleander 'Petite Pink'			Cereus hildmannianus	5 gal.	-
Rosmarinus officinalis 'Upright'	5 gal.	-	Twisted Cactus		
Upright Rosemary			Cycas revoluta	5 gal.	-
Ruellia brittoniana	5 gal.	-	Sago Palm		
Ruellia			Muhlenbergia capillaris	5 gal.	-
Xylosma congestum 'Compactum'	5 gal.	-	'Regal Mist'		
Dwarf Shiny Xylosma			Muhlenbergia lindheimeri	5 gal.	-
Small Shrubs	Size	Qty	'Autumn Glow'		
Buxus microphylla japonica	5 gal.	-	Muhlenbergia rigida 'Nashville	1 gal.	-
Green Beauty Boxwood			Nashville Muhly Grass		
Callistemon viminalis 'Little John'	5 gal.	-	Opuntia ficus indica	8 Pad Min.	
Little John Bottle Brush			Indian Fig Prickly Pear		
Myrtus communis 'compacta'	5 gal.	-	Opuntia sp. Kelly's Choice	5 gal.	-
Dwarf Myrtle			Kelly's Choice Prickly Pear		
Teucrium chamaedrys	5 gal.	-	Pedilanthus macrocarpus	5 gal.	-
Germander			Slipper Plant		
Vines	Size	Qty	Yucca baccata	5 gal.	-
Bougainvillea 'Barbara Karst'	5 gal.	-	Banana Yucca		
Bougainvillea			Yucca pallida	5 gal.	-
Bougainvillea 'Flame'	5 gal.	-	Pale Leaf Yucca		
Bougainvillea			Yucca rostrata	20 gal.	-
Gelsemium sempevirens	5 gal.	-	Beaked Yucca		
Carolina Jessamine			Yucca rupicola	5 gal.	-
Rosa banksiae	5 gal.	-	Twisted Leaf Yucca		
Lady Bank's Rose			Yucca gloriosa		
			Spanish Dagger	-	-

SITE LANDSCAPE DATA:		
DESCRIPTION:	QUANTITY:	
LANDSCAPE AREA	227,759 S.F.	
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SHRUBS AT STREETSCAPE	168	168
TREES AT PARKING	100	100
SHRUBS AT PARKING	300	300
TREES AT FOUNDATION BASE	41	41
SHRUBS AT FOUNDATION BASE	123	123
% OF LANDSCAPE COVERAGE OPEN SPACE	50%	50%

- NOTE:
1. A MINIMUM OF 1 TREE AND 6 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE WILL BE PROVIDED PER SECTION 11-33-3.A OF THE MZO.
 2. A MINIMUM OF 1 TREE AND 3 SHRUBS PER 15 FOOT FOOT PARKING ISLAND WILL BE PROVIDED PER SECTION 11-33-4.D OF THE MZO.
 3. A MINIMUM OF 25% OF THE TOTAL NUMBER OF PERIMETER TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-3.A.6 OF THE MZO.
 4. A MINIMUM OF 10% OF THE TOTAL NUMBER OF FOUNDATION BASE TREES SHALL BE 36" BOX OR LARGER PER SECTION 11-33-5.B.2 OF THE MZO.



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SWC of Hampton and Clearview
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SW

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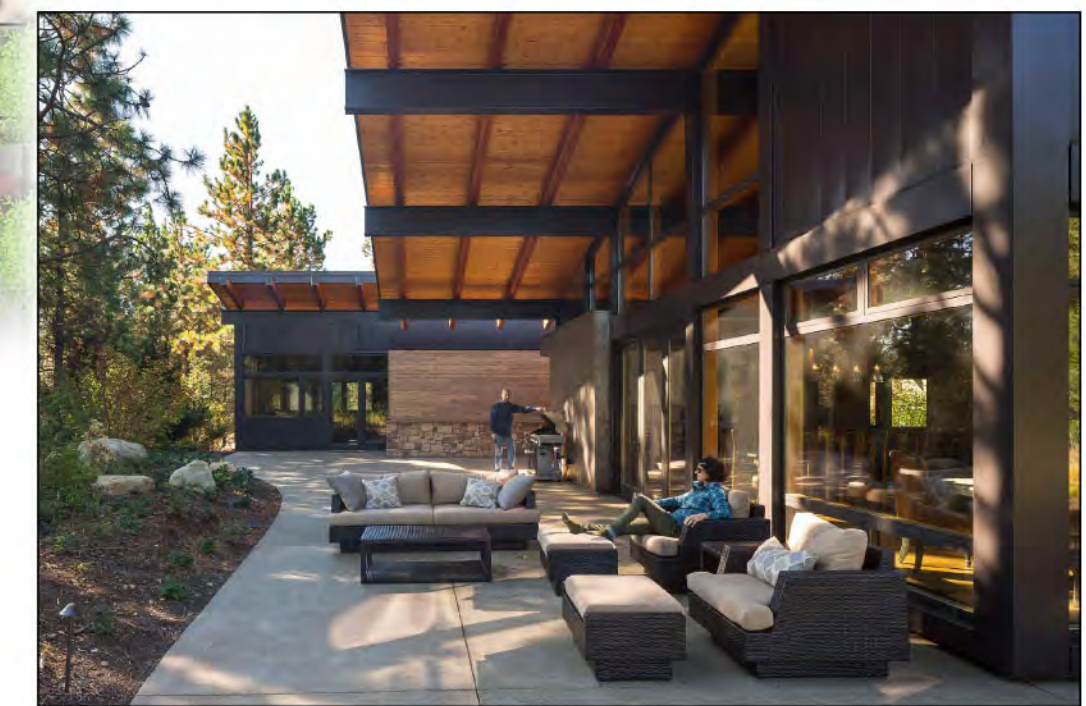
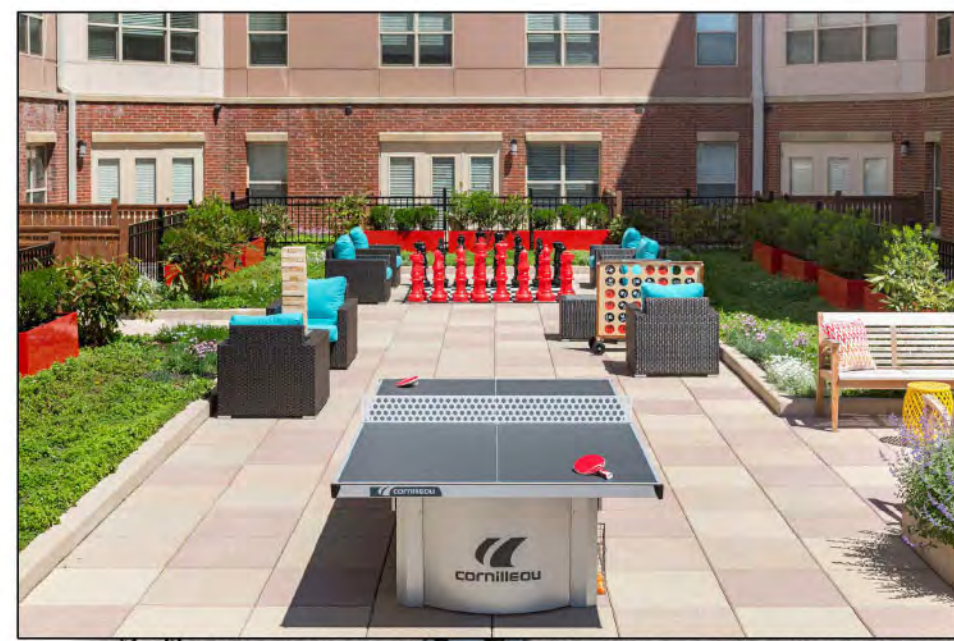
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ANDREW D. BARRON
07/26/2021
EXP. 12-31-21

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PERMIT NUMBER:
ABLA PROJECT NUMBER:
289-001-20

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PG: 10 OF 10

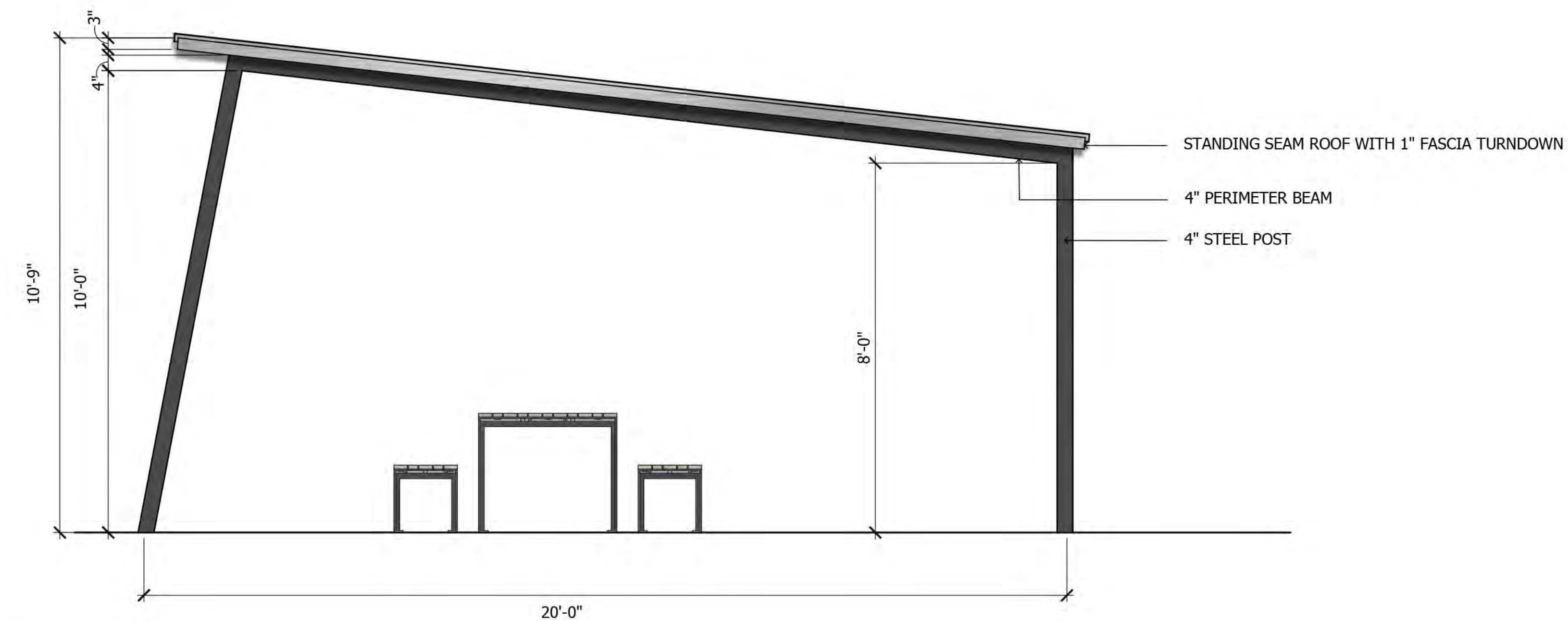


HAMPTON AND CLEARVIEW APARTMENTS

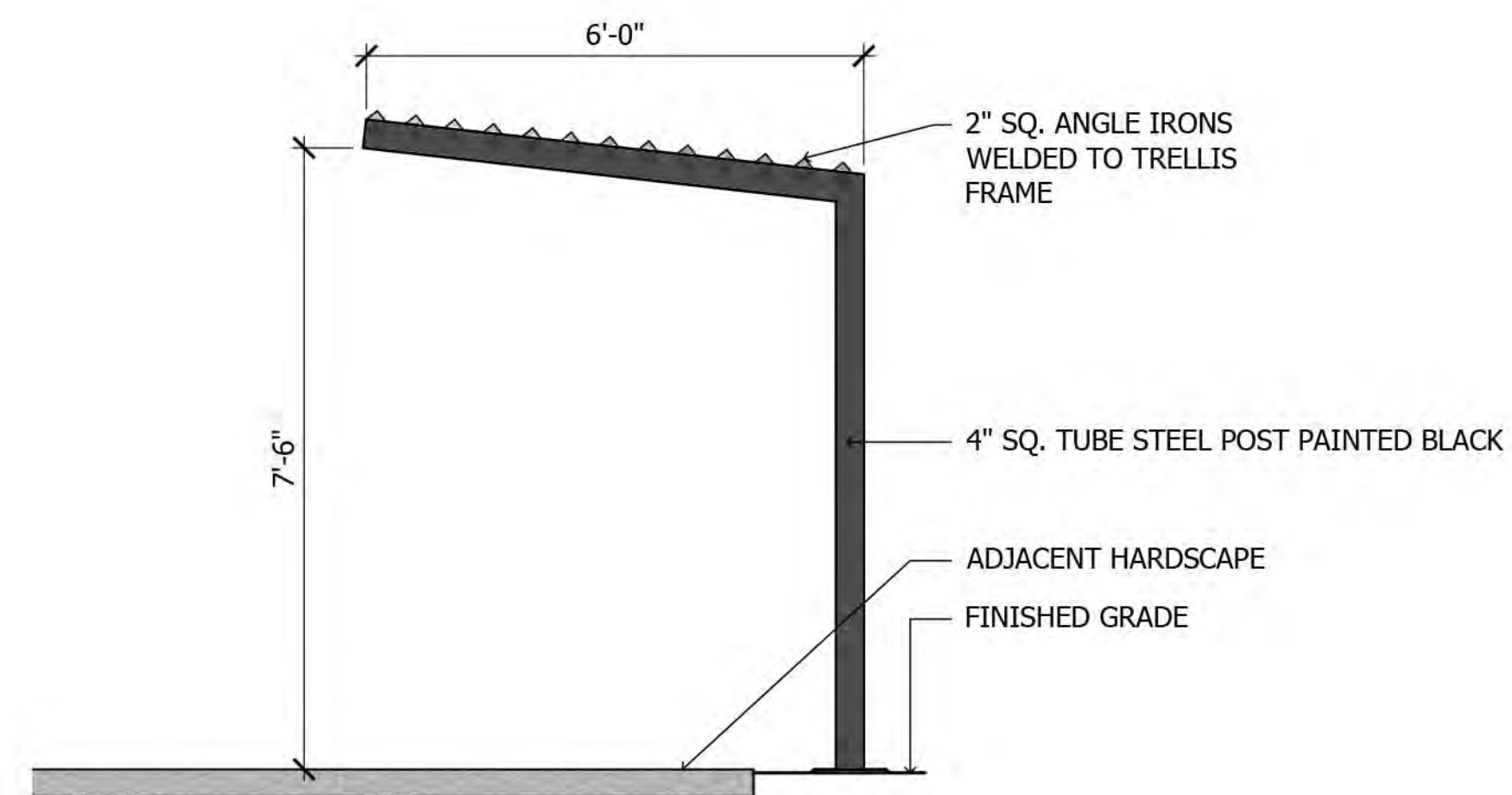
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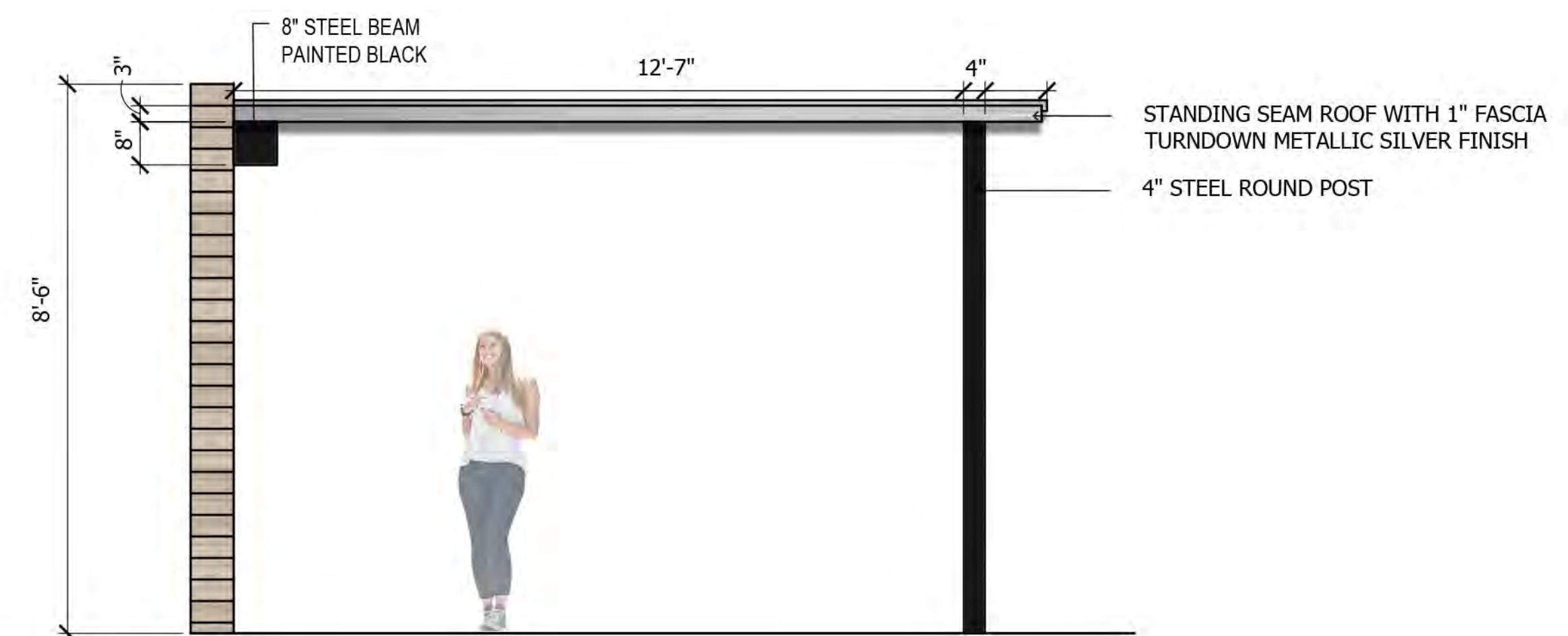




1 Shade Structure
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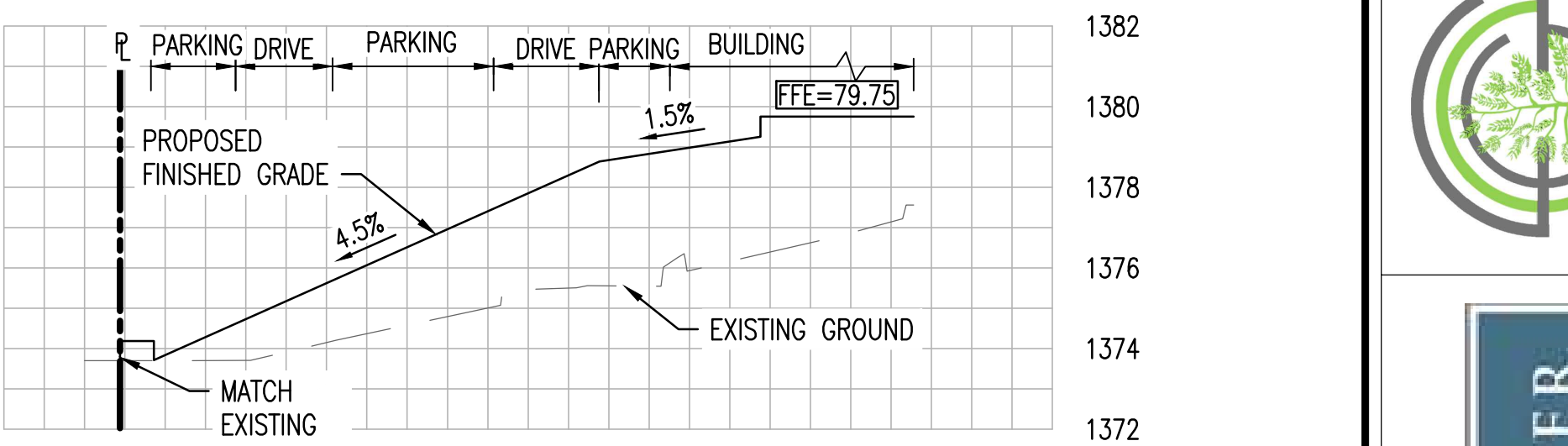
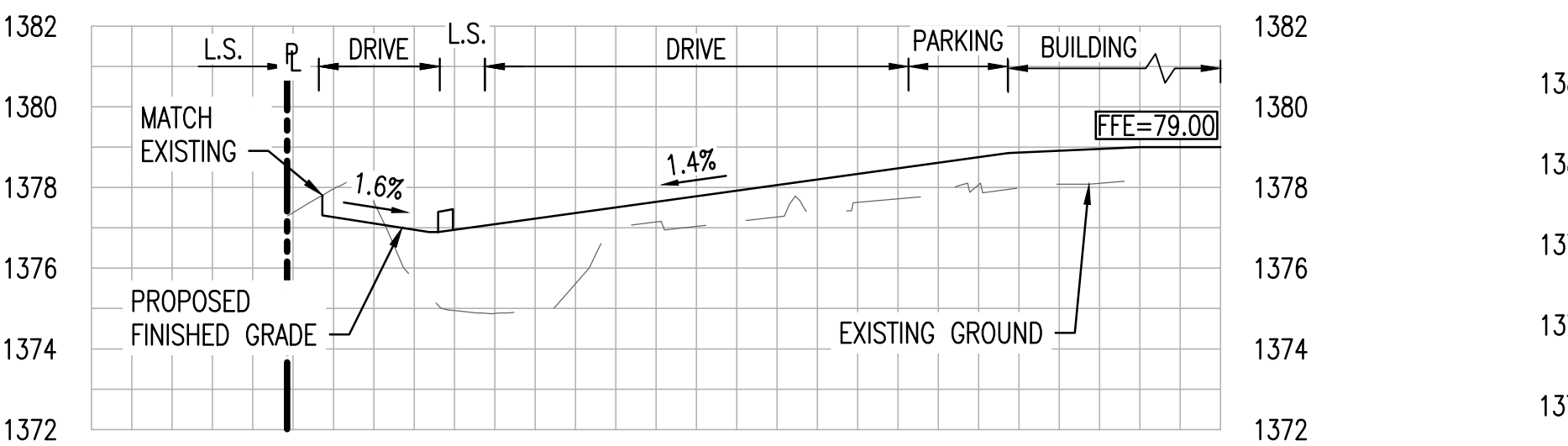
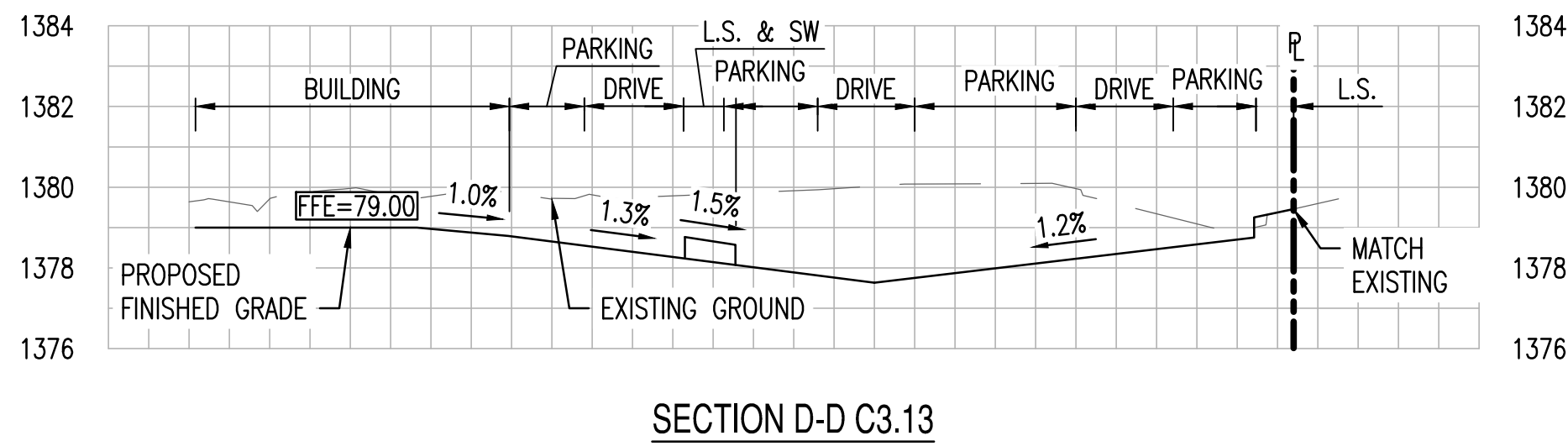
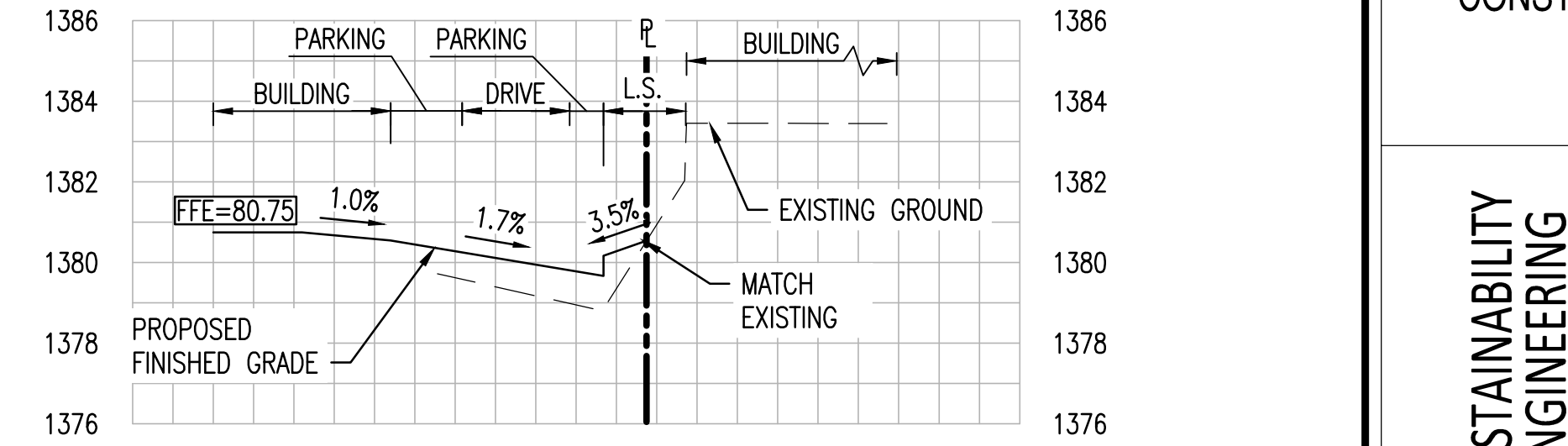
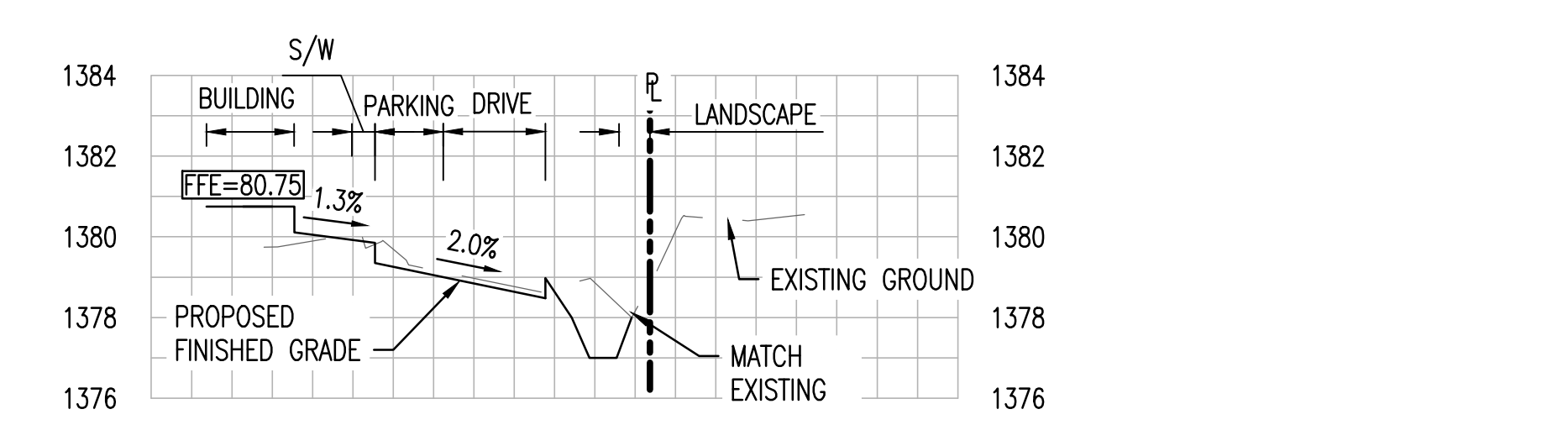
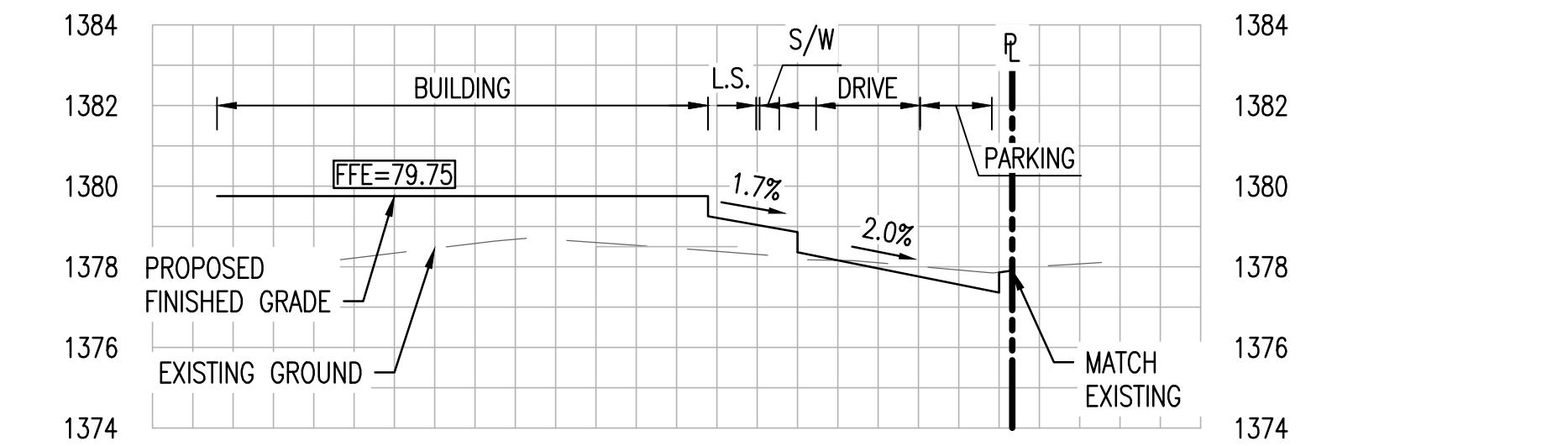


2 Shade Trellis
SCALE: 1/2"=1'-0"



3 Pool Cabanas
SCALE: 1/2"=1'-0"

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SAVED BY: TADAMON,MOHAMMED
DATE: 7/26/2021



PRELIMINARY
NOT FOR
CONSTRUCTION



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534



PROJECT
SUPERSTITION APARTMENTS

LOCATION
1455 SOUTH CLEARVIEW AVENUE
MESA, ARIZONA 85209

DRAWN: TM, JG 06/04/2021
DESIGNED: TM, JG 06/04/2021
QC: SC 06/07/2021
FINAL QC: AF 07/26/2021
PROJ. MGR.: AF 07/26/2021

DATE: 07/26/2021

ISSUED FOR: REZONING

REVISION NO.:	DATE:
1	
2	
3	

JOB NO.: 201104

SHEET TITLE:

PRELIMINARY
CROSS SECTIONS

PAGE NO.:

SHEET NO.:

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AERIAL VIEW WITH SIERRA ESTRELLA IN THE DISTANCE



VIEW OF BUILDING 4 COURTYARD



BUILDING FOUR WITH FRONT YARD DOORS FACING HAMPTON AVE. AND ENTRY DRIVE



FRONT YARD DOORS WITH DIRECT PEDESTRIAN ACCESS TO NEIGHBORHOOD

MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)

2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)

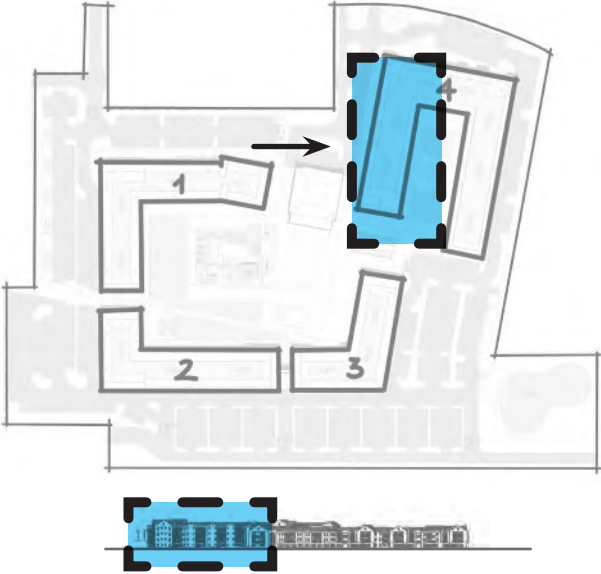
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)

4. VINYL WINDOWS W/ DARK FINISH

5. GREY METAL, PAINTED (MTL-01)

6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN



WEST ELEVATION - 4 STORY BUILDING (BLDG. 4)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF, GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)

2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)

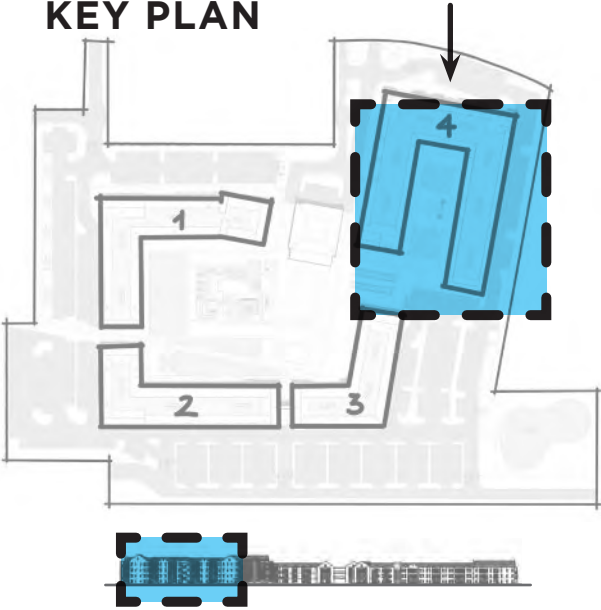
3. PAINTED TRIM, FIBER CEMENT BOARD (FC-01)

4. VINYL WINDOWS W/ DARK FINISH

5. GREY METAL, PAINTED (MTL-01)

6. ROUGH-FACE DRY-STACKED GREY LIMESTONE (ST-01)
CUT GREY LIMESTONE IN A RUNNING BOND PATTERN (ST-02)

KEY PLAN



NORTH ELEVATION - 4 STORY BUILDING (BLDG. 4)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)

2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)

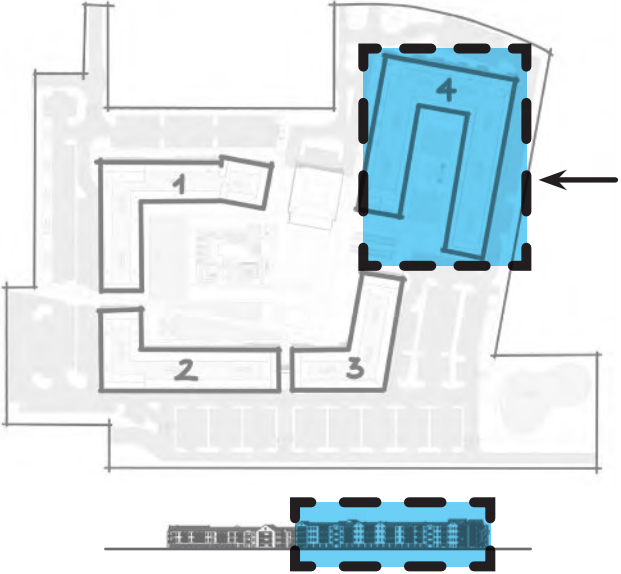
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)

4. VINYL WINDOWS W/ DARK FINISH

5. GREY METAL, PAINTED (MTL-01)

6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN



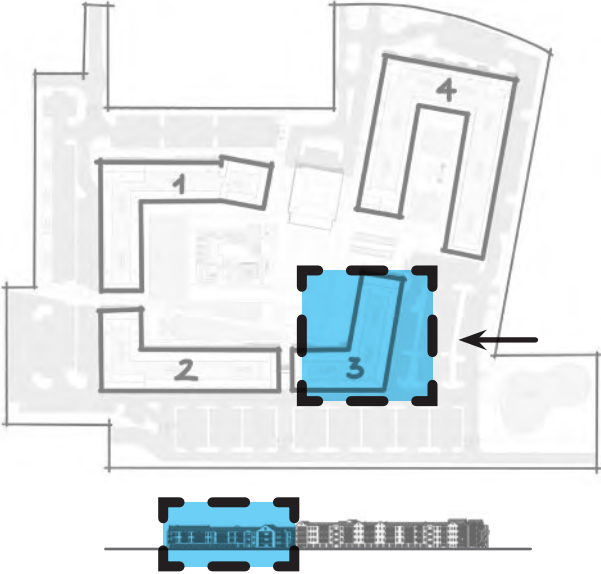
EAST ELEVATION - 4 STORY BUILDING (BLDG. 4)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)
2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)
4. VINYL WINDOWS W/ DARK FINISH
5. GREY METAL, PAINTED (MTL-01)
6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE (ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN (ST-02)

KEY PLAN



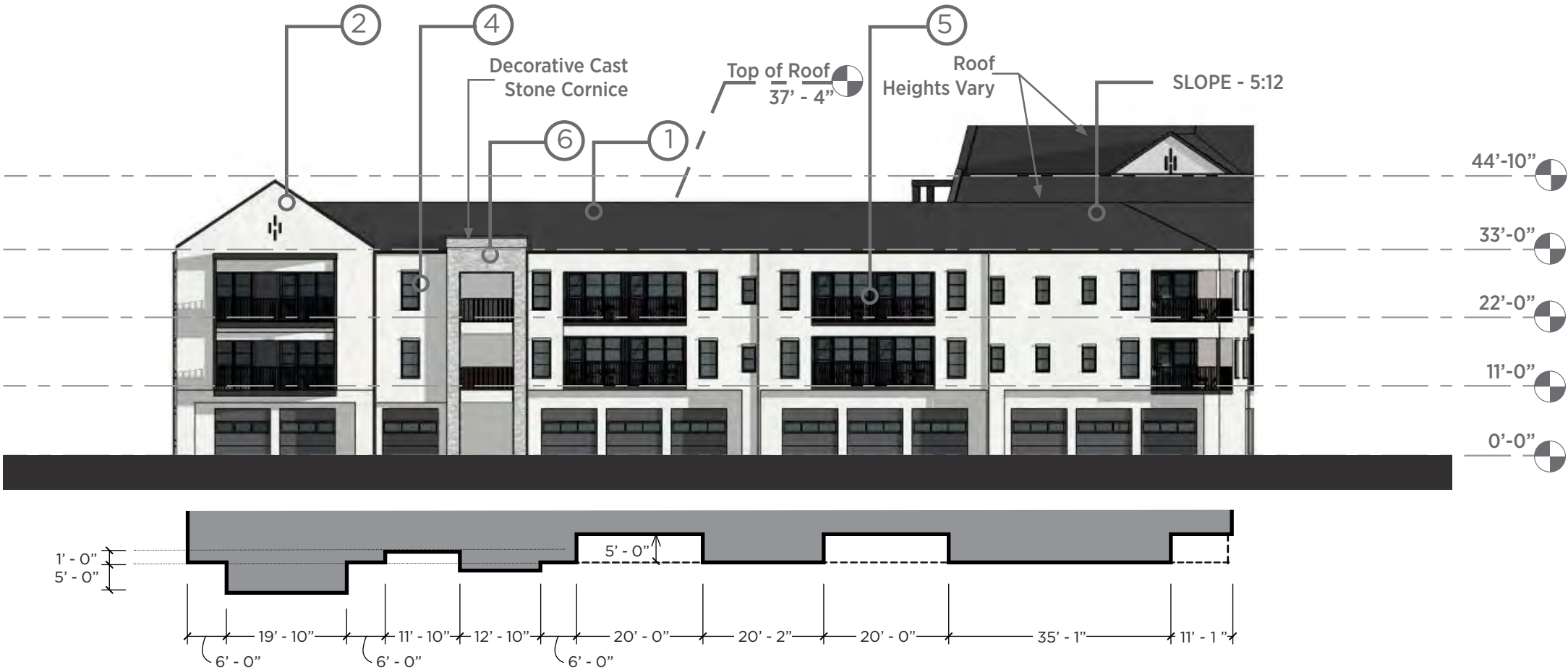
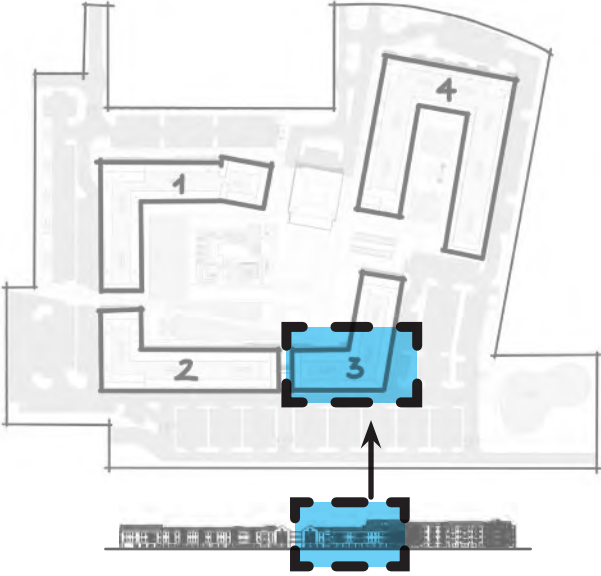
EAST ELEVATION - 3 STORY BUILDING (BLDG. 3)



MATERIAL KEY

- 1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)
- 2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)
- 3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)
- 4. VINYL WINDOWS W/ DARK FINISH
- 5. GREY METAL, PAINTED (MTL-01)
- 6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN



SOUTH ELEVATION - 3 STORY BUILDING (BLDG. 3)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)

2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)

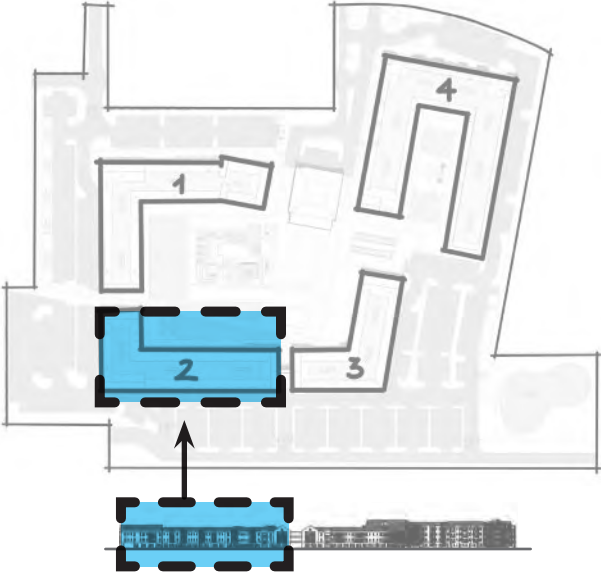
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)

4. VINYL WINDOWS W/ DARK FINISH

5. GREY METAL, PAINTED (MTL-01)

6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN



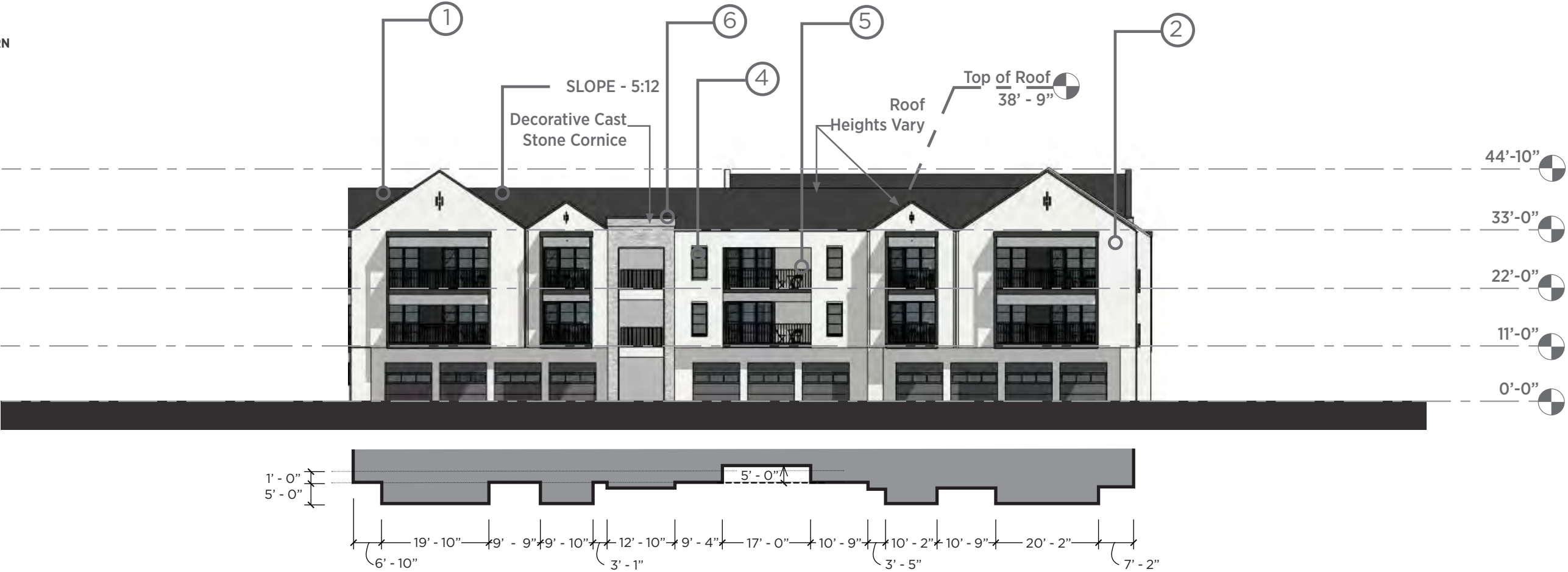
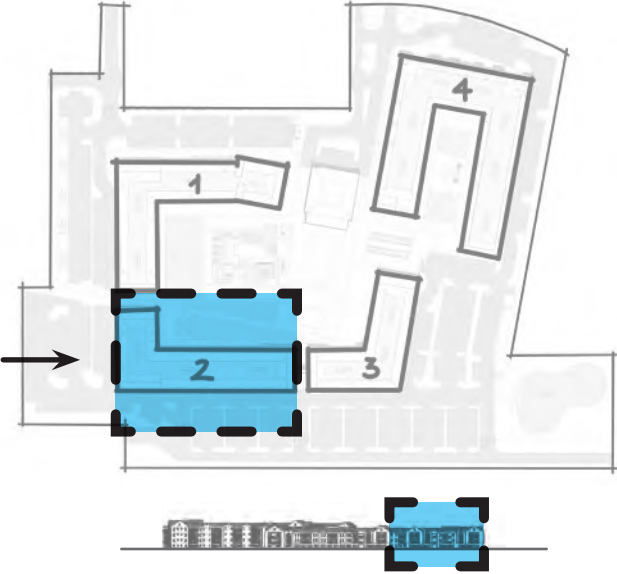
SOUTH ELEVATION - 3 STORY BUILDING (BLDG. 2)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)
2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)
4. VINYL WINDOWS W/ DARK FINISH
5. GREY METAL, PAINTED (MTL-01)
6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN



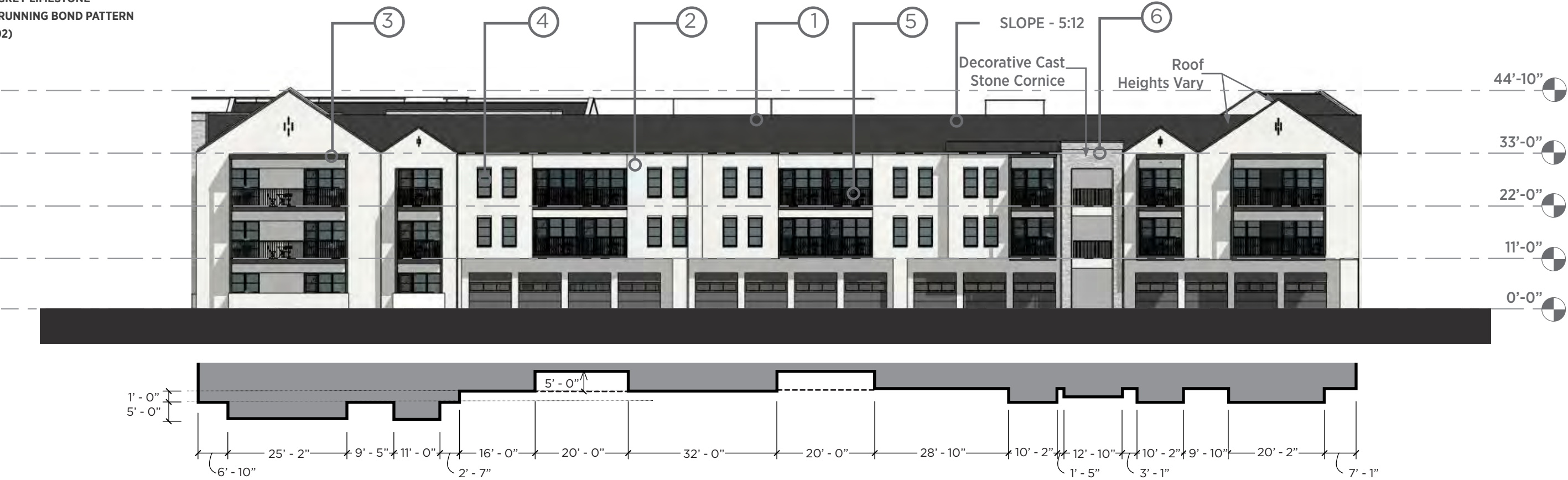
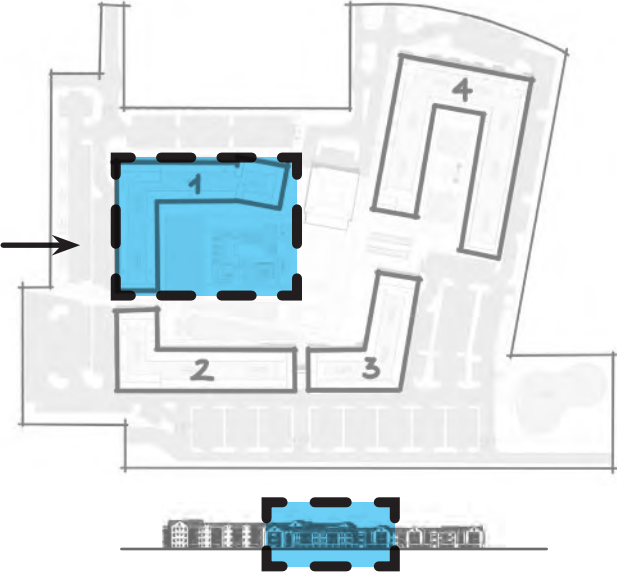
WEST ELEVATION - 3 STORY BUILDING (BLDG. 2)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)
2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)
4. VINYL WINDOWS W/ DARK FINISH
5. GREY METAL, PAINTED (MTL-01)
6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN



WEST ELEVATION - 3 STORY BUILDING (BLDG. 1)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)

2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)

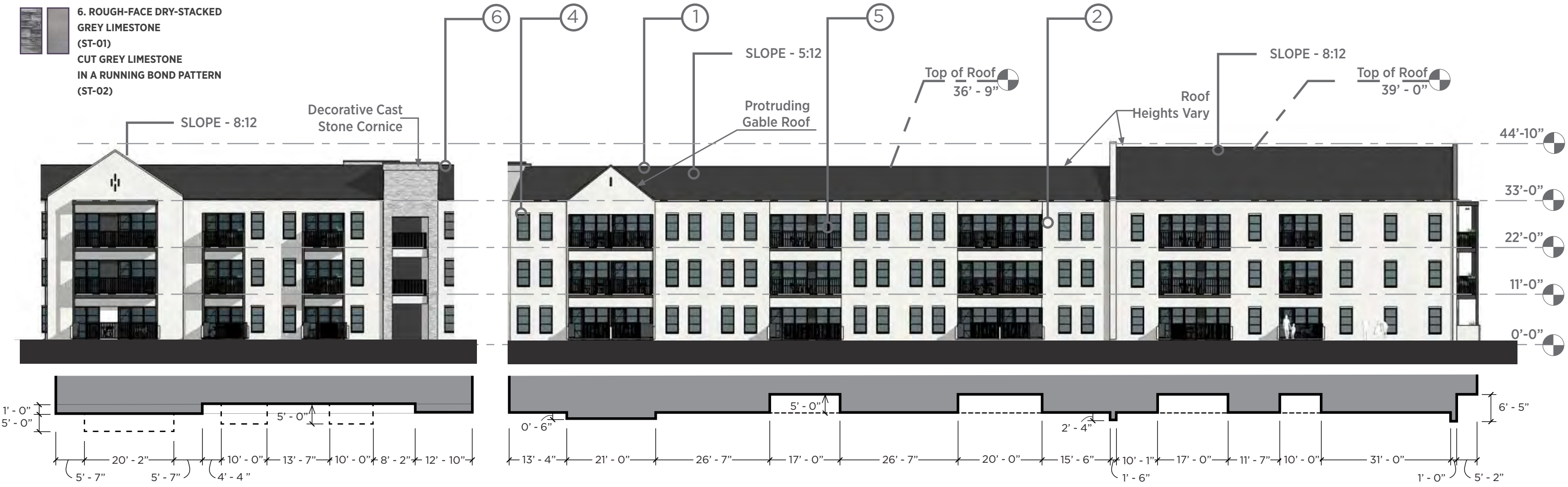
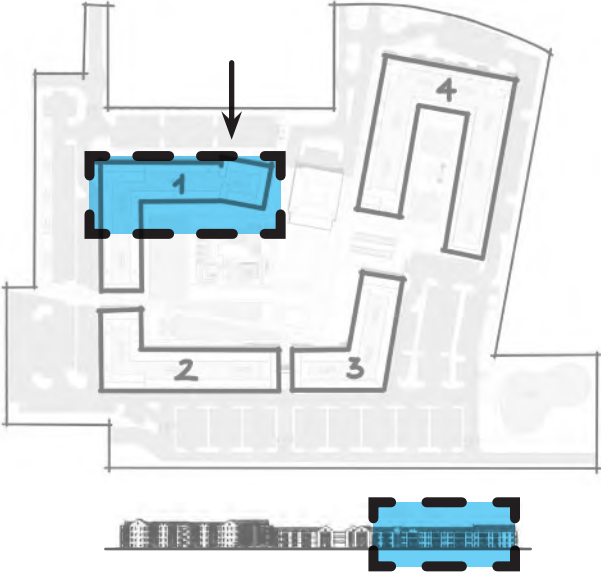
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)

4. VINYL WINDOWS W/ DARK FINISH

5. GREY METAL, PAINTED (MTL-01)

6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN

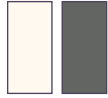


NORTH ELEVATION - 3 STORY BUILDING (BLDG. 1)

MATERIAL KEY



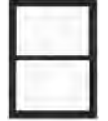
**1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)**



2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)



3. PAINTED TRIM, FIBER CEMENT BOARD (FC-01)



4. VINYL WINDOWS W/ DARK FINISH

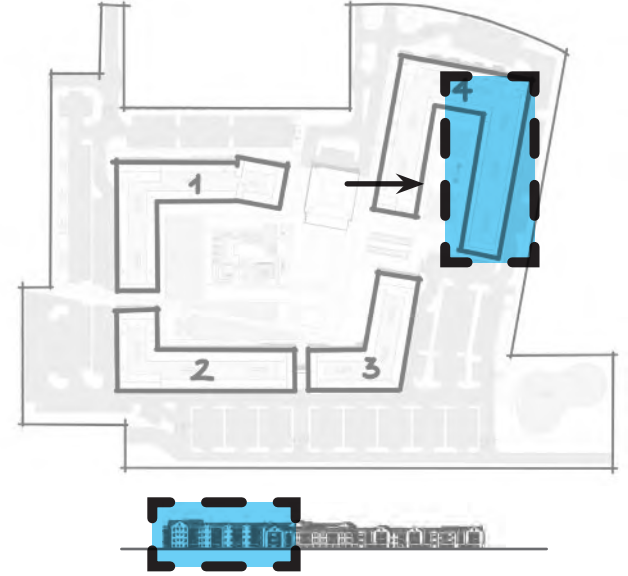


5. GREY METAL, PAINTED (MTL-01)



**6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)**

KEY PLAN



WEST INTERIOR ELEVATION - 4 STORY BUILDING (BLDG. 4)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF, GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)

2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)

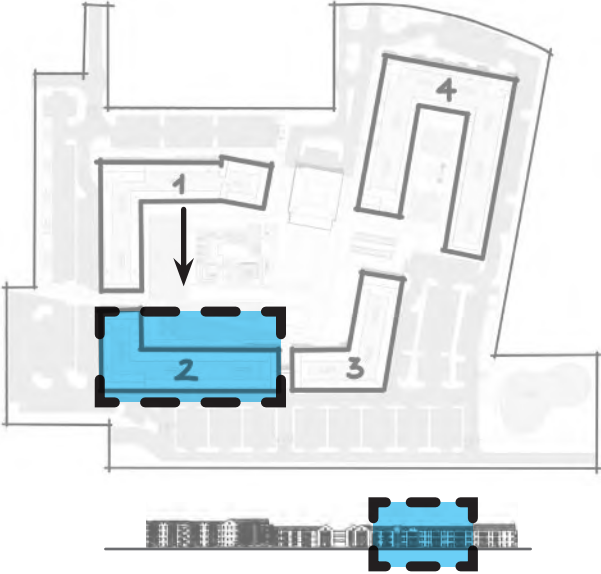
3. PAINTED TRIM, FIBER CEMENT BOARD (FC-01)

4. VINYL WINDOWS W/ DARK FINISH

5. GREY METAL, PAINTED (MTL-01)

6. ROUGH-FACE DRY-STACKED GREY LIMESTONE (ST-01)
CUT GREY LIMESTONE IN A RUNNING BOND PATTERN (ST-02)

KEY PLAN



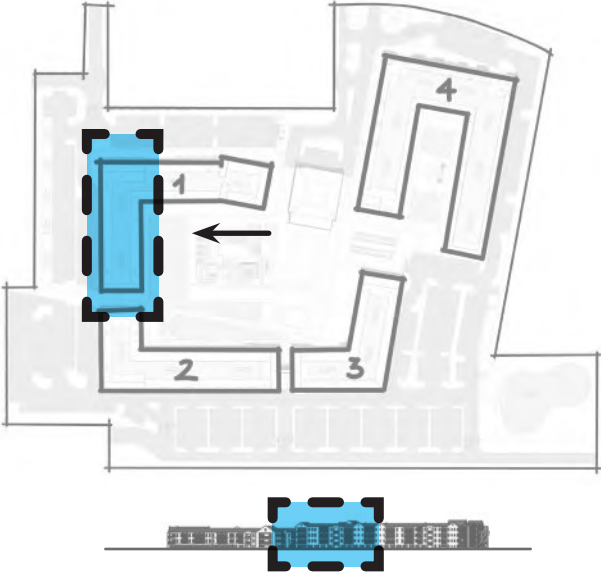
NORTH INTERIOR ELEVATION - 3 STORY BUILDING (BLDG. 2)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF,
GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)
2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)
3. PAINTED TRIM, FIBER CEMENT
BOARD (FC-01)
4. VINYL WINDOWS W/ DARK FINISH
5. GREY METAL, PAINTED (MTL-01)
6. ROUGH-FACE DRY-STACKED
GREY LIMESTONE
(ST-01)
CUT GREY LIMESTONE
IN A RUNNING BOND PATTERN
(ST-02)

KEY PLAN



EAST INTERIOR ELEVATION - 3 STORY BUILDING (BLDG. 1)



MATERIAL KEY

1. FLAT CONCRETE TILE ROOF, GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)

2. EXTERIOR STUCCO
FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)

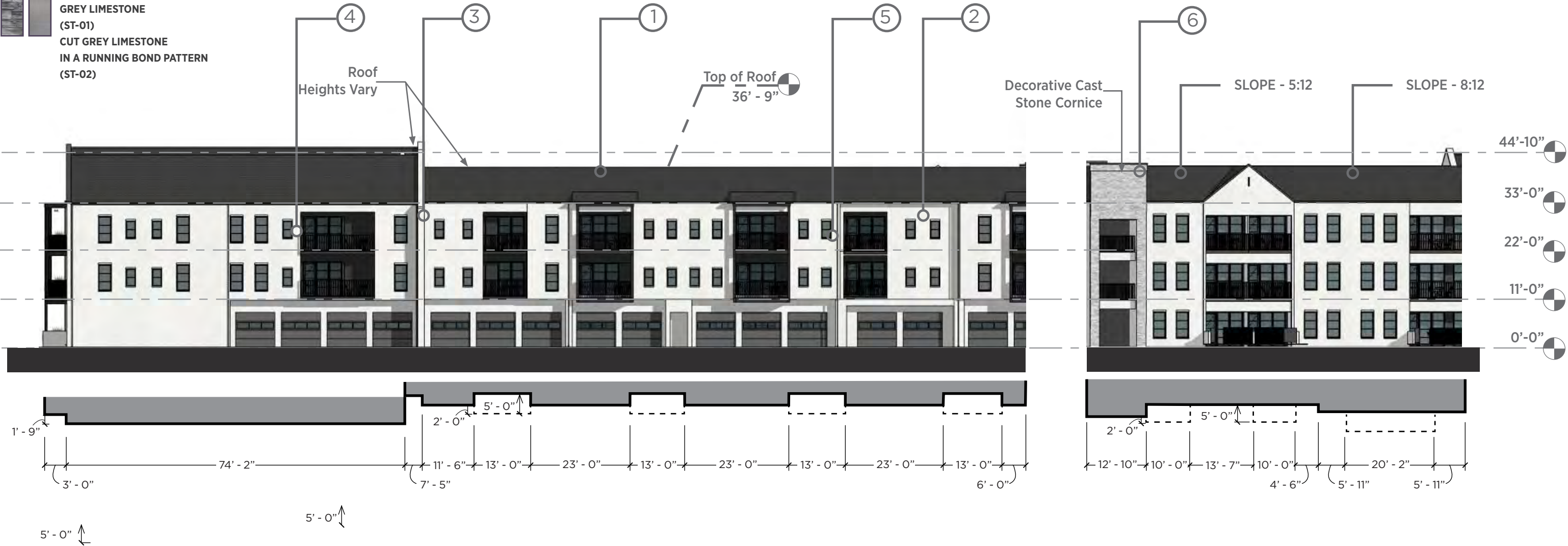
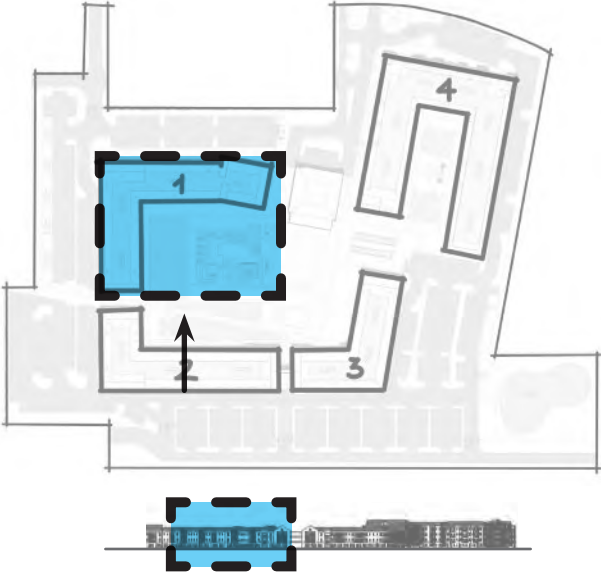
3. PAINTED TRIM, FIBER CEMENT BOARD (FC-01)

4. VINYL WINDOWS W/ DARK FINISH

5. GREY METAL, PAINTED (MTL-01)

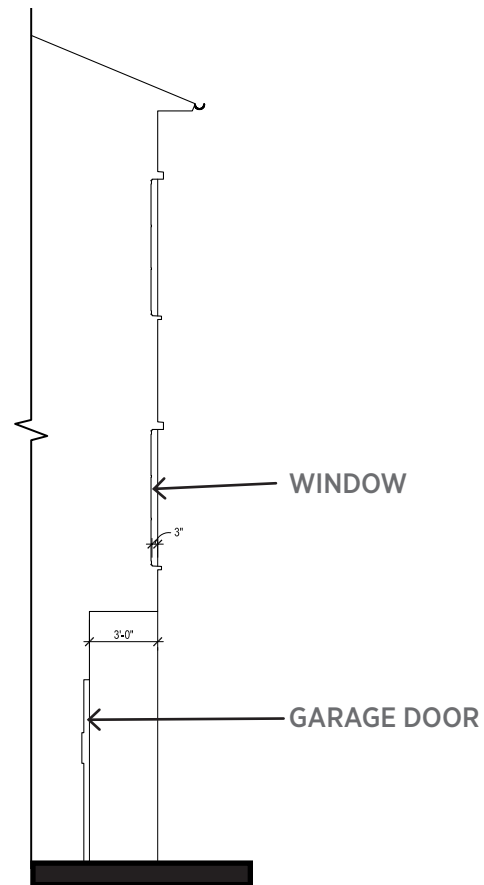
6. ROUGH-FACE DRY-STACKED GREY LIMESTONE (ST-01)
CUT GREY LIMESTONE IN A RUNNING BOND PATTERN (ST-02)

KEY PLAN



SOUTH INTERIOR ELEVATION - 3 STORY BUILDING (BLDG. 1)

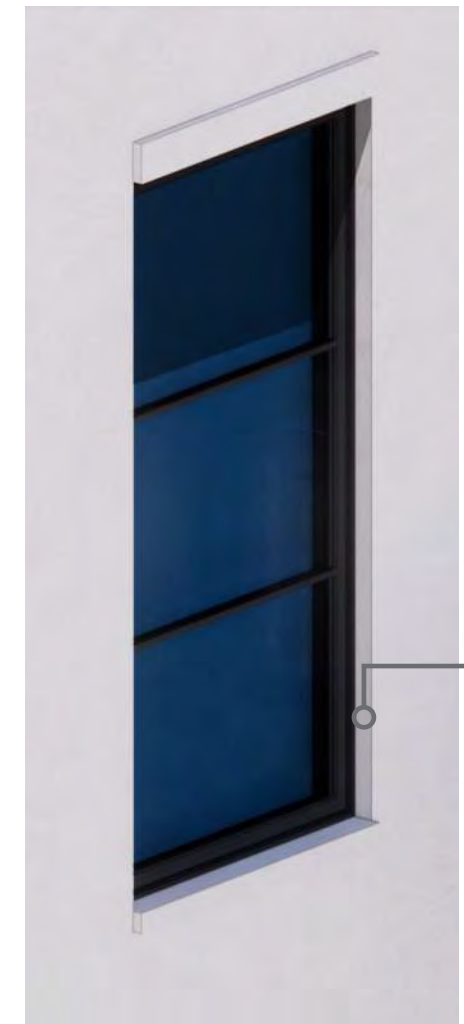




SECTION
SCALE: 1/8"=1'-0"



TUCK UNDER GARAGES



WINDOW RECESS

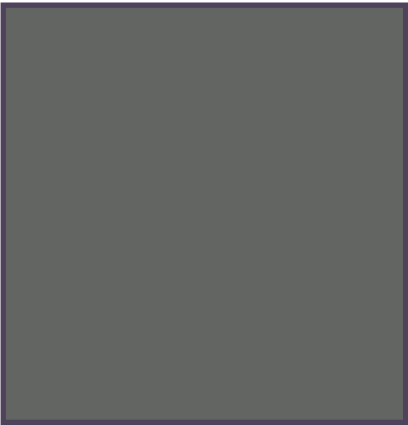
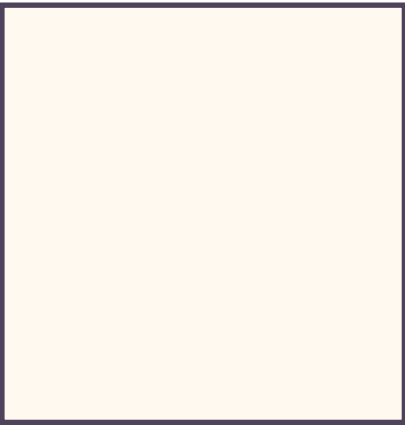
3"
WINDOW RECESS
TO CREATE DEPTH
AND SHADOW

ENLARGED SECTION, GARAGE DOORS 3' FRONT BUILDING MASSING, WINDOWS RECESSED IN THE FACADE

EXTERIOR MATERIAL CALCULATIONS FOR BUILDING FACADES						
4 Story Building						
Materials	Glass	Exterior Stucco	Painted Trim, Hardy	Grey Limestone	Total	
North		3158	7010	889.59	103.6	
East		4416	9815	968.5	167.9	
South		3006	6682	723	235.37	
West		3283	7297	899	470.74	
Interior		6543	14541	1810	403.28	
TOTALS						
SF		20406	45345	5290.09	1380.89	72421.98
%		28.17652873	62.61220696	7.304536551	1.906727764	
3 Story Building						
Materials	Glass	Exterior Stucco	Painted Trim, Hardy	Grey Limestone	Total	
Building 1		10472.5	23245	1246	763	
Building 2		9215.7	20535	1068	381	
Building 3		5185.9	17118	898	381	
Connection		0	173	69	0	
TOTALS						
SF		24874.1	60898	3281	1525	90578.1
%		27.46149456	67.23258713	3.62228839	1.683629928	



1. FLAT CONCRETE TILE ROOF, GREY COLOR, MANUF. TBD. ALT: COMP SHINGLE ROOF (RT-01)

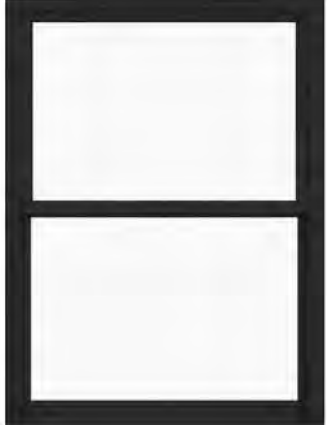


2. EXTERIOR STUCCO FINISH - WESTERN WHITE SUPERFINE WESTERN BLENDED PRODUCTS (S-01)

FINISH - GRIZZLE GREY SUPERFINE WESTERN BLENDED PRODUCTS (S-02)



3. PAINTED TRIM, FIBER CEMENT BOARD (FC-01)



4. VINYL WINDOWS W/ DARK FINISH



5. GREY METAL, PAINTED (MTL-01)



6. ROUGH-FACE DRY-STACKED GREY LIMESTONE (ST-01)
CUT GREY LIMESTONE IN A RUNNING BOND PATTERN (ST-02)

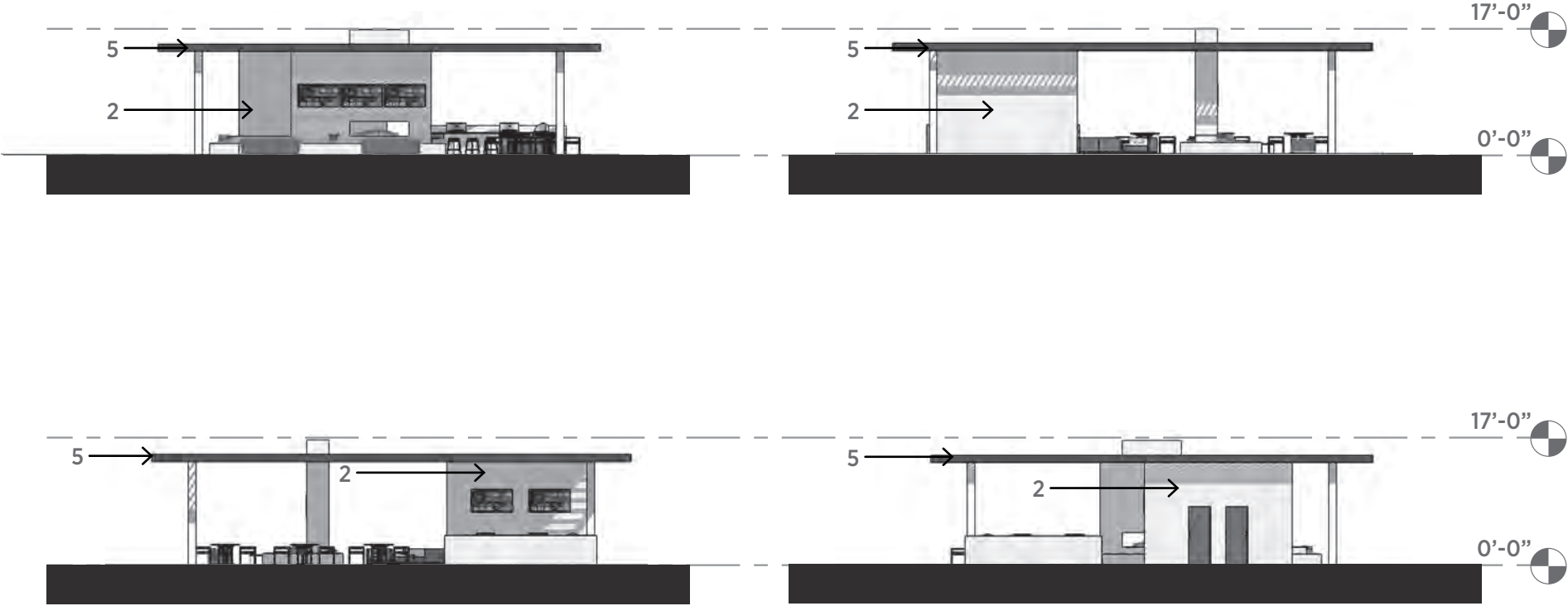
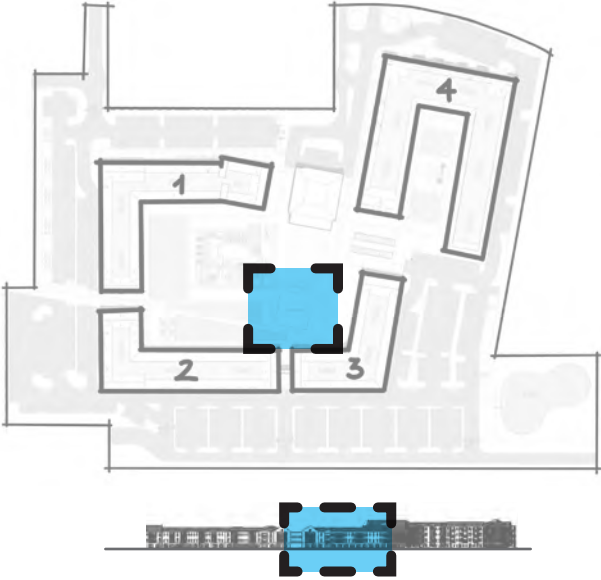
MATERIAL SELECTION

MATERIAL KEY

-  1. FLAT CONCRETE TILE ROOF, GREY COLOR, MANUF. TBD.
ALT: COMP SHINGLE ROOF (RT-01)
-  2. EXTERIOR STUCCO FINISH - WESTERN WHITE (S-01)
ALT: FINISH - GRIZZLE GREY (S-02)
-  3. PAINTED TRIM, FIBER CEMENT BOARD (FC-01)
-  4. VINYL WINDOWS W/ DARK FINISH
-  5. GREY METAL, PAINTED (MTL-01)
-  6. ROUGH-FACE DRY-STACKED GREY LIMESTONE (ST-01)
 CUT GREY LIMESTONE IN A RUNNING BOND PATTERN (ST-02)

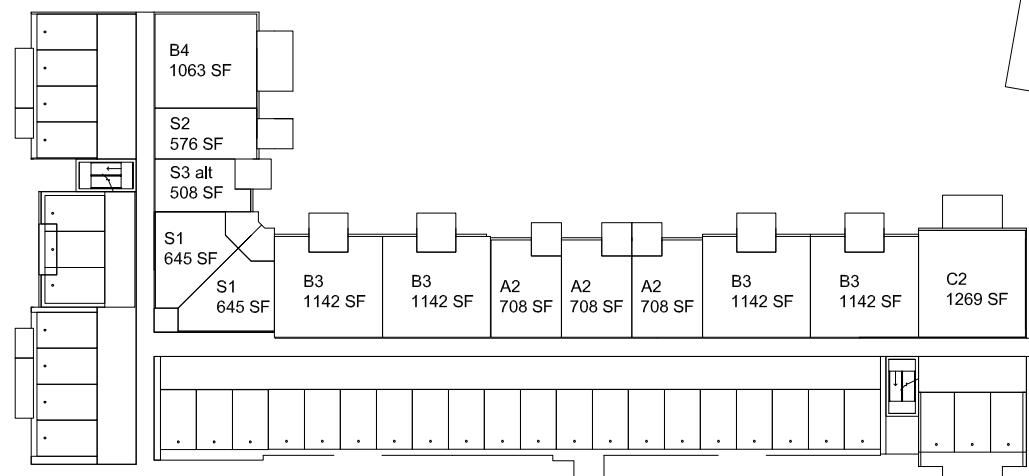
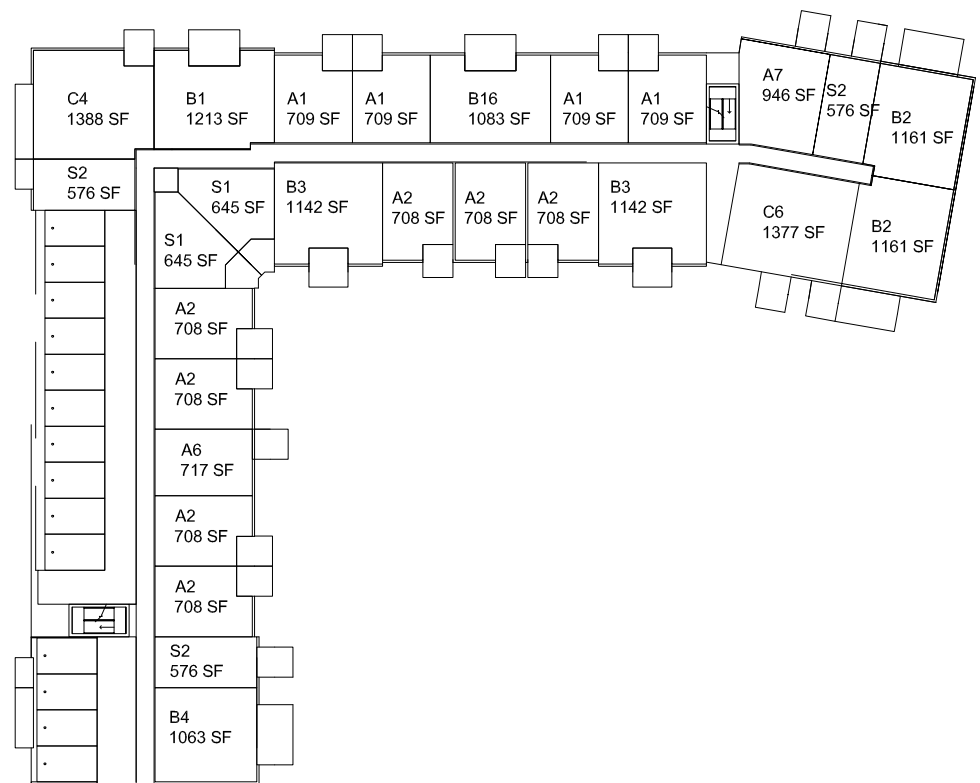


KEY PLAN



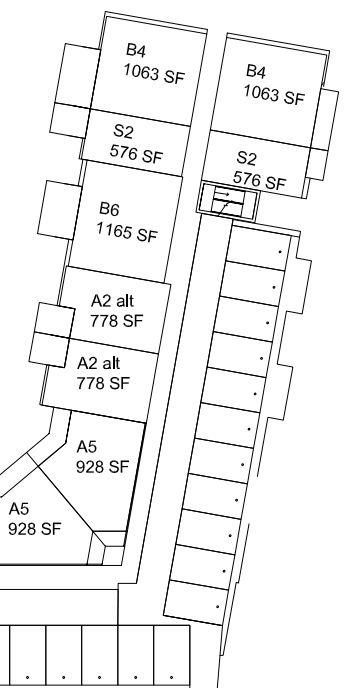
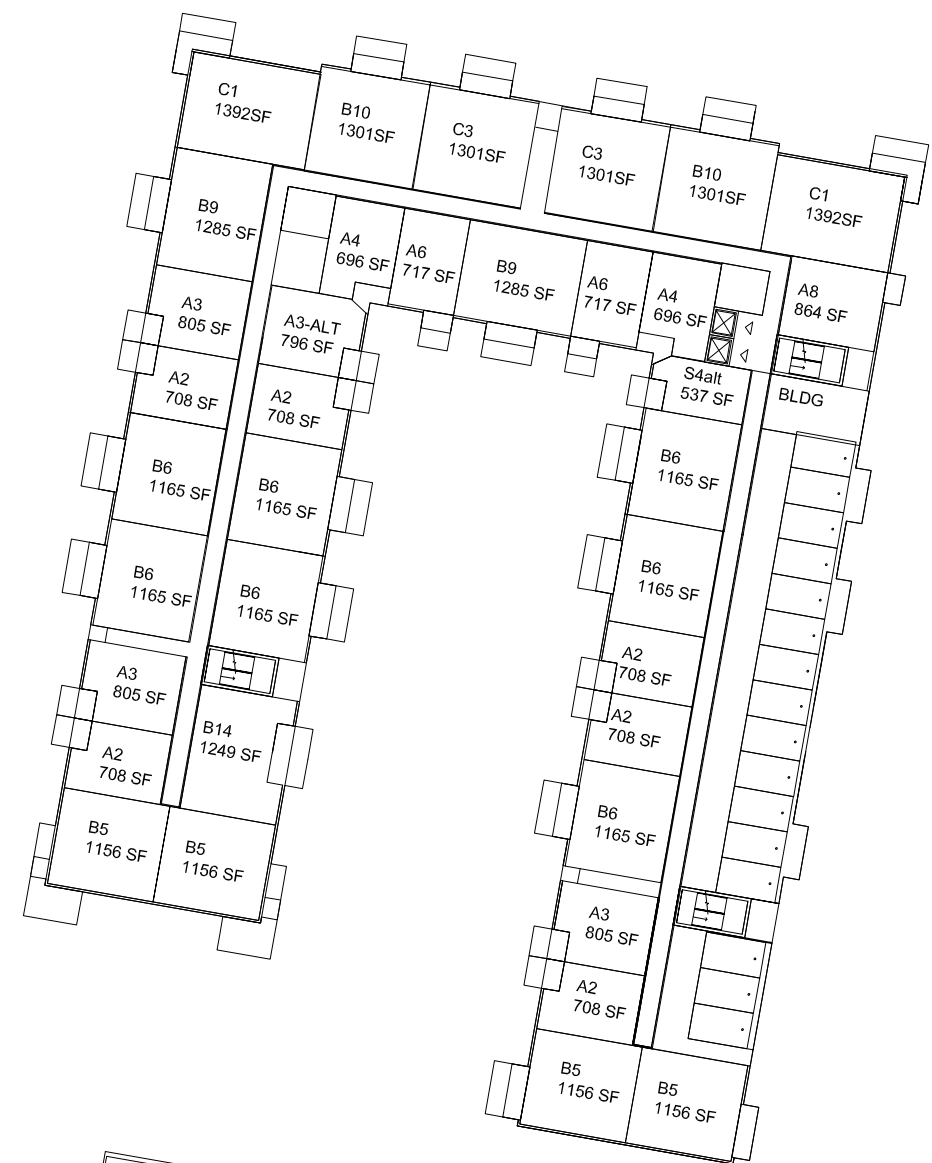
CLUBHOUSE BUILDING - PERSPECTIVE AND ELEVATIONS





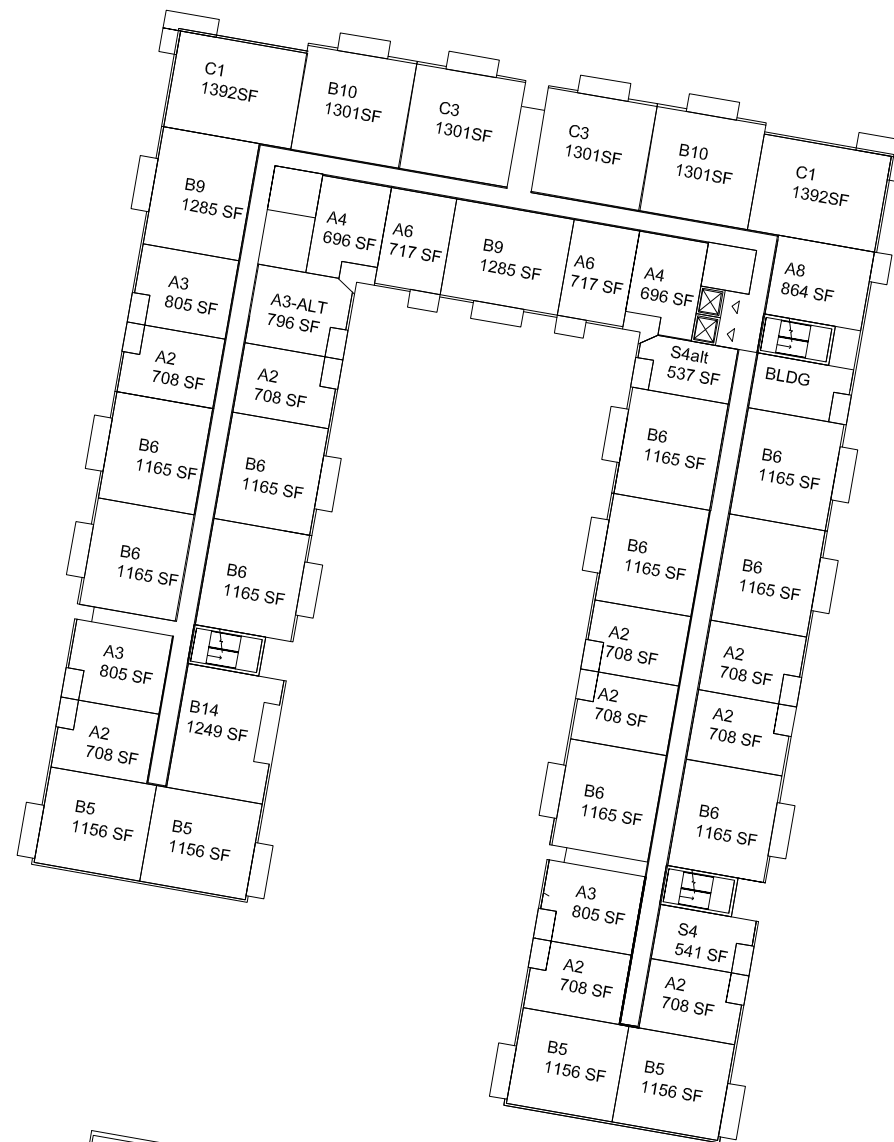
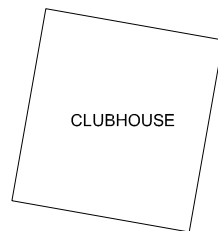
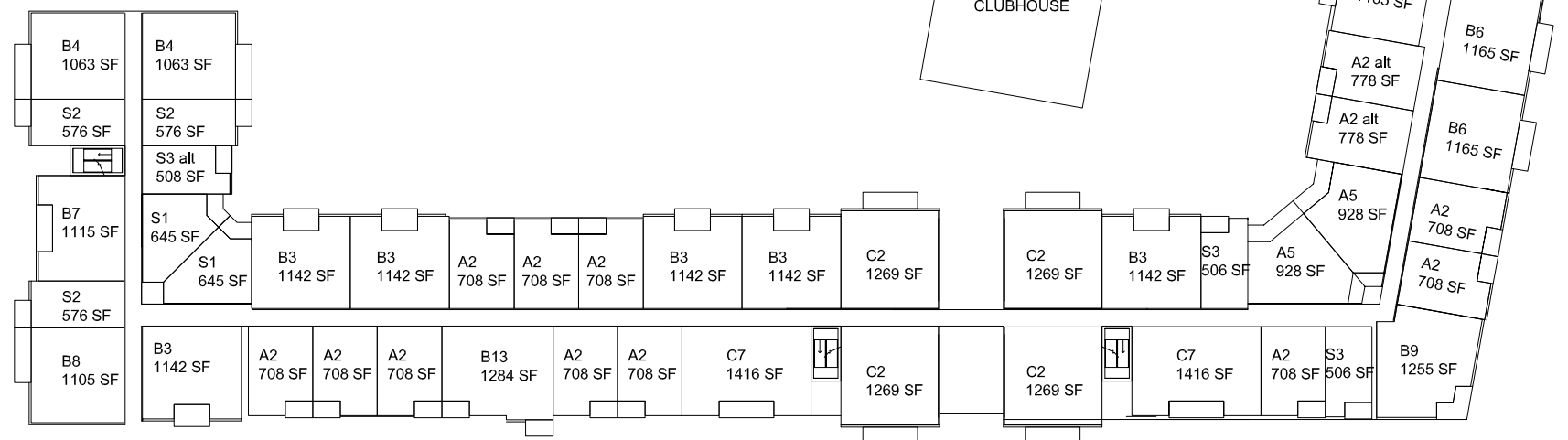
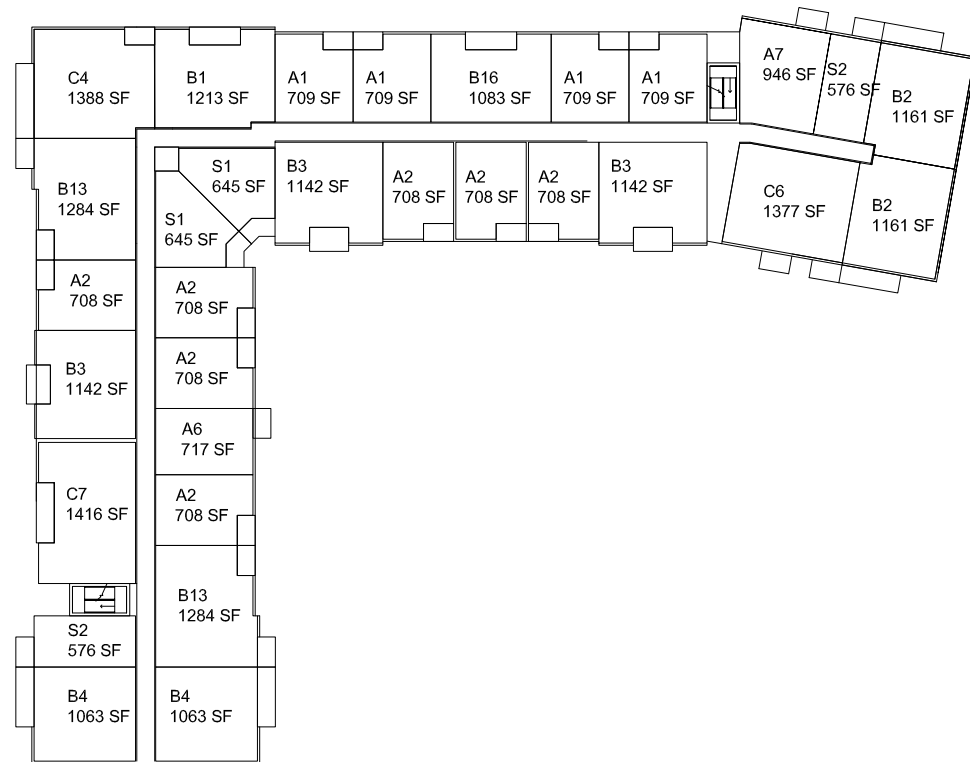
LEASING OFFICE
/ AMENITY

CLUBHOUSE



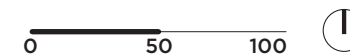
LEVEL 1 PLAN

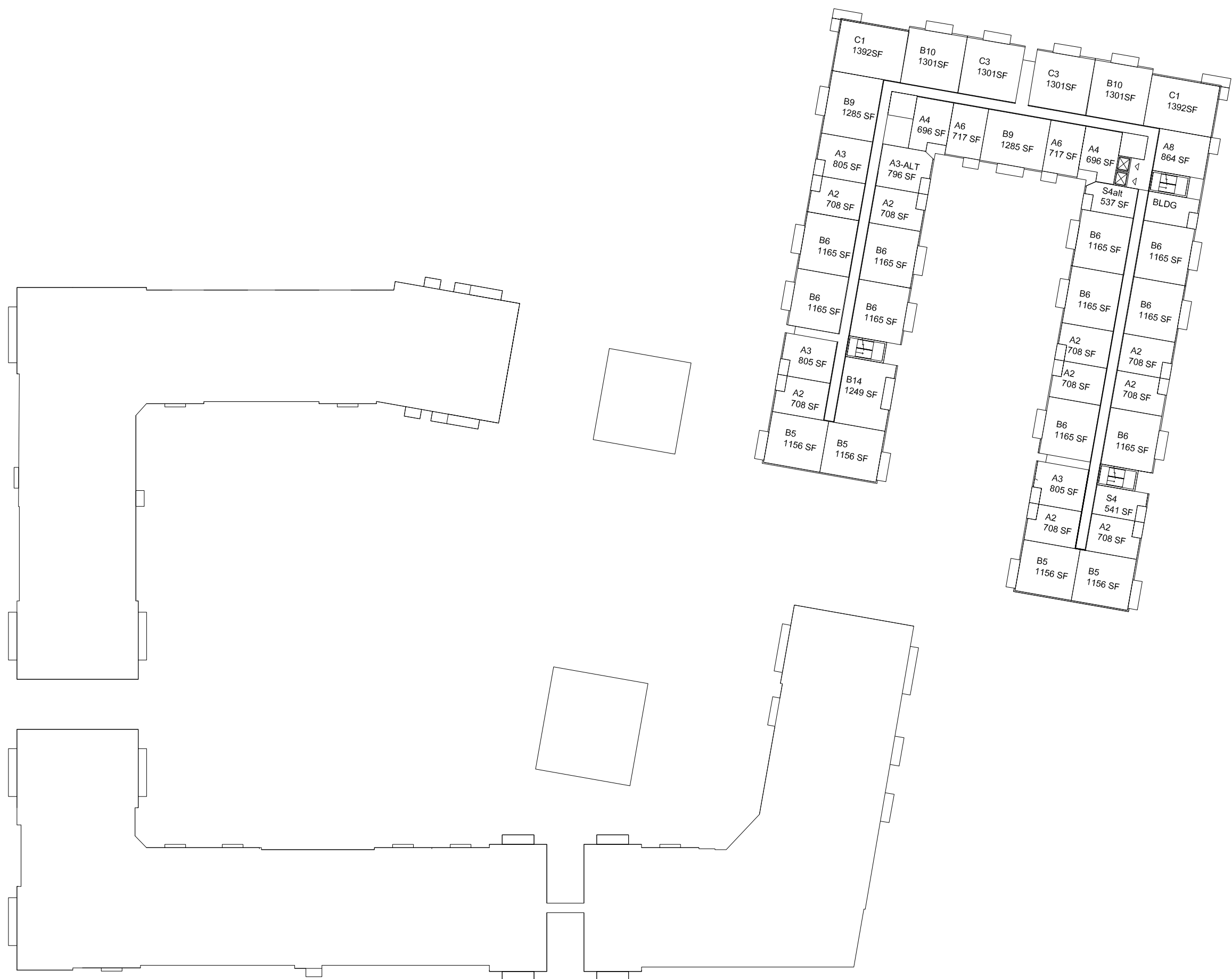
SCALE: 1/64"=1'-0"



LEVEL 2-3 PLAN

SCALE: 1/64"=1'-0"

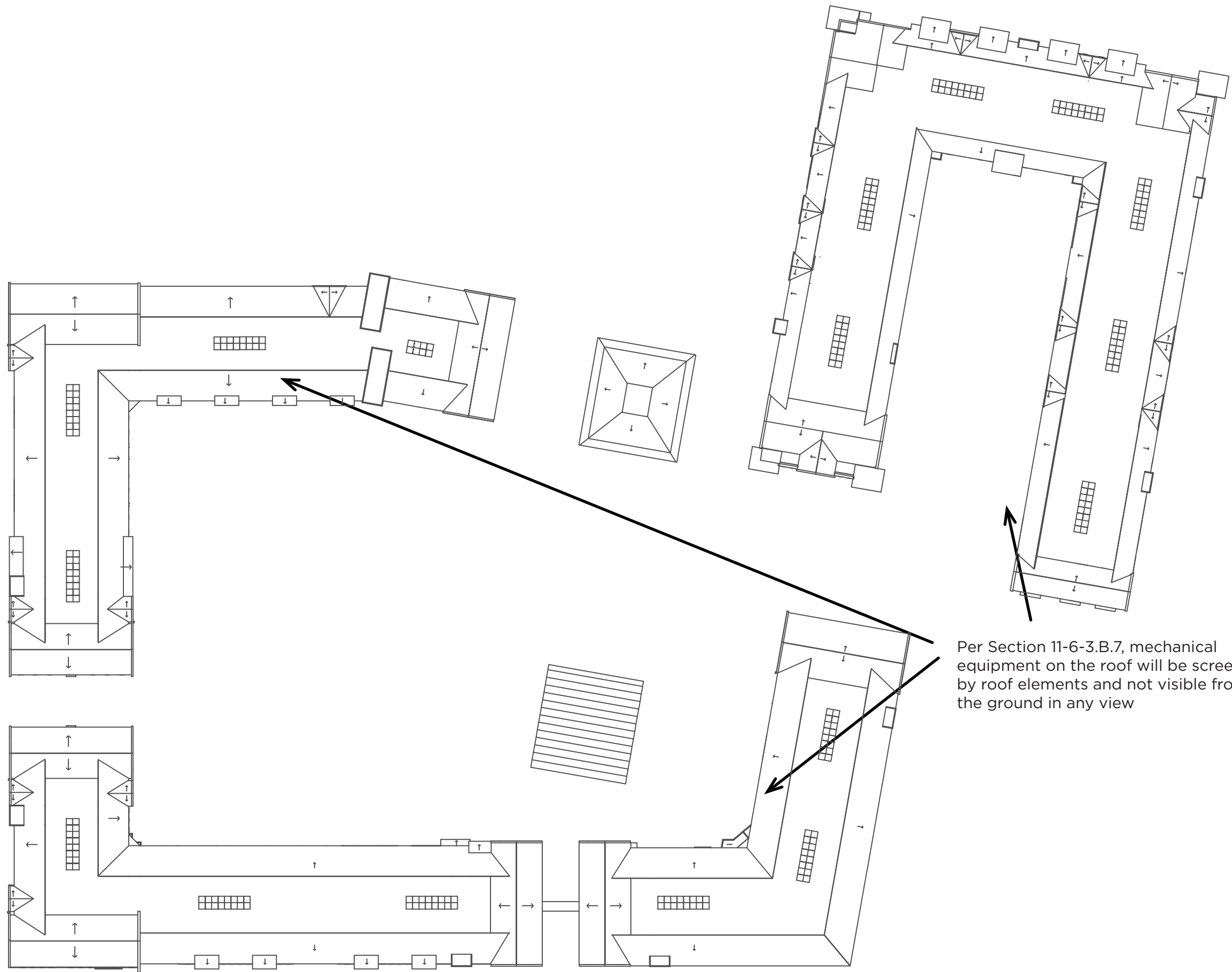




LEVEL 4 PLAN

SCALE: 1/64"=1'-0"





Per Section 11-6-3.B.7, mechanical equipment on the roof will be screen by roof elements and not visible from the ground in any view

ROOF PLAN

SCALE: 1/64"=1'-0"

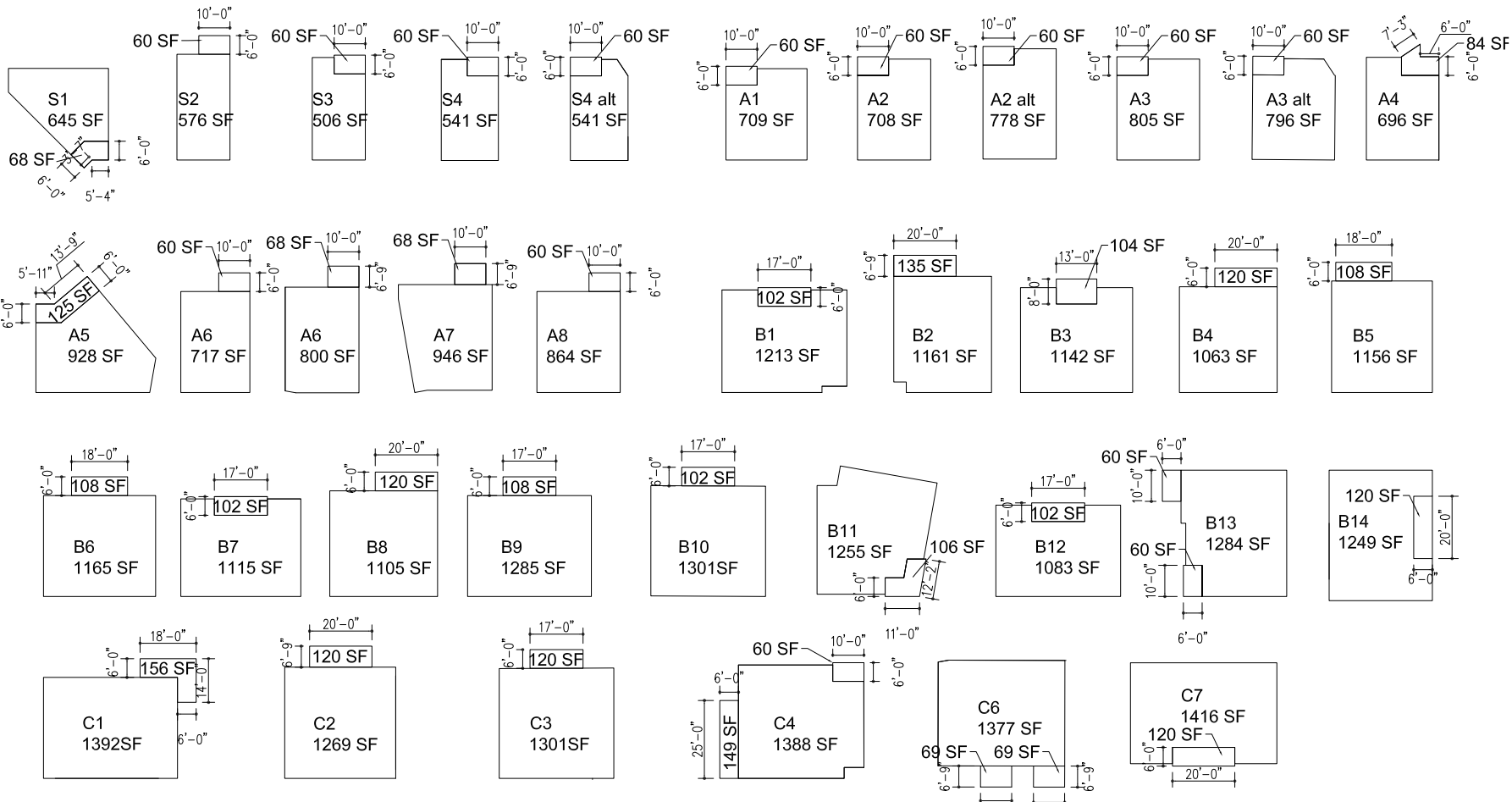
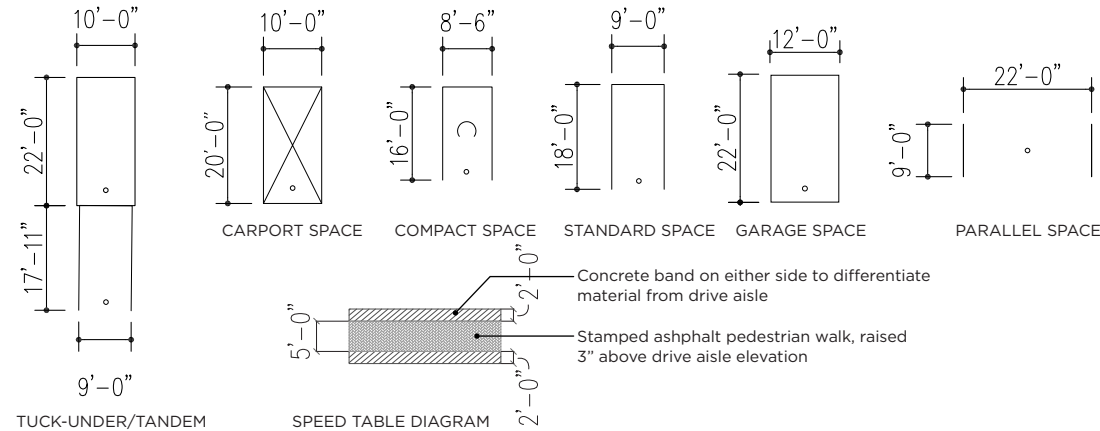


UNIT MATRIX - Stillwater - Mesa/Superstition Hwy.											
Floor Plan	SF	Unit Type	Level 1	Level 2	Level 3	Level 4	Total Units		Total NRSF	Open Space	
S1	645	Studio	4	4	4	-	12		7,740	68	
S2	576	Studio	5	7	7	-	19		10,944	60	
S3	506	Studio	1	2	2	-	5		2,530	60	
S3 ALT	508	Studio	1	1	1	-	3		1,524	60	
S4	541	Studio	-	1	1	1	3		1,623	60	
S4 ALT	537	Studio	1	1	1	1	4		2,148	60	
A1	709	1 Br	4	4	4	-	12		8,508	60	
A2	708	1 Br	15	27	27	9	78		55,224	60	
A2 ALT	778	1 Br	2	2	2	-	6		4,668	60	
A3	805	1 Br	3	3	3	3	12		9,660	60	
A3 ALT	796	1 Br	1	1	1	1	4		3,184	60	
A4	696	1 Br	2	2	2	2	8		5,568	84	
A5	928	1 Br	2	2	2	-	6		5,568	125	
A6	717	1 Br	3	3	3	2	11		7,887	68	
A7	946	1 Br	1	1	1	-	3		2,838	68	
A8	864	1 Br	1	1	1	1	4		3,456	60	
B1	1,213	2 Br	1	1	1	-	3		3,639	102	
B2	1,161	2 Br	2	2	2	-	6		6,966	135	
B3	1,142	2 Br	7	9	9	-	25		28,550	104	
B4	1,063	2 Br	4	6	6	-	16		17,008	120	
B5	1,156	2 BR	4	4	4	4	16		18,496	108	
B6	1,165	2 Br	8	13	13	10	44		51,260	108	
B7	1,115	2 Br	-	1	1	-	2		2,230	102	
B8	1,105	2 Br	-	1	1	-	2		2,210	120	
B9	1,285	2 Br	2	2	2	2	8		10,280	108	
B10	1,301	2 Br	2	2	2	2	8		10,408	102	
B11	1,255	2 Br	-	1	1	-	2		2,510	106	
B12	1,083	2 Br	1	1	1	-	3		3,249	102	
B13	1,284	2 Br	1	3	3	-	7		8,988	120	
B14	1,249	2 Br	1	1	1	1	4		4,996	120	
C1	1,392	3 Br	2	2	2	2	8		11,136	156	
C2	1,269	3 Br	2	4	4	-	10		12,690	120	
C3	1,301	3 Br	2	2	2	2	8		10,408	120	
C4	1,388	3 Br	1	1	1	1	4		5,552	210	
C6	1,377	3 Br	1	1	1	-	3		4,131	120	
C7	1,416	3 Br	-	3	3	-	6		8,496	121	
			87	122	122	44	375	Total NRSF	356,273		
avg. unit size	950										

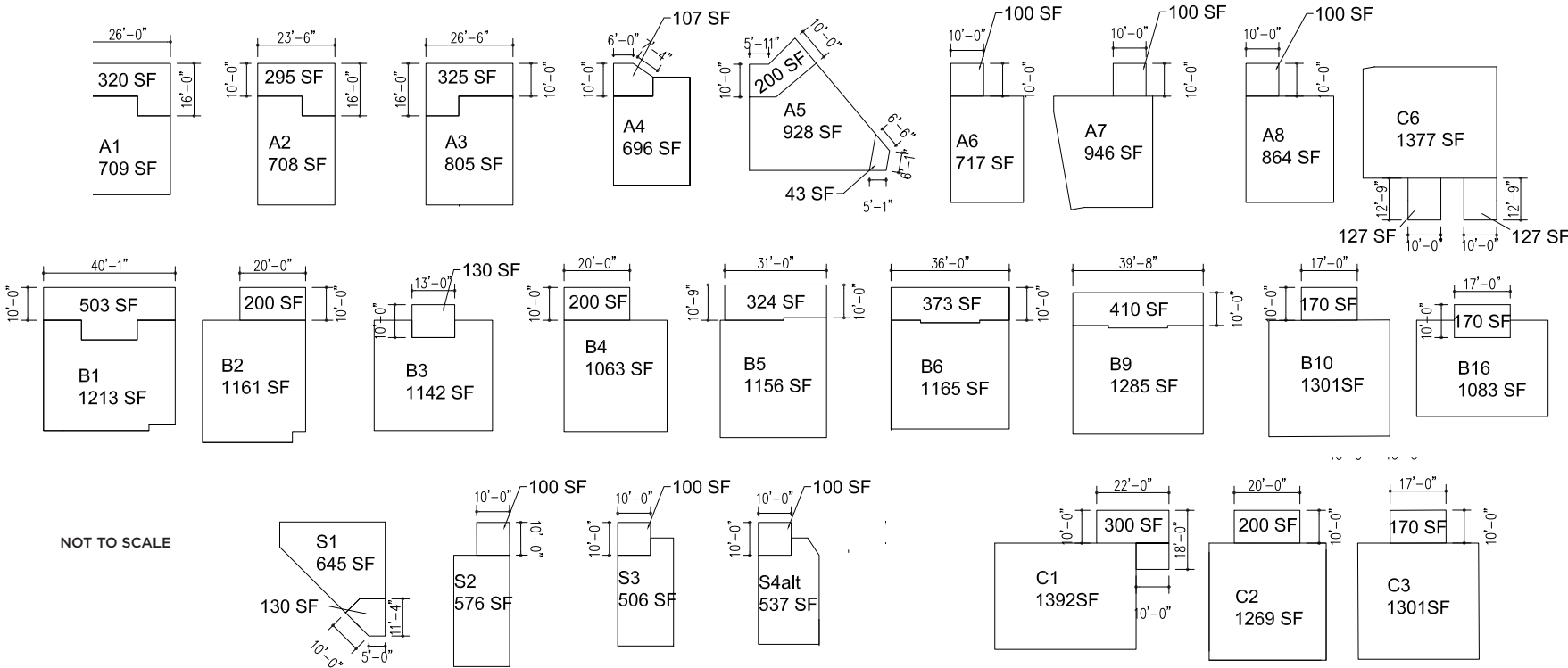
Unit Count and Overall Percentages of Mix			
Studio	46	12.3%	50.7%
1 Br	144	38.4%	
2 Br	146	38.9%	49.3%
3 Br	39	10.4%	
Total	375	100.0%	

OPEN AREA / BALCONY RATIOS
 PROVIDED OPEN SPACE / BALCONY AREA
 PER CITY REQUIREMENT:
 ONE BEDROOM UNIT: MIN 60 SF
 TWO BEDROOM UNIT : MIN 100 S F
 THREE BEDROOM UNIT: MIN 120 SF

TYPICAL PARKING AREA LAYOUTS



**GROUND FLOOR UNITS FACING HAMPTON AVE. AND ENTRY DRIVE TO HAVE ENCLOSED PRIVATE YARDS*



UNIT TYPES AND PROVIDED OPEN SPACE

Citizen Participation Plan

STILLWATER SUPERSTITION

West and South of the Southwest Corner of Hampton Avenue and Clearview Avenue

Case # _____

Date: May 3, 2020

Purpose:

The purpose of this Citizen Participation Plan (CPP) is to inform the citizens, property owners, neighborhood associations, agencies, and businesses of an application submitted by Stillwater Capital, LLC ("Stillwater") for approval of a high-quality residential community known as "Stillwater Superstition," located west and south of the southwest corner of Hampton Avenue and Clearview Avenue. Stillwater proposes developing this challenging, in-fill, redevelopment site with a high-quality, highly amenitized multi-family development. The development will contain 395 residences, a density of approximately 23.8 dus/ac.

The Site presently consists of a former K-Mart building (now vacant) and an in-line commercial retail building (vacant except for a Sally's Beauty Supply) along the Site's southern boundary. The present commercial uses are no longer viable due to the ever changing and shrinking physical retail footprint.

To achieve this, Stillwater requests the following:

- Rezone the Site from LC/PAD to LC/PAD;
- Council Use Permit;
- Site Plan approval for 395 residences ; and
- Design Review approval for the Site Plan, Landscape Plan, Building Elevations, etc.

The CPP will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plans and actions addressed in this application.

Contacts:

The person coordinating the Citizen Participation Plan activities is Ricki Horowitz with Burch & Cracchiolo at (602) 234-8728 / rhorowitz@bcattorneys.com.

Preapplication Meeting:

A preapplication meeting with City of Mesa planning staff was held on January 5, 2021. Staff reviewed the application and recommended that adjacent residents, nearby registered neighbors, and interested parties be contacted.

Action Plan:

In order to provide effective citizen participation in conjunction with the application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts, of the development, that members of the community may have.

1. Contact lists have been developed for citizens and agencies in this area including
 - a. Property owners within 1,000 feet of the site and map (**Exhibit 1**).
 - b. Homeowner's associations within ½ mile of the site (to be obtained from City).
 - c. Registered neighborhoods within 1 mile of the site (to be obtained from City).
2. All persons listed on the contact lists will receive a letter describing the proposed development, development schedule, site plan, and an invitation to provide input.
3. Input received from the interested parties will be recorded and used to prepare the Citizen Participation Report (CPR).
4. A Zoom neighborhood meeting will be held on **TBD**. A summary of the neighborhood meeting, registered neighbor meeting attendees, concerns and solutions, if applicable, will be submitted in the CPR.

5. A notification letter advising of the date and time of the P&Z Board meeting will be mailed out to all property owners within 1,000 feet of the site, homeowners associations and registered neighborhood organizations. A draft of the letter is attached (**Exhibit 2**).
6. A notification letter advising of the date and time of the Design Review session will be mailed out to all property owners within 1,000 feet of the site, homeowners associations and registered neighborhood organizations. A sample letter is attached (**Exhibit 3**).
7. A written Citizen Participation Report will be prepared and submitted to the City (10) days prior to the scheduled public hearing. At a minimum, the report will include:
 - a. Details of techniques the applicant used to involve the public.
 - b. A summary of concerns, issues and problems expressed during the process.
 - c. How concerns issues and problems were addressed:

Pre-application meeting – January 5, 2021

Mailed letter to 1000' owners around the Site, registered neighborhood organizations within 1 mile, and HOAs within 1/2 mile – Date to be determined.

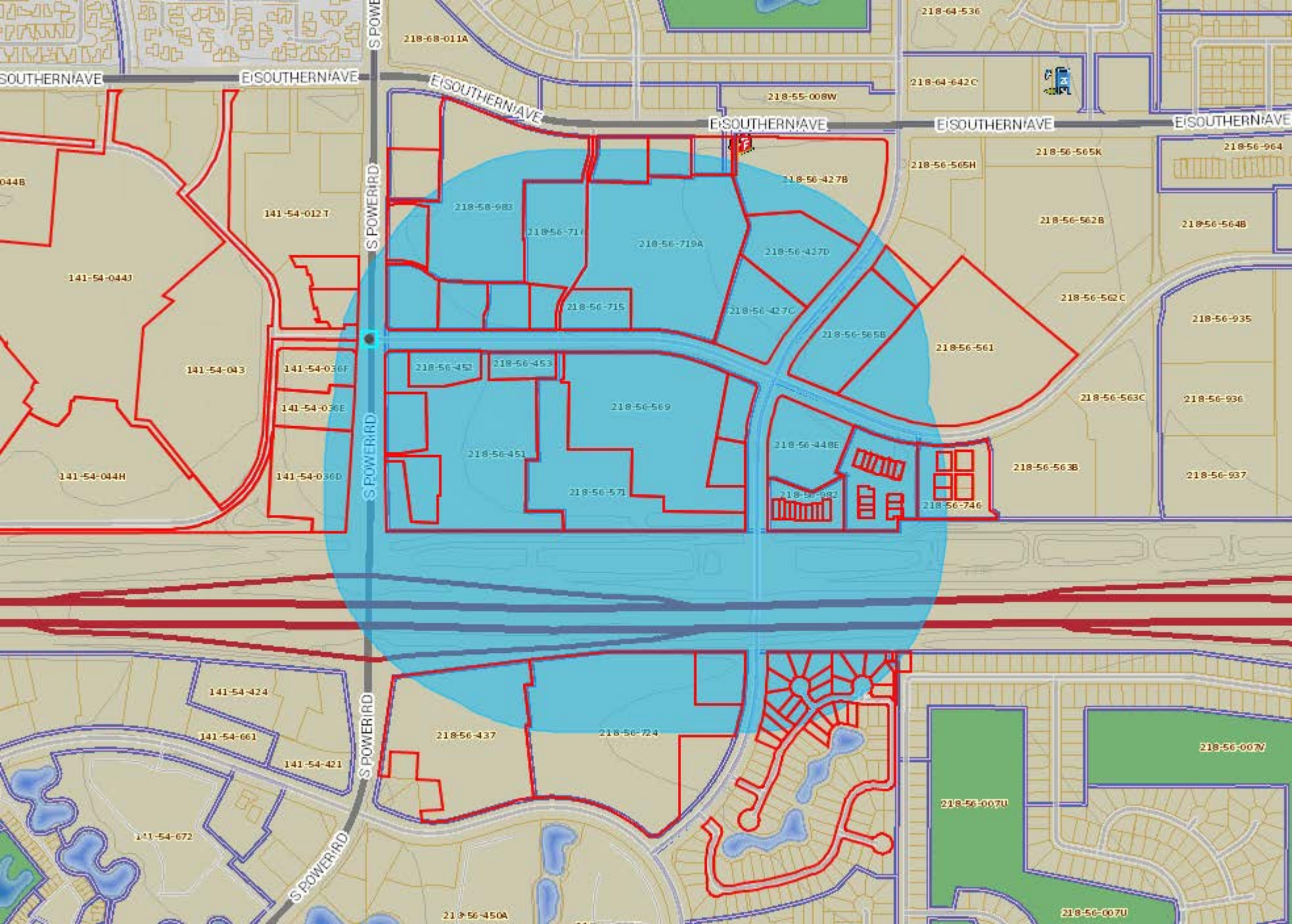
Submittal of Citizen Participation Report and Notification materials – To be submitted to the City (10) days prior to the scheduled public hearing.

Design Review Board Work Session – TBD

Planning and Zoning Board Hearing – TBD

City Council Hearing – TBD

EXHIBIT 1



1,000' Ownership List
Stillwater Superstition
W&S of the SWC Hampton &
Clearview Avenues

218-56-561
7300 EAST HAMPTON LLC
4020 E INDIAN SCHOOL RD
PHOENIX, AZ 85018

218-56-570B
ARIZONA REFRIGERATION SUPPLIES INC
PO BOX 21127
PHOENIX, AZ 85036

218-56-452
BD DESERT MESA INVESTMENTS
LLC/GRANITE PEAK PROP INV
6802 AVENUE 120 UNIT A
TIPTION, CA 93272

218-56-753
BLUME EVENTS LLC
1829 S HORNE NO 8
MESA, AZ 85204

218-56-757
DAWSON RICK/SPRINGGAY GARRY R
1334 E BETSY LN
GILBERT, AZ 85296

141-54-044J
EAST MESA MALL LLC
PO BOX 4085
SANTA MONICA, CA 90411

218-56-458
FCPT HOLDINGS LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

218-58-984
FTH NEVADA INC
1765 S KING ST
HONOLULU, HI 96826

218-56-525
GONZOSBORZ 1 LLC
1741 S CLEARVIEW AVE UNIT 67
MESA, AZ 85208

218-56-497
ANDERSON LORENE H
1741 S CLEARVIEW AVE UNIT 39
MESA, AZ 85209

218-56-427C&D
AX SUPERSTITION LP
16220 N SCOTTSDALE RD SUITE 280
SCOTTSDALE, AZ 85254

141-54-037C
BILAK BUILDING COMPANY LLC
5055 N 12TH ST STE 200
PHOENIX, AZ 85014

218-56-494
BRANCHING OUT TRUST
1741 S CLEARVIEW AVE NO 36
MESA, AZ 85209

218-56-451
DAYTON HUDSON CORP
PO BOX 9456
MINNEAPOLIS, MN 55440

218-56-972-973;975-782
FAE HOLDINGS 416754R LLC
4885 S 900 E SUITE 104
SALT LAKE CITY, UT 84117

218-56-503
FERGUSON STEVEN R/BROMAN SANDRA
LEE/LYZNICK S
1741-45 S CLEARVIEW DR
MESA. AZ 85208

218-56-495
GARRISON MICHAEL S/CINDY M
3615 E PINON CT
GILBERT, AZ 85234

218-56-740
GOOCH AND LEDERMAN LIVING TUST
4498 WOODMAN AVENUE UNIT A121
SHERMAN OAKS, CA 91423

141-54-037B
ARC CAFEHLD001 LLC
10851 N BLACK CANYON HWY STE 850
PHOENIX, AZ 85029

218-56-496
BALDERAMA FERNANDO S/KATHRYN A
TR/FERNANDO
2514 S SORRELLE
MESA, AZ 85209

218-56-725
BLACK DOG INVESTMENTS INC
955 E JAVELINA AVE STE 114
MESA, AZ 85204

218-56-493
CHAVEZ GREGORY G
1741 S CLEARVIEW AVE UNIT 35
MESA, AZ 85209

141-54-036E
DML PORTENT 2 LLC
4613 S PEARL DR
CHANDLER, AZ 85249

218-56-506
FARAH SUBHI H/SUSAN M
1741-48 S CLEARVIEW DR
MESA, AZ 85208

218-56-491
FRANK TODD M/BRENDA M
1741 33 S CLEARVIEW DR
MESA, AZ 85208

218-56-008D;H;& 560
GLOBAL WATER IRT LLC
22590 N POWERS PKWY
MARICOPA, AZ 85138

218-56-499
HAGAN MICHAEL J/SARA JEANETTE
1741 S CLEARVIEW AVE UNIT 41
MESA, AZ 85209

218-56-498 HALGREN MICHAEL J/LYDIA 1741 S CLEARVIEW AVE UNIT 40 MESA, AZ 85209	218-56-701 HALLE PROPERTIES LLC 20225 N SCOTTSDALE RD SCOTTSDALE, AZ 85255	218-56-756;741 HAMPTON HOLDINGS II LLC 7447 E SOUTHERN AVE STE 103 MESA, AZ 85209
218-56-724 HARKINS CINEMAS LLC 7511 E MCDONALD DR SCOTTSDALE, AZ 85250	218-56-437 HD DEVELOPMENT OF MARYLAND INC PO BOX 105842 ATLANTA, GA 30348	141-54-036D HELIOS 0331 LLC 390 E. PARKCENTER BLVD #250 BOISE, ID 83705
218-56-505 HUSSEIN WATHEQ/MUNSHID NAGHAM 1741 S CLEARVIEW AVE UNIT 47 MESA, AZ 85209	218-56-570A J & B LEE LLC 1440 S CLEARVIEW AVE SUITE 101 MESA, AZ 85209	218-56-974 JLBC LLC 3005 E LEXINGTON AVE GILBERT, AZ 85234
218-56-747 JOHN MCLOUGHLIN INSURANCE AGENCY INC 7235 E HAMPTON AVE NO 110 MESA, AZ 85209	218-56-500 JOSEPH PIRONE AND JONI PIRONE TRUST 1741 S CLEARVIEW AVE UNIT 42 MESA, AZ 85209	218-56-427B K2H SUPERSTITION LLC 1917 W 4TH AVE STE 348 VANCOUVER, BC 0
218-56-749 KD LANE LLC 4150 E PALO VERDE ST GILBERT, AZ 85296	218-56-565B KD PROPERTIES LLC 4265 45TH ST S SUITE 200 FARGO, ND 58104	218-56-565C KD PROPERTIES LLC 4265 45TH ST S SUITE 200 FARGO, ND 58104
218-56-569 KMART CORPORATION (LEASE) 74 E 500 S BOUNTIFUL, UT 84010	218-56-490 LAKE TERRANCE M 1741-32 SOUTH CLEARVIEW DRIVE MESA, AZ 85208	218-56-723 LCN BLM CHANDLER MULTI LLC 2202 NORTH WEST SHORE BLVD TAMPA, FL 33607
218-56-742 LEE SAM LOUIS 7255 E HAMPTON AVE BLDG 2 UNIT 112 MESA, AZ 85208	218-56-751 LEGACY ACQUISITIONS LLC 7255 E HAMPTON AVE NO 127 MESA, AZ 85029	218-56-448E LEGRIS INC 7205 E HAMPTON AVE MESA, AZ 85208
218-56-524 LINSOTT MARK C/VICTORIA/MARK C II 1741 S CLEARVIEW AVE MESA, AZ 85209	141-54-044H MACYS DEPT STORES INC 7 W SEVENTH ST FLOOR 17 CINCINNATI, OH 45202	218-56-242 MCKOWN WALTER M 7202 E INVERNESS AVE MESA, AZ 85208
218-56-527 MCLEAN BRIAN/LYNN PO BOX 55 HEINSBURG, AB 0	218-56-415C MESA CITY OF 20 E MAIN ST STE 650 MESA, AZ 85211	218-56-457+6 MESA PAVILIONS RETAIL LLC 695 ROUTE 46 STE 210 FAIRFIELD, NJ 7004
218-56-748 MICHAEL B RAWLINGS TRUST 701 S EDGEWATER DR MESA, AZ 85208	218-56-492 MYERS WAYNE R/TERESA R 1741-34 S CLEARVIEW DR MESA, AZ 85208	218-56-714A POLATI 1996 TRUST/FLORES ENTERPRISES LP 4410 EL CAMINO REAL 201 LOST ALTOS, CA 94022

218-56-716
PRICE-LEGACY MESA LP
3333 NEW HYDE PARK RD STE 100
NEW HYDE OPARK, NY 11042

218-56-755
RICKLEE LLC
2534 E ARROWHEAD TRL
GILBERT, AZ 85297

218-56-507
SILVA OSCAR/LETICIA C
1741 S CLEARVIEW DR NO 49
MESA, AZ 85208

218-56-758-760
SRZ YUMA LLC
6229 E AUTO PARK DR
MESA, AZ 85206

141-54-036F
SS POWER 1 LLC
4333 W KITT HAWK
CHANDLER, AZ 85226

218-56-702
STR FUND IX LLC
3600 BIRCH ST SUITE 130
NEWPORT BEACH, CA 92660

218-56-501
STYLES VONDEE S
1741 S CLEARVIEW AVE UNIT 43
MESA, AZ 85209

218-56-761
SUPERSTITION SPRINGS COMMERCE
CENTER CONDOMIN
6900 E INDIAN SCHOOL ROAD SUITE 250
SCOTTSDALE, AZ 85251

218-56-554
SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOC
2500 S POWER RD 126 3
MESA, AZ 85209

218-56-750
SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOC
PO BOX 6419
MESA, AZ 85216

218-56-746
SUPERSTITION SPRINGS HOSPITALITY
GROUP L L C
7255 E HAMPTON AVE STE 101
MESA, AZ 85209

218-56-754
TIMOTHY R BATTENSCHLAG FAMILY TRUST
12105 JULIUS AVE
DOWNEY, CA 90242

218-56-752
VINE PROPERTIES NUMBER 4 LLC
9715 E LAGUNA AZUL AVE
MESA, AZ 85209

218-56-502
VISCANTI WILLIAM/GAYLA
10162 E NICHOLS AVE
MESA, AZ 85209

218-56-453
WENDYS PROPERTIES LLC
1 DAVE THOMAS BLVD
DUBLIN, OH 43017

218-58-983
WINCO FOODS LLC
PO BOX 5756
BOISE, ID 83705

218-56-504
WOODS RUSSELL H III
1741 S CLEARVIEW AVE UNIT 46
MESA, AZ 85209

218-56-526
ZAHIRI HOSSEIN
1741 68 S CLEARVIEW AVE NO 68
MESA, AZ 85208

218-56-528
ZEGHERS DONALD/KRISTA
BOX 426
HOLLAND, MB 0

EXHIBIT 2

Burch & Cracchiolo, P.A.

1850 N. Central Ave., Ste 1700

Phoenix, AZ 85004

Office: 602-234-8794

Email: bray@bcattorneys.com

DRAFT

TO: Area Neighbors

FROM: Brennan Ray

DATE: _____, 2021

RE: Case No. ZON _____
_____, 2021 P&Z Board Hearing

Dear Property Owner or Neighborhood Association Representative:

The purpose of this letter is to inform you that on behalf of Stillwater Capital, LLC (Stillwater), applications were filed for Rezoning, Council Use Permit, and Site Plan review to develop a new high quality, highly-amenitized residential community known as "Stillwater Superstition," located west and south of the southwest corner of Hampton Avenue and Clearwater Avenue (the "Site"). Stillwater proposes to develop this challenging, infill, redevelopment site with a high quality, highly amenitized multi-family development that will contain approximately 395 residences with a density of approximately 23.8 dus/ac. An Aerial of the Site, Site Plan, Elevations of proposed multifamily development are attached.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on _____, 2021 in the City Council Chambers. The meeting will begin at 4:00 p.m.

Because of the current pandemic, the City Council Chambers is closed for Planning and Zoning Meetings. However, the live meeting may be watched on local cable **Mesa Channel 11**, online at **Mesa11.com/live** or **www.youtube.com/user/cityofmesa11/live**, or listened to by calling **888-788-0099** or **877-853-5247** (toll free) using meeting ID **530 123 2921** and following the prompts.

Public participation will be available electronically. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at **<https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card>** at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247** (toll free) using meeting ID **530 123 2921** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

We would be happy to answer any questions or hear any concerns that you have regarding the proposed multifamily development. You can contact me at (602-234-8794 /bray@bcattorneys.com).

Thank you.

Sincerely,

Brennan Ray

/lc
Attachments

EXHIBIT 3

BURCH & CRACCHIOLO, P.A.

1850 N. Central Ave., Ste. 1700

Phoenix, Arizona 85004

(602) 234-8794

bray@bcattorneys.com

TO: West and South of the Southwest Corner of Hampton and Clearview Avenues
Neighbors
FROM: Brennan Ray
DATE: _____
RE: Stillwater Capital, LLC – “Stillwater Superstition”
Design Review Case No. DRB21-_____

MEETING DATE: _____, 2021

TIME: 4:30p.m.

LOCATION: Lower Level City Council Chambers – 57 E. 1st St., Mesa

NOTICE OF PUBLIC HEARING

Dear Area Neighbor:

We have applied for City of Mesa Design Review approval to develop new high quality, highly-amenitized residential community known as “Stillwater Superstition” located west of the southwest corner of Hampton Avenue and Clearwater Avenue (the “Site”). This notice is being sent to all neighboring property owners within 1,000’ of the boundaries of the proposed development site and all registered neighborhood and homeowner associations within one mile of the site as required by the Planning Division. You are invited to attend a work session of the Design Review Board and provide any input you may have regarding this proposal. Enclosed with this letter are copies of the Aerial, Landscape Plan and typical Building Elevations.

The Design Review Board reviews building design, landscape plans, parking layout and site layout. The Design Review Board does NOT review or discuss the actual use of the land (such as apartments or office buildings). Land use issues are typically addressed by the Planning and Zoning Board, City Council or other public input processes.

For additional information concerning the design of the proposed development or the Design Review Board process, please visit the Mesa Planning Division at 55 North Center or call 480-644-2385. If you have questions regarding the plans or process, please contact me at 602-234-8794, bray@bcattorneys.com.

Thank you.

Brennan Ray

/lc

Attachments

Final Citizen Participation Report

STILLWATER SUPERSTITION

West and South of the Southwest Corner of Hampton Avenue and Clearview Avenue

Case Nos. ZON21-00397 & DRB21-00399

Date: August 25, 2021

Purpose:

The purpose of this Final Citizen Participation Report is to provide results of the implementation of the Citizen Participation Plan for approval of a high-quality residential community known as "Stillwater Superstition," located west and south of the southwest corner of Hampton Avenue and Clearview Avenue. Stillwater Capital, LLC ("Stillwater") proposes developing this challenging, in-fill, redevelopment site with a high-quality, highly amenitized multi-family development. The development will contain 395 residences, a density of approximately 23.8 du/ac.

The Site presently consists of a former K-Mart building (now vacant) and an in-line commercial retail building (vacant except for a Sally's Beauty Supply) along the Site's southern boundary. The present commercial uses are no longer viable due to the ever changing and shrinking physical retail footprint.

To achieve this, Stillwater has applied for the following:

- Rezone the Site from LC/PAD to LC/PAD;
- Council Use Permit;
- Site Plan approval for 395 residences ; and
- Design Review approval for the Site Plan, Landscape Plan, Building Elevations, etc.

This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions address in the application.

Contacts:

The person coordinating the Citizen Participation Plan activities is Ricki Horowitz with Burch & Cracchiolo at (602) 234-8728 / rhorowitz@bcattorneys.com.

Preapplication Meeting:

A preapplication meeting with the City of Mesa planning staff was held on June 5, 2021. Staff reviewed the application and recommended that adjacent residents, nearby registered neighbors, and interested parties be contacted.

Action Plan:

In order to provide effective citizen participation in conjunction with the application, the following actions have been taken to provide opportunities to understand and address any real or perceived impacts, of the development, that members of the community may have.

1. Contact lists have been developed for citizens and agencies in this area including
 - a. Property owners within 1,000 feet of the site and map.
 - b. Homeowner's associations within ½ mile of the site.
 - c. Registered neighborhoods within 1 mile of the site.
2. Input received from the interested parties was recorded and used to prepare the Citizen Participation Report (CPR).
3. The neighborhood meeting letter was mailed on June 23, 2021 to all persons listed on the contact lists. The letter, the list of 1,000' owners and HOAs within ½ mile are provided at **Exhibit 1**.
4. A Zoom neighborhood meeting was held on July 8, 2021. A summary as well as concerns and solutions, if applicable, have been provided at **Exhibit 2**.
5. The neighborhood hearing letters for the Planning and Zoning Board and Design Review Board hearings were mailed on August 25, 2021. The letters, the lists of 1,000' owners, HOAs within ½ mile and registered neighborhood organizations within ½ mile are provided at **Exhibit 3**.

6. The sign posting photos and Affidavit by Dynamite Signs are attached at **Exhibit 4**.
7. This FCPR was prepared and submitted to the City on August 25, 2021, ten days prior to the scheduled public hearing. At a minimum, the report included:
 - a. Details of techniques the applicant used to involve the public.
 - b. How public concerns issues and problems could be addressed.

Schedule:

- Pre-application meeting – **January 5, 2021**
- Rezoning, Council Use Permit with Site Plan Review submitted – **May 3, 2021**
- Mailed letter to 1000' owners around the Site, registered neighborhood organizations within ½ mile, and HOAs within ½ mile to let them know about the upcoming neighborhood meeting – **June 23, 2021.**
- Neighborhood Meeting – **July 8, 2021.**
- Two signs posted on the Site – **August 24, 2021**
- Mailed neighborhood hearing letters for the September 8, 2021 P&Z Board hearing and the September 14, 2021 Design Review Board hearing to property owners within 1,000' of the subject property, HOAs within ½ mile and registered neighborhoods within ½ mile notifying them of the September 8, 2021 P&Z hearing – **August 25, 2021.**
- Submittal of FCPR and notification materials – **August 25, 2021**
- Planning and Zoning Board Hearing– **September 8, 2021**
- Design Review Board Work Session – **September 14, 2021**
- City Council Hearing - TBD

EXHIBIT 1

Burch & Cracchiolo, P.A.

1850 N. Central Ave., Ste 1700

Phoenix, AZ 85004

Office: 602-234-8794

Email: bray@bcattorneys.com

TO: Area Neighbors

FROM: Brennan Ray

DATE: June 23, 2021

RE: Case Nos. ZON21-00397 and DRB21-00399
Stillwater Superstition Multi-Family Community
July 8, 2021 Neighborhood Meeting

Dear Property Owner or Neighborhood Association Representative:

On behalf of Stillwater Capital, LLC ("Stillwater") you are invited to a virtual neighborhood meeting for Rezoning, Council Use Permit ("CUP"), Site Plan, and Design Review approvals for the development of a challenging, in-fill site with a high-quality, highly amenitized multi-family development known as "Stillwater Superstition" The property is approximately 17.52± gross (16.65± net) acres and is located south and west of the southwest corner of Hampton Avenue and Clearview Avenue (the "Site"). An Aerial Map of the Site is attached.

The Site currently consists of a former K-Mart building (vacant for approximately 4 years) and an in-line commercial retail building (mostly vacant). Stillwater is proposing the Site be rezoned from LC/PAD (Limited Commercial/Planned Area Development Overlay) to LC/PAD in order to modify some of the LC development standards. Residential uses are permitted in the LC District with approval of a Council Use Permit.

Stillwater Superstition will be a gated community that will consist of approximately 395 residences at a density of approximately 23.8 net du/ac and will contain a combination of 3- and 4-story buildings. The primary entrance for the development is from Hampton Avenue, north of the Site. Copies of the proposed Landscape Plan and Perspectives are attached.

Because of the current pandemic, the neighborhood meeting will be held virtually. **We will be hosting an online meeting with the neighbors on Thursday, July 8, 2021 at 6:00 p.m. Instructions on ways to join the Zoom meeting are enclosed. Please register at bcattorneys.zoom.us before July 8, 2021 so that you can ensure that you are able to participate.** Should you have any questions about how to register, please contact Jacque Collard at our office ([602-234-8727](tel:602-234-8727)/jcollard@bcattorneys.com).

You will be notified of future public hearings scheduled before the Planning and Zoning Board, as well as the Design Review Board through the City's official public notice process. We would be happy to answer any questions or hear any concerns that you have regarding the redevelopment of the site. You can contact me at ([602-234-8794](tel:602-234-8794)/bray@bcattorneys.com). You may also contact Cassidy Welch, Mesa City Planner, at ([480-644-2591](tel:480-644-2591)/cassidy.welch@mesaaz.gov).

Thank you.

Sincerely,



Brennan Ray

/rlh
Attachments

Zoom Meeting: Thursday, July 8, 2021 at 6:00pm

Meeting ID: 847 7365 5533

Registering for the Zoom Meeting

****Please note:** due to recent feedback we suggest you do not use Safari for the registration. Use Google Chrome or Internet Explorer as other options.

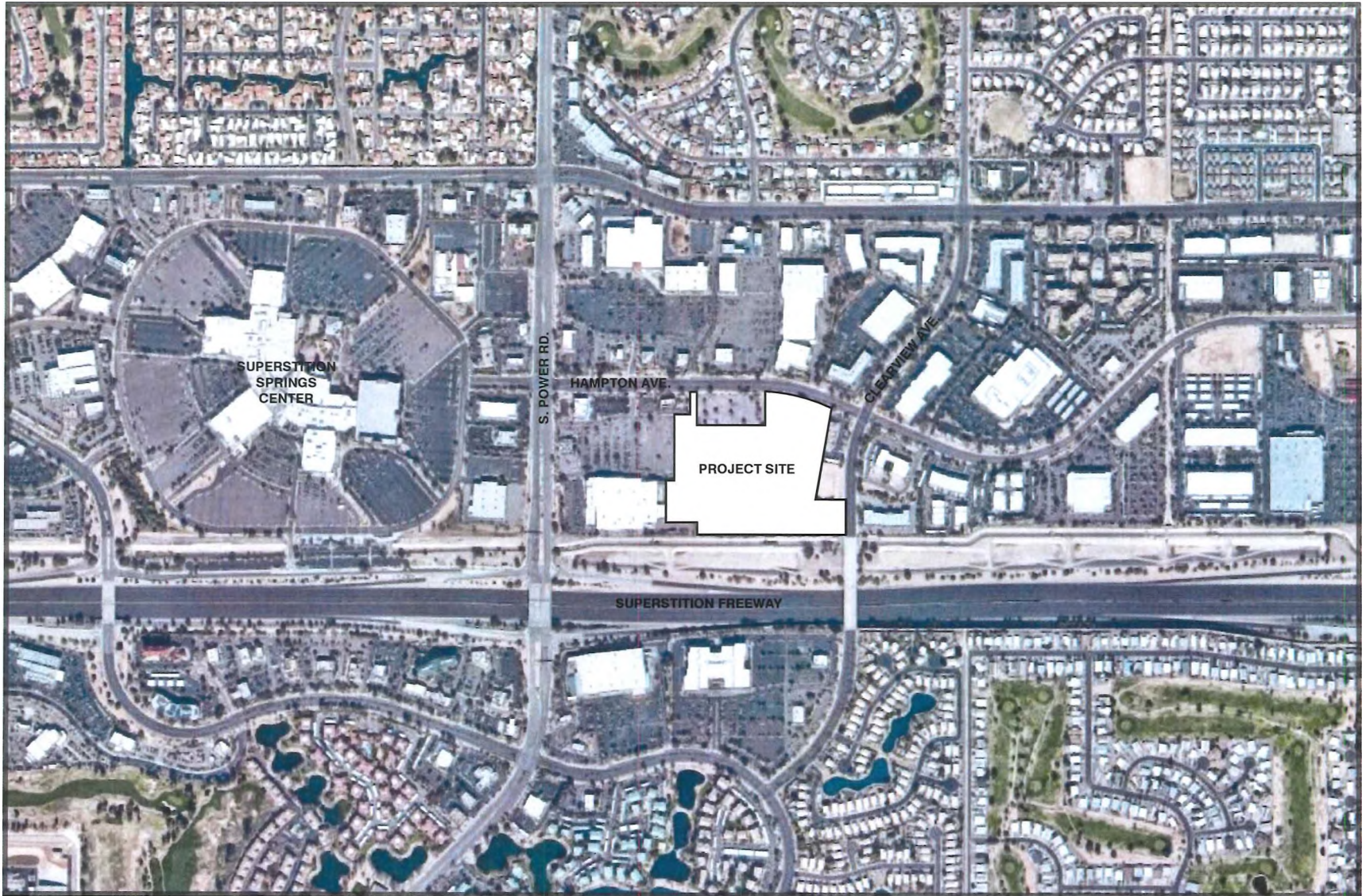
1. Visit: **bcattorneys.zoom.us**
 - a. Click "Join"
 - b. Enter Meeting ID
 - c. Continue with registration
2. A password for the meeting will be sent to you after registration

3 Ways to Join a Zoom Meeting

1. Install and run the app on your PC
 - a. Go to zoom.us
 - b. Click on "Join A Meeting"
 - c. Enter the Meeting ID and click join
 - d. Click "Download and Run Zoom"
 - e. Once it is done downloading, run the application
2. Run Zoom from your browser
 - a. Go to zoom.us
 - b. Click on "Join A Meeting"
 - c. Enter the Meeting ID and click join
 - d. Click on the blue "click here"
 - e. Click on "join from your browser"
3. Run Zoom from an app on a mobile device
 - a. Download the ZOOM Cloud Meetings app from your phone's application store
 - b. Run the app
 - c. Click on "Join A Meeting"
 - d. Enter the Meeting ID
 - e. You can enter your name in the field where it says "Your Name"
 - f. Click "Join A Meeting"
 - g. Your phone may ask you to allow or enable your camera, mic, and/or phone storage. Go ahead and allow those

You can watch a video at <https://www.youtube.com/watch?v=hIkCmbvAHQQ> for a quick demonstration

Questions: Contact Jacque Collard 602-234-8727 / jcollard@bcattorneys.com



VICINITY MAP



E. HAMPTON AVE.



HAMPTON AND CLEARVIEW APARTMENTS

CONCEPTUAL LANDSCAPE PLAN

Scale: 1"=50' Date: 06-07-2021

ABLA STUDIO.COM





VIEW OF BUILDING 4 COURTYARD



FRONT YARD DOORS WITH DIRECT PEDESTRIAN ACCESS TO NEIGHBORHOOD

1,000' Ownership List
Stillwater Superstition
W&S of the SWC Hampton &
Clearview Avenues

218-56-561
7300 EAST HAMPTON LLC
4020 E INDIAN SCHOOL RD
PHOENIX, AZ 85018

218-56-570B
ARIZONA REFRIGERATION SUPPLIES INC
PO BOX 21127
PHOENIX, AZ 85036

218-56-452
BD DESERT MESA INVESTMENTS
LLC/GRANITE PEAK PROP INV
6802 AVENUE 120 UNIT A
TIPTON, CA 93272

218-56-753
BLUME EVENTS LLC
1829 S HORNE NO 8
MESA, AZ 85204

218-56-757
DAWSON RICK/SPRINGGAY GARRY R
1334 E BETSY LN
GILBERT, AZ 85296

141-54-044J
EAST MESA MALL LLC
PO BOX 4085
SANTA MONICA, CA 90411

218-56-458
FCPT HOLDINGS LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

218-58-984
FTH NEVADA INC
1765 S KING ST
HONOLULU, HI 96826

218-56-525
GONZOSBORZ 1 LLC
1741 S CLEARVIEW AVE UNIT 67
MESA, AZ 85208

218-56-497
ANDERSON LORENE H
1741 S CLEARVIEW AVE UNIT 39
MESA, AZ 85209

218-56-427C&D
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BRANCHING OUT TRUST
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218-56-451
DAYTON HUDSON CORP
PO BOX 9456
MINNEAPOLIS, MN 55440

218-56-972-973;975-782
FAE HOLDINGS 416754R LLC
4885 S 900 E SUITE 104
SALT LAKE CITY, UT 84117

218-56-503
FERGUSON STEVEN R/BROMAN SANDRA
LEE/LYZNICK S
1741-45 S CLEARVIEW DR
MESA, AZ 85208

218-56-495
GARRISON MICHAEL S/CINDY M
3615 E PINON CT
GILBERT, AZ 85234

218-56-740
GOOCH AND LEDERMAN LIVING TUST
4498 WOODMAN AVENUE UNIT A121
SHERMAN OAKS, CA 91423

141-54-037B
ARC CAFEHLD001 LLC
10851 N BLACK CANYON HWY STE 850
PHOENIX, AZ 85029

218-56-496
BALDERAMA FERNANDO S/KATHRYN A
TR/FERNANDO
2514 S SORRELLE
MESA, AZ 85209

218-56-725
BLACK DOG INVESTMENTS INC
955 E JAVELINA AVE STE 114
MESA, AZ 85204

218-56-493
CHAVEZ GREGORY G
1741 S CLEARVIEW AVE UNIT 35
MESA, AZ 85209

141-54-036E
DML PORTENT 2 LLC
4613 S PEARL DR
CHANDLER, AZ 85249

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FARAH SUBHI H/SUSAN M
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218-56-498
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1741 S CLEARVIEW AVE UNIT 40
MESA, AZ 85209

218-56-701
HALLE PROPERTIES LLC
20225 N SCOTTSDALE RD
SCOTTSDALE, AZ 85255

218-56-756;741
HAMPTON HOLDINGS II LLC
7447 E SOUTHERN AVE STE 103
MESA, AZ 85209

218-56-724
HARKINS CINEMAS LLC
7511 E MCDONALD DR
SCOTTSDALE, AZ 85250

218-56-437
HD DEVELOPMENT OF MARYLAND INC
PO BOX 105842
ATLANTA, GA 30348

141-54-036D
HELIOS 0331 LLC
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CINCINNATI, OH 45202

218-56-242
MCKOWN WALTER M
7202 E INVERNESS AVE
MESA, AZ 85208

218-56-527
MCLEAN BRIAN/LYNN
PO BOX 55
HEINSBURG, AB 0

218-56-415C
MESA CITY OF
20 E MAIN ST STE 650
MESA, AZ 85211

218-56-457+6
MESA PAVILIONS RETAIL LLC
695 ROUTE 46 STE 210
FAIRFIELD, NJ 7004

218-56-748
MICHAEL B RAWLINGS TRUST
701 S EDGEWATER DR
MESA, AZ 85208

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MYERS WAYNE R/TERESA R
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POLATI 1996 TRUST/FLORES ENTERPRISES
LP
4410 EL CAMINO REAL 201
LOST ALTOS, CA 94022

218-56-716
PRICE-LEGACY MESA LP
3333 NEW HYDE PARK RD STE 100
NEW HYDE OPARK, NY 11042

218-56-755
RICKLEE LLC
2534 E ARROWHEAD TRL
GILBERT, AZ 85297

218-56-507
SILVA OSCAR/LETICIA C
1741 S CLEARVIEW DR NO 49
MESA, AZ 85208

218-56-758-760
SRZ YUMA LLC
6229 E AUTO PARK DR
MESA, AZ 85206

141-54-036F
SS POWER 1 LLC
4333 W KITT HAWK
CHANDLER, AZ 85226

218-56-702
STR FUND IX LLC
3600 BIRCH ST SUITE 130
NEWPORT BEACH, CA 92660

218-56-501
STYLES VONDEE S
1741 S CLEARVIEW AVE UNIT 43
MESA, AZ 85209

218-56-761
SUPERSTITION SPRINGS COMMERCE
CENTER CONDOMIN
6900 E INDIAN SCHOOL ROAD SUITE 250
SCOTTSDALE, AZ 85251

218-56-554
SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOC
2500 S POWER RD 126 3
MESA, AZ 85209

218-56-750
SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOC
PO BOX 6419
MESA, AZ 85216

218-56-746
SUPERSTITION SPRINGS HOSPITALITY
GROUP L L C
7255 E HAMPTON AVE STE 101
MESA, AZ 85209

218-56-754
TIMOTHY R BATTENSCHLAG FAMILY TRUST
12105 JULIUS AVE
DOWNEY, CA 90242

218-56-752
VINE PROPERTIES NUMBER 4 LLC
9715 E LAGUNA AZUL AVE
MESA, AZ 85209

218-56-502
VISCANTI WILLIAM/GAYLA
10162 E NICHOLS AVE
MESA, AZ 85209

218-56-453
WENDYS PROPERTIES LLC
1 DAVE THOMAS BLVD
DUBLIN, OH 43017

218-58-983
WINCO FOODS LLC
PO BOX 5756
BOISE, ID 83705

218-56-504
WOODS RUSSELL H III
1741 S CLEARVIEW AVE UNIT 46
MESA, AZ 85209

218-56-526
ZAHIRI HOSSEIN
1741 68 S CLEARVIEW AVE NO 68
MESA, AZ 85208

218-56-528
ZEGHERS DONALD/KRISTA
BOX 426
HOLLAND, MB 0

RNO LIST
SWC of Hampton & Clearview
Stillwater Capital

Chad P Miesen
Leisure World
1400 E Southern Ave #400
Tempe, AZ 85282

Mark Taylor
San Montego Condominiums
6623 N Scottsdale Rd
Scottsdale, AZ 85250

Monique Bursey
mbursey@sshoa.com

Julie Monahan
Parklinks at Superstition Springs
6001 E Southern Ave Unit #54
Mesa, AZ 85206

Mitch Kellogg
Superstition Lakes Condominiums
150 E Alamo Dr #3
Chandler, AZ 85225

Wanda Simeona
manager@ecmhoa

Lori T Percival
Riverstone at Superstition Springs
1901 E University Dr #440
Mesa, AZ 85203

Bernandeen Wright
Superstition Springs Community Master Assoc.
7235 E Hampton Ave #105
Mesa, AZ 85209

EXHIBIT 2

Stillwater Capital– SWC Hampton Ave. & Clearwater Ave.
7/8/21 NEIGHBORHOOD MEETING SUMMARY

Attendees

Thomas Hoy – Stillwater Capital
Colin Hanson – ABLA
Dawn Cartier – CivTech Inc.
Brennan Ray – Burch & Cracchiolo, P.A.
Madison Leake – Burch & Cracchiolo, P.A.
Christian Lee – Neighbor

Questions, Answers, and Comments

1. Neighbor is open to project.
2. Are there any shared parking agreements?
 - A. We are not aware of any formal parking agreements. We will look into this further.
We are open to sharing parking with neighboring offices on occasion if there is a reasonable need.
3. Neighbor had no further questions.

End of Meeting

EXHIBIT 3

Burch & Cracchiolo, P.A.

1850 N. Central Ave., Ste 1700

Phoenix, AZ 85004

Office: 602-234-8794

Email: bray@bcattorneys.com

TO: Area Neighbors

FROM: Brennan Ray

DATE: August 25, 2021

RE: Case No. ZON21-00397
S & W of the SWC of Hampton and Clearwater Avenues
September 8, 2021 P&Z Board Hearing

Dear Property Owner or Neighborhood Association Representative:

The purpose of this letter is to inform you that on behalf of Stillwater Capital, LLC (Stillwater), applications were filed for Rezoning, Council Use Permit, and Site Plan Review to develop a new high quality, highly-amenitized residential community known as “Stillwater Superstition,” located south and west of the southwest corner of Hampton Avenue and Clearwater Avenue (the “Site”). Stillwater proposes to develop this challenging, infill, redevelopment site with a high quality, highly amenitized multi-family development that will contain approximately 395 residences with a density of approximately 23.8 dus/ac. An Aerial of the Site, Landscape Plan, and Perspectives of the proposed multifamily development are attached.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on September 8, 2021 in the City Council Chambers located at 57 E. First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

You can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable **Mesa Channel 11**, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

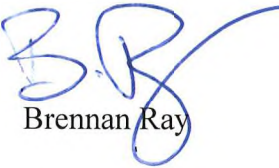
For help with the online comment card or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Cassidy Welch of their Planning Division staff. Cassidy can be reached at 480-644-2591 or cassidy.welch@mesaaz.gov should you have any questions regarding the public hearing process.

We would be happy to answer any questions or hear any concerns that you have regarding the proposed multifamily development. You can contact me at (602-234-8794 or bray@bcattorneys.com.

Thank you.

Sincerely,



Brennan Ray

/rlh

Attachments

BURCH & CRACCHIOLO, P.A.

1850 N. Central Ave., Ste. 1700

Phoenix, Arizona 85004

(602) 234-8794

bray@bcattorneys.com

August 25, 2021

NOTICE OF DESIGN REVIEW BOARD MEETING 9/14/2021

Dear Area Neighbor:

We have applied for City of Mesa Design Review approval (DRB21-00399) to develop a new high quality, highly-amenitized residential community known as "Stillwater Superstition" located south and west of the southwest corner of Hampton Avenue and Clearview Avenue (the "Site"). You are invited to attend a work session of the Design Review Board and provide any input you may have regarding this proposal. Enclosed with this letter are copies of the Aerial, Landscape Plan and Perspectives.

This application will be scheduled for consideration by the Mesa Design Review Board at their meeting held on **September 14, 2021** in the City Council Chambers located at 57 E. First Street. The meeting will begin at 4:30 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

You can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable **Mesa Channel 11**, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> **at least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

The City of Mesa has assigned this case to Cassidy Welch of their Planning Division staff. Cassidy can be reached at 480-644-2591 or cassidy.welch@mesaaz.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

For additional information concerning the design of the proposed development or the Design Review Board process, please visit the Mesa Planning Division at 55 North Center or call 480-644-2385. If you have questions regarding the plans or process, please contact me at 602-234-8794 or bray@bcattorneys.com.

Thank you.



Brennan Ray

/rlh

Attachments



VICINITY MAP



HAMPTON AND CLEARVIEW APARTMENTS

CONCEPTUAL LANDSCAPE PLAN

Scale: 1"=50' Date: 08-07-2021

ABLA STUDIO.COM





BUILDING FOUR WITH FRONT YARD DOORS FACING HAMPTON AVE. AND ENTRY DRIVE



VIEW OF BUILDING 4 COURTYARD

1,000' Ownership List
Stillwater Superstition
W&S of the SWC Hampton &
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WINCO FOODS LLC
PO BOX 5756
BOISE, ID 83705

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ZEGHERS DONALD/KRISTA
BOX 426
HOLLAND, MB R0G0X0

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GFI MESA INVESTMENT LTD PARTNERSHIP
DEREK GASSER
KMART CORPORTATION (LEACONTO)
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218-56-761*
SUPERSTITION SPRINGS COMMERCE CENTER
WESSEX COMMERCIAL MANAGEMENT
6900 E INDIAN SCHOOL RD, STE 275
SCOTTSDALE, AZ 85251

218-56-753*
BLUME EVENTS LLC
7235 E HAMPTON AVE, STE 101
MESA, AZ 85209

218-56-507
SILVA OSCAR/LETICIA C
1741 S CLEARVIEW DR NO 49
MESA, AZ 85208

218-56-702
STR FUND IX LLC
3600 BIRCH ST SUITE 130
NEWPORT BEACH, CA 92660

218-56-554
SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOC
2500 S POWER RD 126 3
MESA, AZ 85209

218-56-754
TIMOTHY R BATTENSCHLAG FAMILY TRUST
12105 JULIUS AVE
DOWNEY, CA 90242

218-56-453
WENDYS PROPERTIES LLC
1 DAVE THOMAS BLVD
DUBLIN, OH 43017

218-56-526
ZAHIRI HOSSEIN
1741 68 S CLEARVIEW AVE NO 68
MESA, AZ 85208

218-56-761*
BILAK BUILDING COMPANY LLC
9301 WILSHIRE BLVD, STE 206
BEVERLY HILLS, CA 90210

HOA & RNO LIST
SWC of Hampton & Clearview
Stillwater Capital

CHAD P MIESEN
LEISURE WORLD
1400 E SOUTHERN AVE #400
TEMPE, AZ 85282

MARK TAYLOR
SAN MONTEGO CONDOMINIUMS
6623 N SCOTTSDALE RD
SCOTTSDALE, AZ 85250

MONIQUE BURSEY
MBURSEY@SSHOA.COM

JULIE MONAHAN **NO OTHER ADDRESS FOUND**
PARKLINKS AT SUPERSTITION SPRINGS
6001 E SOUTHERN AVE UNIT #54
MESA, AZ 85206

MITCH KELLOGG
SUPERSTITION LAKES CONDOMINIUMS
150 E ALAMO DR #3
CHANDLER, AZ 85225

WANDA SIMEONA
MANAGER@ECMHOA.NET

LORI T PERCIVAL
RIVERSTONE AT SUPERSTITION SPRINGS
1901 E UNIVERSITY DR #440
MESA, AZ 85203

BERNANDEEN WRIGHT
SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOC.
7235 E HAMPTON AVE #105
MESA, AZ 85209

DESERT SANDS GOLF & COUNTRY CLUB
ATTN: MIKE LATULIPPE
7440 E. IVERNESS AVE
MESA, AZ 85209

DESERT SANDS GOLF & COUNTRY CLUB
ATTN: RON JOHNSON
7253 E. JUANITA AVE
MESA, AZ 85209

DESERT SANDS GOLF & COUNTRY CLUB
ATTN: ROSEMARY HIRMAN
1641 S. 77TH STREET
MESA, AZ 85209

DESERT SANDS GOLF & COUNTRY CLUB
ATTN: TERRY MELTON
1819 S. 77TH STREET
MESA, AZ 85209

FULTON HOMES AT SUPERSTITION
ATTN: BOB JUSTEN
1010 S. TERRIPIN CIR
MESA, AZ 85208

FULTON HOMES AT SUPERSTITION
ATTN: SHARON COREA
7450 E. FARMDALE AVE
MESA, AZ 85208

FULTON HOMES AT SUPERSTITION
ATTN: CAROL JUSTEN
1010 S. TERRIPIN CIR
MESA, AZ 85208

GOLDEN HILLS
ATTN: MARCUS KLINGLER
42 S. HAMILTON, #101
MESA, AZ 85233

GOLDEN HILLS
ATTN: LOU DISSETTE
836 S. 72ND STREET
MESA, AZ 85208

PIONEER ESTATES II
ATTN: CATHERINE MULLINS
7433 E. DEWAN AVE
MESA, AZ 85208

PIONEER ESTATES II
ATTN: DON VANDERWERF
7356 E. DEWAN AVE
MESA, AZ 85208

SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOCIATION
ATTN: DAVE HUBALIK
6929 E. MEDINA AVE
MESA, AZ 85209

SUPERSTITION SPRINGS COMMUNITY
MASTER ASSOCIATION
ATTN: JENNIFER CAMPBELL
6555 E. SOUTHERN AVE
MESA, AZ

SUPERSTITION SPRINGS
COMMUNITY MASTER ASSOCIATION
ATTN: ERIC JORGENSEN
7345 E. MILARGO AVE
MESA, AZ 85209

EXHIBIT 4

CITY OF MESA
PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: September 8, 2021

CASE: ZON21-00397

REQUEST: Rezone from Limited Commercial with a Planned Area Development Overlay (LC-PAD) to Limited Commercial with a Planned Area Development Overlay (LC-PAD-PAD); Council Use Permit; and Site Plan Review. This request will allow for a multiple residence development.

APPLICANT: Brennan Ray, Burch & Cracchiolo, P.A.

PHONE: 602-234-8794

Planning Division 480-644-2385

Posting date: 8/24/2021

8/24/21 05:49:26

CITY OF MESA
PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

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APPLICANT: Brennan Ray, Burch & Cracchiolo, P.A.

PHONE: 602-234-8794

Planning Division 480-644-2385

Posting date: 8/24/2021

8/24/21 05:53:48

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by _____, 2021

Date: August 24th, 2021

I, Maria Hitt, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to ZON21-00397 (case number), on the 24th day of August, 2021. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: Maria Hitt

SUBSCRIBED AND SWORN before me this 24th day of August, 2021

Marybeth Conrad
Notary Public



When recorded, return to:

City of Mesa

**AIRCRAFT OPERATION, SOUND AND AVIGATION EASEMENT
AND RELEASE FOR PHOENIX-MESA GATEWAY AIRPORT**

WHEREAS, [REDACTED] company, hereinafter called "Owner," is the owner of that certain parcel of land situated in the City of Mesa, Maricopa County, Arizona, consisting of approximately [REDACTED] acres, legally described on the attached Exhibit A, and incorporated by reference herein, which is hereinafter referred to as the "**Land**," and which the Owner desires to develop as a **mixed use community** which will include **both residential and non-residential** uses.

WHEREAS, the Owner is aware that the Land lies in an area that is subject to aircraft overflights and operations for aircraft utilizing airspace in connection with "Phoenix-Mesa Gateway Airport" (formerly known as Williams Air Force Base), which is hereinafter referred to as the "**Airport**."

WHEREAS, the Owner recognizes that all airspace is governed by the U.S. Code, and the U.S. Government has exclusive sovereignty of airspace in the United States. Owner is willing to develop such Land as a mixed-use community subject to the sovereign authority of the U.S. Government subject to the plans and policies developed by the Federal Aviation Administration ("**FAA**") for use of the navigable airspace including the right of flight and other airspace uses over the Land and all effects flowing therefrom.

NOW THEREFORE, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby fully acknowledged, Owner and its heirs, administrators, executors, occupants, users, developers, successors and assigns (collectively referred to herein as "**Owner**"), does hereby give and grant to the Airport, the Phoenix-Mesa Gateway Airport Authority (the "**Authority**") and the City of Mesa, a municipal corporation, and its respective administrators, successors and assigns ("City") and Aircraft users of the Airport and Airport facilities ("**Aircraft Users**"), a perpetual, nonexclusive easement for all aviation purposes and uses over and across the Land in connection with flights, airspace usage, passage, operations, testing, development of Aircraft (the term "**Aircraft**" shall include any device that is used or intended to be used for flight in the air or space, existing or future, that is regulated by the FAA), and other related uses and flight or airspace activities, in, to, over, across and through all navigable airspace above the surface of the

Owner's Land in such flight patterns, routes, uses, the above purposes and altitudes that are in conformance with FAA regulations and to an infinite height above such Owner's Land, which easement shall include, but not be limited to, the right of flight of all Aircraft above, across and over the Land in such flight patterns, routes, uses, the foregoing purposes and altitudes that are in conformance with FAA regulations, together with its related inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel, gas and lubricant particles, and dripping and all other effects that may be caused by the operation of Aircraft including for the purposes and uses described above and also landing at, or taking off from, or operating in relation to, on, from or around the Airport. The Owner does further release and discharge the City, the Authority, the Airport, Aircraft Users, The Boeing Company, a Delaware corporation, and its affiliates ("**Boeing**"), and other third party beneficiaries (as described below) of and from any liability for any and all claims for damages of any kind to persons or property that may arise now or at any time in the future over or in connection with the Owner's Land above, in, to, over and through all navigable air space above Owner's Land, and on and to the surface of the Land and on and to all structures now existing or hereafter constructed on the Land, or any portion of the Land, whether such damage shall originate from smoke, noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of Aircraft landing at, or taking off from, or operating at or around the Airport.

This easement is granted for the above purpose and uses for the passage of all Aircraft, specifically including but not limited to military and developmental and test aircraft, present or future, by whomever owned or operated on, from, around or to the Airport and any other airport or air facility which is or may be located at or near the site of said Airport, including any future change or increase in the boundaries of the Airport or air facility(ies), the volume or nature of operation of the Airport or air facility(ies), or noise or pattern of air traffic thereof; and these Aircraft Users, Boeing, Aircraft owners, operators, and users are and shall be third party beneficiaries of this Easement and the rights granted.

Owner shall give notice of this Easement to invitees, occupants, and tenants (collectively referred to herein as "Property Users") of the Land, or any portion thereof, and the Property Users, to the fullest extent permitted by law, are bound by the terms of this Easement.

This instrument does not release the owners and operators of Aircraft from liability for damage or injury to person or property caused by falling Aircraft or falling physical objects from such Aircraft, except as stated herein with respect to inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel and lubricant particles. This Aircraft Operation, Sound and Avigation Easement and Release shall be binding upon said Owner and successors in interest to the Land, and any part thereof, and it is further agreed that this instrument shall be a covenant running with the Land and shall be recorded in the office of the County Recorder of Maricopa County,

Arizona and other counties as applicable. This Easement may not be amended, terminated or retracted without the prior written consent of City, Owner, and Boeing.

[Signatures appear on following page]

EXECUTED this ____ of ____, 2020.

OWNER:

By _____

Name _____

Its _____

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this ____ day of ____, 2018, by _____, the _____ of _____ corporation or limited liability company, in his/her capacity as _____ of and on behalf of said entity.

Notary Public

My commission expires:

THE BOEING COMPANY, a
Delaware corporation

By _____

Name _____

Its _____

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this ____ day of _____, 2020,
by _____, the _____ of The Boeing Company, a Delaware
corporation, in his/her capacity as _____ of and on behalf of such
corporation.

Notary Public

My commission expires:

Exhibit A

Legal Description