

Adobe Luxury Villas

OPEN SPACE CALCULATION

Required	38 units x 175 sf = 6,650 sf
Provided	5,440 sf (private open space) 4,233 sf (common open space)
Total	9,673 sf

PRIVATE OPEN SPACE TABLE

		TOTAL NUMBER OF UNITS	FLOOR	REQUIRED	PROVIDED ON 1ST LEVEL	PROVIDED ON 2ND LEVEL
Unit 1	3 bedroom unit	4	1st and 2nd	120 SF	2 x 165 = 330 SF	2 x 127 = 254 SF
Unit 2	2 bedroom unit	4	1st and 2nd	100 SF	2 x 193 = 386 SF	2 x 155 = 310 SF
Unit 3	2 bedroom unit	16	1st and 2nd	100 SF	8 x 192 = 1,536 SF	8 x 135 = 1,080 SF
Unit 4	3 bedroom unit	2	1st	120 SF	2 x 238 = 476 SF	
Unit 5	1 bedroom unit	8	2nd	60 SF		8 x 81 = 648 SF
Unit 6	2 bedroom unit	2	2nd	100 SF		2 x 90 = 180 SF
Unit 7	2 bedroom unit	2	2nd	100 SF		2 x 120 = 240 SF
		Total			2,728 SF	2,712 SF

STANDARD		RM-3 REQUIRED	RM-3 PROPOSED
Maximum Density		2.183 sf pdu	91,322 / 38 = 2,403 sf pdu
Maximum Height		40'	28' ridge
Recker Road (6-lane arterial planned) (4-lane arterial existing)	Building Setback	20'	25'
Adobe Street (local street)	Building Setback	25'	25'
Interior Side & Rear Setback (North, adj. to RS-7 residential)	Building Setback	30' (2-story)	20' to parking canopy
Interior Side & Rear Setback (West, adj. to RS-7 residential)	Building Setback	30' (2-story)	20' to parking canopy
Building Separation on same lot		30' (2 story)	30'

LOT COVERAGE CALCULATION

Lot Net Area	91,322 SF
Building 1	12,974 SF
Building 1	12,960 SF
Pool Ramada	175 SF
Parking lot and driveways	28,037 SF
Walkways	6,252 SF
Total Lot Coverage	60,398 SF
	66.18 %

BUILDING COVERAGE CALCULATION

Lot Net Area	93,322 SF
Building 1	12,974 SF
Building 1	12,960 SF
Pool Ramada	175 SF
Parking canopies	6,537 SF
Entry trellis	96 SF
Total Building Coverage	30,671 SF
	32.87 %

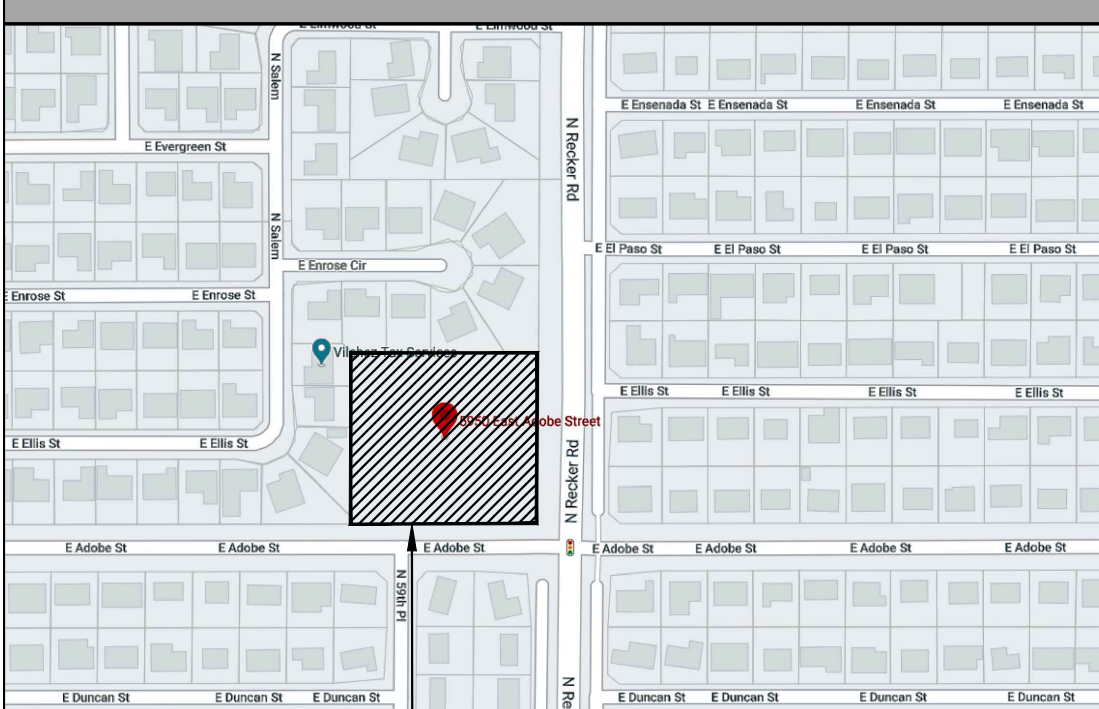
STREET LIGHTING NOTE

THERE WILL BE NO NEW STREET LIGHTING REQUIRED FOR THIS PROJECT

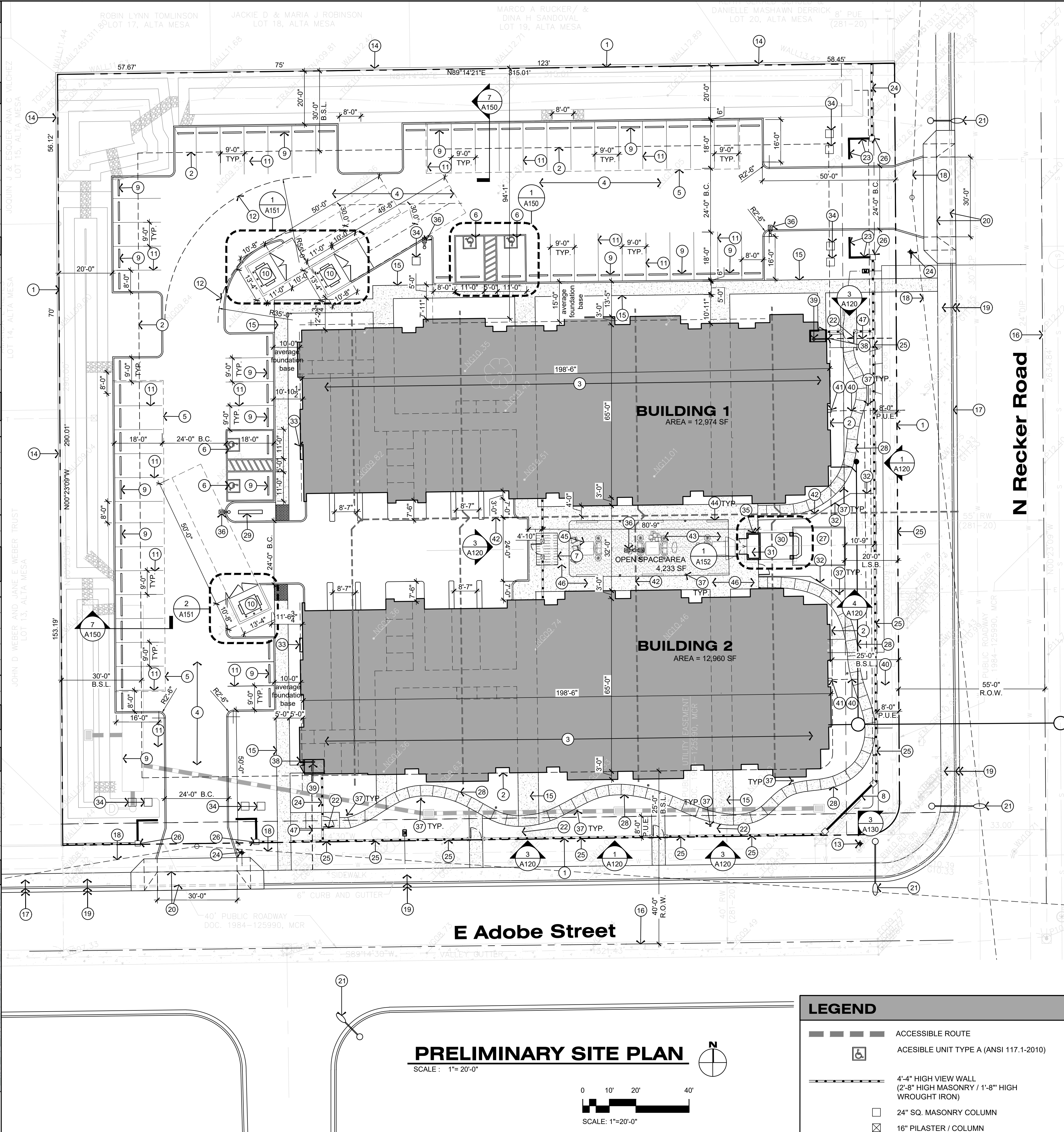
PARKING CALCULATION

	Total number of units	Required Parking	Total Required Parking	Total Provided parking
Dwelling units	38	2.1 Spaces/du	38 x 2.1 = 80	81
On site uncovered parkings				39
On site covered parkings under canopies				26
Parking in private garages				16
Total on site parking provided				81

VICINITY MAP



THIS PROJECT



CONTACTS

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610 E BELL RD #2-607
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FAX: 480-359-4407
E-MAIL: edmir@e-projectinternational.com
CONTACT: EDMIR DZUDZA, AIA

DEVELOPER: KINWELL DEVELOPMENT
PHONE. 480-500-9163

PROJECT DESCRIPTION : 38 UNIT CONDOMINIUM DEVELOPMENT

GENERAL
CONTRACTOR: TO BE BID

SITE DATA

PARCEL #:	APN 114-78-820
EXISTING ZONING:	RS-7
PROPOSED ZONING:	RM-3
SITE NET AREA:	91,322 SF
SITE NET AREA (PROPOSED):	91,322 SF (2.096 AC)
E. ADOBE RD R.O.W. AREA:	13,742 SF
N. RECKER RD. R.O.W. AREA:	17,039 SF
NEW DWELLING UNITS:	38
DENSITY (PROPOSED):	38 DU / 2.096 AC = 18.13 DU/AC

- KEYNOTES

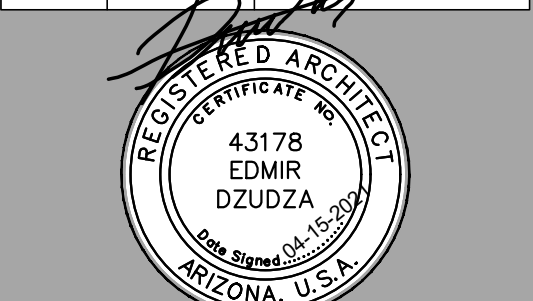
1. PROPERTY LINE
2. SETBACK LINE
3. BUILDING OUTLINE
4. PRIVATE DRIVEWAY
5. PARKING CANOPIES, REFER TO DETAIL 7/A150
6. ACCESSIBLE PARKING STALL
7. ENTRY TRELLIS, REFER TO DETAIL 6/A152
8. MONUMENT SIGN, REFER TO A130
9. CONCRETE WALL, STOPS, SEE CIVIL DRAWINGS
10. TRASH ENCLOSURE, REFER TO DETAILS 1/A151 AND 2/A151
11. PARKING STRIPPING
12. FIRE TRUCK TURNING RADIUS
13. EXISTING FIRE HYDRANT
14. EXISTING 6' HIGH SITE WALL TO REMAIN
15. CONCRETE SIDEWALK, SEE LANDSCAPE DRAWINGS
16. CENTER LINE OF STREET
17. FACE OF CURB AND GUTTER, SEE CIVIL DRAWINGS
18. SITE VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN VISIBILITY TRIANGLE IS 24"
19. REPLACE EXISTING SIDEWALK, CURB AND GUTTER
20. CUT AND REMOVE EXISTING SIDEWALK AND CURB FOR NEW DRIVEWAY, NEW SINGLE DRIVEWAY WITH ATTACHED SIDEWALK TO BE INSTALLED PER CITY OF MESA STANDARD DETAIL M-42
21. EXISTING STREET LIGHT TO REMAIN
22. 48" WIDE GATE
23. 36" HIGH SCREEN WALL
24. NEW FIRE HYDRANT
25. 4'-4" HIGH VISION WALL (2'-8" HIGH MASONRY, 1'-8" HIGH WROUGHT IRON)
26. 24" SO MASONRY COLUMN
27. POOL, SEE LANDSCAPE DRAWINGS
28. 48" WIDE CONCRETE TRAIL
29. MAILBOXES
30. POOL CABANA
31. POOL EQUIPMENT ROOM
32. POOL FENCE
33. SES UNITS 1,200 Amps
34. TRANSFORMER LOCATION
35. ELECTRICAL HOUSE PANEL 200 Amps
36. LIGHT POLE, REFER TO DETAIL 6/A120
37. LIGHT BOLLARD, REFER TO DETAIL 8/A120
38. FIRE DEPARTMENT CONNECTION
39. FIRE RISER ROOM
40. 2" PRIVATE WATER LINE
41. 2" WATER METER
42. 6" PRIVATE SEWER LINE
43. ARTIFICIAL GRASS
44. 18"x24" SEATWALL
45. 5X5' MIN. DEC. METAL GRATE
46. COLORED CONCRETE WALK
47. 6" PRIVATE FIRE LINE

SHEET INDEX

A101	PRELIMINARY SITE PLAN	
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A211	OVERALL SECOND FLOOR PLAN	BUILDING 1
A220	OVERALL FIRST FLOOR PLAN	BUILDING 2
A221	OVERALL SECOND FLOOR PLAN	BUILDING 2
A230	OVERALL POOL CABANA FLOOR PLAN BLDG1	
A231	OVERALL ROOF PLAN-BLDG2	
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A301	ELEVATIONS BUILDING 2	
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A351	COLORLED ELEVATIONS BUILDING 2	
A352	COLORLED SITE DETAILS	
A353	MONUMENT SIGN	
A354	POOL CABANA	



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EXPIRATION DATE: 09/30/2023
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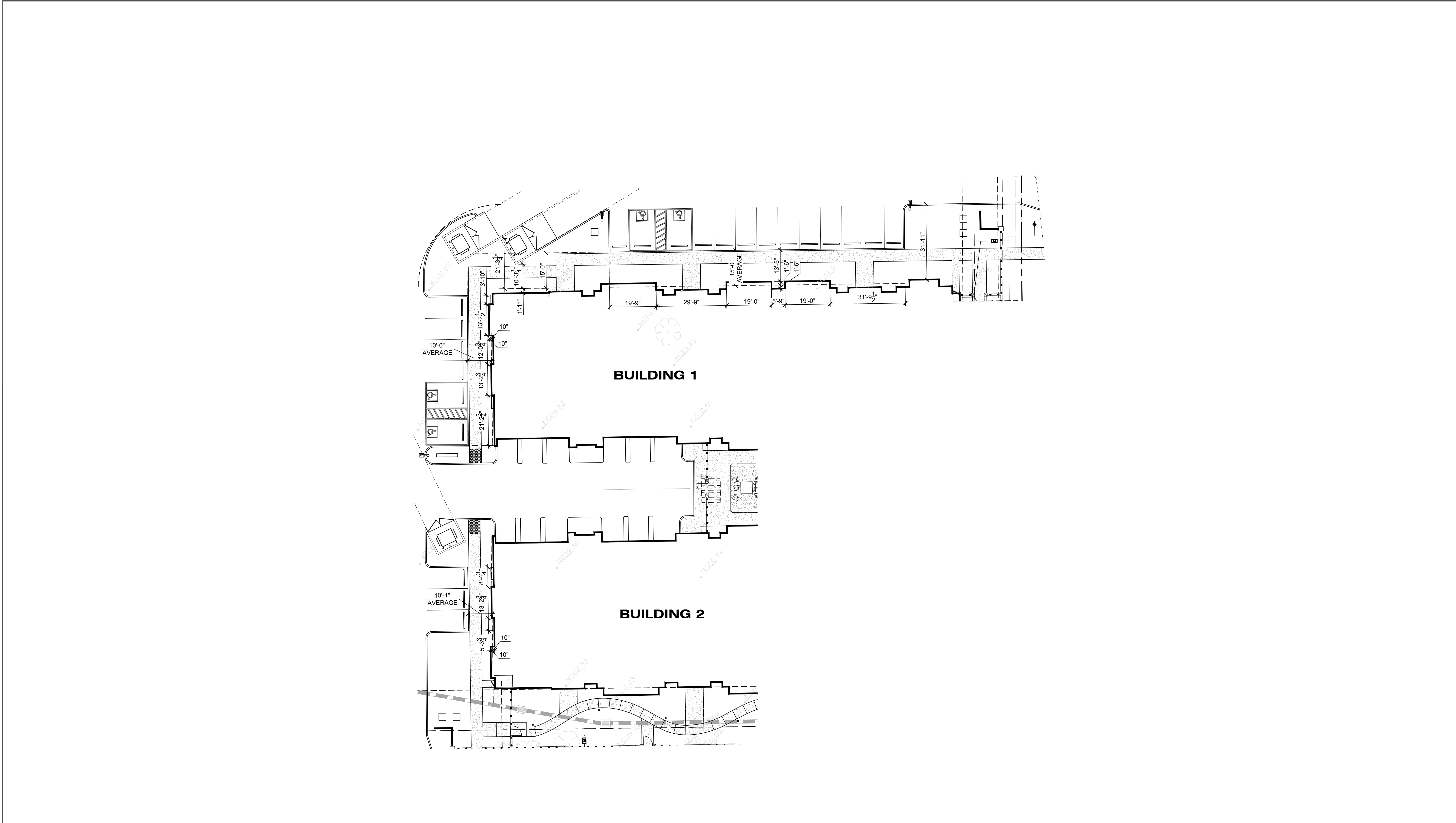
Preliminary Site Plan

Date:	04-15-2021
Project No.	7620
Drawn By:	
Checked By:	
Approved By:	ED

Scale: 1"=20'-0"

A101

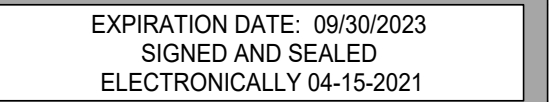
Adobe Luxury Villas



FOUNDATION BASE PLAN

SCALE: 1"= 20'-0"

SCALE: 1"=20'-0"

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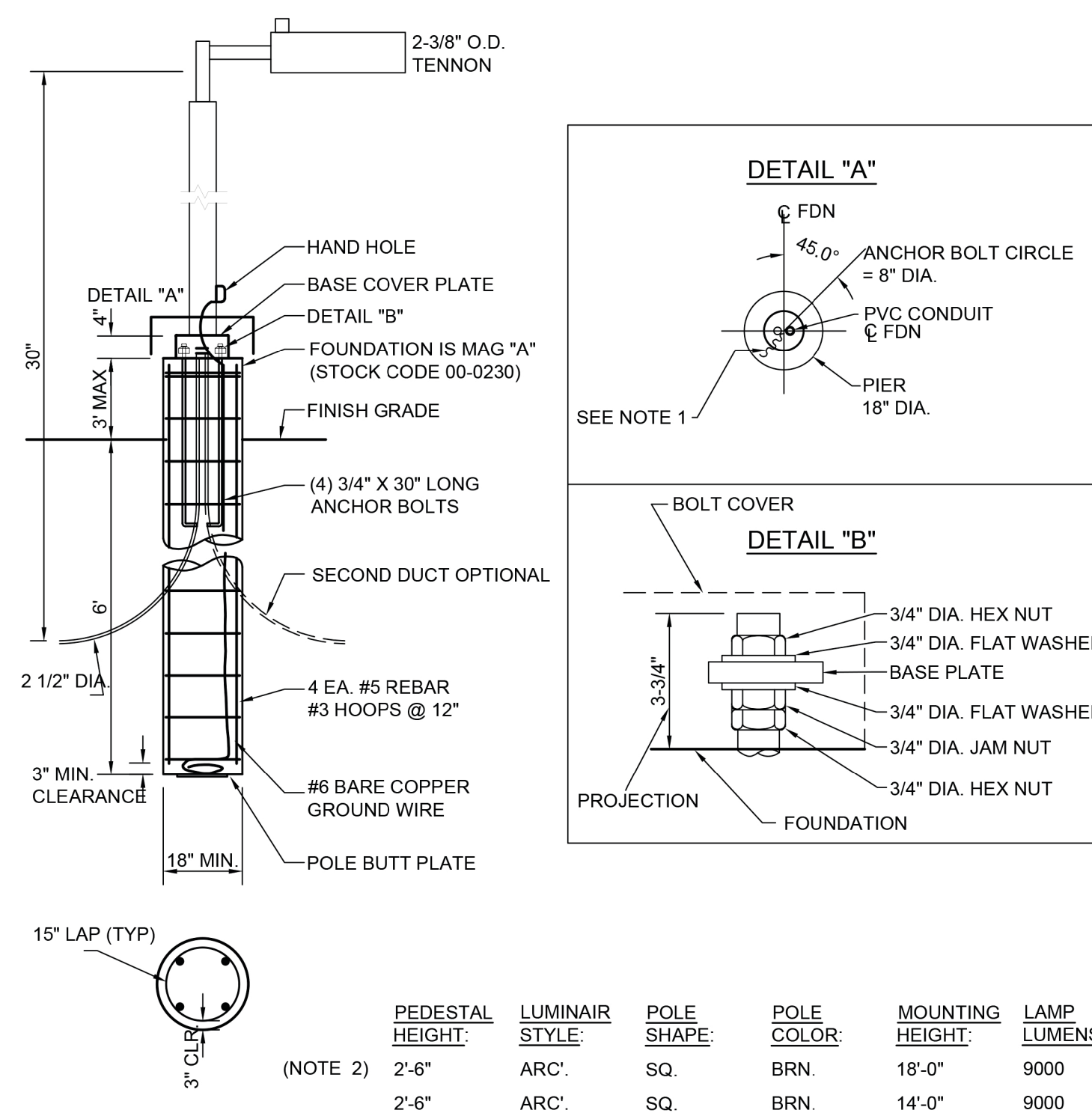
Foundation Base Plan

Scale: 1"=20'-0"

A102

LEGEND	
	BOUNDARY LINE
	CENTER LINE OR MONUMENT LINE
	CONCRETE SURFACE
	DECORATIVE BRICK SURFACE
	DIMPLED PEDESTRIAN RAMP SURFACE
	24 INCH VERTICAL CURB & GUTTER
	24 INCH ROLLED CURB
	6 INCH CONCRETE CURB
	INDICATES DRIVEWAY (MEANS OF ACCESS)
	WALL
	FENCE
	OVERHEAD ELECTRIC LINE
	SET 1/2" REBAR CAPPED 42137 (UNLESS OTHERWISE NOTED)
	SCHEDULE B ITEM
	BACK FLOW PREVENTER
	BIKE RACK
	DOWN GUY
	ELECTRIC BOX
	ELECTRIC CABINET
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	FIRE HYDRANT
	FLAG POLE
	GUARD POST OR GATE POST
	HANDICAPPED SPACE
	METAL GRATE (RECTANGULAR)
	GATE KEY PAD
	LIGHT POLE
	MAIL BOX
	POWER POLE
	POWER POLE W/ UNDERGROUND ELECTRIC
	SEWER CLEAN OUT
	STORM DRAIN MANHOLE
	SEWER MANHOLE
	STREET SIGN
	STUB OUT
	TELEPHONE RISER
	TRAFFIC SIGNAL BOX
	CABLE TELEVISION RISER
	WATER METER
	WATER VALVE
	ASSESSORS PARCEL NUMBER
	MARICOPA COUNTY RECORDS
	RIGHT OF WAY
	BOOK
	PAGE
	TYPICAL
	WITNESS CORNER
	NOT A PART
	NO BUILDINGS - DIRT AREA

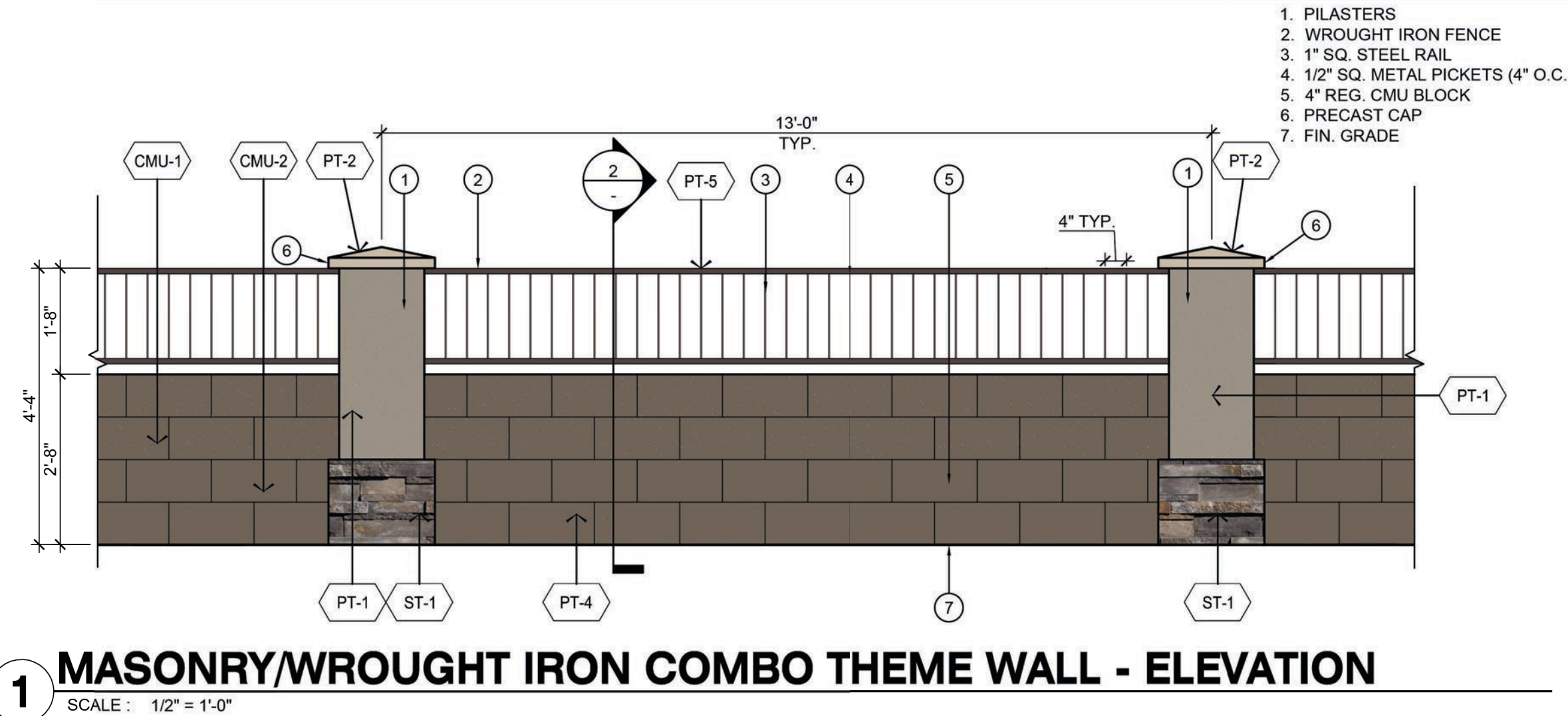
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- NOTES: (THIS PAGE HAS BEEN EXTENSIVELY REVISED, THEREFORE REVISION MARKINGS NOT INCLUDED.)
1. RUN GROUND WIRE TO BOTTOM OF HOLE AND CONNECT TO POLE BUTT PLATE BEFORE CONCRETE IS POURED. LEAVE 2' MIN. AT TOP FOR CONNECTION TO POLE. SEE DETAIL "A". CONNECT TO HANDHOLE AFTER POLE IS SET.
 2. NOT TO BE USED UNLESS THE POLE CAN BE ACCESSED BY A BUCKET TRUCK ON PAVEMENT.
 3. CUSTOMER SUPPLIES REBAR CAGE, J-BOLTS, 12" OF SOFT DRAINAGE 6" BARE COPPER WIRE, POLE BUTT PLATE (14" DIA. MIN. COPPER) AND CONCRETS FOUNDATION.

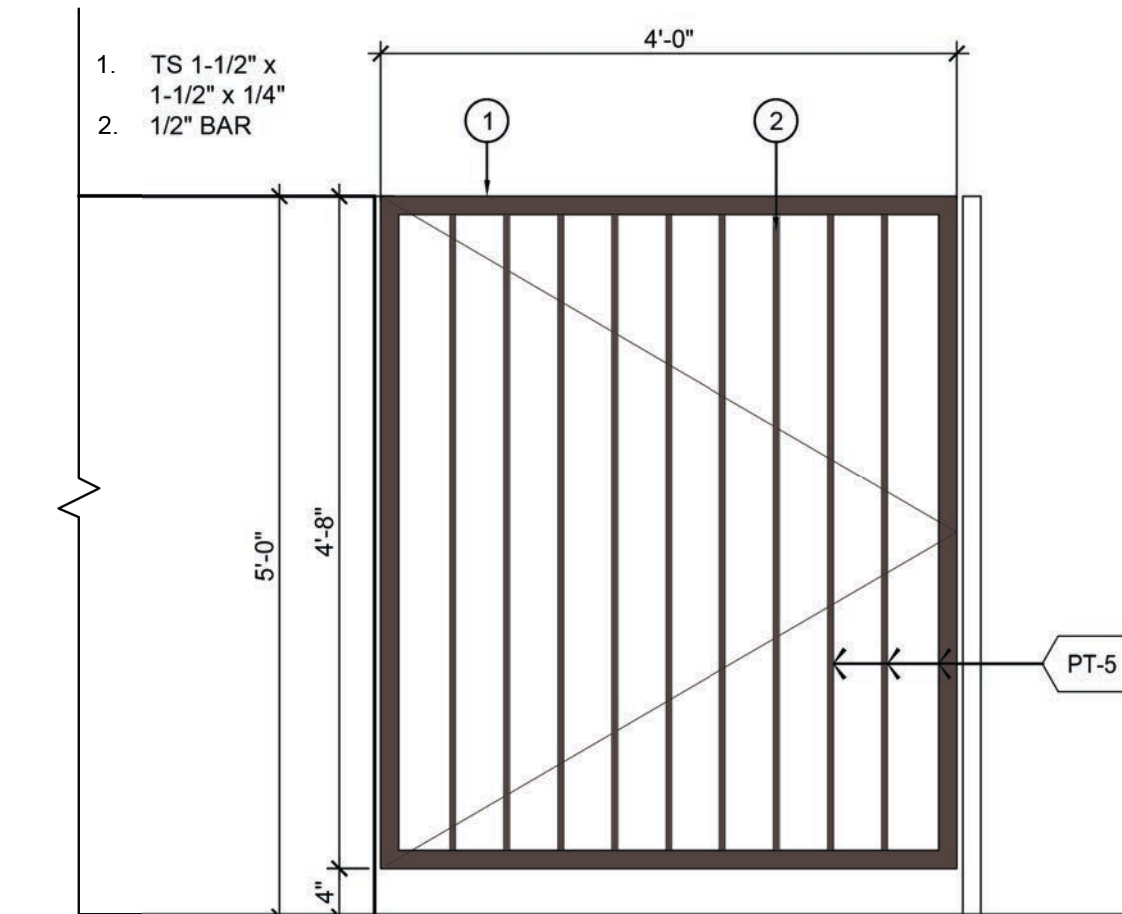
6 LIGHT POLE DETAIL

SCALE : N.T.S



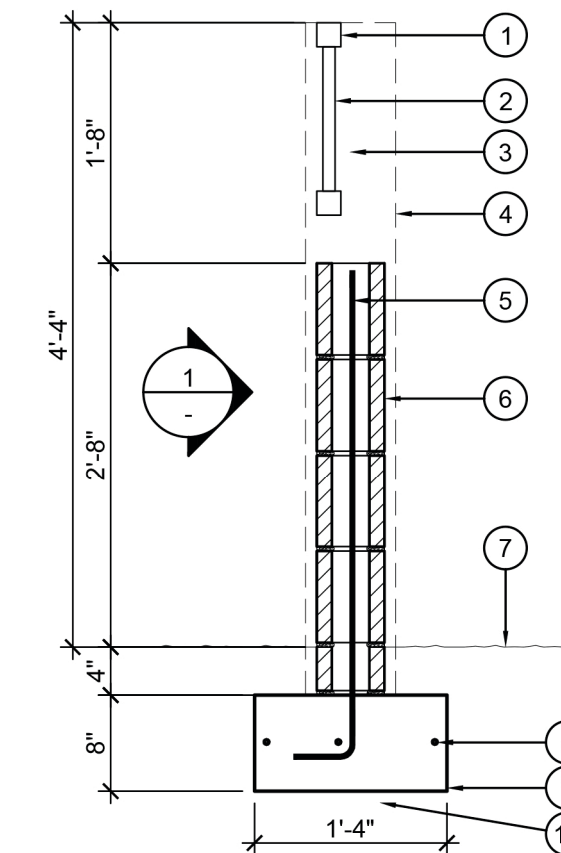
4 MASONRY/WROUGHT IRON COMBO THEME WALL - ELEVATION

SCALE : 1/2" = 1'-0"



ENTRY POOL GATE

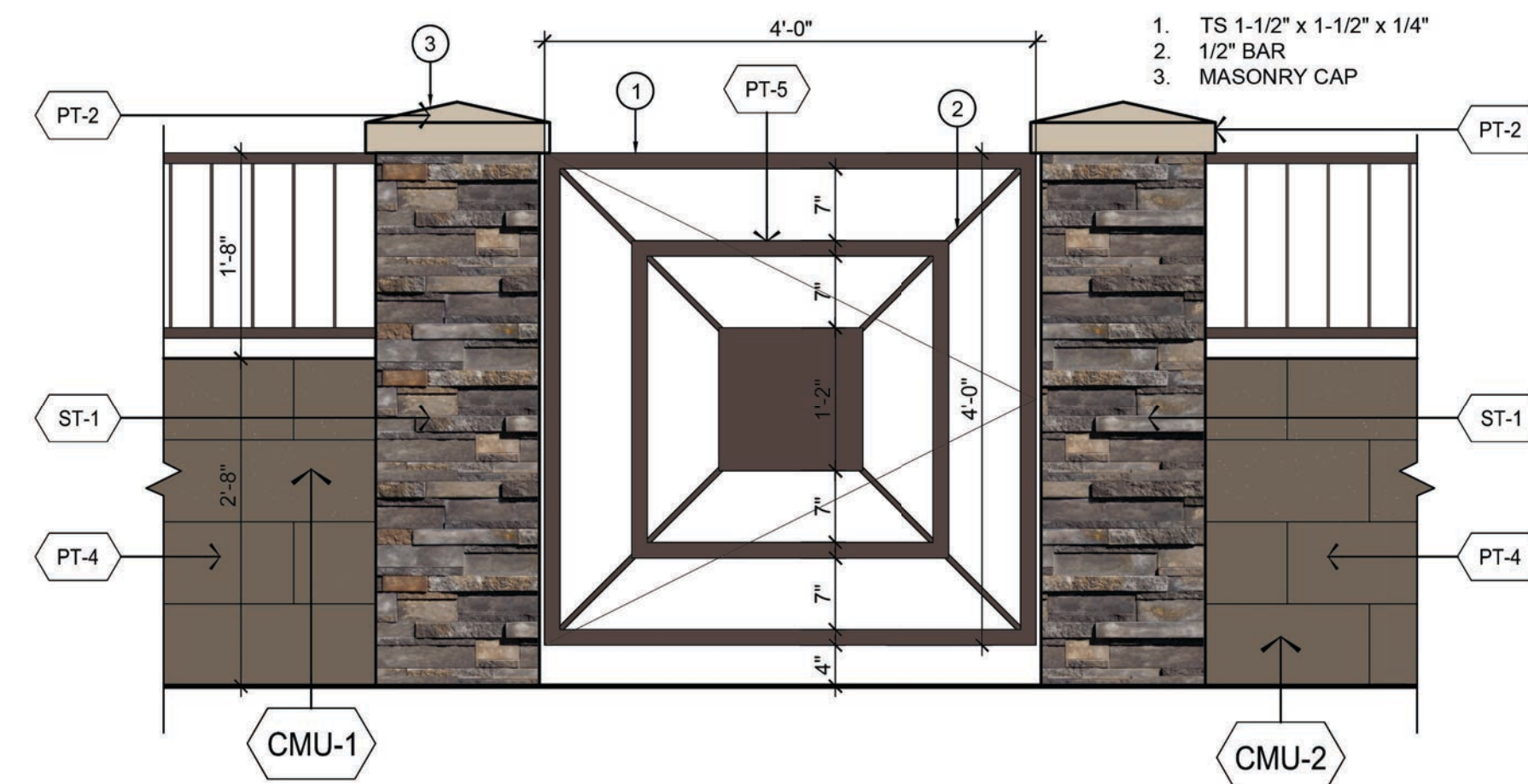
SCALE : $\frac{3}{4}"=1'-0"$



-
1. PILASTER
 2. WROUGHT IRON FENCE
 3. 1" SQ. STEEL RAIL
 4. 1/2" SQ. METAL PICKETS (4" O.C.)
 5. 4" REG. CMU BLOCK
 6. PRECAST CAP
 7. FIN. GRADE
- PT-2
- 6
- PT-1
- 1
- ## SECTION
1. ALL WROUGHT IRON TO BE PAINTED PT-6
 2. WROUGHT IRON FENCE
 3. ATTACH RAILING TO ANCHOR PLATE AS REQ. BY CITY VIEW WALL CODE.
 4. PILASTER AT 13" O.C. 16"
 5. MASONRY PLASTER
 6. #4 REBAR AT 48" O.C. (GROUT SOLID)
 7. 4"x8"x16" REG. CMU BLOCK
 8. FINISHED GRADE
 9. 3-#4 REBAR CONTINUOUS
 10. TYPICAL CONCRETE FOOTING
 11. COMPACTED SUB-GRADE

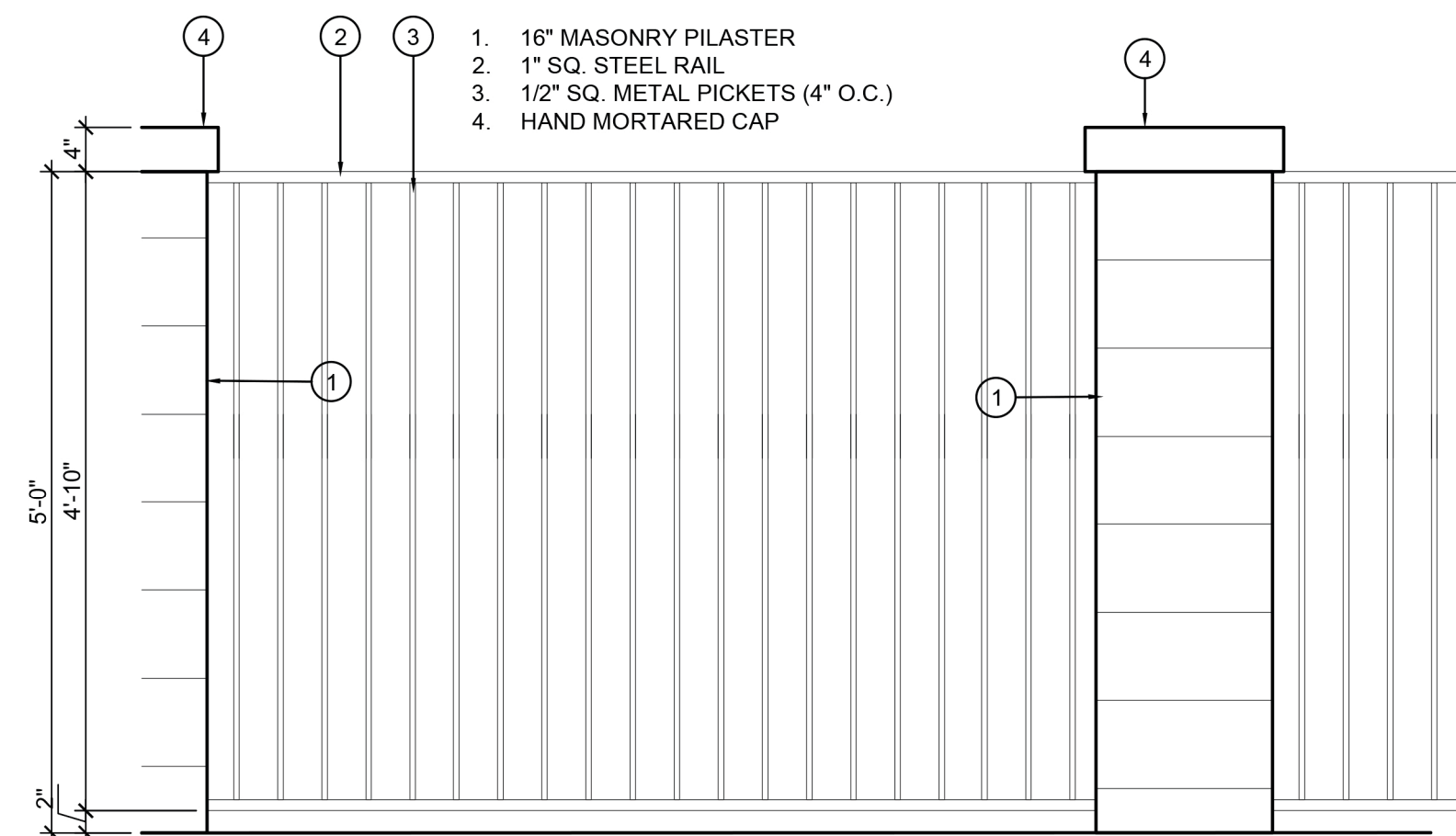
MASONRY/WROUGHT IRON COMBO THEME WALL DETAIL

SCALE : 3/4"=1'-0"



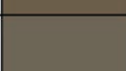
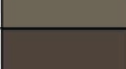
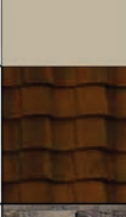
2 ENTRY GATE

SCALE : 3/4"=1'-0"



4 TYPICAL POOL FENCE ELEVATION

SCALE : 3/4"=1'-0"

MATERIALS FINISH SCHEDULE					
		MATERIAL	FINISH	MANUFACTURER	COLOR / MATERIAL PRODUCT
PT-1		1-KOTE STUCCO SYSTEM	PAINT Body Color 1	Dunn Edwards	Barnwood DET620
PT-2		1-KOTE STUCCO SYSTEM	PAINT Body Color 2	Dunn Edwards	Birchwood DEC752
PT-3		1-KOTE STUCCO SYSTEM	PAINT-(Option 1) Fascia / Balcony Rails / Front Doors	Dunn Edwards	Cocoa DEC755
PT-4		1-KOTE STUCCO SYSTEM	PAINT-(Option 2) Fascia / Balcony Rails / Front Doors	Dunn Edwards	Cocoa Po DET631
PT-5		1-KOTE STUCCO SYSTEM	PAINT-(Option 3) Fascia / Balcony Rails / Front Doors	Dunn Edwards	Nomad DET697
PT-6		WROUGHT IRON/ WOOD	PAINT Railing / Fascia / Site Walls	Sherwin -Williams	Quaker B
PT-7		SIDING WALLS	PAINT Railing / Fascia / Site Walls	Dunn Edwards	Pigeon Gr DE6214
R-1		CONCRETE ROOF TILE	ROOF TILE	Eagle Roofing	Roof Tile 3106 Capistrano Black Flas
ST-1		STONE VENEER	STONE VENEER	Coronado	Element L -Mount V
CMU-1	REGULAR 8 X 8 X 16 CMU BLOCK PAINTED PT-4				
CMU-2	SPLIT FACE 8 X 8 X 16 CMU BLOCK PAINTED PT-4				
CMU-3	REGULAR 8 X 8 X 16 MASONRY CAP PAINTED PT-2				
CMU-4	8 X 8 X 16 RIBBED BLOCK PAINTED PT-4				
NOTE	STUCCO TEXTURE: LIGHT LACE				

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5950 EAST ADOBE RD. MESA 85205

Site Details

Date: 04-15-2021

Project No. 7620

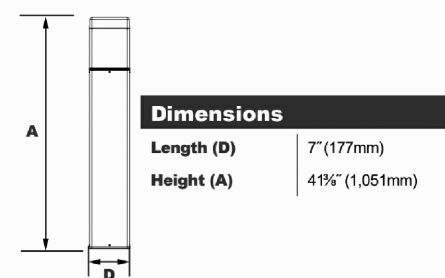
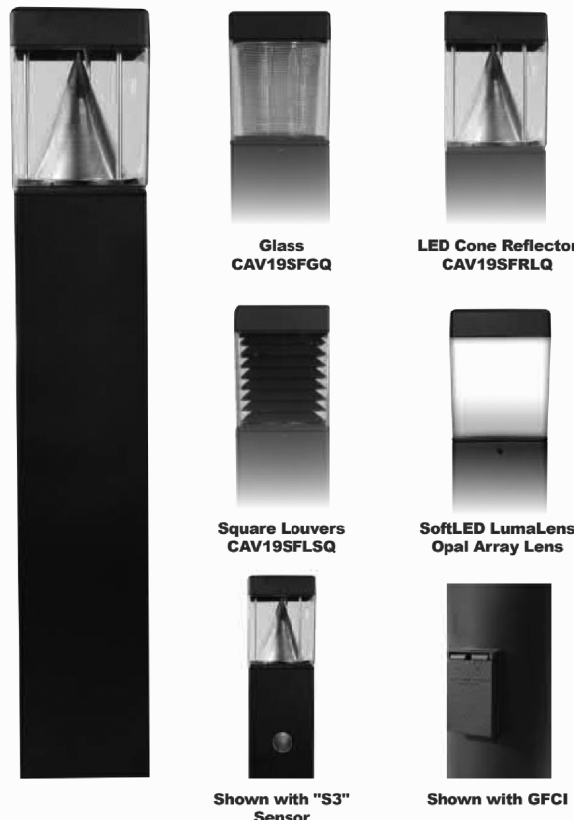
Drawn By: AP

Checked By: AP

Approved By: ED

Scale: AS NOTED

A352



Dimensions	
Length (B)	7" (177mm)
Height (A)	41 1/2" (1,051mm)

PEMCO Lighting Products 150 Pemco Way-Wilmington, DE 19804 Phone: 302.892.9000 Fax: 302.892.9005 www.pemcolighting.com Car19-pc1(2020)



Specifications subject to change without notice. Rev. 12/2020

CAVALIER 19



Pemco's Bollards with choice of optics are designed to replace HID lighting systems up to 70w MH or HPS. These fixtures are ideal for retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities.

Specifications and Features:

Housing: Extruded Aluminum Housing with Flush Mounting Base & Vandal-Resistant Screws, Flat Top, Internal Ballast Tray for Easy Maintenance. Bollards Can Be Cut to Custom Lengths Upon Request.

Listing & Ratings: CSA Listed for Wet Locations, ANSI/UL 1598, E750; IP65 Sealed LED Compartment.

Finish: Textured Architectural Bronze or Black Powdercoat Finish over a Chromata Conversion Coating. Custom Colors Available Upon Request.

Style: Clear Prismatic Borosilicate Glass Reflector, Specially Designed Cone Reflector or Internal Louvers

Lens: Clear UV-Stabilized Polycarbonate Vandal-Resistant Lens or SoftLED LumaLens UV-Stabilized Polycarbonate Opal Vandal-Resistant Lens

Mounting Options: Mounting Kit with 5" Zinc-Plated Anchor Bolts, Included.

EasyLED LED:

Aluminum Boards

Wattage:

Array: 10w, System: 11.3w, (70w HID Equivalent)
Array: 14.5w, System: 17w, (70w HID Equivalent)
Array: 22w, System: 23.8w, (70w HID Equivalent)

Driver:

Electronic Driver, 120-277V, 50/60Hz or 347V, 50/60Hz (15w Only), Less Than 20% THD and PFC > 90. Standard Internal Surge Protection 2kV, 0-10V Dimming Standard for a Dimming Range of 100% to 10%; Dimming Source Current is 150 Microamps.

Controls:

Fixtures Ordered with Factory-Installed Motion Sensor Controls are Internally Wired for Switching and/or 1-10V Dimming Within the Housing. Remote Direct Wire Interface of 1-10V Dimming is Not Implimented and May Not Be Available. Please Consult Factory. Fixtures are Tested with LEPG Controls and May Not Function Properly With Controls Supplied By Others. Fixtures are NOT Designed for Use with Line Voltage Dimmers.

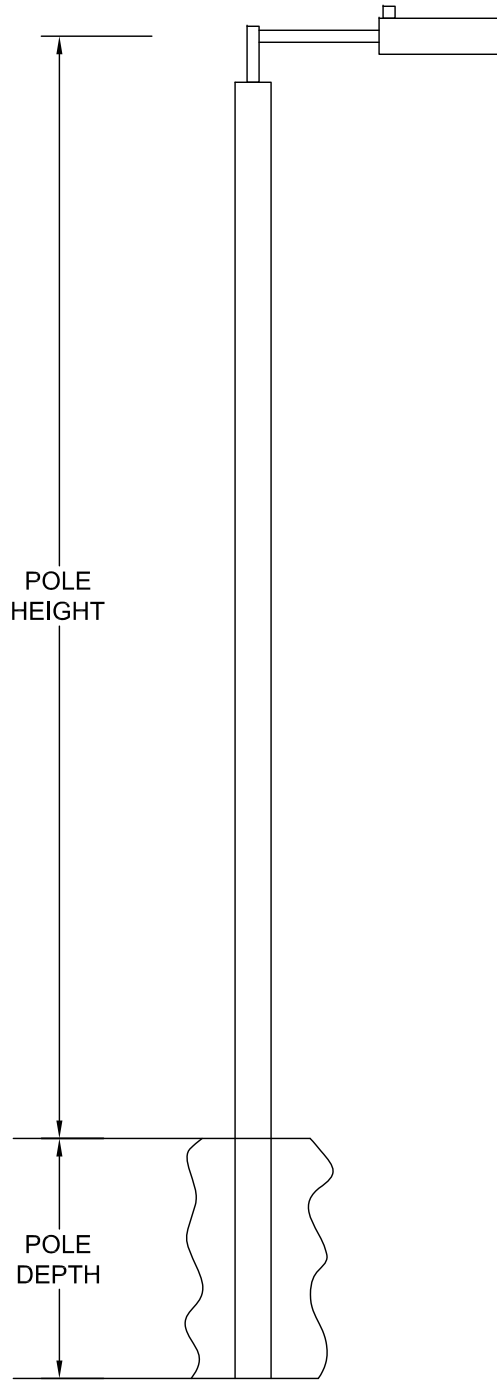
Warranty:

5-Year Warranty for -40°C to +40°C Environment.

See Page 4 for Projected Lumen Maintenance Table.

SPECIAL NOTE:

CONTRACTOR SHALL INSTALL 2-1/2" EMPTY CONDUIT TO SRP POINT OF CONNECTION PER SRP SPECIFICATIONS & REQUIREMENTS. THIS LOCATION TO BE DETERMINED BY SRP AND SHALL BE COORDINATED WITH SRP.



MOUNTING
HEIGHT:
15'-0"

POLE
DEPTH:
3'-6"

LUMENS:
9500

POLE
SHAPE:
SQUARE

POLE
COLOR:
BROWN

6 LIGHT POLE DETAIL

SCALE : N.T.S.



TYPE "SA"
Compatible with LED® poles
& Green Glare® reflectors
for light pollution reduction

LuxMaster® Series 53
Area Lighting
70-150W HPS, 100-175W MH

PRODUCT OVERVIEW

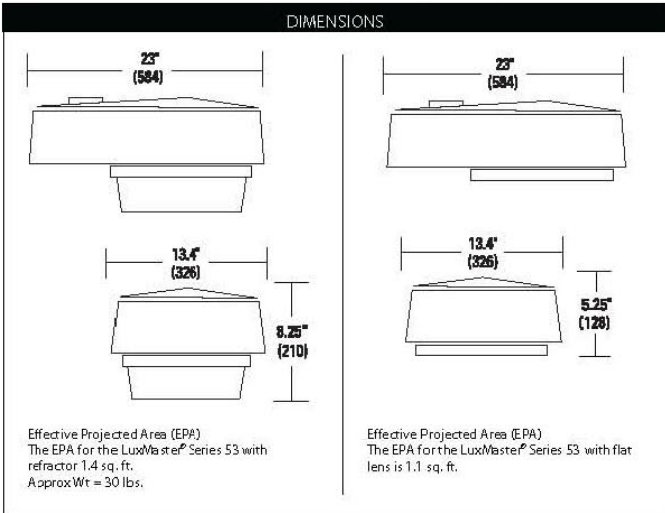


Applications:

Parking lots
Roadways
Residential communities
Commercial environments
Office communities

Features:

Durable die-cast aluminum housing for long-life performance
Optical assembly designed for maximum performance
Removable ballast tray electrical system for installation and maintenance ease
"Breathing Seal" developed by American Electric prevents contaminants from entering optical assembly for maximum efficiency
Optics available in flat tempered glass, sag glass, drop acrylic and drop polycarbonate
Available in a variety of E85 light distribution patterns and cutoff classifications
Standard product is designed to mount to pipe mast arm. Direct pole mount arms are available
All electrical components warranted by American Electric Lightings 6-year guarantee.
UL Listed
Mogul base, E19, socket standard
Suitable for -30°C MH / -40°C HPS
Complies with ANSI: C136.2, C136.16, C136.14, C136.15



SEE REFERRED SELECTION CATALOG NUMBERS
S3 10S CA M11 R2 DA
S3 15S CA M11 R2 FG
S3 10S RH 120 R3 FG

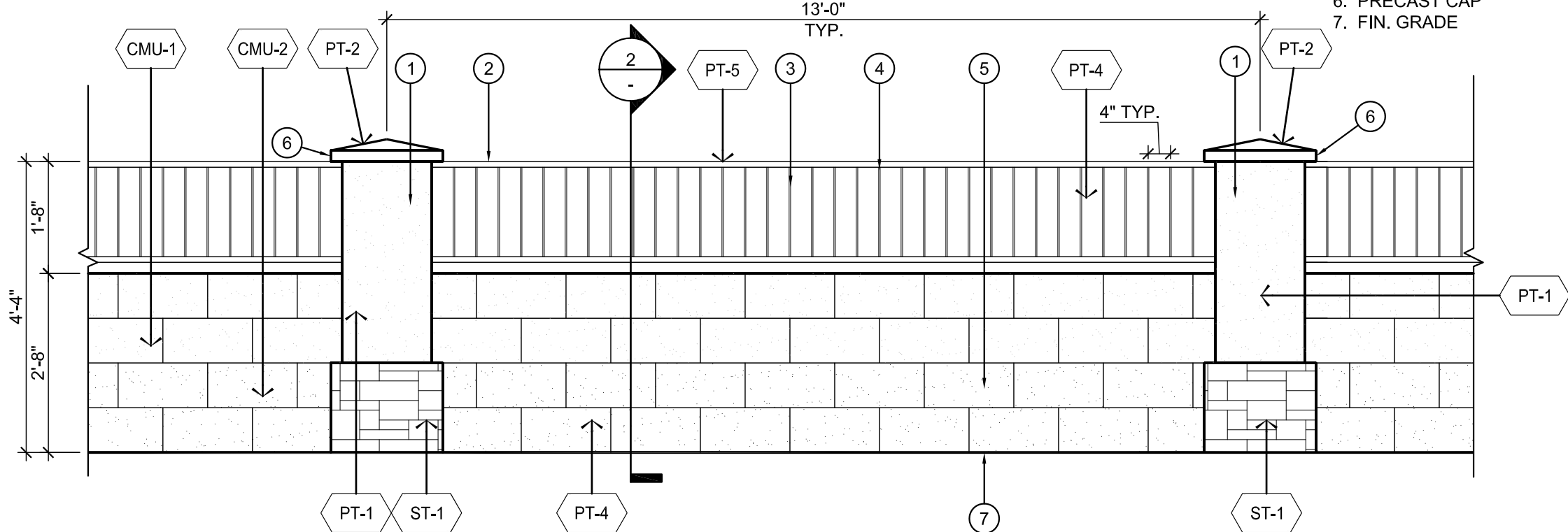
Area lighting

Shower RAL 53



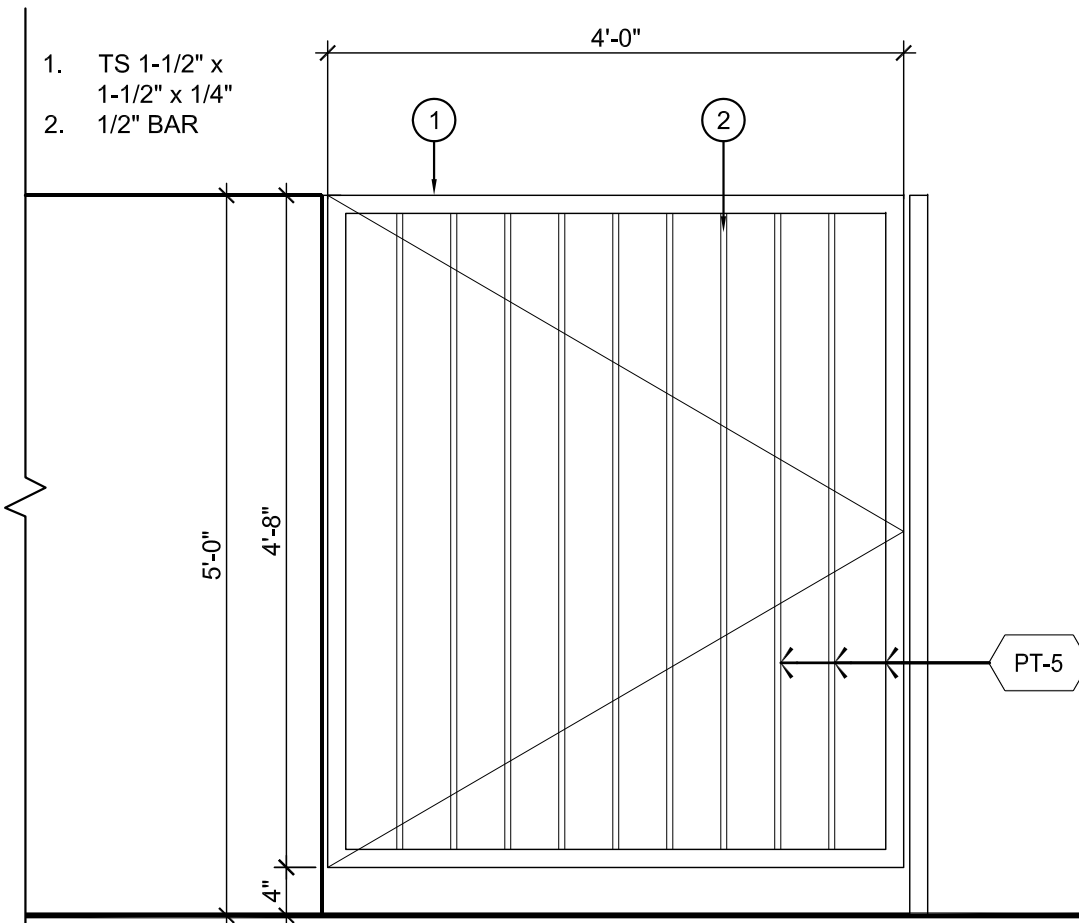
LIGHT FIXTURE SPECIFICATION FOR SA LIGHT FIXTURE

7 SCALE : N.T.S.



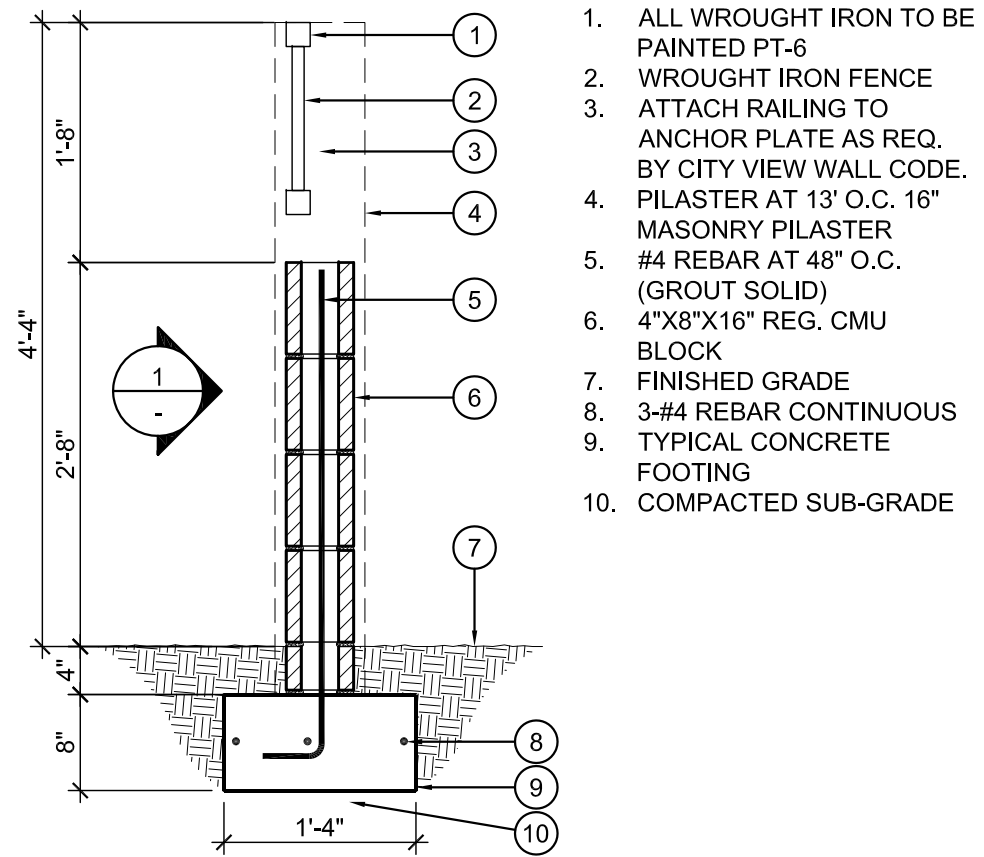
1 MASONRY/WROUGHT IRON COMBO THEME WALL - ELEVATION

SCALE : 1/2" = 1'-0"



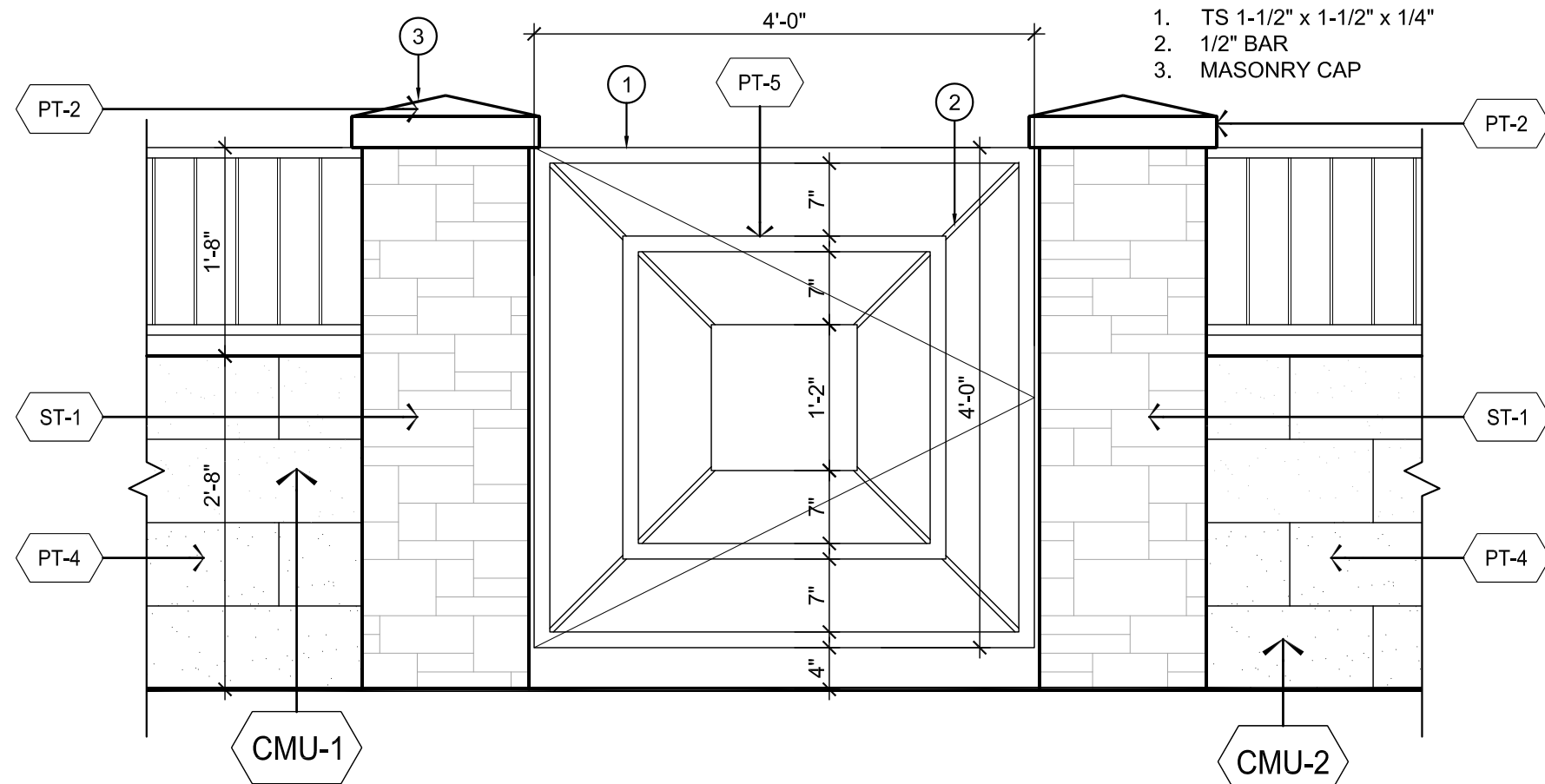
5 ENTRY POOL GATE

SCALE : 3/4"=1'-0"



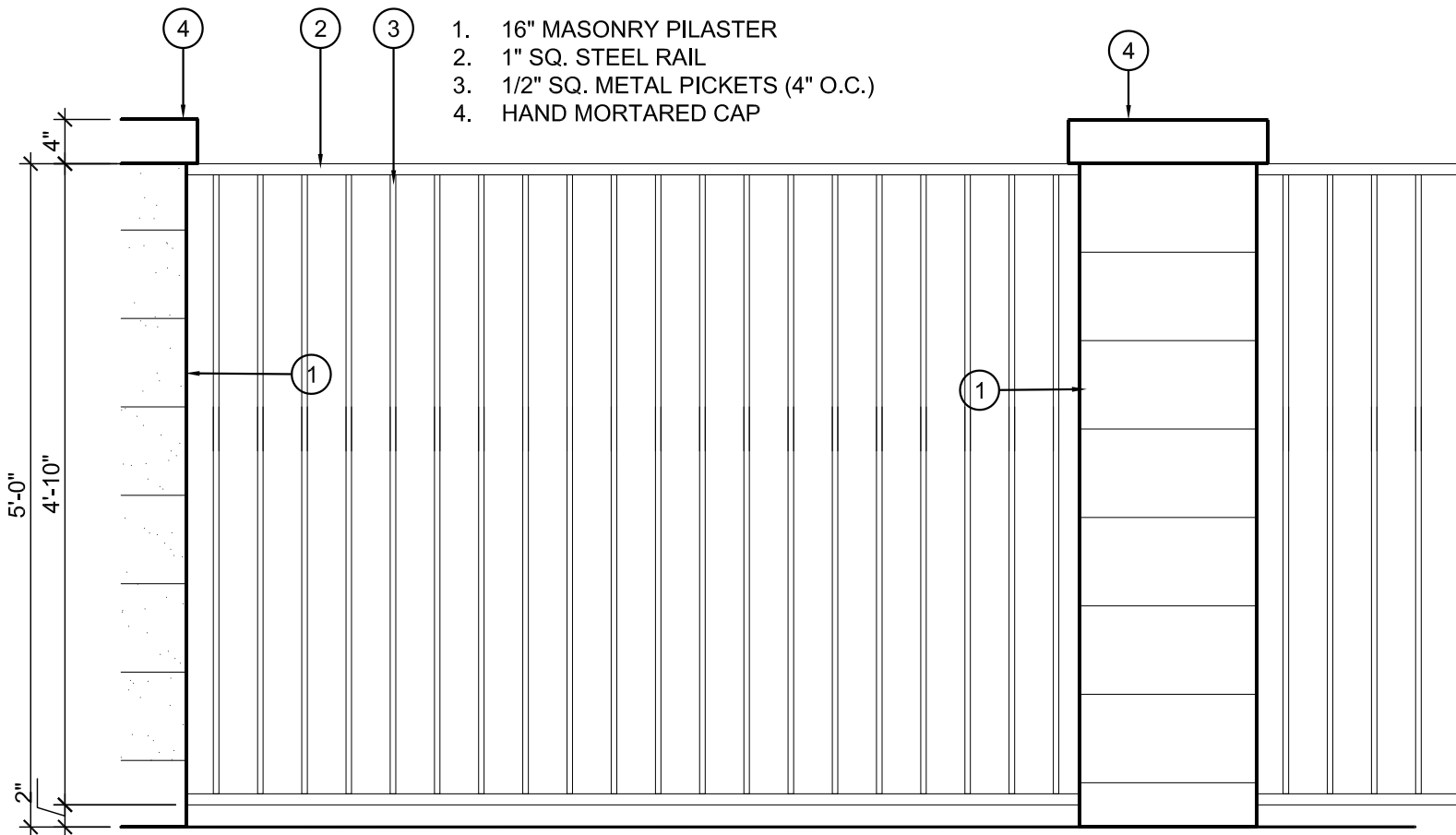
2 MASONRY/WROUGHT IRON COMBO THEME WALL DETAIL

SCALE : 3/4"=1'-0"



3 ENTRY GATE

SCALE : 3/4"=1'-0"



4 TYPICAL POOL FENCE ELEVATION

SCALE : 3/4"=1'-0"

Rev.	Date	Submittal
	10-30-2020	PRE-APPLICATION
	02-15-2021	Preliminary Site Plan Submittal
	04-15-2021	2nd Review DRB Submittal



EXPIRATION DATE: 09/30/2023
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Site Details

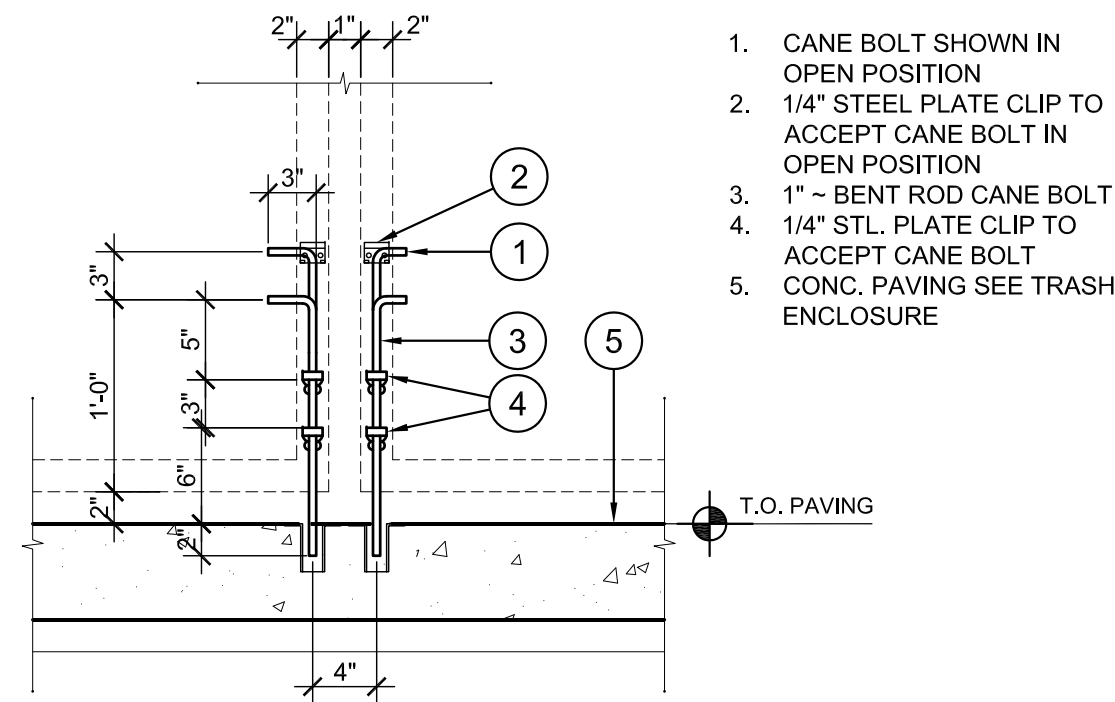
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Project No.	7620
Drawn By:	AP
Checked By:	AP
Approved By:	ED

Scale: AS NOTED

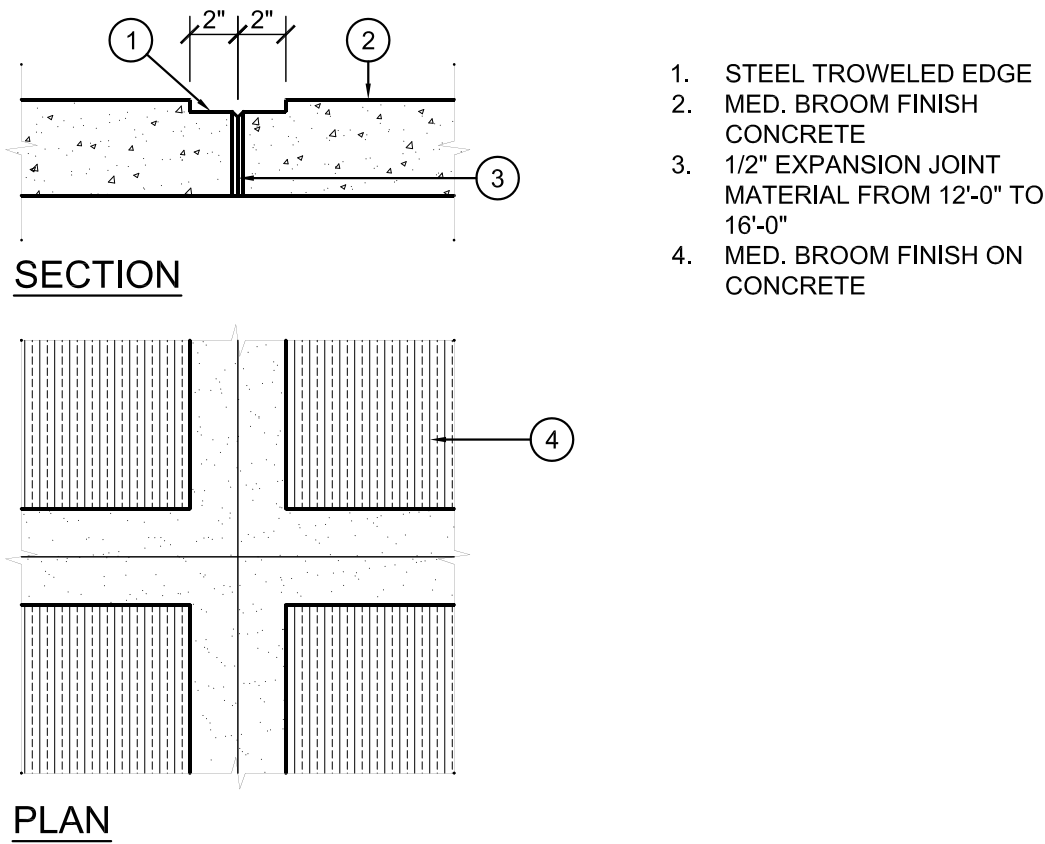
A120

MATERIALS FINISH SCHEDULE

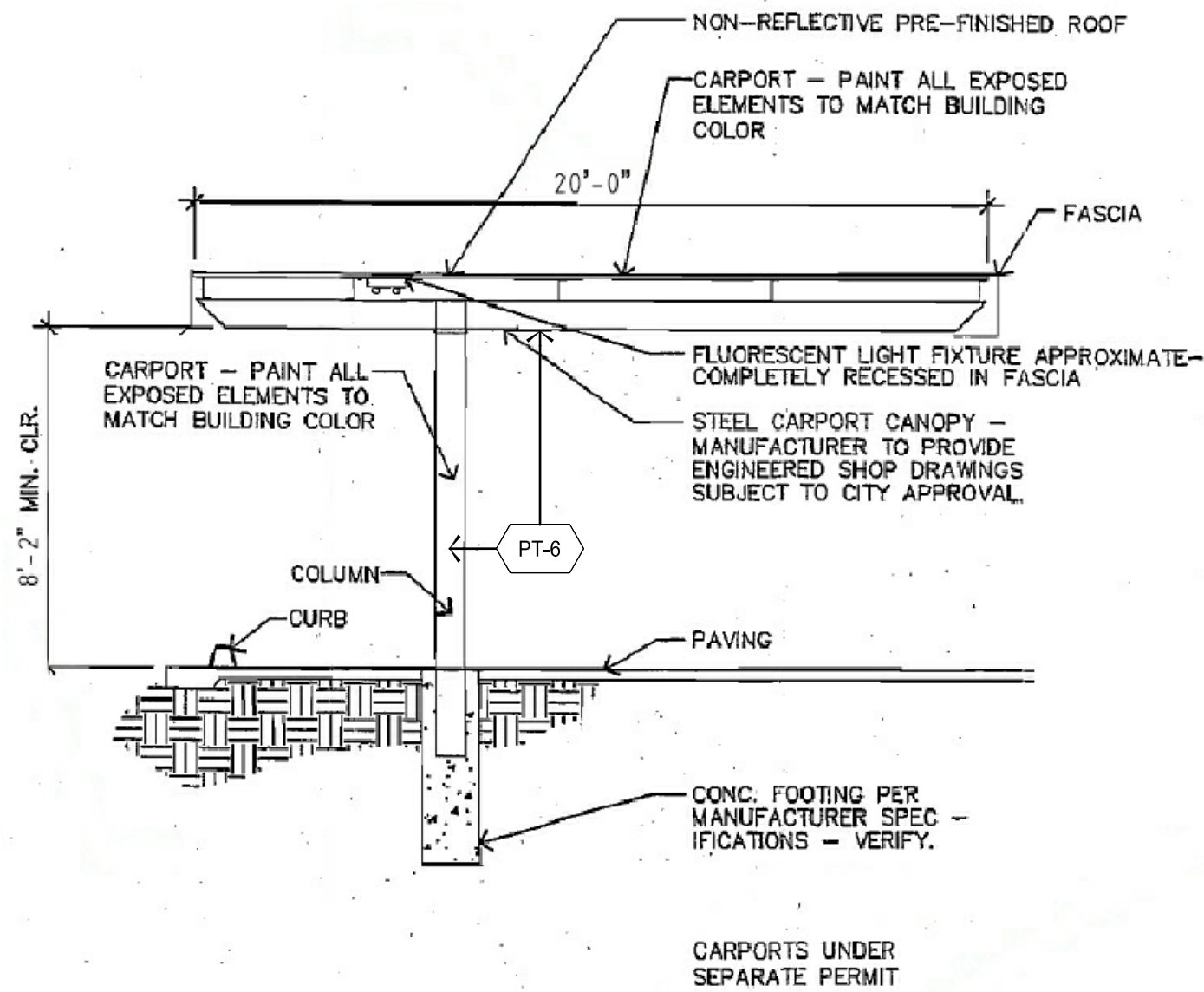
	MATERIAL	FINISH	MANUFACTURER	COLOR / MATERIAL PRODUCT CODE
PT-1	1-KOTE STUCCO SYSTEM	PAINT Body Color 1	Dunn Edwards	Barnwood Gray DET620
PT-2	1-KOTE STUCCO SYSTEM	PAINT Body Color 2	Dunn Edwards	Birchwood DEC752
PT-3	1-KOTE STUCCO SYSTEM	PAINT-(Option 1) Fascia / Balcony Rails / Front Doors	Dunn Edwards	Cocoa DEC755
PT-4	1-KOTE STUCCO SYSTEM	PAINT-(Option 2) Fascia / Balcony Rails / Front Doors	Dunn Edwards	Cocoa Powder DET631
PT-5	1-KOTE STUCCO SYSTEM	PAINT-(Option 3) Fascia / Railing / Front Doors	Dunn Edwards	Nomad DET697
PT-6	WROUGHT IRON / WOOD	PAINT Railing / Fascia / Site Walls	Shervin-Williams	Quaker Bronze
PT-7	SIDING WALLS	PAINT Railing / Fascia / Site Walls	Dunn Edwards	Pigeon Grey DE6214
R-1	CONCRETE ROOF TILE	ROOF TILE	Eagle Roofing	Roof Tile Finish 3106 CapistranoBrown, Black Flashed
ST-1	STONE VENEER	STONE VENEER	Coronado	Element LedgeStone -Mount Vernon
CMU-1	REGULAR 8 X 8 X 16	CMU BLOCK PAINTED PT-2		
CMU-2	SPLIT FACE 8 X 8 X 16	CMU BLOCK PAINTED PT-2		
CMU-3	REGULAR 8 X 8 X 16	MASONRY CAP PAINTED PT-2		
CMU-4	8 X 8 X 16	RIBBED BLOCK PAINTED PT-4		



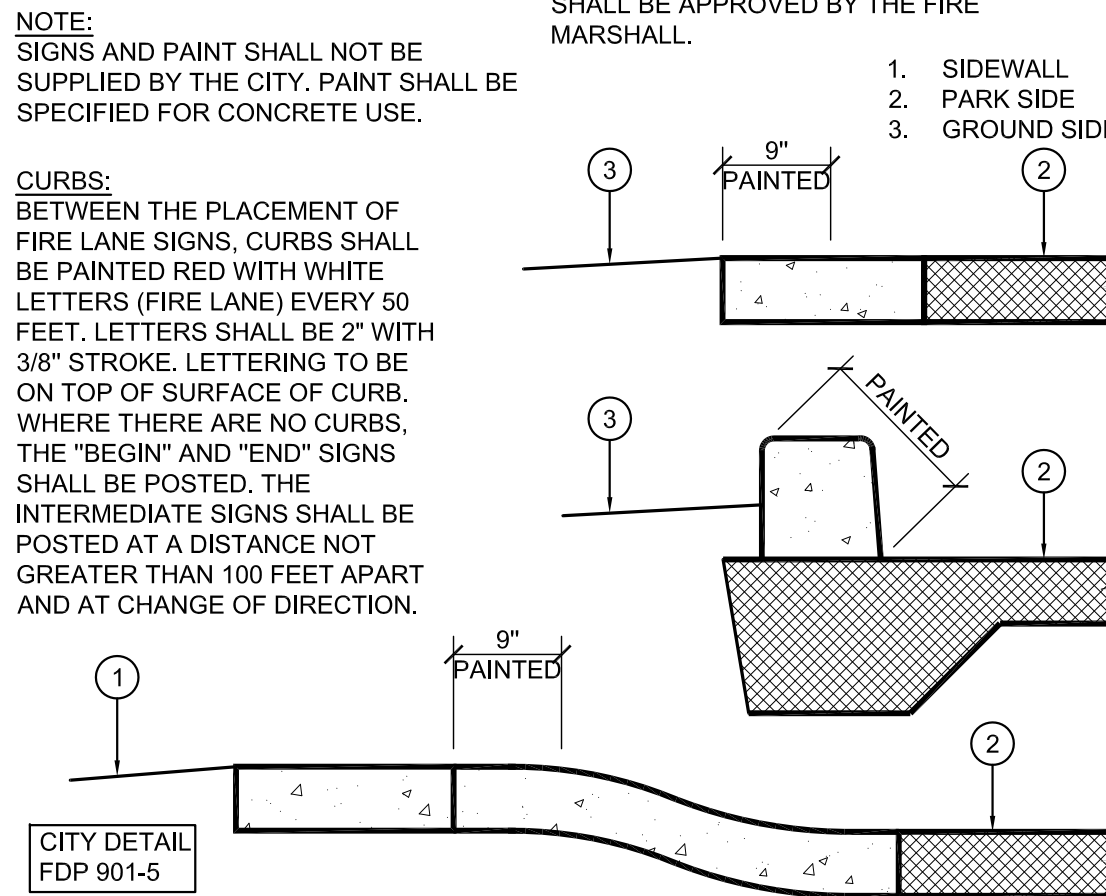
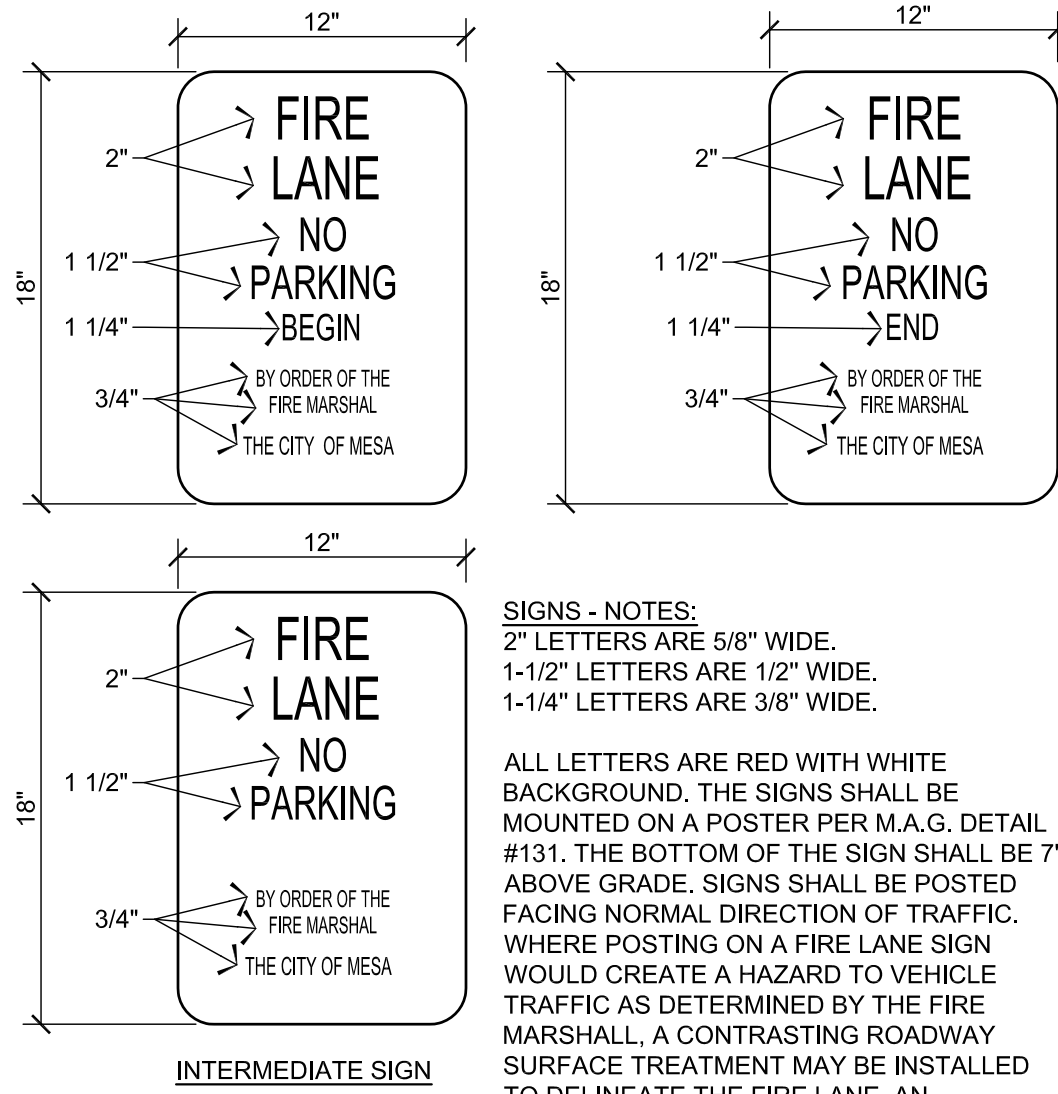
5 CANE BOLT DETAIL
SCALE: 1" = 1'-0"



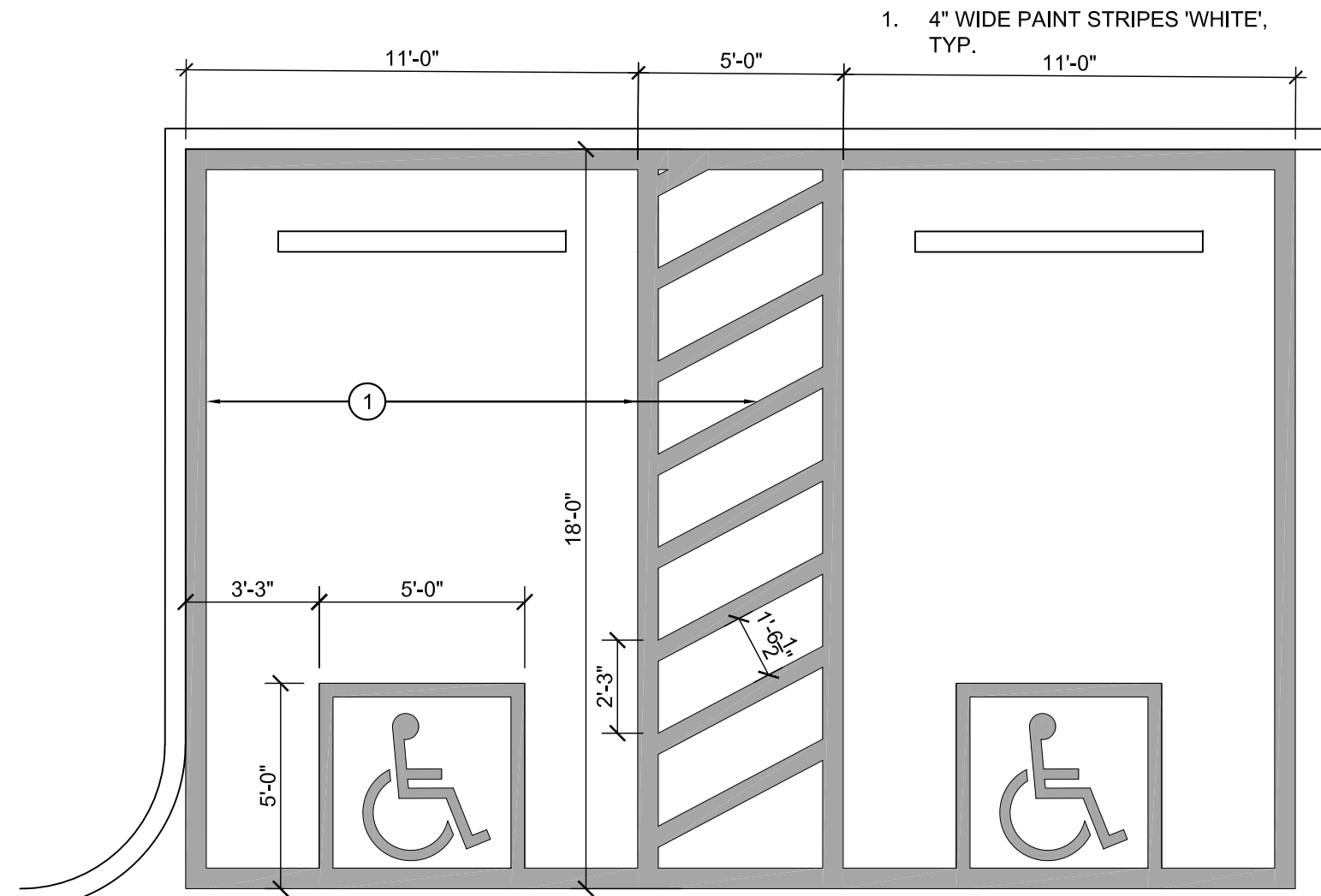
6 TYP. CONC. WALK FINISH
SCALE: 1-1/2" = 1'-0"



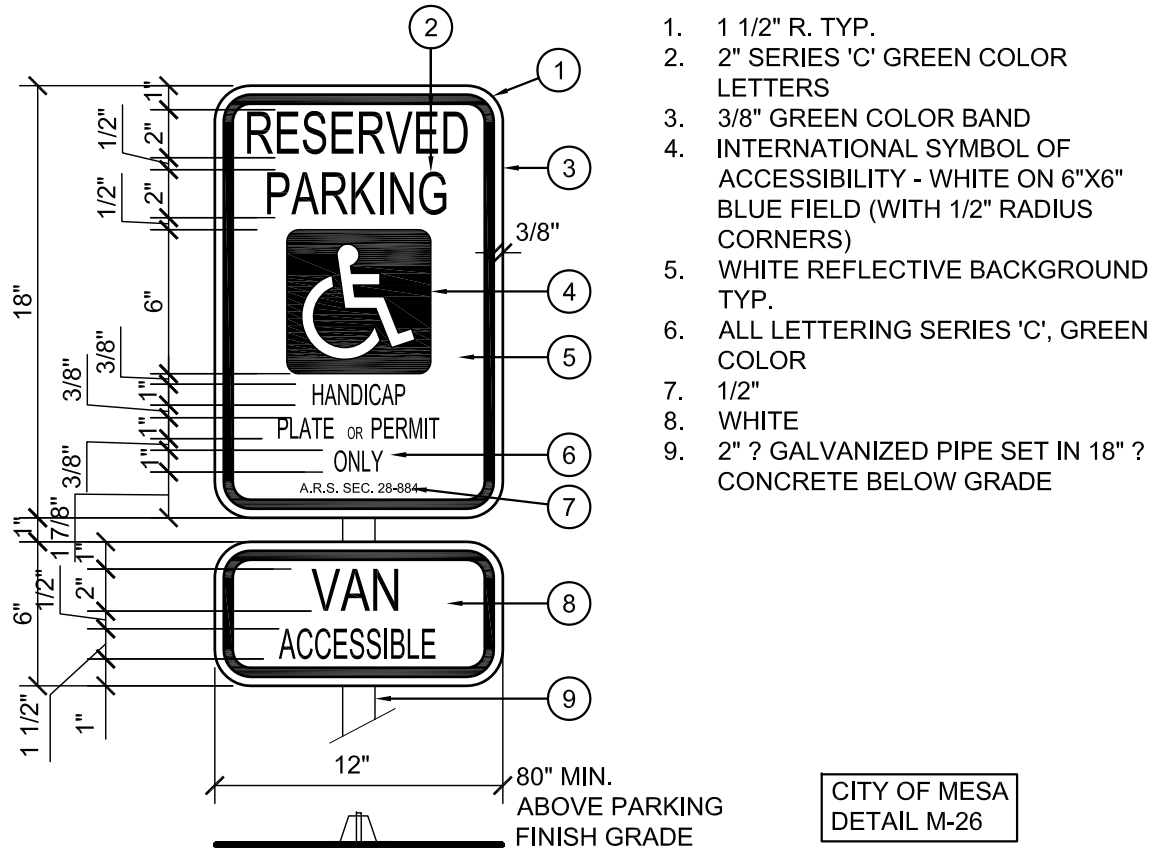
7 TYPICAL PARKING CANOPY
SCALE: 1/4" = 1'-0"



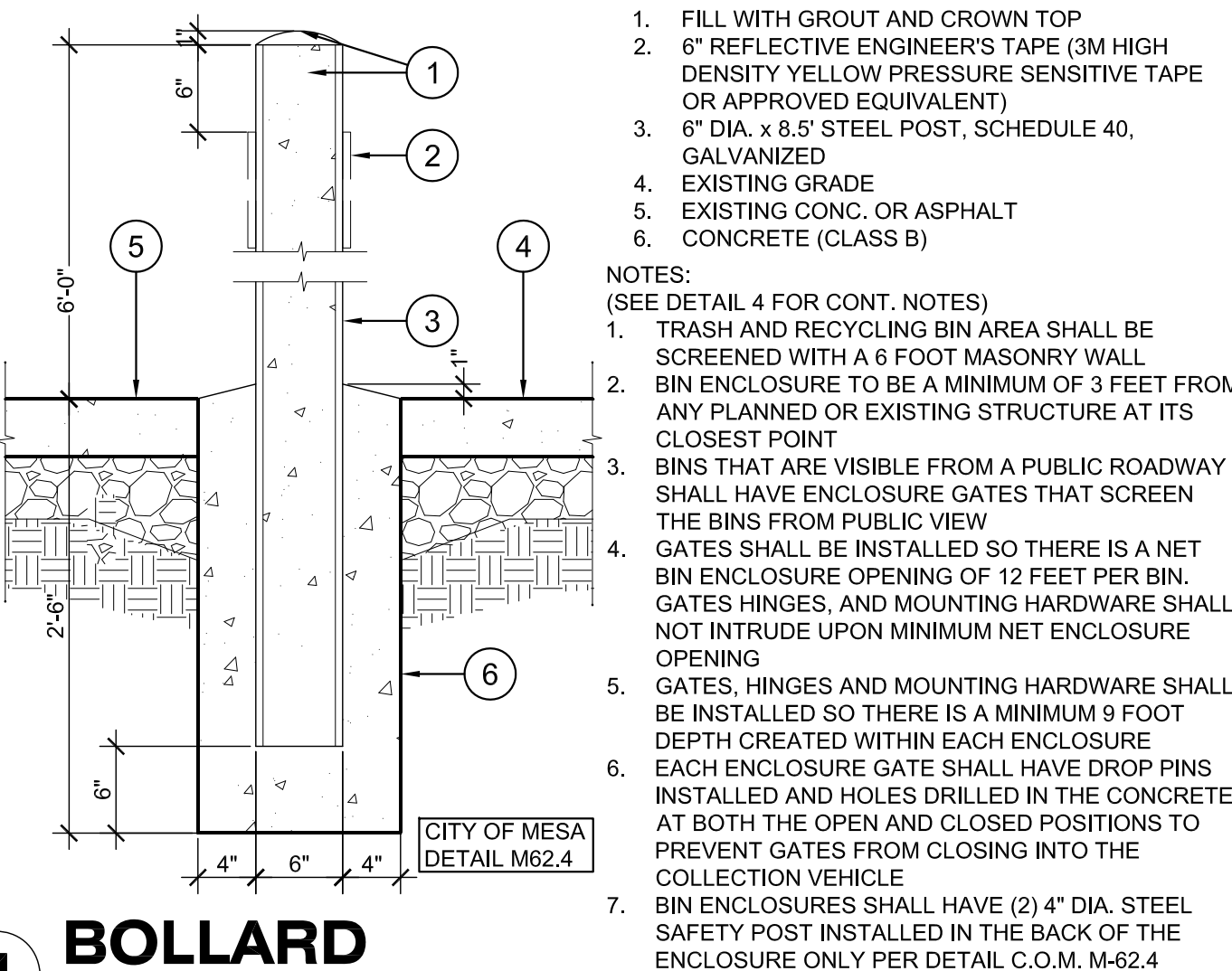
3 FIRE LANE SIGNAGE
SCALE: N.T.S.



1 ACCESSIBLE PARKING SPACE DTL
SCALE: 1/4" = 1'-0"



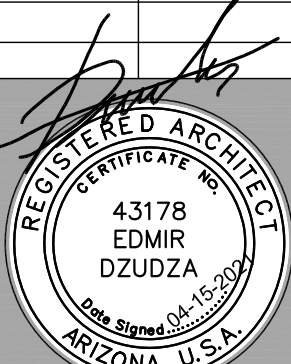
2 ACCESSIBLE SIGN
SCALE: 1-1/2" = 1'-0"



4 BOLLARD
SCALE: 1" = 1'-0"

MATERIALS FINISH SCHEDULE				
	MATERIAL	FINISH	MANUFACTURER	COLOR / MATERIAL PRODUCT CODE
PT-1	1-KOTE STUCCO SYSTEM	PAINT Body Color 1	Dunn Edwards	Barnwood Gray DET620
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PT-3	1-KOTE STUCCO SYSTEM	PAINT-(Option 1) Fascia / Balcony Rails / Front Doors	Dunn Edwards	Cocoa DEC755
PT-4	1-KOTE STUCCO SYSTEM	PAINT-(Option 2) Fascia / Balcony Rails / Front Doors	Dunn Edwards	Cocoa Powder DET631
PT-5	1-KOTE STUCCO SYSTEM	PAINT-(Option 3) Fascia / Railing / Front Doors	Dunn Edwards	Nomad DET697
PT-6	WROUGHT IRON / WOOD	PAINT Railing / Fascia / Site Walls	Sherwin -Williams	Quaker Bronze
PT-7	SIDING WALLS	PAINT Railing / Fascia / Site Walls	Dunn Edwards	Pigeon Grey DE6214
R-1	CONCRETE ROOF TILE	ROOF TILE	Eagle Roofing	Roof Tile Finish 3106 CapistranoBrown, Black Flashed
ST-1	STONE VENEER	STONE VENEER	Coronado	Element Ledgstone -Mounton Vernon
CMU-1	REGULAR 8 X 8 X 16 CMU BLOCK PAINTED PT-2			
CMU-2	SPLIT FACE 8 X 8 X 16 CMU BLOCK PAINTED PT-2			
CMU-3	REGULAR 8 X 8 X 16 MASONRY CAP PAINTED PT-2			
CMU-4	8 X 8 X 16 RIBBED BLOCK PAINTED PT-4			

Rev.	Date	Submittal
	10-30-2020	PRE-APPLICATION
	02-15-2021	Preliminary Site Plan Submittal
	04-15-2021	2nd Review DRB Submittal



EXPIRATION DATE: 09/30/2023
SIGNED AND SEALED
ELECTRONICALLY 04-15-2021

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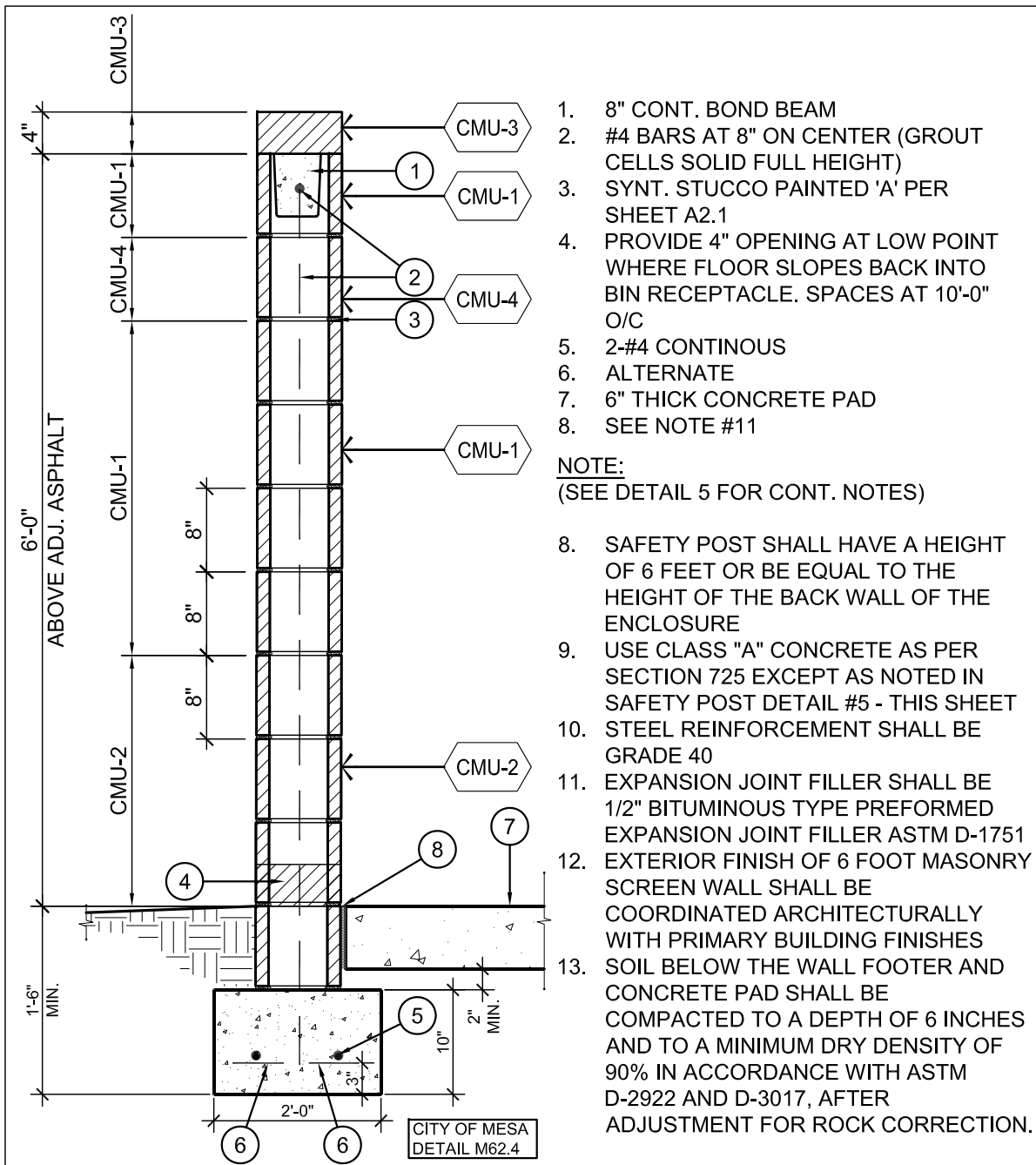
*Adobe
Luxury Villas*
5950 EAST ADOBE RD, MESA 85205

Site details

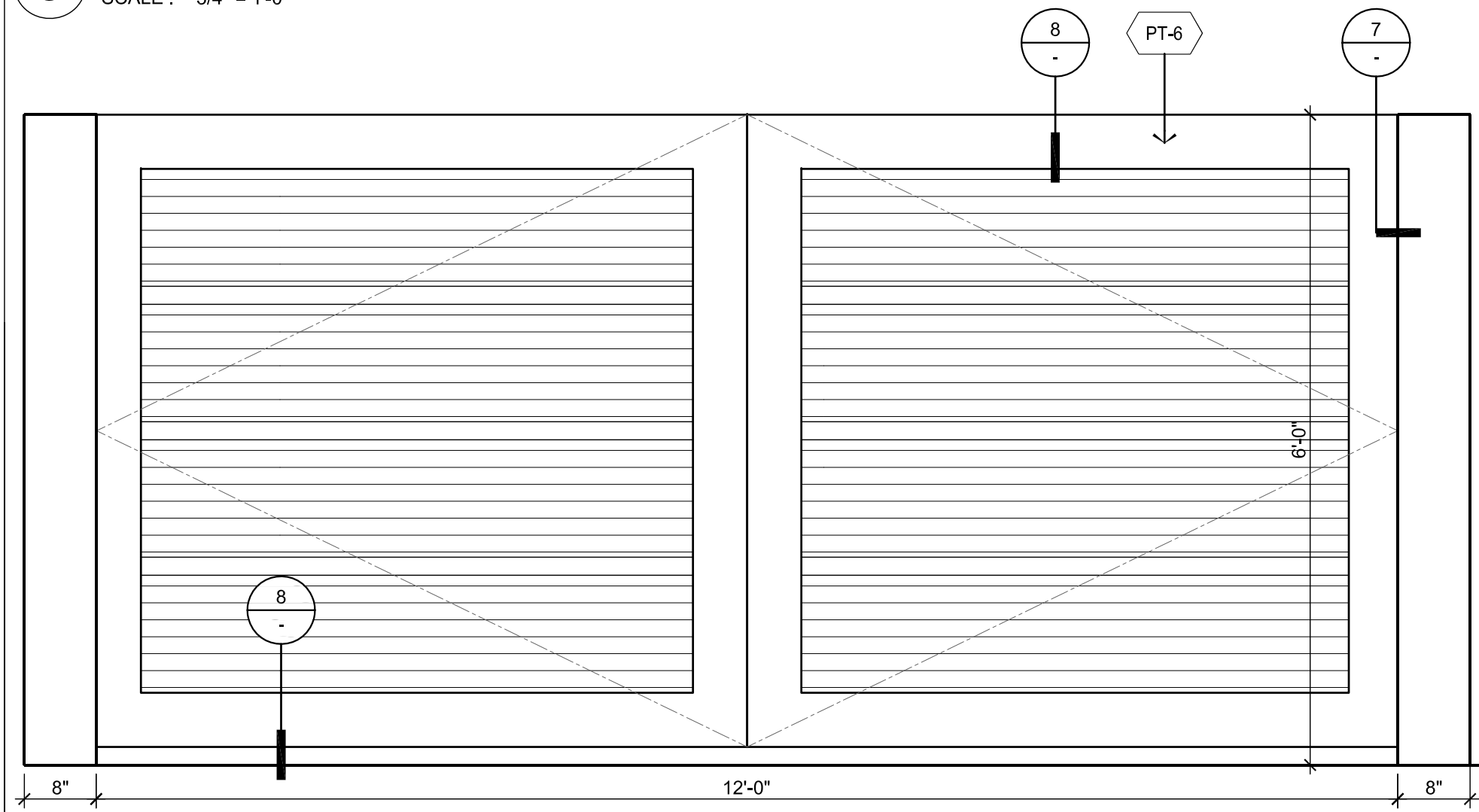
Date:	04-15-2021
Project No.	7620
Drawn By:	AP
Checked By:	AP
Approved By:	ED

Scale: AS NOTED

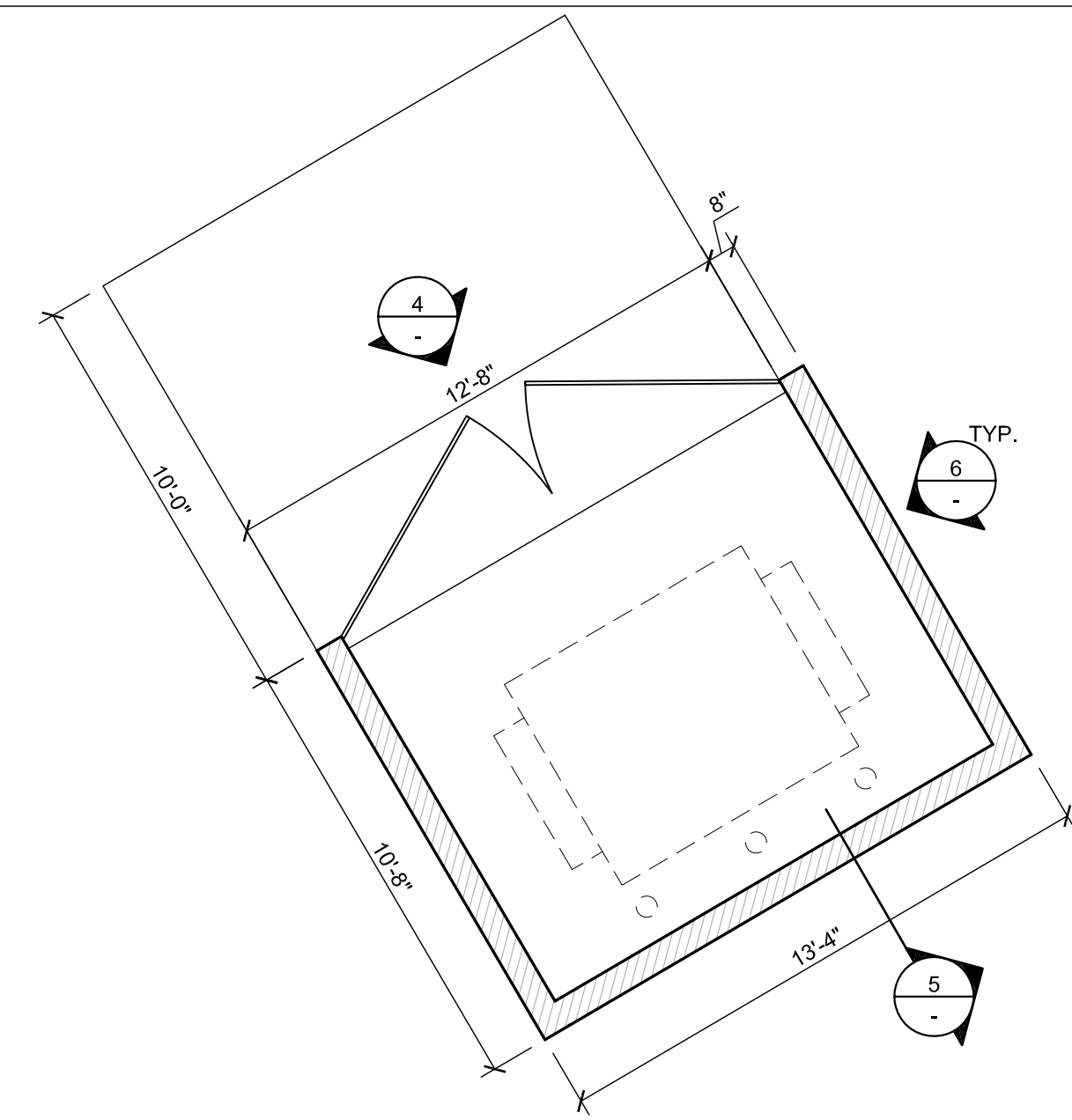
A150



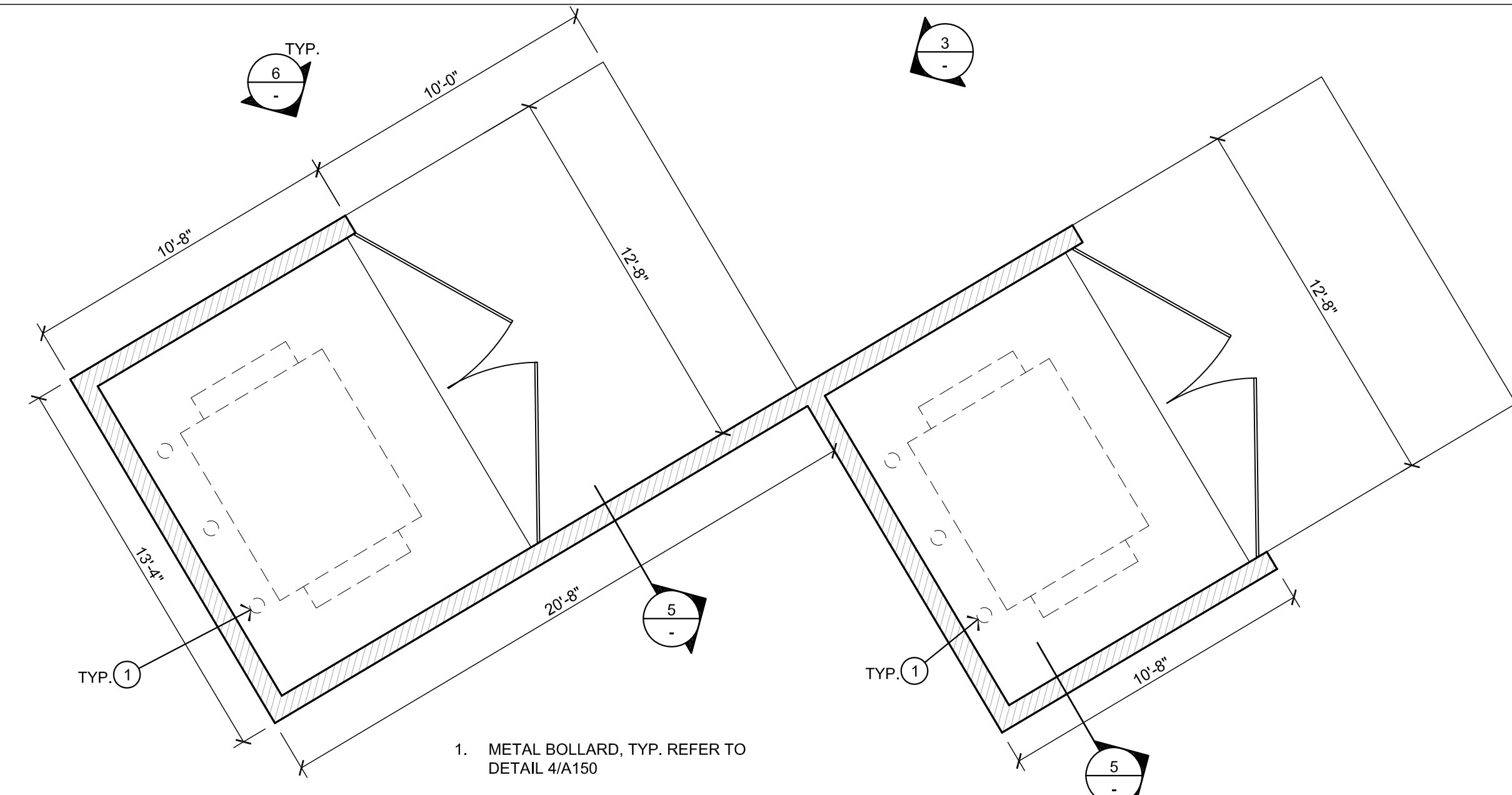
5 TRASH ENCLOSURE WALL
SCALE: 3/4" = 1'-0"



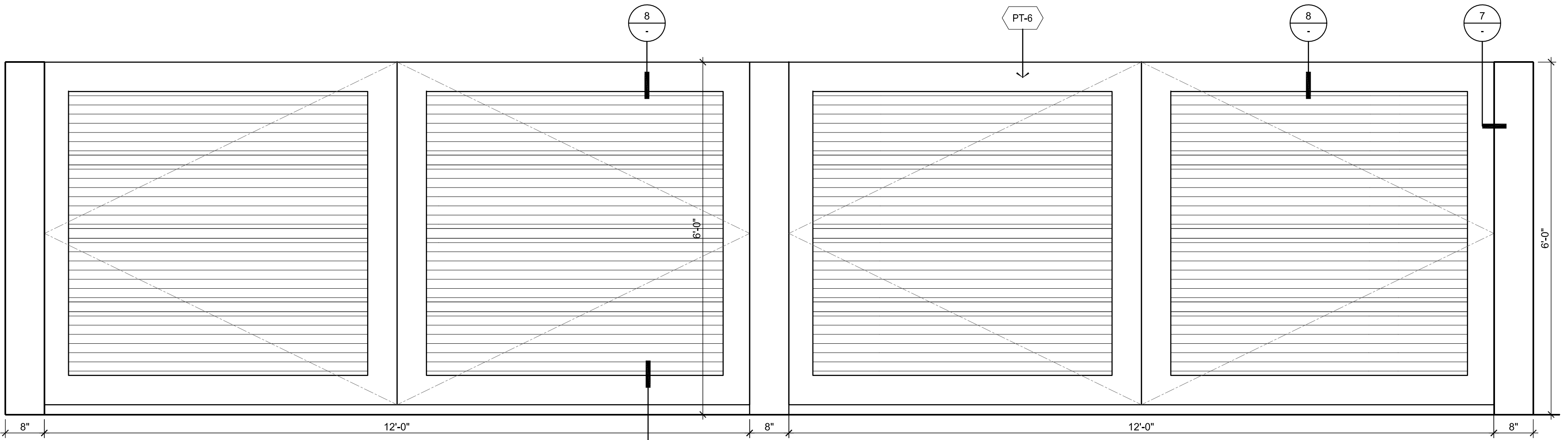
4 ENLARGED TRASH ENCLOSURE #2
SCALE: 3/4" = 1'-0"



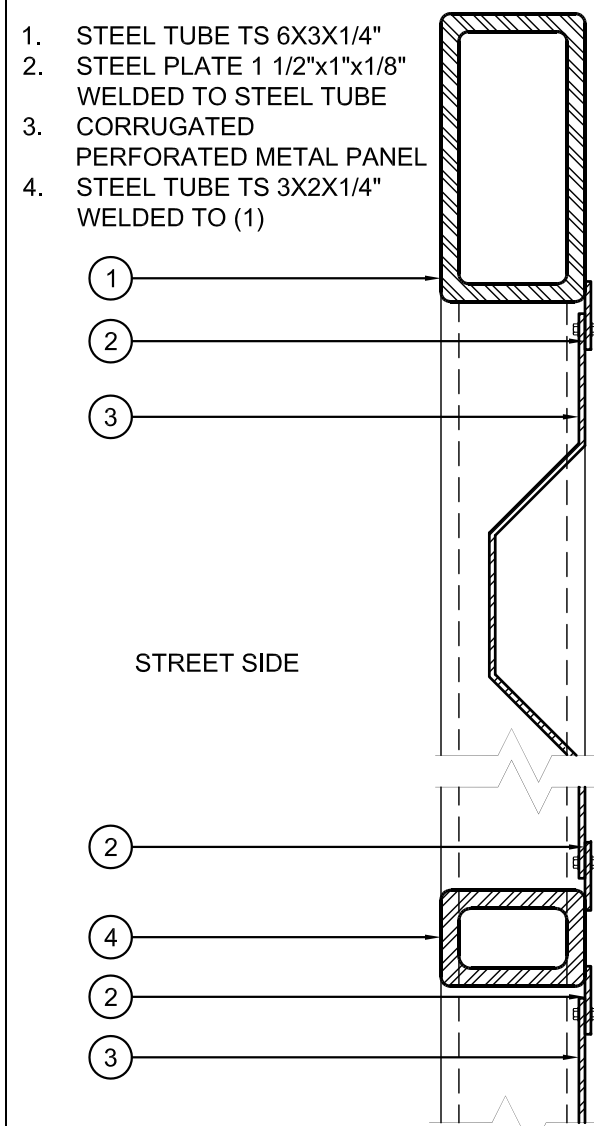
2 ENLARGED TRASH ENCLOSURE #2
SCALE: 1/4" = 1'-0"



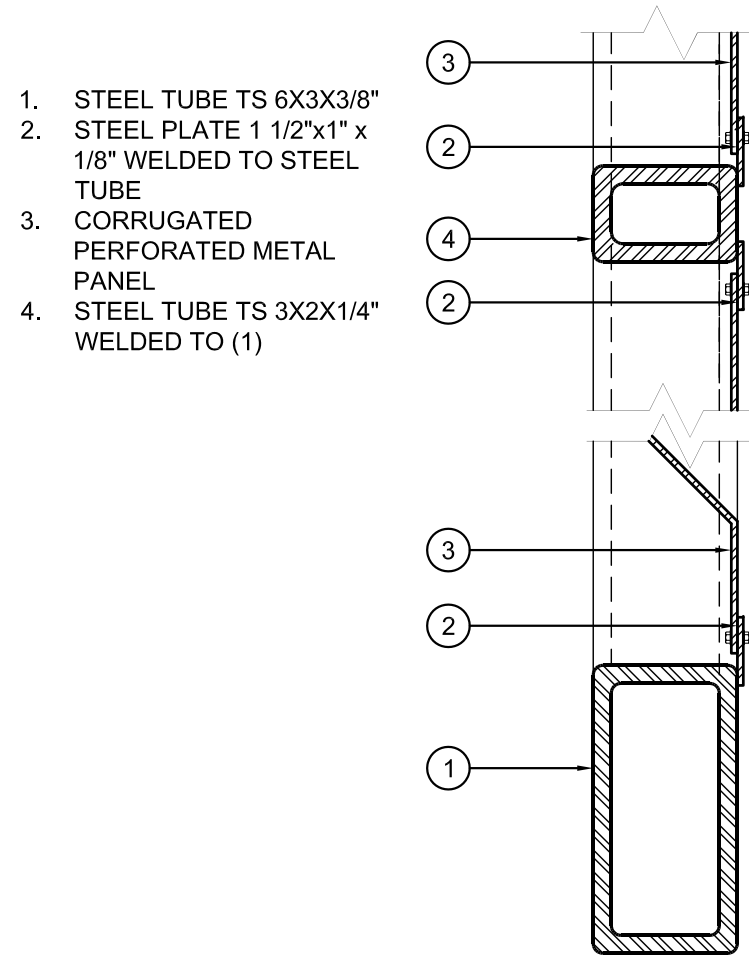
1 ENLARGED TRASH ENCLOSURE #1
SCALE: 1/4" = 1'-0"



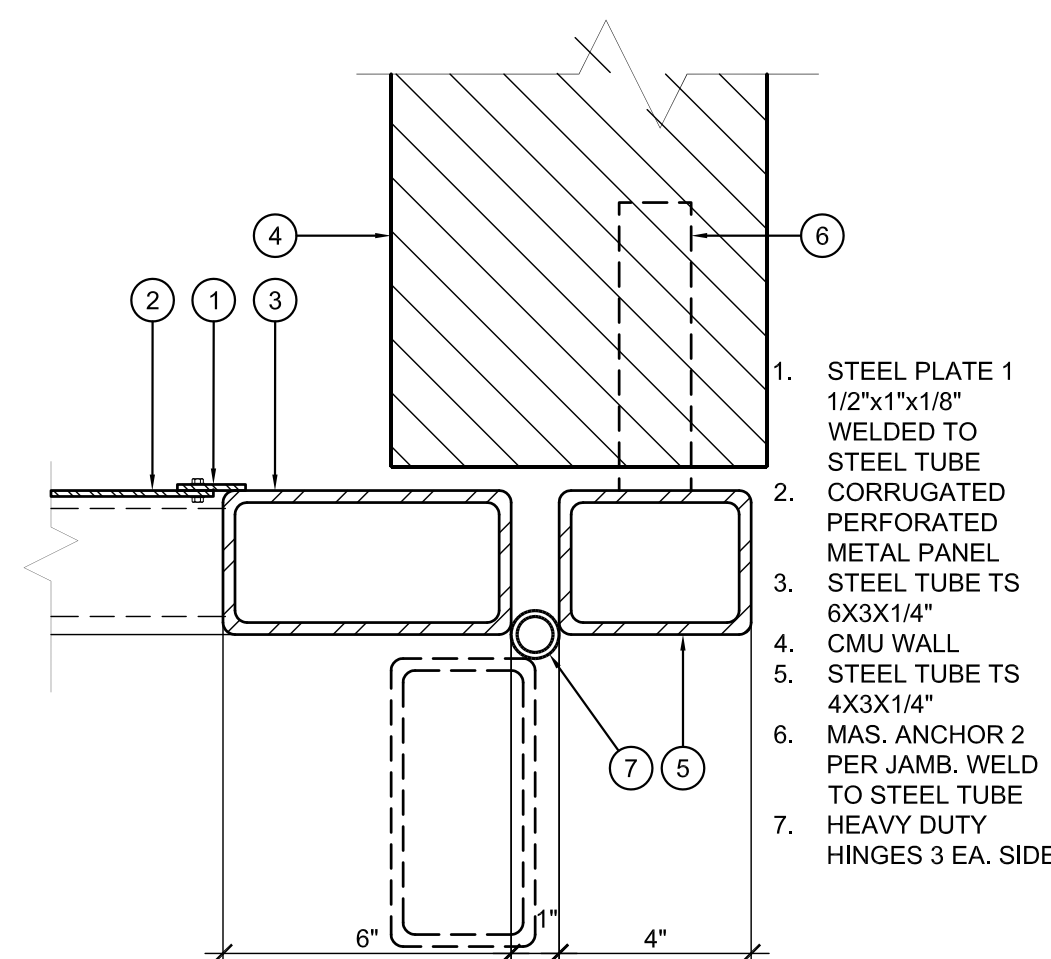
3 ENLARGED TRASH ENCLOSURE #1
SCALE: 3/4" = 1'-0"



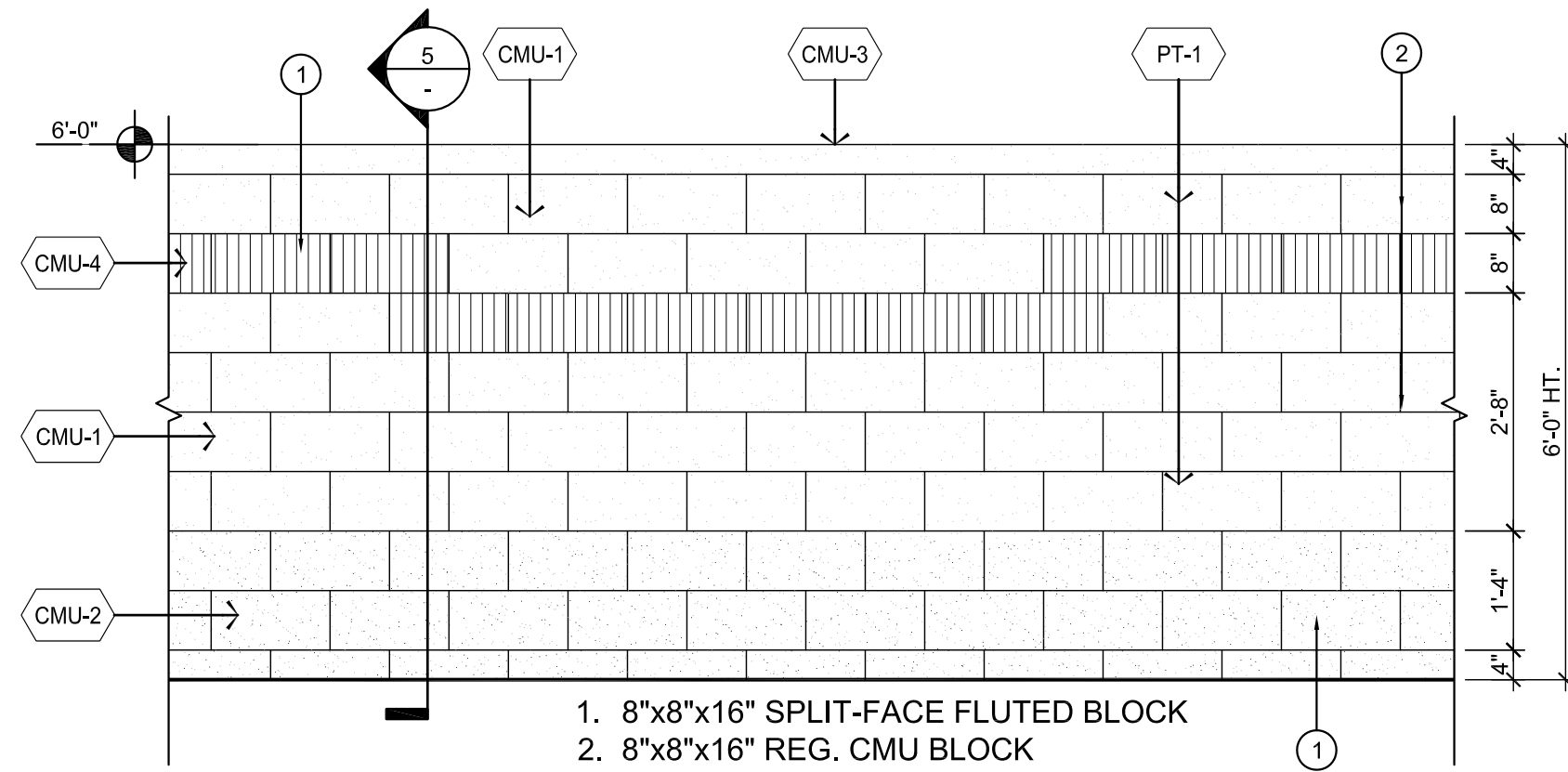
9 GATE DETAIL
SCALE: 3/4" = 1'-0"



8 GATE DETAIL
SCALE: 3/4" = 1'-0"



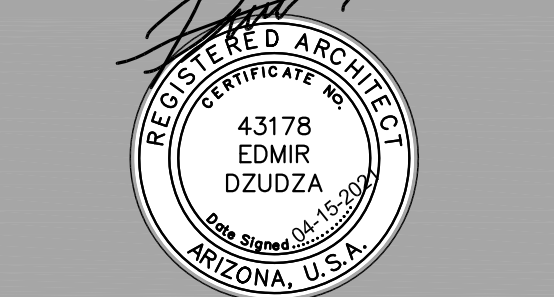
7 GATE HINGE DETAIL
SCALE: 3/4" = 1'-0"



6 TRASH ENCLOSURE WALL (TYP.)
SCALE: N.T.S.

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*Adobe
Luxury Villas*
5950 EAST ADOBE RD, MESA 85205

Trash Enclosure

Date:	04-15-2021
Project No.	7620
Drawn By:	AP
Checked By:	AP
Approved By:	ED

Scale: AS NOTED

A151