WITHEY MORRIS PLC
ATTORNEYS AT LAW

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2525 E. Arizona Biltmore Circle, Suite A-212, Phoenix, AZ 85016

Eastmark RV & Boat Storage
10630 E. Pecos Road, Mesa

Narrative Report for Site Plan Review & Design Review

Request

This office represents Mad Aim Investments, LLC regarding its request for Site Plan Review and Design Review to permit the development of an outdoor storage facility proposed on two parcels at 10630 E. Pecos Road, Mesa, AZ (the "Property"), as depicted in the attached aerial map at TAB 1.

Current Zoning

The subject property is zoned Light Industrial (LI) which allows outdoor RV and boat storage. As confirmed by City of Mesa staff, Commercial Parking, which includes outdoor RV and boat storage, is an allowed use in the LI zoning district and permits the proposed development by right.

Surrounding Uses

The area surrounding the site is mostly zoned LI (to the north and west) and GI (to the south). The surrounding land is vacant except to the building to the east. To the east is Westech Building Supplies which has an outdoor storage yard.

Site & Proposed Development

The applicant intends to develop the site for outdoor boat and vehicle storage consistent with the LI district development standards in MZO section 11-7-3. No new buildings, no canopies, no lighting nor permanent structures are proposed at this time, and therefore the character and image of the development will be established by the perimeter fence detail and streetscape landscaping.

The development is expected to accommodate approximately 300 RV storage spaces that range in size from 12'x20' to 14'x50'. The onsite RV storage area will be developed with a compacted ABC gravel surface except for retention basins and the landscape areas adjacent to the public streets. The property will have a 6' tall decorative perimeter wall with landscaping along its adjoining street frontages. Access to the site will be from 222nd Street with a gated entrance and electronic keypad.

Perimeter Wall

The perimeter wall will utilize part of the existing CMU wall along its eastern boundary. The remaining side and street frontages walls will be decorative and will include a pattern of smooth and split face block painted Dunn Edward Desert Suede and Dunn Edwards Treasure Chest. A rolling gate is proposed along the west side street frontage that will be perforated metal screening painted Dunn Edwards Treasure Chest as shown in the wall detail.

Landscape

A landscape plan has been prepared consistent with MZO Section 11-33 and the Mesa Gateway Strategic Development Plan (MGSDP) which recommends: “Design landscape improvements to respond to the desert environment, reduce heat islands, and reduce water consumption.” Landscaping for the facility will incorporate the use of desert adapted shrubs, groundcovers, and trees that will provide a sense of identity and be compatible with the existing landscape of the area. The theme aims to provide interest through the variety of plant sizes and materials, organized in a manner that provides a clean and open landscape consistent with the area. All walls and vehicle screening will consist of decorative block.

New landscape will be planted within the street landscape setbacks which will provide screening along this streetscape. The landscape plan includes a desert palette consisting of Red Push Pistache, Live Oak, Lantana groundcover, and six (6) species of desert shrubs. Trees will be staggered and planted. Per MZO Section 11-33-3, perimeter landscaping along the Pecos Road (arterial) and 222nd Street (collector) will consist of a minimum of one (1) tree and six (6) shrubs per twenty-five (25’) linear feet of street frontage. Minimum size of trees and shrubs will comply with MZO section 11-33-3.A.6

Grading and Drainage

The existing topography in the area generally slopes in a westerly direction. The project will be graded so that onsite and half street drainage will be captured and directed to the proposed on-site retention basins located along the southern boundary in accordance with the City of Mesa standards.

Site Plan Review Criteria

As an allowed use in the LI zoning district, a site plan review (SPR) application is required. Typically, SPR evaluates site access, circulation, building placement, pedestrian connectivity, parking, landscaping, and more. The SPR criteria is generally comprehensive because of the various site functions. However, in this instance, SPR is relatively streamlined because the site has minimal improvements and no buildings. Accordingly, much of the criteria used in a typical SPR is not necessarily applicable here. As listed in MZO section 11-69-5, the site conforms as follows:

1.The project shall be consistent with and conform to the adopted general plan and any applicable sub-area or neighborhood area plans, is consistent with all of the development standards of this Ordinance, and is consistent with any specific conditions of approval placed on the zoning of the property.

The 2040 Mesa General Plan character designation for this area is Employment, which allows LI zoning district and uses. The proposed development is a permitted use within the LI zoning district and is, by default, consistent with the General Plan. While a commercial parking lot is proposed today, no buildings are planned at this time. This allows the site to be reused in the future for a wider range of employment opportunities more aligned with the character plan such as large manufacturing facilities, warehouses, and business parks should the need arise.

2. The overall design of the project including its scale, massing, site plan, exterior design, and landscaping will enhance the appearance and features of the project site and surrounding natural and built environment.

The overall design is emphasized in the perimeter streetscape, landscaping, and walls since no other buildings are proposed. The site will be required to complete its half street right of way improvements which will enhance the appearance of the project site and surrounding area.

3. The project site plan is appropriate to the function of the project and will provide a suitable environment for occupants, visitors, and the general community.

The proposed site plan is ideally laid out for its intended outdoor storage use. The internal circulation, parking configuration, and access points provide a suitable environment for its users.

4. Project details, colors, materials, and landscaping, are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design.

The streetscape consists of landscape setbacks and perimeter walls that are decorative and appealing in a manner that is an improvement to the immediate area. The only other developed property is the land directly west which has a large storage area fenced without any decorative walls or landscaping. Our development will be a marked improvement for this area.

5. The project is compatible with neighboring development by avoiding big differences in building scale and character between developments on adjoining lots in the same zoning district and providing a harmonious transition in scale and character between different districts.

The only developed neighboring property is Westech Building Supply next door. That building has significant areas for outdoor storage which is compatible in scale and character with this proposed development.

6. The project contributes to the creation of a visually interesting built environment that includes a variety of building styles and designs with well-articulated structures that present well designed building facades, rooflines, and building heights within a unifying context that encourages increased pedestrian activity and promotes compatibility among neighboring land uses within the same or different districts.

This section is not applicable since no new buildings or structures are planned at this time. Any future building will be subject to these criteria.

7. The streetscapes, including street trees, lighting, and pedestrian furniture, are consistent with the character of activity centers, commercial districts and nearby residential neighborhoods.

The streetscape proposed with this development is consistent with the adjoining developed property's streetscape. Additionally, the streetscape is consistent with the Mesa Gateway Strategic Development Plan (MGSDP) which recommends "landscape improvements to respond to the desert environment, reduce heat islands, and reduce water consumption."

8. Street frontages are attractive and interesting for pedestrians and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.

The streetscape will be fully improved with curb, gutter, sidewalks and landscaped setbacks (Pecos Road only). The landscape setbacks will be attractively designed and enhanced per City code. This will be a tremendous improvement to Pecos Road which currently has no improvements today.

9. The proposed landscaping plan is suitable for the type of project and site conditions and will improve the appearance of the community by enhancing the building and site design; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Mesa's climate.

The landscape setbacks will be attractively designed and enhanced with plant materials that are drought tolerant, minimize water usage, and are compatible with Mesa's climate.

10. The project has been designed to be energy efficient including, but not limited to, building siting, and landscape design. For purposes of this criterion, buildings that meet environmental standards such as LEED™, Green Globe or equivalent third-party certification are considered to be energy efficient

This section is not applicable since no new buildings or structures are planned at this time. Any future building will be subject to these criteria.

IMPROVEMENT PLAN
FOR
EASTMARK RV & BOAT STORAGE

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

CITY OF MESA GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. THE INFORMATION SHOWN ON DRAWINGS CONCERNING THE TYPE AND LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER OR THE ENGINEER'S AGENT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.
   A. CALL 602-263-1100 OR 811 FOR BLUE STAKE SERVICES.
   B. CALL SALT RIVER POWER FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT 602-236-8888.
   C. CALL CITY OF MESA ELECTRICAL FOR POLE BRACING, ELECTRICAL SERVICE OR CONSTRUCTION SCHEDULING AT 480-644-2251 WITHIN CITY OF MESA ELECTRICAL SERVICE TERRITORY (DOWNTOWN MESA).
   D. WHEN EXCAVATING IN OR ADJACENT TO A CITY PARK OR AQUATIC FACILITY THE CONTRACTOR SHALL CONTACT AQUATICS AND PARKS MAINTENANCE AT 480-644-3097 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND UTILITY FACILITIES.
   E. WHEN EXCAVATING IN OR ADJACENT TO LANDSCAPING WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL CONTACT TRANSPORTATION FIELD OPERATIONS AT 480-644-3038 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND IRRIGATION FACILITIES.
3. THE CITY OF MESA HAS ADOPTED THE CITY OF PHOENIX 2007 TRAFFIC BARRICADE MANUAL. COPIES ARE AVAILABLE AT 1101 EAST JEFFERSON STREET, PHOENIX, ARIZONA. TELEPHONE 602-262-6235 OR http://phoenix.gov/streets/traffic/index.html. CITY OF MESA HAS ISSUED A SUPPLEMENT TO THE PHOENIX TRAFFIC BARRICADE MANUAL. COPIES ARE AVAILABLE AT DEVELOPMENT SERVICES, 55 N. CENTER ST., MESA, ARIZONA. TELEPHONE 480-644-2160 OR BOTH MANUALS ARE AVAILABLE ONLINE AT: http://www.mesaaz.gov/transportation/barricades.aspx
4. CONTRACTOR TO NOTIFY TRAFFIC OPERATIONS AT 480-644-3126 PRIOR TO SIGN REMOVAL AND WHEN READY TO PERMANENTLY RELOCATE SIGN.
5. CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL IRRIGATION DRY-UPS, RELOCATIONS, AND REMOVALS BY OTHERS.
6. CONTRACTOR SHALL POTHOLE EXISTING UTILITIES AHEAD OF CONSTRUCTION TO ALLOW FOR ANY NECESSARY ADJUSTMENTS IN GRADE LINE AND TO VERIFY PIPE MATERIALS FOR ORDERING THE APPROPRIATE TRANSITION AND TIE-IN FITTINGS THAT MAY BE REQUIRED.
7. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL ABANDONED UTILITIES THAT INTERFERE WITH PROPOSED IMPROVEMENTS. THE CITY OF MESA UTILITIES DEPARTMENT LOCATING SECTION WILL ASSIST THE CONTRACTOR AS NEEDED, IN DETERMINING IF THE UTILITY (GAS, WATER, AND WASTEWATER ONLY) IS ABANDONED BY CALLING 480-644-4500.
8. PRIOR TO START OF CONSTRUCTION ON PRIVATE PROPERTY (EASEMENTS), THE CONTRACTOR SHALL GIVE THE OWNER SUFFICIENT TIME (MINIMUM 48 HOURS) TO REMOVE ANY ITEMS IN CONFLICT WITH CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE TO REMOVE AND REPLACE ALL OTHER CONFLICTS AS REQUIRED.
9. THE CONTRACTOR SHALL COORDINATE WORK SCHEDULES TO PREVENT ANY CONFLICTING WORK CONDITIONS WITH THE CITY OF MESA UTILITY AND TRANSPORTATION CREWS.
10. THE CONTRACTOR IS ADVISED THAT A DUST CONTROL PERMIT AND A DUST CONTROL PLAN MAY BE REQUIRED BY THE MARICOPA COUNTY AIR QUALITY DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT, IF NECESSARY, AND COMPLY WITH ITS REQUIREMENTS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE DUST CONTROL PERMIT AND DUST CONTROL PLAN TO THE CITY FOR REVIEW.
11. INSPECTIONS SHALL BE PROVIDED BY THE CITY OF MESA. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION.
12. THE JOB SITE SHALL BE CLEANED OF ANY DEBRIS OR SPOIL RESULTING FROM THIS PROJECT AT THE COMPLETION OF CONSTRUCTION.
13. ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR SPECIFICATIONS, BUT REQUIRED TO COMPLETE THIS PROJECT, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THIS CONTRACT WORK (NO ADDITIONAL COST TO THE CITY).
14. WHEREVER PAVEMENT REPLACEMENT PER MESA STD DETAIL M-19.04 OR MAG STD DETAIL 200 IS REFERRED TO WITHIN THESE PLANS, BACKFILLING SHALL BE PER THE CITY OF MESA STREET TRENCH BACKFILLING AND PAVEMENT REPLACEMENT POLICY STATEMENT, REVISED SEPTEMBER 29, 1999.
15. FOR PURPOSES OF PAVEMENT PER MAG STD DETAIL 200 OR MESA STD DETAIL M-19.04, INTERSECTIONS ARE DEFINED BY THE CURB RETURNS IN ALL DIRECTIONS.
16. ANY SURVEY MARKERS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY A REGISTERED LAND SURVEYOR AT NO ADDITIONAL COST TO THE CITY.
17. ALL EXISTING PAVEMENT MARKINGS, SIGNS, AND SIGNAL EQUIPMENT THAT ARE NOT PART OF THIS PROJECT BUT NEED TO BE REMOVED, REPLACED, RELOCATED, OR REPAIRED BECAUSE OF CONTRACTOR'S WORK WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
18. THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. DEPENDING ON DAMAGES, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES OR SYSTEMS AS A RESULT OF CONTRACTOR'S NEGLIGENCE SHALL BE BORNE BY THE CONTRACTOR.

WATER, WASTEWATER, AND STORM DRAIN NOTES (CITY OF MESA)

1. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTERS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER LINE MATERIAL. THE COST SHALL BE INCLUDED IN THE LINEAR FOOT UNIT PRICE.
2. FOR THE APPROVED PRODUCT LIST FOR WATER AND WASTEWATER PRODUCTS SEE: http://www.mesaaz.gov/engineering/approvedproductslist.aspx.
3. MINOR VERTICAL OR HORIZONTAL DEFLECTIONS SHALL BE BY PIPE JOINT DEFLECTION UNLESS OTHERWISE NOTED. PIPE JOINT DEFLECTION SHALL NOT EXCEED 3 DEGREES OR 2/3 OF PIPE MANUFACTURER'S RECOMMENDATIONS WHICHEVER IS LESS.
4. WATER LINE TESTS SHALL BE COMPLETED SO THAT NO EXISTING LINES OR VALVES ARE INCLUDED IN THE TEST. A DAYTIME TIE-IN (BETWEEN 9:00AM AND 2:00PM) MAY BE REQUIRED BY CITY INSPECTOR. FOR A DAYTIME TIE-IN (BETWEEN 9:00AM AND 2:00PM), THE CONTRACTOR SHALL COMPLETE ALL WORK NECESSARY TO RESTORE UTILITY SERVICE AND FULLY OPEN THE TIE-IN AREA TO TRAFFIC WITHIN THE TIME ALLOWED.
5. WATER METERS, METER BOXES, LIDS, ETC. IN CONFLICT WITH NEW CONSTRUCTION SHALL BE RELOCATED TO THE PROPERTY LINE BY THE CONTRACTOR. THE RELOCATION SHALL INCLUDE ALL MATERIALS NECESSARY TO RECONNECT THE METER TO THE CITY DISTRIBUTION SYSTEM.
6. VALVES SHALL BE INSTALLED WITH VALVE BOX AND COVER PER MAG STD DETAILS 391-1, TYPE C; AND 391-2 IF 2" OPERATING NUT IS MORE THAN FIVE (5) FEET BELOW FINISHED GRADE OF THE CENTERLINE OF THE PIPE.
7. ALL WATER LINE PLUGS SHALL BE POURED CONCRETE. WATER LINE PLUGS FOR ACTIVE LINES SHALL CONFORM TO THE FOLLOWING:
   A. 12" AND SMALLER DIAMETER PER MESA STANDARD DETAIL M-50.
   B. 16" DIAMETER PER M.A.G. STANDARD DETAIL 390, TYPE B.
   C. GREATER THAN 16" DIAMETER, AS DESIGNED PER PLAN.
8. WHEN GROUTING OR CASTING CONCRETE AROUND PVC PIPE, CONTRACTOR SHALL USE WATER STOPS AS RECOMMENDED BY THE MANUFACTURER.
9. ALL WASTEWATER MANHOLES SHALL BE CONSTRUCTED PER MAG STD DETAILS 420-1, TYPE 'A' TOP; AND 423-2 EXCEPT THAT:
   A. ALL MANHOLE SHAFTS SHALL BE 5' INSIDE DIAMETER.
   B. ALL MANHOLE RINGS AND COVERS SHALL BE 30" DIAMETER.
   C. STEPS SHALL NOT BE INCLUDED.
10. ALL STORM DRAIN MANHOLES SHALL BE CONSTRUCTED PER MAG STD DETAILS 520, AND 522 EXCEPT THAT:
   A. ALL MANHOLE SHAFTS SHALL BE 5' INSIDE DIAMETER.
   B. STEPS SHALL NOT BE INCLUDED.

PAVING NOTES (CITY OF MESA)

1. CONTRACTOR SHALL COORDINATE ALL DRIVEWAY LOCATIONS WITH PRIVATE PROPERTY OWNERS AND THE CITY INSPECTOR.
2. FOR THE APPROVED LIST OF PAVING PRODUCTS SEE: http://www.mesaaz.gov/engineering/approvedproductslist.aspx.
3. ALL GUTTER GRADES LESS THAN 0.0020 FT/FT SHALL BE STAKED ALONG THE ACTUAL GUTTER ALIGNMENT (NOT OFFSET) AND CHECKED BY CITY OF MESA INSPECTOR IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
4. ALL FRAMES, COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE AFTER PLACEMENT OF ASPHALT CONCRETE SURFACE COURSE PER MAG STD DETAILS 270, 422, OR 391-1-C.

BENCHMARKS:

BENCHMARK NO. 1
CITY OF MESA
BRASS TAG AT TOP OF CURB AT THE NORTHEAST CURB RETURN OF SIGNAL BUTTE ROAD AND WARNER ROAD.
(COM NAVD88) ELEVATION=1453.68

BENCHMARK NO. 2
CITY OF MESA
BRASS TAG AT TOP OF CURB AT THE NORTHWEST CURB RETURN OF MERIDIAN ROAD AND WARNER ROAD.
(COM NAVD88) ELEVATION=1481.30

BASIS OF BEARING:

FOR THIS PROJECT IS N89°27'41"W FOR THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA & SALT RIVER MERIDIAN AS CALCULATED FROM THAT AMENDED PLSS SUBDIVISION RECORD OF SURVEY MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEYS RECORDED IN BOOK 609, PAGE 29, MARICOPA COUNTY RECORDS.

LEGAL DESCRIPTION:

PARCEL NO.1 (APN 304-34-016Z):

A PORTION OF PARCEL A, OF THE LAND SPLIT MAP RECORDED IN BOOK 696, PAGE 8, BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 35, SAID POINT BEING A 2 INCH MARICOPA COUNTY ALUMINUM CAP STAMPED L.S. #36563;

THENCE WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION35, A DISTANCE OF 1062.00 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUING WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 229.63 FEET, TO A POINT ON THE EXISTING 30 FOOT EAST RIGHT-OF-WAY LINE OF 222ND STREET, AS RECORDED DOCUMENT NO. 03-1096365, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 00° 56' 23" WEST, ALONG THE EXISTING 30 FOOT EAST RIGHT OF WAY LINE OF 222ND STREET, A DISTANCE OF 560.08 FEET; THENCE EAST, A DISTANCE OF 231.28 FEET;

THENCE SOUTH 00° 46' 17" EAST, A DISTANCE OF 560.05 FEET, TO THE POINT OF BEGINNING.

PARCEL NO. 2 (APN 304-34-931):

A PORTION OF PARCEL A, OF THE LAND SPLIT MAP RECORDED IN BOOK 696, PAGE 8, BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP I SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

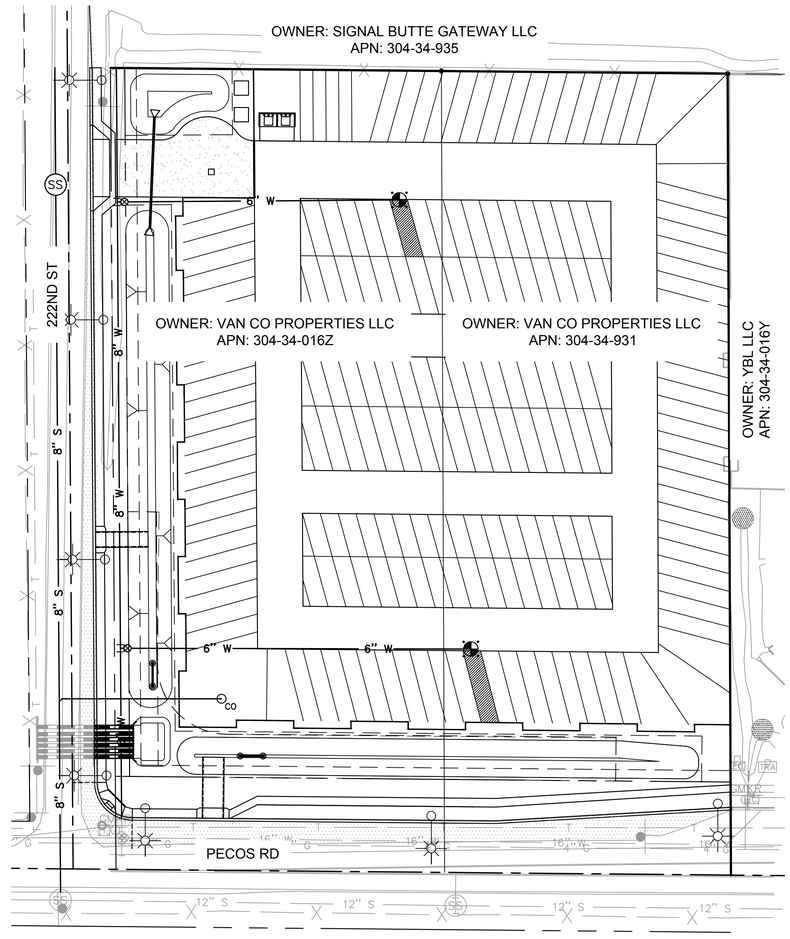
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 35, SAID POINT BEING A 2 INCH MARICOPA COUNTY ALUMINUM CAP STAMPED L.S. #36563;

THENCE WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 862.00 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUING WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 200.00 FEET; THENCE NORTH 00° 46' 17" WEST, A DISTANCE OF 560.05 FEET;

THENCE EAST, A DISTANCE OF 200.00 FEET;

THENCE SOUTH 00° 46' 17" EAST, A DISTANCE OF 560.05 FEET TO THE POINT OF BEGINNING.



NORTH

PROJECT LOCATION MAP
1" = 50'

OWNER/DEVELOPER:

MAD AIM INVESTMENTS, LLC
ATTEN: ALISON AVALOS
PO BOX 13006
CHANDLER, AZ 85248
PHONE: 480-510-1494
ALIAVALOS@GMAIL.COM

ENGINEER:

RITOCH-POWELL & ASSOCIATES
ATTN: JOHN BISHOP, PM
63 E. MAIN ST., STE 502
MESA, AZ 85201
PHONE: 480-539-7497
JBISHOP@RPAENG.COM

CONTRACTOR:

FLEMING COMPLETE
ATTN: ROBERT HAGGARD
1736 S. NEVADA WAY
MESA, ARIZONA 85204
PHONE: 480-237-0765
RHAGGARD@FLEMINGWEST.COM

PROJECT DESCRIPTION:

DESIGN BUILD PROJECT TO CONSTRUCT AN RV & BOAT STORAGE FACILITY.

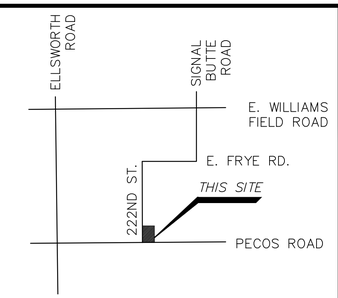
SITE INFORMATION AND PROJECT DATA:

ADDRESS: 10630 E. PECOS ROAD, MESA, AZ 85212

ASSESSOR'S NUMBER(S): APN# 304-34-016Z (2.963 ACRES)
APN#304-34-931 (2.571 ACRES)

GROSS AREA: 257,704 SF (5.916 ACRES)
NET AREA: 208,170 SF (4.779 ACRES)

NOTE: THERE ARE NO BUILDINGS OR CANOPIES PROPOSED IN THIS PLAN. ANY FUTURE DEVELOPMENTS FOR THOSE STRUCTURES WILL REQUIRE FIRE SPRINKLERS PER MESA AMENDED FIRE CODE SECTION 903.2. THE PLANS FOR THE POTENTIAL FUTURE FIRE SPRINKLER SYSTEM WILL BE DEFERRED.



NORTH

VICINITY MAP
NTS

SHEET INDEX

SHEET NO.	DWG NO.	SHEET
1	CV01	COVER SHEET
2	DT01	GRADING SECTIONS AND DETAILS
3	GD01	GRADING AND DRAINAGE PLAN
4	PV01	ONSITE PAVING PLAN
5	HC01	HORIZONTAL CONTROL PLAN
6	SP01	PECOS ROAD PAVING PLAN
7-8	SP02-SP03	222ND STREET PAVING PLAN
9	ST01	STRIPING PLAN
10	WT01	WATER PLAN
11-12	SW01-SW02	SEWER PLAN
13	EC01	EROSION CONTROL PLAN
14-18	LT01-LT05	LIGHTING PLAN BY Y2K ENGINEERING

LEGEND

- 1040 — PROPOSED CONTOUR LINE
- 1040 — EXISTING CONTOUR LINE
- FLOW ARROW
- FG XX.XX — PROPOSED FINISHED GRADE ELEVATION
- EG XX.XX — EXISTING GROUND ELEVATION
- SAWCUT LINE
- PROPERTY LINE
- EASEMENT/BUILDING SETBACK LINE
- SECTION LINE
- RIGHT OF WAY
- OHE — EXISTING OVERHEAD ELECTRIC
- X — EXISTING FENCE
- W — EXISTING WATER LINE
- S — EXISTING SEWER LINE
- UGE — EXISTING UNDERGROUND ELECTRIC
- EXISTING STORM DRAIN
- T — EXISTING TELEPHONE SERVICE
- G — EXISTING GAS LINE
- PROPERTY CORNER
- W — EXISTING WATER METER
- SS — EXISTING SEWER MANHOLE
- SD — EXISTING STORM DRAIN MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING PEDESTAL
- EXISTING POWER POLE
- EXISTING SIGN
- EXISTING OVERHEAD LIGHT

DRAINAGE STATEMENT:

V=C x P/12 x A

RETENTION BASIN RB-24:
V = 0.70 x 2.2/12 x 5.916 = 0.759 AC-FT = 33,062 CF (REQUIRED)
RETENTION VOLUME PROVIDED: 0.84 AC-FT = 36,590 CF

ESTIMATE EARTHWORK:

CUT = 7,717 CY
FILL = 4,506 CY
NET = 3,211 CY (CUT)

ABOVE NUMBERS DO NOT REFLECT SHRINK/SWELL, PRE-COMPACTION, OR LOSSES DUE TO OVER EXCAVATION.

RETENTION BASIN TABLE

	TOP ELEV.	BOT ELEV.	HIGHWATER ELEV.	VOLUME REQUIRED (CF)	VOLUME REQUIRED (AC-FT)	VOLUME PROVIDED (CF)	VOLUME PROVIDED (AC-FT)
BASIN A	1416.50	1413.50	1414.14	436	0.01	436	0.01
BASIN B	1414.80	1411.30	1414.78	20,473	0.47	20,909	0.48
BASIN C	1414.90	1411.90	1414.57	12,197	0.28	14,810	0.34

FLOOD ZONE:

THE PROJECT SITE FOR EASTMARK RV & BOAT STORAGE ARE SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) NUMBER 04013C2790L, EFFECTIVE OCTOBER 16, 2013. THIS SITE IS LOCATED IN AN AREA CLASSIFIED AS ZONE X, WHICH IS DESCRIBED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. THEREFORE, THE SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA.

CITY OF MESA APPROVAL

SIGNATURE DATE

MCESD APPROVAL

SIGNATURE DATE

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

NO.	DATE	BY	REVISION

RITOCH-POWELL & Associates
602-263-1177
www.ritochpowell.com

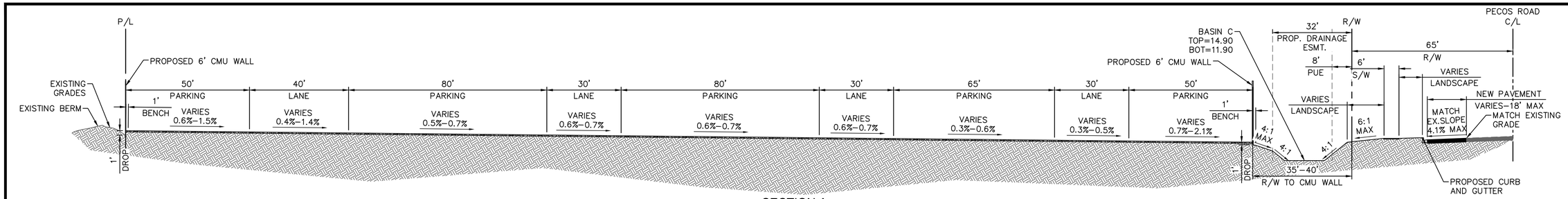
Registered Professional Engineer (Civil) CERTIFICATE NO. 57420 JOHN W. CATT Date Signed 4/29/2021 ARIZONA, U.S.A. REGIONAL
EXPIRES 06/30/2023

EASTMARK RV & BOAT STORAGE
COVER SHEET
MESA, ARIZONA
MARICOPA COUNTY

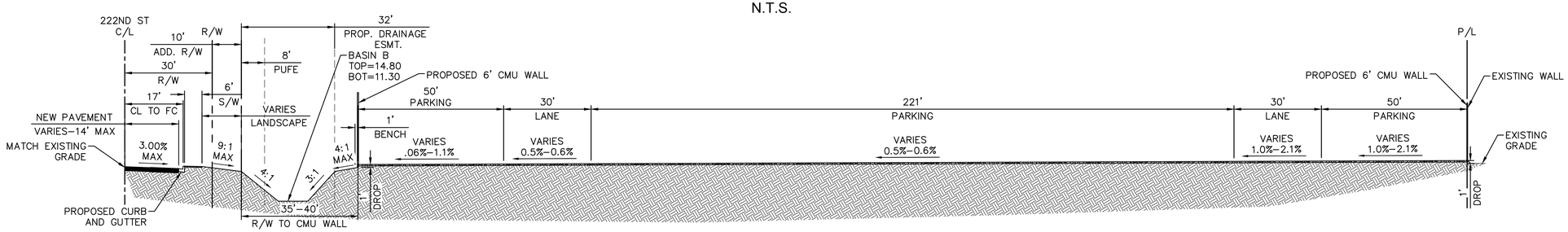
JOB NO.:	220038
DESIGN BY:	DN
DRAWN BY:	DN
CHECKED:	JC
DATE:	4/29/2021

DWG. CV01
SHEET 1 OF 18

FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\01-220038-GD-CV01.dwg
DATE: Apr 29, 2021



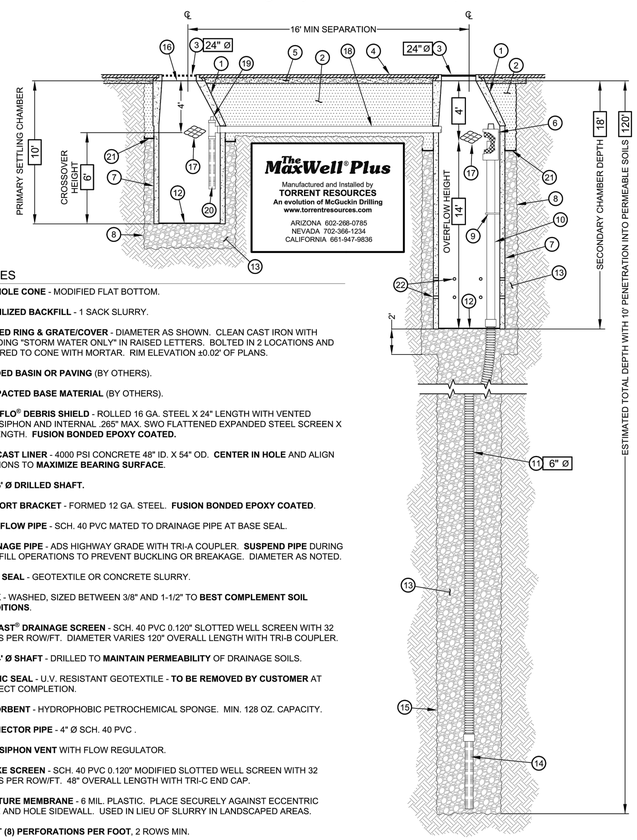
SECTION A
N.T.S.



SECTION B
N.T.S.

EastMark RV Storage - Mesa

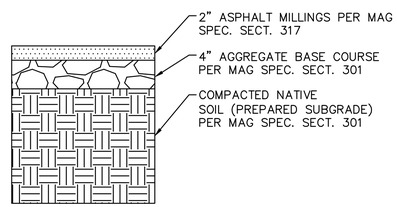
The MaxWell® Plus Drainage System Detail And Specifications



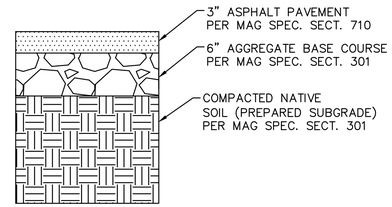
AZ MAXWELL PLUS

NOTES

1. **MANHOLE CONE** - MODIFIED FLAT BOTTOM.
2. **STABILIZED BACKFILL** - 1 SACK SLURRY.
3. **BOLTED RING & GRATE/COVER** - DIAMETER AS SHOWN. CLEAN CAST IRON WITH WORDING "STORM WATER ONLY" IN RAISED LETTERS. BOLTED IN 2 LOCATIONS AND SECURED TO CONE WITH MORTAR. RIM ELEVATION ±0.02' OF PLANS.
4. **GRADED BASIN OR PAVING** (BY OTHERS).
5. **COMPACTED BASE MATERIAL** (BY OTHERS).
6. **PUREFLO® DEBRIS SHIELD** - ROLLED 16 GA. STEEL X 24" LENGTH WITH VENTED ANTI-SIPHON AND INTERNAL .265" MAX. SWO FLATTENED EXPANDED STEEL SCREEN X 12" LENGTH. **FUSION BONDED EPOXY COATED.**
7. **PRE-CAST LINER** - 4000 PSI CONCRETE 48" ID. X 54" OD. **CENTER IN HOLE** AND ALIGN SECTIONS TO **MAXIMIZE BEARING SURFACE**.
8. **MIN. 6' Ø DRILLED SHAFT.**
9. **SUPPORT BRACKET** - FORMED 12 GA. STEEL. **FUSION BONDED EPOXY COATED**.
10. **OVERFLOW PIPE** - SCH. 40 PVC MATED TO DRAINAGE PIPE AT BASE SEAL.
11. **DRAINAGE PIPE** - ADS HIGHWAY GRADE WITH TRI-A COUPLER. **SUSPEND PIPE** DURING BACKFILL OPERATIONS TO PREVENT BUCKLING OR BREAKAGE. DIAMETER AS NOTED.
12. **BASE SEAL** - GEOTEXTILE OR CONCRETE SLURRY.
13. **ROCK** - WASHED, SIZED BETWEEN 3/8" AND 1-1/2" TO **BEST COMPLEMENT SOIL CONDITIONS**.
14. **FLOFAST® DRAINAGE SCREEN** - SCH. 40 PVC 0.120" SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FT. DIAMETER VARIES 120" OVERALL LENGTH WITH TRI-B COUPLER.
15. **MIN. 4' Ø SHAFT** - DRILLED TO **MAINTAIN PERMEABILITY** OF DRAINAGE SOILS.
16. **FABRIC SEAL** - U.V. RESISTANT GEOTEXTILE - **TO BE REMOVED BY CUSTOMER** AT PROJECT COMPLETION.
17. **ABSORBENT** - HYDROPHOBIC PETROCHEMICAL SPONGE. MIN. 128 OZ. CAPACITY.
18. **CONNECTOR PIPE** - 4" Ø SCH. 40 PVC .
19. **ANTI-SIPHON VENT** WITH FLOW REGULATOR.
20. **INTAKE SCREEN** - SCH. 40 PVC 0.120" MODIFIED SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FT. 48" OVERALL LENGTH WITH TRI-C END CAP.
21. **MOISTURE MEMBRANE** - 6 MIL. PLASTIC. PLACE SECURELY AGAINST ECCENTRIC CONE AND HOLE SIDEWALL. USED IN LIEU OF SLURRY IN LANDSCAPED AREAS.
22. **EIGHT (8) PERFORATIONS PER FOOT**, 2 ROWS MIN.



COMPACTED ABC SECTION DETAIL



ASPHALT PAVEMENT SECTION DETAIL

SOUTHWEST ADA RAMP GRADING
SCALE: 1"=5'

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ARIZONA 811
Call 811 or click Arizona811.com

NO.	DATE	BY	REVISION

RITOCH-POWELL & Associates
RPA
602-263-1177
www.ritochpowell.com

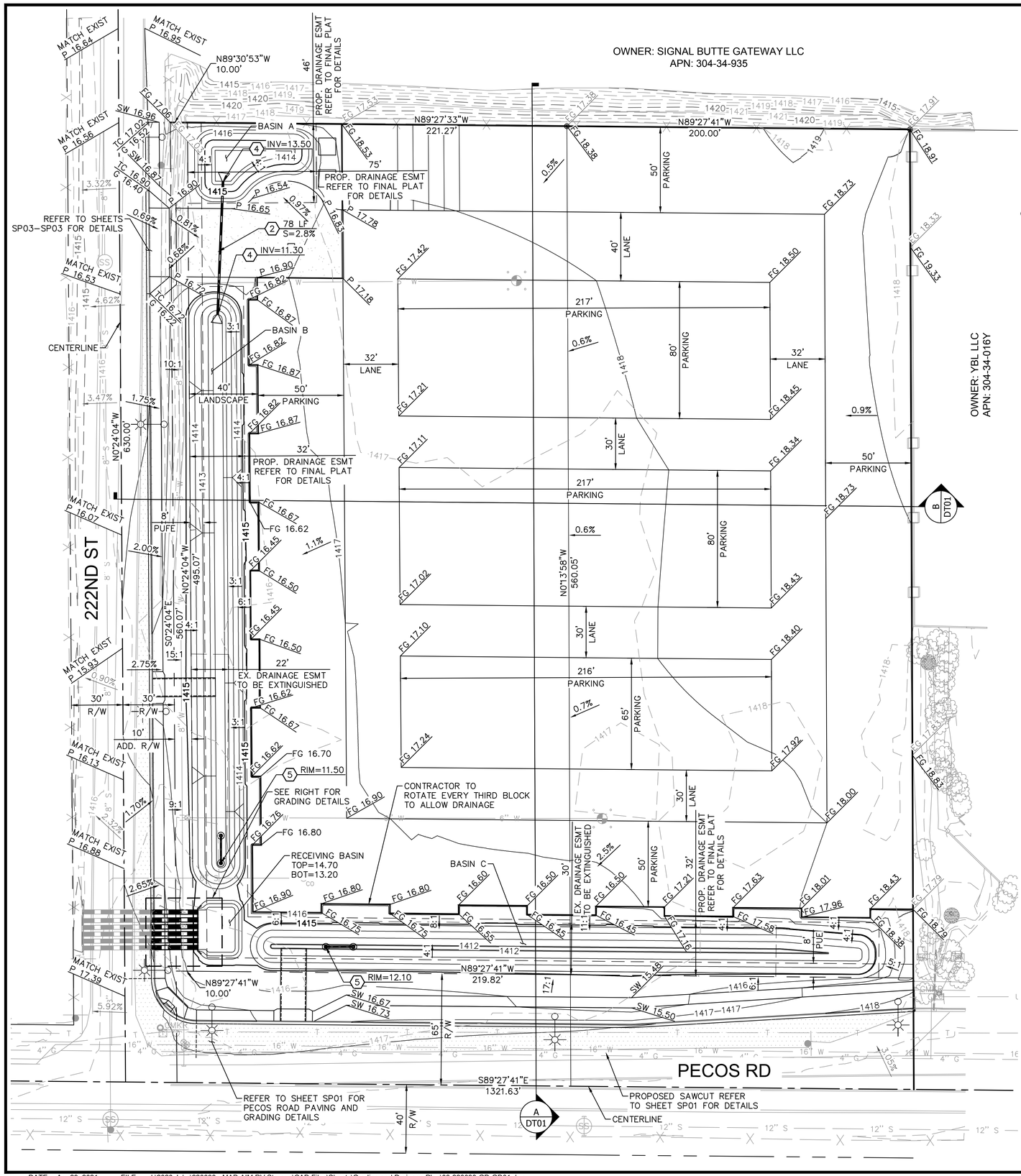
Registered Professional Engineer (Civil)
CERTIFICATE NO. 57420
JOHN W. CATT
ARIZONA U.S.A.
EXPIRES 06/30/2023

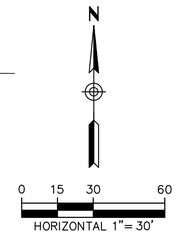
EASTMARK RV & BOAT STORAGE
GRADING SECTIONS AND DETAILS
MESA, ARIZONA
MARICOPA COUNTY

JOB NO.:	220038
DESIGN BY:	DN
DRAWN BY:	DN
CHECKED:	JC
DATE:	4/29/2021

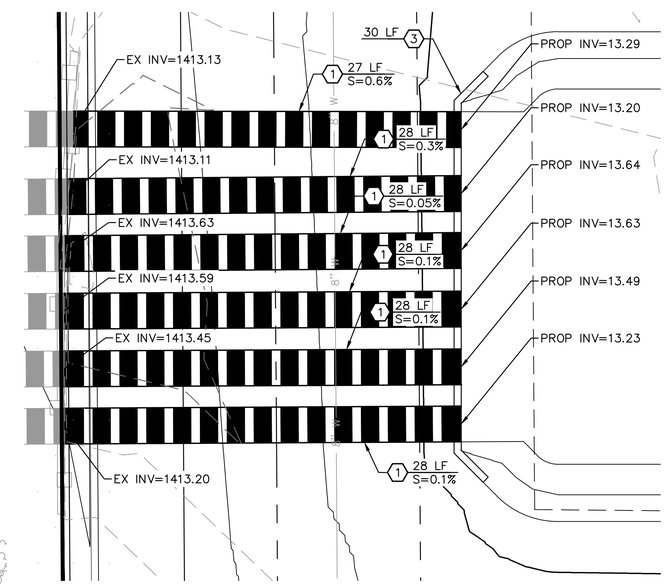
DWG. DT01
SHEET 2 OF 18

DATE: Apr 28, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\02-220038-GD-DT01.dwg





RETENTION BASIN TABLE							
	TOP ELEV.	BOT ELEV.	HIGHWATER ELEV.	VOLUME REQUIRED (CF)	VOLUME REQUIRED (AC-FT)	VOLUME PROVIDED (CF)	VOLUME PROVIDED (AC-FT)
BASIN A	1416.50	1413.50	1414.14	436	0.01	436	0.01
BASIN B	1414.80	1411.30	1414.78	20,473	0.47	20,909	0.48
BASIN C	1414.90	1411.90	1414.57	12,197	0.28	14,810	0.34



ENLARGED PLAN VIEW
SCALE: 1"=5'

RITOCH-POWELL & Associates
602-263-1177
www.rpaeng.com

GRADING AND DRAINAGE NOTES

NO.	DESCRIPTION	QTY	UNITS
1	30" HDPE STORM DRAIN PIPE	167	LF
2	12" HDPE STORM DRAIN PIPE	78	LF
3	HEADWALL PER MAG STD DTL 501-1 & 501-2, 'U' TYPE	1	EA
4	30" ADS FLARED END SECTION	2	EA
5	MAXWELL DRYWELL PLUS PER DETAIL ON SHEET DT01	2	EA

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ARIZONA 811
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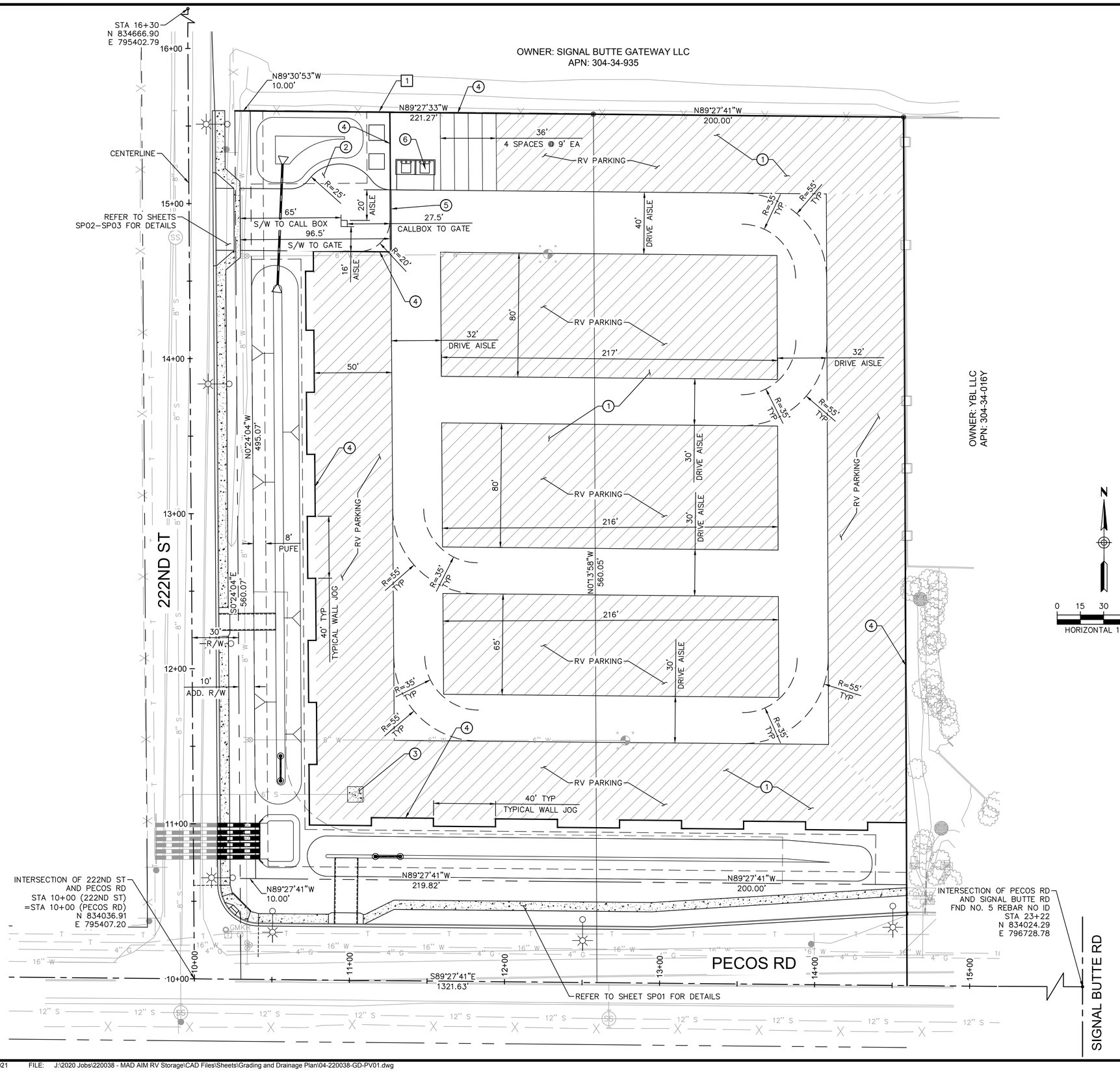
Registered Professional Engineer (Civil)
CERTIFICATE NO. 57420
JOHN W. CATT
Date Signed 4/29/2021
ARIZONA, U.S.A.
EXPIRES 06/30/2023

NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

GRADING AND DRAINAGE PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
DN	DN	JC	GD01	3	18
DATE: 4/21	DATE: 4/21	DATE: 4/21			



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PAVING NOTES

NO.	DESCRIPTION	QTY	UNITS
1	COMPACTED ABC PER DETAIL ON SHEET DT01	18,950	SY
2	ASPHALT PAVEMENT PER DETAIL ON SHEET DT01	496	SY
3	CONCRETE SLAB (3'X3')	9	SF
4	8' CMU WALL, REFER TO LANDSCAPE PLANS FOR DETAILS	1,733	LF
5	GATE PER LANDSCAPE PLANS	1	EA
6	DOUBLE-WIDE BIN ENCLOSURE PER COM DTL 62.02.1	1	EA

REMOVAL NOTES

NO.	DESCRIPTION	QTY	UNITS
1	REMOVE EXISTING FENCE	422	LF

NOTE: RV'S OR BOATS STORED ALONG THE PERIMETER WILL BE RESTRICTED TO 8 FEET IN HEIGHT, UNLESS SETBACK FROM WALL AN EQUAL DISTANCE TO INCREASED HEIGHT OVER 8 FEET.

NOTE: THE GATE SHALL BE INSTALLED PER APPROVAL BY THE FIRE CODE OFFICIAL PER IFC SECTION 503.6.

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811 BLUE STAKE, INC.
Call 811 or click Arizona811.com

Registered Professional Engineer (Civil)
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ARIZONA, U.S.A.
EXPIRES 06/30/2023

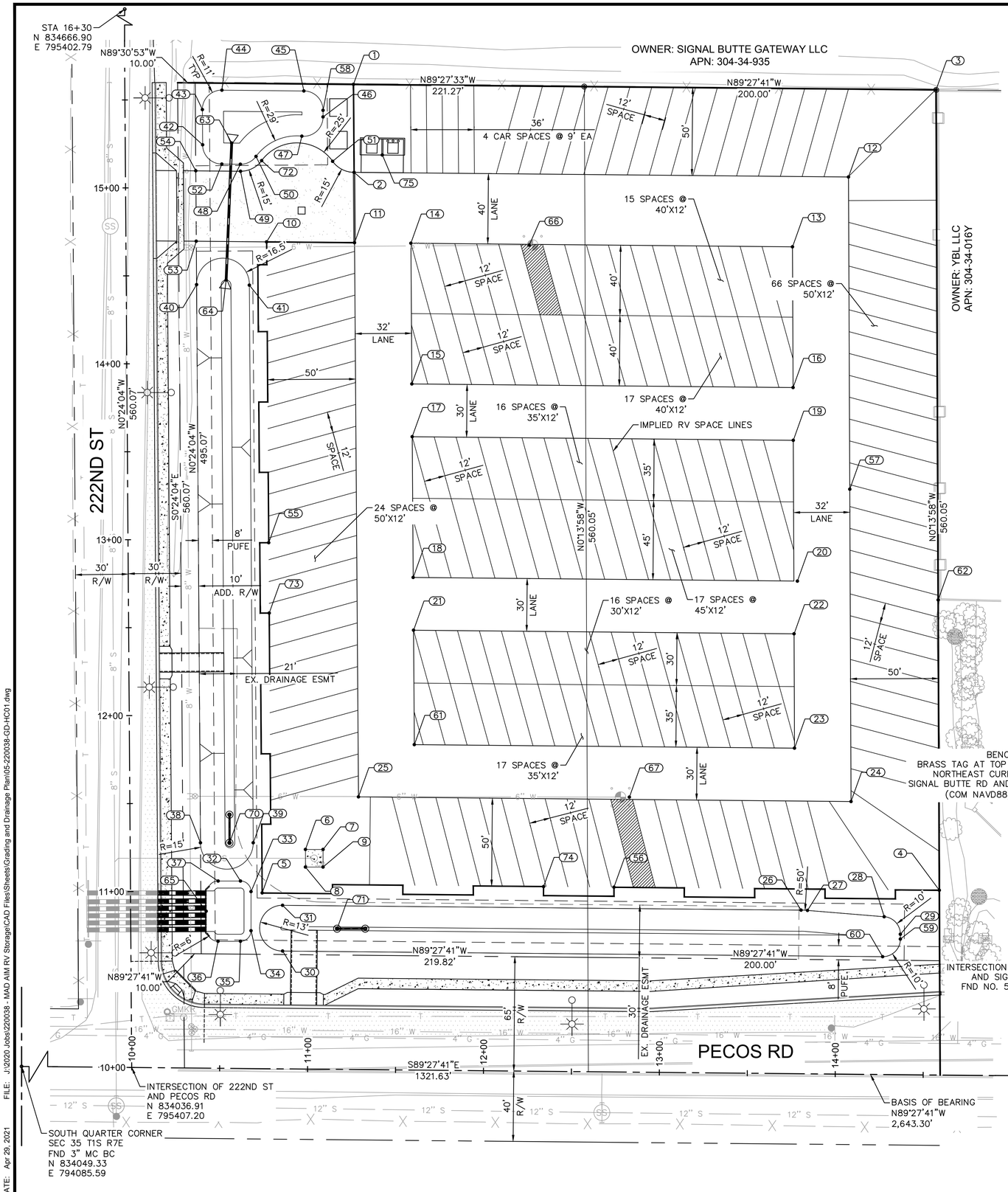
NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

ONSITE PAVING PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
DN	DN	JC	PV01	4 OF	18
DATE: 4/21	DATE: 4/21	DATE: 4/21			

DATE: Apr 29, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\04-220038-GD-PV01.dwg



POINT TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
1	834595.7518	795533.2913	CMU WALL
2	834545.7526	795533.6415	CMU WALL
3	834592.6384	795864.5389	CMU WALL
4	834137.6204	795866.3884	CMU WALL
5	834136.1109	795481.3884	CMU WALL
6	834160.8394	795505.9985	CONCRETE PAD
7	834160.8394	795515.9985	CONCRETE PAD
8	834150.8394	795505.9985	CONCRETE PAD
9	834150.8394	795515.9985	CONCRETE PAD
10	834506.2200	795483.9171	CMU WALL
11	834505.7500	795533.9216	CMU WALL
12	834543.1124	795814.7443	LANE LINE
13	834503.4099	795782.9054	LANE LINE
14	834505.4492	795565.9245	LANE LINE
15	834425.4512	795566.4847	LANE LINE
16	834423.4105	795783.2306	LANE LINE
17	834395.4471	795566.6948	LANE LINE
18	834315.4491	795567.2550	LANE LINE
19	834393.4108	795783.3525	LANE LINE
20	834313.3754	795785.6779	LANE LINE
21	834285.4450	795567.4654	LANE LINE
22	834283.4117	795783.7999	LANE LINE
23	834218.4151	795784.0641	LANE LINE
24	834188.0945	795816.1873	LANE LINE
25	834190.7267	795536.1276	LANE LINE
26	834126.3444	795787.7938	BASIN
27	834126.1793	795791.4189	BASIN
28	834122.6005	795835.0625	BASIN
29	834112.6340	795844.2452	BASIN
30	834103.0637	795493.0203	BASIN
31	834129.0637	795493.0018	BASIN
32	834142.8594	795469.0734	BASIN
33	834136.8594	795475.0734	BASIN
34	834114.6405	795475.0734	BASIN
35	834108.6405	795469.0734	BASIN
36	834108.6405	795456.3224	BASIN
37	834142.8594	795456.3476	BASIN

POINT TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
38	834164.6037	795446.3095	BASIN
39	834164.6037	795476.3095	BASIN
40	834481.9122	795444.0895	BASIN
41	834481.6316	795474.0903	BASIN
42	834561.3841	795447.5310	BASIN
43	834581.3867	795447.3910	BASIN
44	834592.4632	795458.4946	BASIN
45	834592.0230	795505.1212	BASIN
46	834577.2505	795516.0173	BASIN
47	834566.3023	795503.9509	BASIN
48	834550.3624	795468.9784	BASIN
49	834546.3612	795469.0813	PAVEMENT
50	834554.7831	795477.8976	PAVEMENT
51	834552.0111	795521.4532	PAVEMENT
52	834550.4615	795458.4273	BASIN
53	834506.5960	795443.9144	PAVEMENT AT ROW
54	834546.6004	795443.6344	PAVEMENT AT ROW
55	834335.1922	795485.1147	GRADE BREAK
56	834139.3593	795681.3844	GRADE BREAK
57	834365.6034	795815.4658	GRADE BREAK
58	834581.0235	795516.0173	BASIN
59	834109.9010	795844.2452	BASIN
60	834099.9014	795834.1526	BASIN
61	834220.4466	795567.9206	LANE LINE
62	834302.6544	795865.7176	CMU WALL
63	834562.4092	795464.0558	SD END SECTION
64	834484.5246	795460.8871	SD END SECTION
65	834125.7373	795449.5635	SD HEADWALL
66	834504.3814	795633.2095	FIRE HYDRANT
67	834190.5704	795690.1616	FIRE HYDRANT
70	834164.5907	795462.8096	DRYWELL
71	834115.7773	795523.9857	DRYWELL
72	834552.3903	795481.1030	PAVEMENT
73	834295.2286	795485.3946	GRADE BREAK
74	834139.7353	795641.3800	GRADE BREAK
75	834555.6038	795549.7103	TRASH BIN ENCLOSURE

BOAT/RV SPACE TOTAL
30' X 12' = 16 SPACES
35' X 12' = 32 SPACES
40' X 12' = 30 SPACES
45' X 12' = 17 SPACES
50' X 12' = 87 SPACES

TOTAL =182 SPACES

NOTE: RV'S OR BOATS STORED ALONG THE PERIMETER WILL BE RESTRICTED TO 8 FEET IN HEIGHT, UNLESS SETBACK FROM WALL AN EQUAL DISTANCE TO INCREASED HEIGHT OVER 8 FEET.

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
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NO.	DATE	BY	REVISION

RITOCH-POWELL & Associates
RPA
602-263-1177
www.ritochpowell.com

Registered Professional Engineer (Civil)
CERTIFICATE NO. 57420
JOHN W. CATT
Date Signed 4/29/2021
ARIZONA, U.S.A.
EXPIRES 06/30/2023

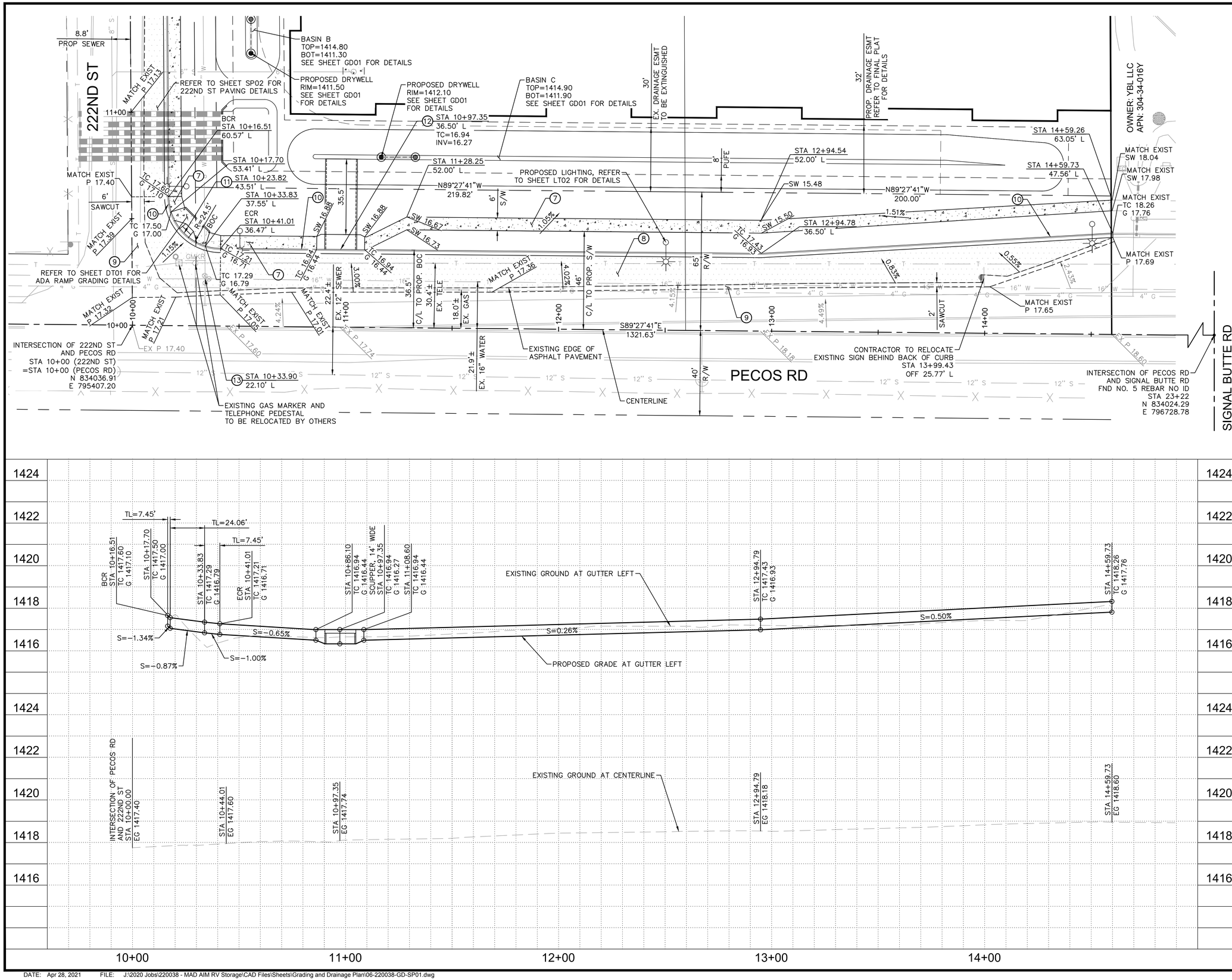
EASTMARK RV & BOAT STORAGE
HORIZONTAL CONTROL PLAN
MESA, ARIZONA
MARICOPA COUNTY

JOB NO.:	220038
DESIGN BY:	DN
DRAWN BY:	DN
CHECKED:	JC
DATE:	4/29/2021

DWG. HC01

SHEET 5 OF 18

DATE: Apr 29, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\05-220038-GD-HC01.dwg



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602-263-1177
www.rpaeng.com

OFFSITE PAVING NOTES

NO.	DESCRIPTION	QTY	UNITS
7	6' SIDEWALK PER MAG STD DTL 230	2,375	SF
8	5 1/2" AC ON 10" ABC PER COM DTL M-19.01	761	SY
9	SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT PER MAG STD DTL 200-1 & 200-2, TYPE 'A'	152	SY
10	6" VERTICAL CURB AND GUTTER TYPE 'A' PER MAG STD DTL 220-1	411	LF
11	SIDEWALK RAMP TYPE 'A' PER MESA STANDARD DETAIL M-44.02	1	EA
12	14' WIDE CONCRETE SCUPPER PER MAG STD DTL 206-1	1	EA
13	ADJUST EXISTING WATER VALVES TO PROPOSED GRADE PER MAG STD DTL 391-1	3	EA

N

0 10 20 40
HORIZONTAL 1"= 20'
VERTICAL 1"= 2'

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Registered Professional Engineer (Civil)
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JOHN W. CATT
Date Signed 4/28/2021
ARIZONA, U.S.A.
EXPIRES 06/30/2023

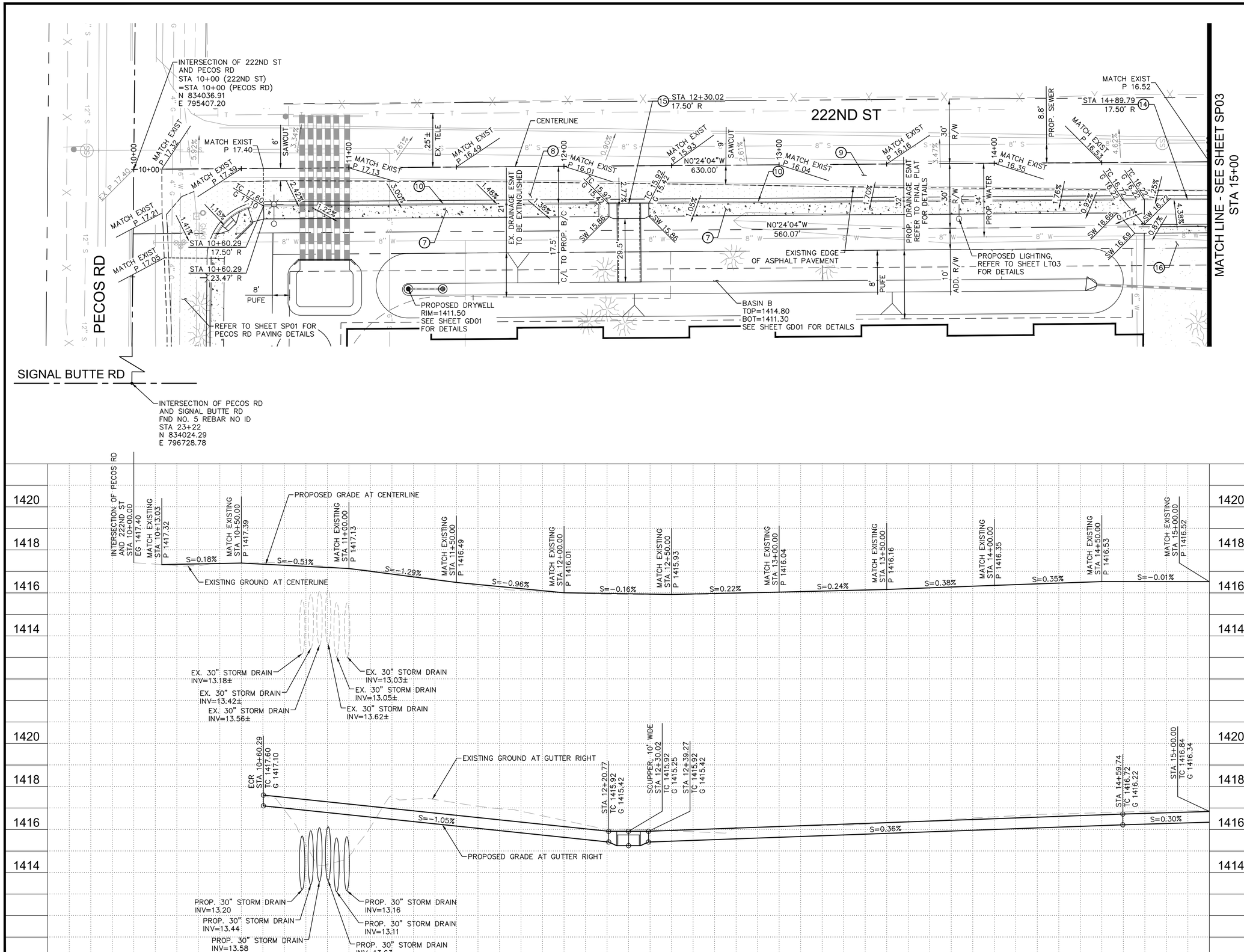
NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

PECOS ROAD PAVING PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
DN	DN	JC	SP01	6 OF	18
DATE: 4/21	DATE: 4/21	DATE: 4/21			

DATE: Apr 28, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\06-220038-GD-SP01.dwg



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OFFSITE PAVING NOTES

NO.	DESCRIPTION	QTY	UNITS
7	6' SIDEWALK PER MAG STD DTL 230	2,488	SF
8	5 1/2" AC ON 10" ABC PER COM DTL M-19.01	301	SY
9	SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT PER MAG STD DTL 200-1 & 200-2, TYPE 'A'	457	SY
10	6" VERTICAL CURB AND GUTTER TYPE 'A' PER MAG STD DTL 220-1	381	LF
14	40' DRIVEWAY PER MESA STANDARD DETAIL M-42	1	EA
15	10' WIDE CONCRETE SCUPPER PER MAG STD DTL 206-1	1	EA
16	ASPHALT PAVEMENT PER DETAIL ON SHEET DT01	24	SY

HORIZONTAL 1"= 20'
VERTICAL 1"= 2'

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ARIZONA, U.S.A.
EXPIRES 06/30/2023

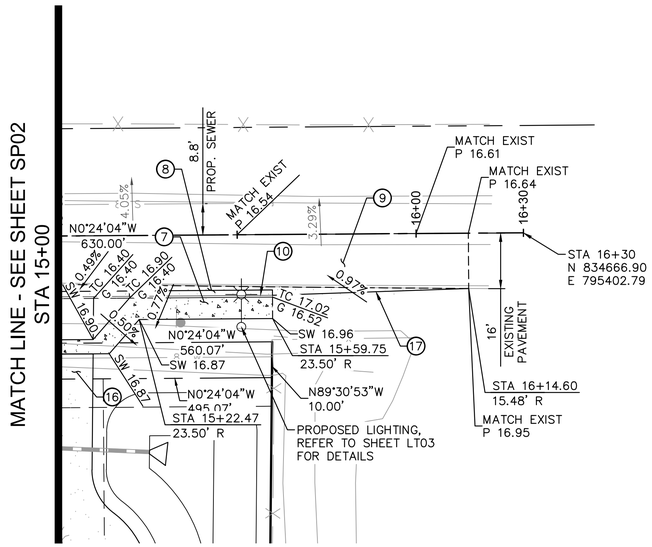
NO.	BY	DATE	REVISION	APPR.	DATE

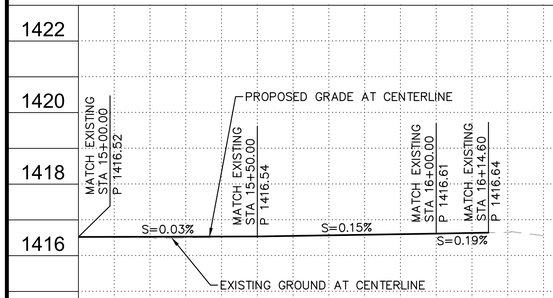
EASTMARK RV & BOAT STORAGE

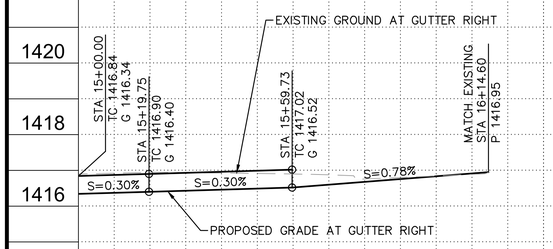
222ND ST PAVING PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
DN	DN	JC	SP02	7	18
DATE: 4/21	DATE: 4/21	DATE: 4/21			

DATE: Apr 28, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\07-220038-GD-SP02.dwg







15+00 16+00

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602-263-1177
www.rpaeng.com

OFFSITE PAVING NOTES

NO.	DESCRIPTION	QTY	UNITS
7	6' SIDEWALK PER MAG STD DTL 230	364	SF
8	5 1/2" AC ON 10" ABC PER COM DTL M-19.01	17	SY
9	SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT PER MAG STD DTL 200-1 & 200-2, TYPE 'A'	185	SY
10	6" VERTICAL CURB AND GUTTER TYPE 'A' PER MAG STD DTL 220-1	40	LF
16	ASPHALT PAVEMENT PER DETAIL ON SHEET DT01	8	SY
17	PAVEMENT THICKENED EDGE PER MAG STD DTL 201, TYPE 'A'	55	LF

0 10 20 40
HORIZONTAL 1" = 20'
VERTICAL 1" = 2'

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ARIZONA811
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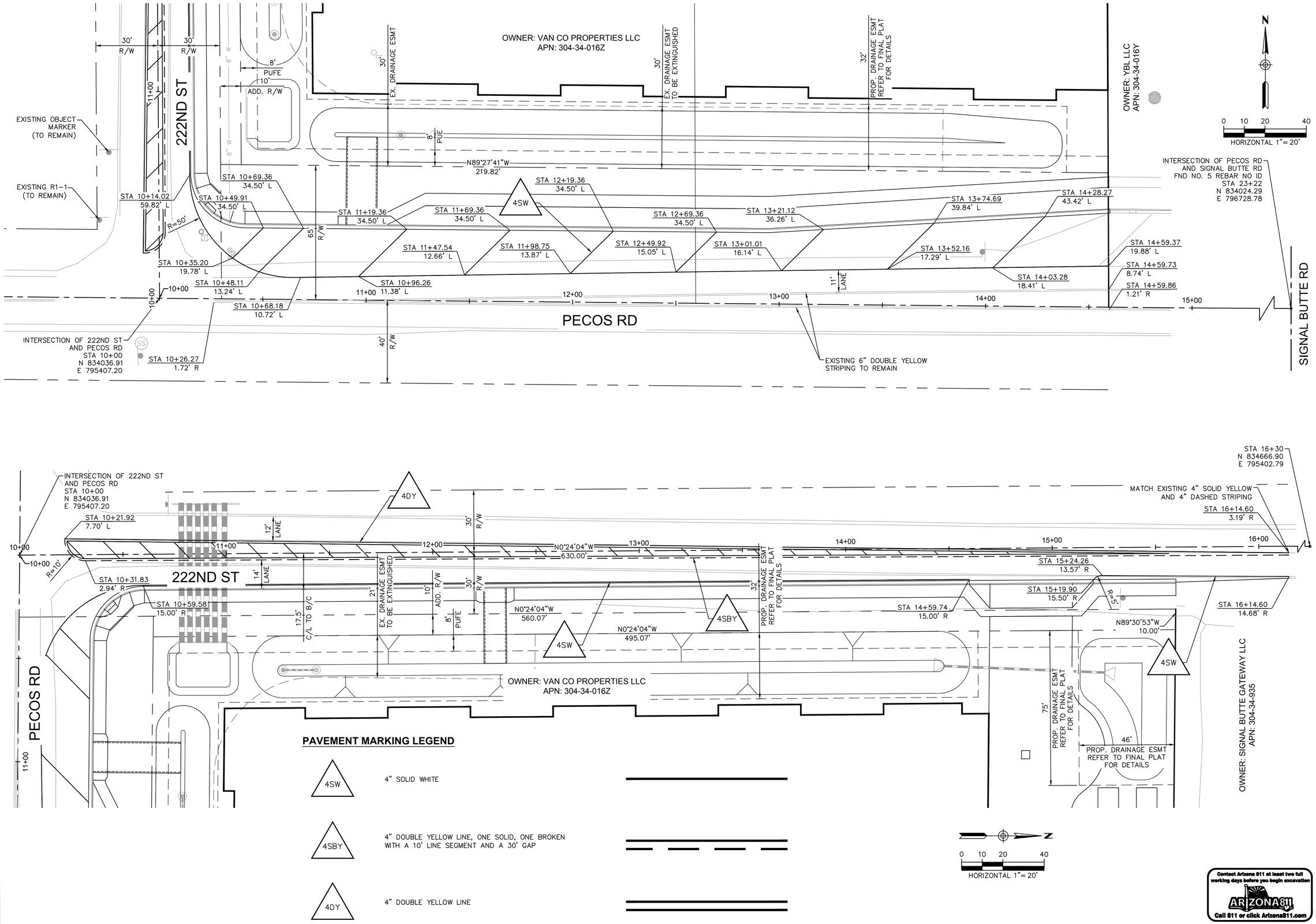
ARIZONA, U.S.A.
EXPIRES 06/30/2023

NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

222ND ST PAVING PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
DN	DN	JC	SP03	8	18
DATE: 4/21	DATE: 4/21	DATE: 4/21			



NO.	DATE	BY	REVISION

RITOCH-POWELL & Associates
602-263-1177
www.ritochpowell.com

Registered Professional Engineer (Civil)
CERTIFICATE NO. 57420
JOHN W. CATT
Date Signed 4/29/2021
ARIZONA, U.S.A.
EXPIRES 06/30/2023

EASTMARK RV & BOAT STORAGE

STRIPING PLAN

MESA, ARIZONA

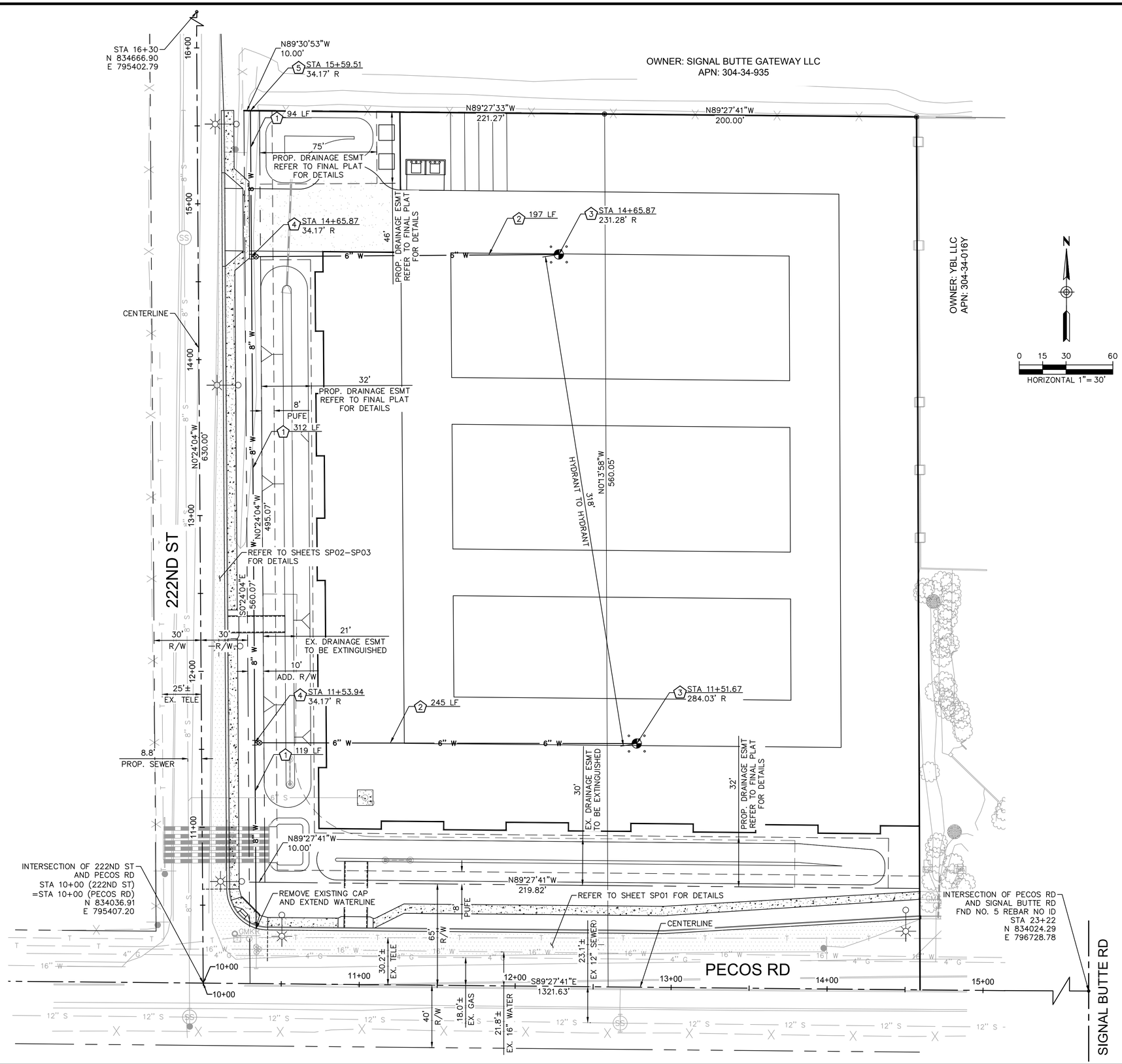
MARICOPA COUNTY

JOB NO.:	220038
DESIGN BY:	DN
DRAWN BY:	DN
CHECKED:	JC
DATE:	4/29/2021

DWG. ST01

SHEET 9 OF 18

DATE: Apr 28, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\09-220038-SP-ST01.dwg



RITOCH-POWELL & Associates
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WATER NOTES

NO.	DESCRIPTION	QTY	UNITS
1	INSTALL NEW 8" D.I.P. WATER LINE	525	LF
2	INSTALL NEW 6" D.I.P., CLASS 350 FIRE LINE WITH RESTRAINED JOINTS PER MAG STD DTL 303-2	445	LF
3	INSTALL FIRE HYDRANT PER MAG STD DTL 360-3, W/ FOUR BOLLARDS PER MAG STD DTL 140 TYPE "1"	2	EA
4	INSTALL A 8"X6" TEE, VALVE, BOX AND COVER PER MAG STD DTLS 340 & 391-1	2	EA
5	INSTALL CAP WITH CORP. STOP OR BLOWOFF	1	EA

NOTE: PER IFC APPENDICES B AND C THE REQUIRED FIRE FLOW FOR THIS SITE IS 1,500 GPM WITH A MINIMUM OF 1 FIRE HYDRANT ON SITE. IN ORDER TO MAINTAIN FIRE PROTECTION COVERAGE FOR THE ENTIRE SITE A SECOND FIRE HYDRANT IS REQUIRED.

Contact Arizona 811 at least two full working days before you begin excavation
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ARIZONA, U.S.A.
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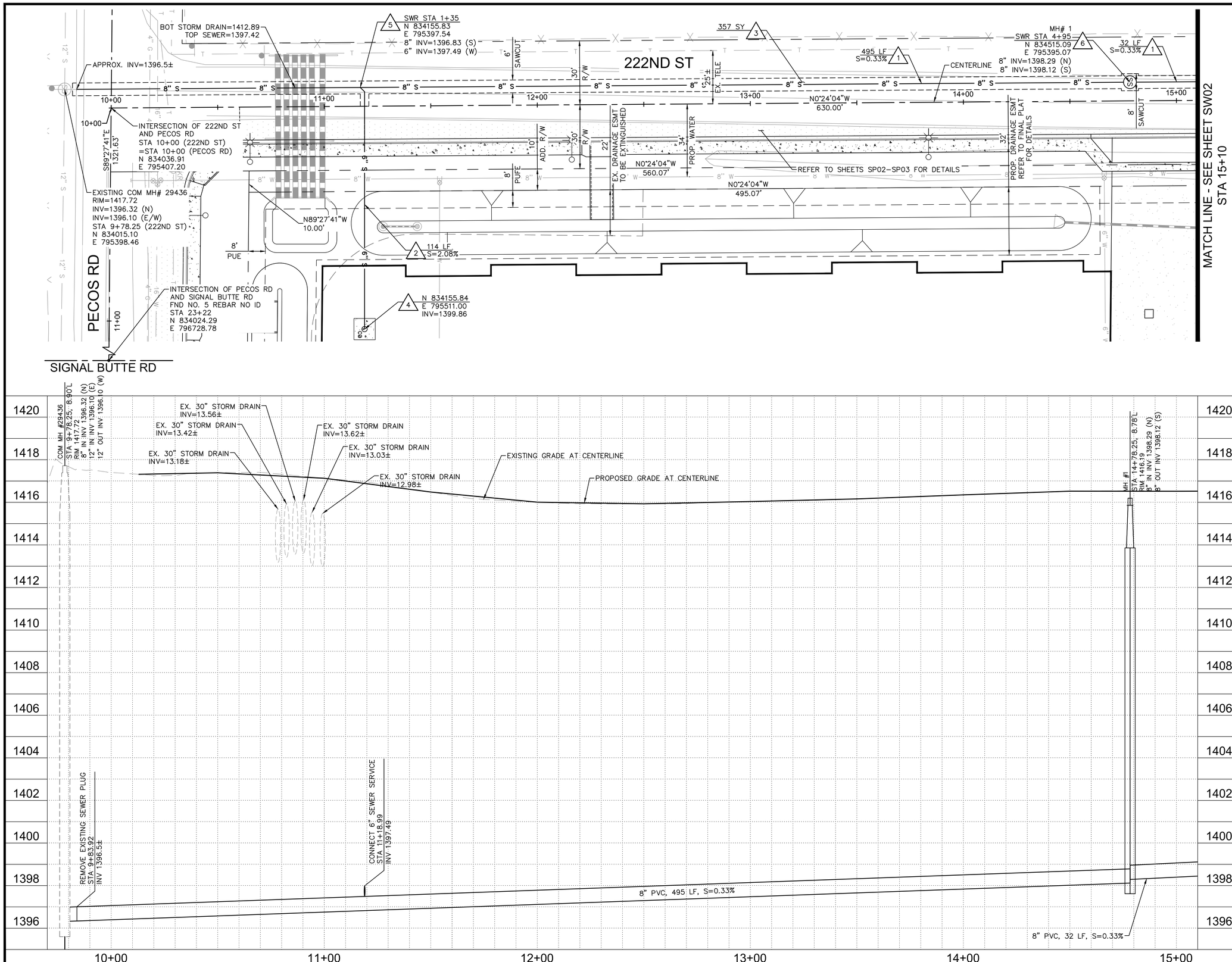
NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

WATER PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
DN	DN	JC	WT01	10	18
DATE: 4/21	DATE: 4/21	DATE: 4/21			

DATE: Apr 29, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\10-220038-GD-WT01.dwg



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SEWER NOTES

NO.	DESCRIPTION	QTY	UNITS
1	INSTALL 8" P.V.C. SDR-35 SEWER LINE	527	LF
2	INSTALL 6" P.V.C. SDR-35 SEWER LINE	114	LF
3	SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT PER MAG STD DTL 200-1 & 200-2, "T TOP" TRENCH	357	SY
4	INSTALL SEWER CLEANOUT PER MAG STD DTL 441	1	EA
5	INSTALL WYE CONNECTION	1	EA
6	INSTALL SANITARY SEWER MANHOLE PER MAG STD DTL 420	1	EA

N

0 10 20 40
HORIZONTAL 1"= 20'
VERTICAL 1"= 2'

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Registered Professional Engineer (Civil)
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Date Signed 4/28/2021
ARIZONA, U.S.A.
EXPIRES 06/30/2023

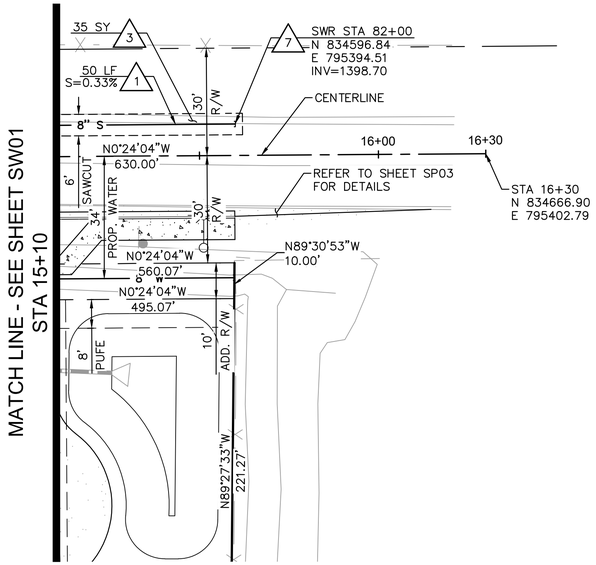
NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

SEWER PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
DN	DN	JC	SW01	11 OF	18
DATE: 4/21	DATE: 4/21	DATE: 4/21			

DATE: Apr 28, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\11-220038-GD-SW01.dwg



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SEWER NOTES

NO.	DESCRIPTION	QTY	UNITS
1	INSTALL 8" P.V.C. SDR-35 SEWER LINE	50	LF
3	SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT PER MAG STD DTL 200-1 & 200-2, "T TOP" TRENCH	35	SY
7	INSTALL PLUG PER MAG STD DTL 427	1	EA

0 10 20 40
HORIZONTAL 1" = 20'
VERTICAL 1" = 2'

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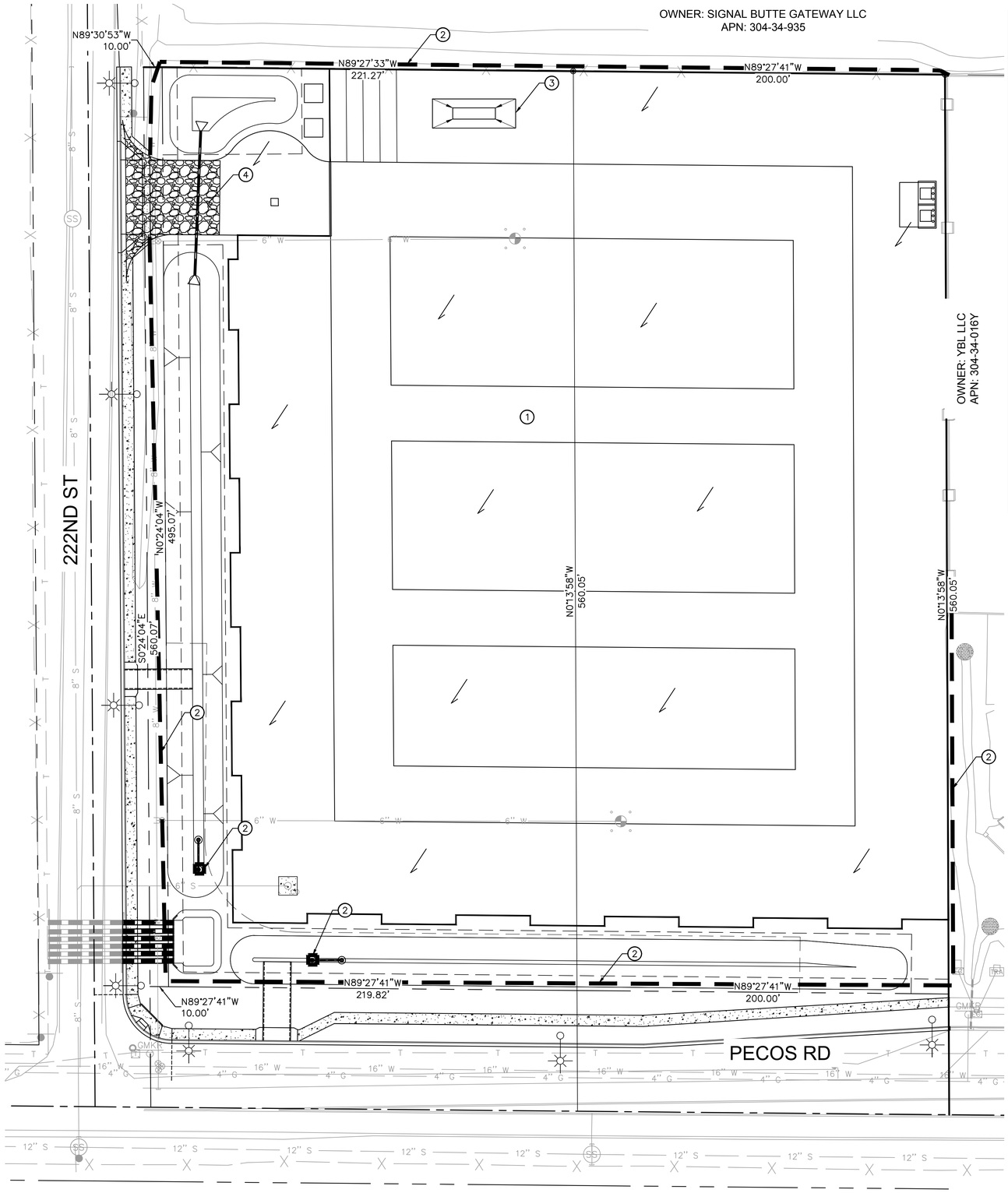
ARIZONA, U.S.A.
EXPIRES 06/30/2023

NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

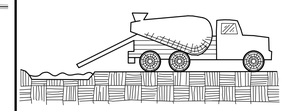
SEWER PLAN

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO. OF TOTAL SHEETS
DN	DN	JC	SW02	12 OF 18
DATE: 4/21	DATE: 4/21	DATE: 4/21		



SYMBOL	DESIGNATED WASHOUT AREA (GH-4)	FLOOD CONTROL DISTRICT OF MARICOPA COUNTY 1 OF 2

DIAGRAM



CONDITIONS WHERE PRACTICE APPLIES

- ___ PERIMETER CONTROL
- ___ SLOPE PROTECTION
- ___ SEDIMENT TRAPPING
- ___ DRAINAGEWAY & STREAM PROTECTION
- ___ TEMPORARY STABILIZATION
- ___ PERMANENT STABILIZATION & EXPOSURE LIMITS
- * NON-SEDIMENT POLLUTION CONTROL

APPROPRIATE APPLICATIONS

EFFECTIVE WHEN VEHICLES, TOOLS AND MIXERS CAN BE MOVED TO THE PIT LOCATION. WHERE THIS IS NOT PRACTICAL, TEMPORARY PONDS MAY BE CONSTRUCTED TO ALLOW FOR SETTLING AND HARDENING OF CEMENT AND AGGREGATES. WASHOUT AREA/PITS ARE APPROPRIATE FOR MINOR AMOUNTS OF WASH WATER WHICH RESULT FROM CLEANING OF AGGREGATE MATERIALS OF CONCRETE TRUCKS, TOOLS, ETC.

PLANNING CONSIDERATIONS

1. WASH OUT INTO A SLURRY PIT WHICH WILL LATER BE BACKFILLED. DO THIS ONLY WITH THE APPROVAL OF THE PROPERTY OWNER.

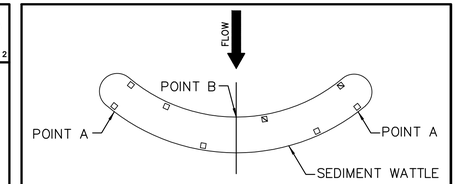
2. WASH OUT INTO A TEMPORARY PIT WHERE THE CONCRETE WASH CAN HARDEN, BE BROKEN UP AND THEN PROPERLY DISPOSED OF OFF-SITE.

W.A.	DESIGNATED WASHOUT AREA (GH-4)	FLOOD CONTROL DISTRICT OF MARICOPA COUNTY 2 OF 2

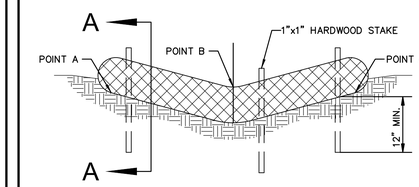
1. LOCATE WASH OUT PITS AWAY FROM STORM DRAINS, OPEN DITCHES OR

2. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, SANITARY SEWERS, PROPERLY DISPOSE OF HARDENED CONCRETE PRODUCTS ON A ROUTINE BASIS TO PREVENT THE BUILDUP OF WASTE MATERIALS TO AN UNMANAGEABLE SIZE.

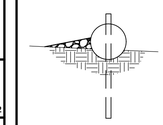
(GH-4)



PLAN VIEW



ELEVATION



SECTION "A-A"

NOTES:

1. SEDIMENT WATTLES SHALL BE EMBEDDED 1/3 THE DIAMETER OF THE WATTLE INTO THE SOIL.
2. STAKES SHALL BE EMBEDDED TO A MINIMUM OF 12 INCHES.
3. SEDIMENT WATTLES SHALL BE TIGHTLY ABUTTED WITH NO GAPS.

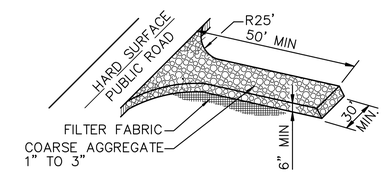
SEDIMENT WATTLE DITCH INSTALLATION

SPC-1

N

0 15 30 60

HORIZONTAL 1"= 30'



STABILIZED CONSTRUCTION ENTRANCE

EC-5

BMP LEGEND

- S.W. — SEDIMENT WATTLE (SPC-1)
- PROPOSED FLOW DIRECTION
- W.A. — DESIGNATED WASHOUT AREA (GH-4)

EROSION CONTROL NOTES			
NO.	DESCRIPTION	QTY.	UNIT
1	SITE DUST CONTROL (EC-7)	1	LS
2	STRAW WATTLE (SPC-1)	1,542	LF
3	CONSTRUCTION WASHOUT AREA (GH-4)	1	EA
4	STABILIZED CONSTRUCTION ENTRANCE (EC-5)	1	EA

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NO.	DATE	BY	REVISION

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Registered Professional Engineer (Civil) CERTIFICATE NO. 57420 JOHN W. CATT Date Signed 4/29/2021 ARIZONA, U.S.A. EXPIRES 06/30/2023

EASTMARK RV & BOAT STORAGE

EROSION CONTROL PLAN

MESA, ARIZONA

MARICOPA COUNTY

JOB NO.:	220038
DESIGN BY:	DN
DRAWN BY:	DN
CHECKED:	JC
DATE:	4/29/2021

DWG. EC01

SHEET 13 OF 18

DATE: Apr 28, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Grading and Drainage Plan\13-220038-GD-EC01.dwg

CITY OF MESA - STREET LIGHTING GENERAL NOTES

1. ALL WORKMANSHIP, MATERIAL AND INSTALLATION SHALL COMPLY WITH THE CURRENT MAG UNIFORM STANDARD DETAILS AND SPECIFICATIONS AS AMENDED BY THE CITY OF MESA, THE CITY OF MESA ENGINEERING & DESIGN STANDARDS AND THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE.

2. THE CITY OF MESA REQUIRES AT LEAST ONE IMSA CERTIFIED LEVEL I ROADWAY LIGHTING OR TRAFFIC SIGNAL TECHNICIAN ON SITE DURING ALL PHASES OF ANY STREET LIGHT WORK. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF CURRENT CERTIFICATION. IF A JOB SITE IS INSPECTED AND A CERTIFIED TECHNICIAN IS NOT ON SITE, THE JOB WILL BE SHUT DOWN.

3. CONTRACTOR SHALL SUBMIT A LIST CONTAINING NAMES AND QUALIFIED STATUS OF PERSONNEL THAT WILL BE ON THE IMMEDIATE JOB SITE TO THE INSPECTOR PRIOR TO STARTING ANY TYPE OF CONSTRUCTION. ANY CHANGE IN THIS LIST WILL REQUIRE IMMEDIATE NOTIFICATION TO THE INSPECTOR.

4. DURING THE CONSTRUCTION OR WARRANTY PERIOD, IF THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITHIN TWO (2) WORKING DAYS OF A REQUEST OF THE INSPECTOR OR IF A STREET LIGHT OUTAGE MAKES IT NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY WILL BE JUSTIFIED IN BILLING THE CONTRACTOR. A SEPARATE BILLING SHALL COVER EACH INCIDENT REQUIRING WORK BY CITY FORCES. THE AMOUNT OF EACH BILLING SHALL BE EITHER $350.00 OR THE ACTUAL ACCUMULATED CHARGES FOR EMPLOYEES' TIME, MATERIALS, AND EQUIPMENT, WHICHEVER IS GREATER. EMPLOYEES' TIME WILL BE BILLED AT EACH INDIVIDUAL'S HOURLY RATE PLUS THE APPLICABLE CITY OVERHEAD RATE.

5. INSPECTIONS SHALL BE REQUESTED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE FOLLOWING LIST:

   A. BEFORE STARTING PROJECT (PRE-JOB INSPECTION).

   B. BEFORE FILLING PULL BOX HOLES WITH AGGREGATE.

   C. BEFORE BACKFILLING TRENCH AND COVERING CONDUIT.

   D. WHEN THE POLE FOUNDATIONS ARE DUG, ANCHOR BOLTS, GROUND WIRE AND GROUND PLATE ARE READY AND IN PLACE, PRIOR TO POURING CONCRETE.

   E. BEFORE PULLING WIRE.

   F. BEFORE INSTALLATION OF FIXTURES AND PHOTOCELL.

   G. BEFORE MAKING SPLICES.

   H. WHEN PROJECT IS COMPLETED. IF NECESSARY, A LIST OF DISCREPANCIES WILL BE SUBMITTED TO THE CONTRACTOR FOR CORRECTIVE ACTION. FAILURE TO HAVE THESE ITEMS INSPECTED AND APPROVED BEFORE PROCEEDING WILL RESULT IN REJECTION OF THE WORK DONE, AND REMOVAL OF ALL SUCH WORK WILL BE REQUIRED.

6. ALL STREET LIGHTS SHALL BE CONNECTED TO THE PERMANENT POWER SUPPLY BY THE AGENCY SUPPLYING POWER. STREET LIGHT SYSTEMS WILL NOT BE ACCEPTED UNTIL THE SYSTEM HAS BEEN ENERGIZED AND FULLY OPERATIONAL FOR A MINIMUM ONE-HOUR TEST PERIOD AT RATED VOLTAGE.

7. WHERE LIGHTING CONTROL CABINETS ARE UTILIZED, STREET LIGHT CIRCUITS SHALL BE 240 VOLT. WHERE CABINETS ARE NOT USED, STREET LIGHT CIRCUITS SHALL BE 120 VOLT. ALL SERVICES SHALL BE 120/240 VOLT. ALL CONTROL CIRCUITS SHALL BE 120 VOLT.

8. BEFORE DISCONNECTING ANY EXISTING STREET LIGHTS, THE NEW LIGHT SYSTEM SHALL BE WORKING OR TEMPORARY LIGHTING INSTALLED. EXISTING STREET LIGHTS TO BE REMOVED AND NEW STREET LIGHTS SHALL NOT OPERATE AT THE SAME TIME.

9. POLES HAVING MULTIPLE LUMINAIRES SHALL HAVE TWO (2) CONDUCTORS AND ONE (1) BOND WIRE PER LUMINAIRE. THE CONDUCTORS SHALL BE MARKED AS PAIRS AT THE HAND HOLE.

10. ALL UNDERGROUND CIRCUIT CONDUCTORS SHALL BE BLACK, UNLESS OTHERWISE NOTED.

11. WHERE STREET LIGHTS OR CIRCUITS ARE 120 VOLT, ONE CONDUCTOR SHALL BE UNFUSED AND BE EITHER WHITE OR MARKED WHITE, AS REQUIRED.

12. ALL CIRCUIT CONDUCTORS IN CONDUIT SHALL BE XHHW/XHHW-2 INSULATION, EXCEPT PHOTOCELL CIRCUIT SHALL BE TRAY CABLE (SEE NOTE 13 THIS PAGE).

13. THE TRAY CABLE SHALL BE [ROME FR-EPR XHHW-2 CONDUCTORS, CPE JACKET, 600VOLTS] FRPC 4/3 (COLORS: BLACK-RED-WHITE) OR EQUIVALENT. RUN UNDERGROUND FROM THE LIGHTING CONTROL CABINET TO THE HANDHOLE OF THE PHOTOCELL LIGHT POLE, WHICH SHALL BE CONTINUOUS & WITHOUT SPLICES. FROM THE HANDHOLE UP, THREE (3) CONDUCTORS OF NO. 14 AWG THHN OR EQUIVALENT WILL BE SPLICED WITH BUTT SPLICES (NO WIRE NUTS) TO THE TERMINAL BLOCK OF THE PHOTOCELL CONTROLLED LUMINAIRE. BUTT SPLICES SHALL BE INSULATED AND THE CRIMP TYPE.

14. MINIMUM DEPTH FROM TOP OF CURB OR ROADWAY TO TOP OF CONDUIT SHALL BE TWENTY-FOUR (24) INCHES. MAXIMUM DEPTH SHALL BE FORTY-EIGHT (48) INCHES, UNLESS OTHERWISE APPROVED.

15. UNDERGROUND WIRING SHALL BE INSTALLED IN SCHEDULE 40 RIGID PVC CONDUIT, UL APPROVED FOR ABOVE GROUND AND UNDERGROUND USE WITH 90 DEGREE C WIRE. WHERE TWENTY-FOUR (24) INCHES COVER IS NOT POSSIBLE, GALVANIZED RIGID STEEL CONDUIT (GRS) SHALL BE USED.

16. GALVANIZED RIGID STEEL CONDUIT (GRS) SHALL BE DOUBLE WRAPPED WITH 20-MIL TAPE TO SIX (6) INCHES PAST THE THREADED METAL COUPLING. COMPRESSION COUPLINGS ARE NOT ALLOWED. PRIOR APPROVAL IS NEEDED FOR ANY DESIGN USING GRS CONDUIT. ALL CONDUITS SHALL BE BLOWN OUT USING 90-PSI AIR PRESSURE BEFORE PULLING WIRE.

17. A TWO-PIECE EXPANSION JOINT COUPLING SHALL BE INSTALLED IN PVC CONDUIT RUNS AT INTERVALS NOT TO EXCEED ONE-HUNDRED (100) FEET.

18. ALL FORTY-FIVE (45) AND NINETY (90) DEGREE BENDS OF CONDUIT SHALL HAVE A RADIUS OF NOT LESS THAN EIGHTEEN (18) INCHES. FACTORY BENDS ONLY SHALL BE USED.

19. ALL JOINTS BETWEEN PVC CONDUIT, COUPLINGS AND FITTINGS SHALL BE PREPARED WITH PURPLE PRIMER AND CEMENTED TOGETHER WITH GRAY PVC CEMENT.

20. THE CONDUIT LOCATIONS SHOWN ON PLANS ARE DIAGRAMMATIC REPRESENTATIONS ONLY. CONTRACTOR IS TO INSTALL CONDUIT TO AVOID CONFLICTS. THE CONTRACTOR MAY, AT HIS OPTION, BORE FOR THE PLACEMENT OF CONDUIT PER MESA STD DETAIL M-18. ALL CONDUITS SHALL BE PLACED WITHIN EXISTING RIGHT-OF-WAY UNLESS OTHERWISE APPROVED.

21. STREET LIGHT CONDUITS SHOULD BE INSTALLED PRIOR TO RESIDENTIAL DRIVEWAY INSTALLATIONS. IF STREET LIGHT CONDUIT IS INSTALLED AFTER RESIDENTIAL DRIVEWAY INSTALLATION, CONTRACTOR SHALL BORE CONDUIT UNDER DRIVEWAY. MEANDERING THE CONDUIT BEHIND THE ENTRANCE WILL NOT BE PERMITTED.

22. BACKFILL REQUIREMENTS FOR ALL TRENCHES SHALL CONFORM TO ARTICLE 300 OF THE NATIONAL ELECTRIC CODE, SECTION 601 OF THE UNIFORM STANDARD SPECIFICATIONS, AND MESA STD DETAIL M-19.4 FOR STREET TRENCH BACKFILL AND PAVEMENT REPLACEMENT.

23. WITH THE EXCEPTION OF DETACHED SIDEWALKS, PULL BOXES SHALL BE INSTALLED (SEE MESA STD DETAILS M-74.1 AND M-74.2) FIVE (5) FEET (CENTER TO CENTER) BETWEEN STREET LIGHT POLES AND PULL BOXES.

24. PHOTOCELL RECEPTACLE SHALL BE POSITIONED ON LUMINAIRE SO THAT WHEN INSTALLED, THE PHOTOCELL WILL FACE NORTH.

25. ALL SHORTING CAPS TO BE LOW PROFILE TYPE. NO HIGHER THAN 1-1/2" ABOVE SOCKET.

26. ALL PHOTOCELL CIRCUIT CONDUIT MUST BE 1-1/2" OR LARGER (TO INCLUDE CONDUIT STUBBING UP AT PHOTOCELL LIGHT POLE).

27. ALL FINISHED POLE FOUNDATIONS, SERVICE ENTRANCE SECTIONS, LIGHTING CONTROL CABINET PADS AND PULLBOXES SHALL BE AT SIDEWALK GRADE UNLESS OTHERWISE NOTED.

28. WHEN CONCRETE FOUNDATIONS ARE POURED, THEY SHALL BE VIBRATED WITH A MECHANICAL VIBRATOR.

29. POLE FOUNDATIONS SHALL CURE FOR 72 HOURS BEFORE INSTALLING LIGHT POLES OR REMOVING POLE BRACING.

30. ALL POLE FOUNDATIONS SHALL HAVE A COPPER GROUNDING PLATE PER MESA STD DETAIL M-73.6, G-101.

31. ALL STEEL POLES AND STEEL POLE PARTS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH MAG STANDARD SPECIFICATION 771.

32. ALL POLES SHALL BE WIRED USING TWO (2) NO. 12 BLACK THHN/THWN 90 DEGREE C STRANDED COPPER CONDUCTORS, 600 VOLT, NEC APPROVED AND ONE (1) NO.12 GREEN THHN/THWN STRANDED COPPER BOND WIRE GROUNDING THE LUMINAIRE. WIRES SHALL RUN FROM THE LUMINAIRE TO MINIMUM OF TWELVE (12) INCHES BELOW POLE HANDHOLE FOR TERMINATION. POLES HAVING MULTIPLE LUMINAIRES SHALL HAVE TWO (2) CONDUCTORS AND ONE (1) BOND WIRE PER LUMINAIRE, AND THE CONDUCTORS SHALL BE MARKED AS PAIRS AT THE HANDHOLE.

33. THREE WIRES SHALL BE RUN CONTINUOUSLY WITHOUT SPLICES FROM THE PHOTOCELL TO THE HAND HOLE COVER WHERE IT WILL BE BUTT SPLICED TO THE 14-4 TRAY (SEE NOTE 13 THIS PAGE). THEY SHALL BE NO. 12 THHN/THWN 90 DEGREE C STRANDED COPPER CONDUCTORS, 600 VOLT, NEC APPROVED. THE "POWER TO PHOTO" SHALL BE IDENTIFIED BY BLACK INSULATION. THE "POWER FROM PHOTO" SHALL BE IDENTIFIED BY RED INSULATION. THE NEUTRAL SHALL BE IDENTIFIED BY WHITE INSULATION.

34. ALL LIGHTING CONDUCTORS AND BOND WIRES SHALL BE COPPER.

35. ALL PVC CONDUIT RUNS SHALL CONTAIN A MINIMUM NO. 8 GREEN XHHW INSULATED SEVEN (7) STRAND COPPER BOND WIRE.

36. ALL CONDUCTORS SHALL BE STRANDED.

37. THE NO. 8 STRANDED GROUNDING WIRE IN THE CONCRETE POLE FOUNDATION GOING TO THE GROUNDING PLATE SHALL BE INSULATED WITH XHHW INSULATION THROUGH THE CONCRETE FOUNDATION AND TWO (2) INCHES EACH SIDE OF THE CONCRETE FOUNDATION.

38. ALL LIGHTING CONTROL CABINETS SHALL BE INSTALLED WITHIN TWO (2) WEEKS OF BEGINNING THE STREET LIGHT IMPROVEMENTS.

39. EACH LUMINAIRE SHALL BE FUSED BEHIND THE POLE HANDHOLE COVER USING AN HEB TYPE FUSE HOLDER WITH INSULATING BOOTS AND A 5-AMP FNM FUSE OR APPROVED EQUAL.

40. ALL FINISHED STREET LIGHT POLE FOUNDATIONS AND CONTROLLER PAD SHALL BE AT SIDEWALK GRADE AND ADJACENT TO SIDEWALK UNLESS OTHERWISE NOTED. STREET LIGHT PULL BOXES SHALL BE AT SIDEWALK GRADE AND TWELVE (12) INCHES FROM SIDEWALK UNLESS OTHERWISE NOTED. (MESA STD DETAIL M-74.2, INSTALLATION NOTE 1).

41. PROJECT SHALL BE BLUE STAKED BEFORE ANY DIGGING IS STARTED BY CALLING 602-263-1100 OR 811.

42. ALL HIGH PRESSURE SODIUM LAMPS SHALL CONFORM TO THE APPROPRIATE LAMP SPECIFICATION FOR ITS PARTICULAR WATTAGE. SEE LAMP SPECIFICATION, MESA STD DETAIL M-71.

43. ALL SPLICES INCLUDING GROUNDS AND BONDS SHALL BE DONE WITH A GEL CAP STUB SPLICE KIT, GEL CAP #SL-2/0-3 HOLE, OTHER GEL CAP PRODUCTS OF APPROPRIATE SIZE OR APPROVED EQUAL. FOR APPROVED STREET LIGHT MATERIALS SEE: http://www.mesaaz.gov/business/engineering/approve-products-equipment-natural-gas-line-contractors.

44. STATION NUMBERS ARE APPROXIMATE. IN SUBDIVISIONS, LOCATE STREET LIGHT POLES AND LIGHTING CONTROL CABINETS ACCORDING TO LOT LINE MEASUREMENTS.

45. STREET PAVING PERMITTEE/CONTRACTOR IS HEREBY NOTIFIED THAT STREET PAVING WILL NOT BE ACCEPTED BY THE CITY OF MESA UNTIL ALL STREET LIGHTS, RETENTION BASINS AND LANDSCAPING IMPROVEMENTS ARE INSTALLED AND ACCEPTED.

46. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL WORK ASSOCIATED WITH THE STREET LIGHTING SYSTEM IS INSPECTED AND APPROVED BY THE CITY PRIOR TO BACKFILLING TRENCHES OR COVERING ANY WORK. CONTACT THE CITY OF MESA ENGINEERING FIELD INSPECTOR TO ARRANGE FOR STREET LIGHT SYSTEM INSPECTION.

47. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL P-301 POLES WHERE IMPACTED BY PROJECT REQUIREMENTS. ALL OTHER LIGHTING EQUIPMENT SHALL BE RETURNED TO THE LIGHTING FOREMAN (480-644-3178) WITH 48 HOURS NOTICE.

Y2K ENGINEERING
1921 S. Alma School Rd, Suite 204
Mesa, Arizona 85210
www.y2keng.com

LEGEND

- NEW STREET LIGHT
- EXISTING STREET LIGHT TO REMAIN
- LT — NEW STREET LIGHT CONDUIT
- LT — EXISTING STREET LIGHT CONDUIT TO REMAIN
- NEW STREET LIGHT PULL BOX
- EXISTING STREET LIGHT PULL BOX
- LCC — STREET LIGHT CONTROL CABINET
- (A) (B) — STREET LIGHT CIRCUIT

STREET LIGHT QUANTITIES

ITEM	UNIT
STREET LIGHT POLE AND LUMINAIRE	7 EA
STREET LIGHT PULL BOX - NO. 5	7 EA
STREET LIGHT CONDUIT - 2" SCH 40 PVC	935 LF
STREET LIGHT CONDUIT - 1½" SCH 40 PVC	70 LF

LUMINAIRE - APPROVED PRODUCTS

ALL LUMINAIRES SHALL BE PER THE CITY OF MESA APPROVED PRODUCTS LIST (REV. 06/20/2019). ALL LUMINAIRES SHALL BE FROM THE SAME MANUFACTURER.

NEW ARTERIAL LED STREET LIGHT (PECOS ROAD)
21KL (21,000 LUMENS)

GE EVOLVE
ERL2-0-21-C3-30-A-GRAY-LR-X (174 W)

PHILLIPS LUMEC ROADFOCUS
RFM-215W96LED3K-T-R3M-UNV-DMG-RCD-PH8-GY3

NEW COLLECTOR LED STREET LIGHT (222ND STREET)
16KL (16,000 LUMENS)

GE EVOLVE
ERL2-0-16-C3-30-A-GRAY-LR-X (120 W)

PHILLIPS LUMEC ROADFOCUS
RFM-160W48LED3K-T-R3M-UNV-DMG-RCD-PH8-GY3

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ARIZONA 811
Call 811 or click Arizona811.com

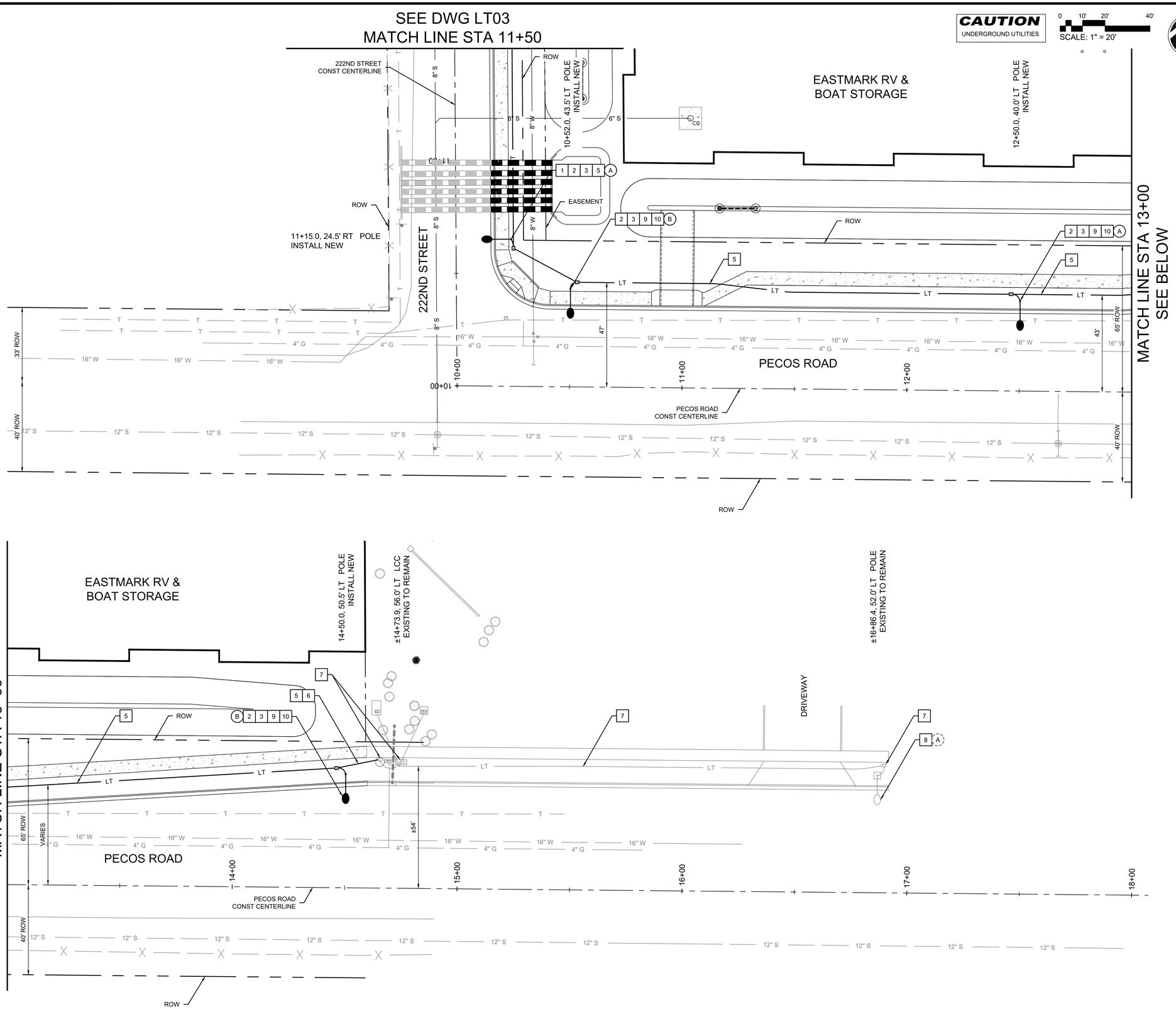
REGISTERED PROFESSIONAL ENGINEER (CIVIL)
42636
CHRISTOPHER B. WILLIAMS
Date Signed 04/28/2021
ARIZONA, U.S.A.

NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

STREET LIGHT
GENERAL NOTES & LEGEND

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
RAN	RAN	CBW	LT01	14 OF	18
DATE: 04/21	DATE: 04/21	DATE: 04/21			



Y2K ENGINEERING
1921 S. Alma School Rd, Suite 204
Mesa, Arizona 85210
www.y2keng.com

LEGEND

- NEW STREET LIGHT
- EXISTING STREET LIGHT TO REMAIN
- LT — NEW STREET LIGHT CONDUIT
- LT — EXISTING STREET LIGHT CONDUIT TO REMAIN
- NEW STREET LIGHT PULL BOX
- EXISTING STREET LIGHT PULL BOX
- LCC — STREET LIGHT CONTROL CABINET
- (A) (B) — STREET LIGHT CIRCUIT

CONSTRUCTION NOTES

1. PROVIDE AND INSTALL NEW MESA STREET LIGHT POLE P-106 WITH 8' LUMINAIRE MAST ARM ON A FOUNDATION PER MESA STD DET SL-73.01, SL-74.01, SL-74.02, SL-74.03, AND SL-74.08.
2. PROVIDE AND INSTALL 1½ INCH SCH 40 PVC CONDUIT FROM PULL BOX TO STREET LIGHT POLE PER MESA STD DET SL-74.03 AND SL-75.02 WITH #8 XHHW CONDUCTOR AND #8 BOND 7-STRAND COPPER.
3. PROVIDE AND INSTALL NEW NO. 5 STREET LIGHT PULL BOX PER MESA STD DET SL-75.01, SL-75.02, AND SL-75.03.
4. PROVIDE AND INSTALL NEW ARTERIAL LED (16KL) STREET LIGHT PER MESA APPROVED PRODUCTS LIST
5. PROVIDE AND INSTALL 2 INCH SCH 40 PVC CONDUIT FROM PULL BOX TO PULL BOX AS APPROXIMATELY SHOWN ON PLANS WITH #8 XHHW CONDUCTOR AND #8 BOND 7-STRAND COPPER. PER MESA STD DET SL-75.02.
6. SWEEP NEW 2" SCH 40 PVC CONDUIT INTO EXISTING LIGHTING PULL BOX
7. EXISTING LIGHTING CONTROL CABINET, PULL BOX, AND CONDUIT TO REMAIN
8. EXISTING STREET LIGHT POLE TO REMAIN
9. PROVIDE AND INSTALL NEW MESA STREET LIGHT POLE P-207 WITH 20' LUMINAIRE MAST ARM ON A FOUNDATION PER MESA STD DET SL-73.01, SL-74.01, SL-74.02, SL-74.03, AND SL-74.08.
10. PROVIDE AND INSTALL NEW ARTERIAL LED (21KL) STREET LIGHT PER MESA APPROVED PRODUCTS LIST

*ALL STATIONING FROM PECOS ROAD. STATIONS AND OFFSETS SHOWN ARE APPROXIMATE, ACTUAL LOCATIONS TO BE FIELD VERIFIED BY THE STREET LIGHTING INSPECTOR PRIOR TO POLE AND PULL BOX INSTALLATION.

UTILITY DISCLAIMER
Y2K ENGINEERING STRIVES TO PROVIDE ACCURATE UTILITY INFORMATION BASED ON THE MOST CURRENT DATA AVAILABLE. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON AVAILABLE SURVEY AND RECORDS OF THE VARIOUS UTILITY COMPANIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

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ARIZONA811
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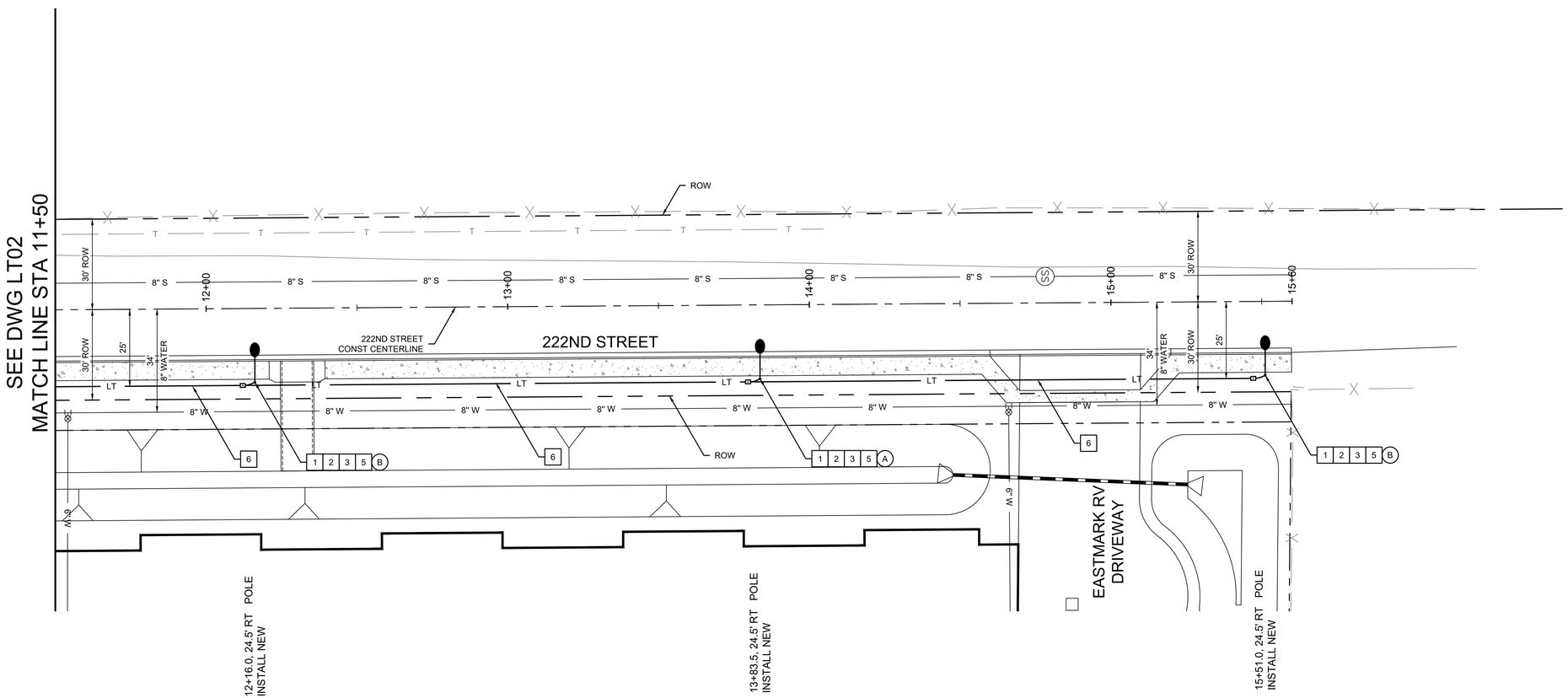
Certificate of Authorization
Registered Professional Engineer
42636
CHRISTOPHER B. WILLIAMS
Date Signed 04/28/21
ARIZONA, U.S.A.

NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

STREET LIGHT PLAN
PECOS ROAD

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
RAN	RAN	CBW	LT02	15 OF	18
DATE: 04/21	DATE: 04/21	DATE: 04/21			



CAUTION
UNDERGROUND UTILITIES

0 10' 20' 40'
SCALE: 1" = 20'

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LEGEND

- NEW STREET LIGHT
- EXISTING STREET LIGHT TO REMAIN
- LT — NEW STREET LIGHT CONDUIT
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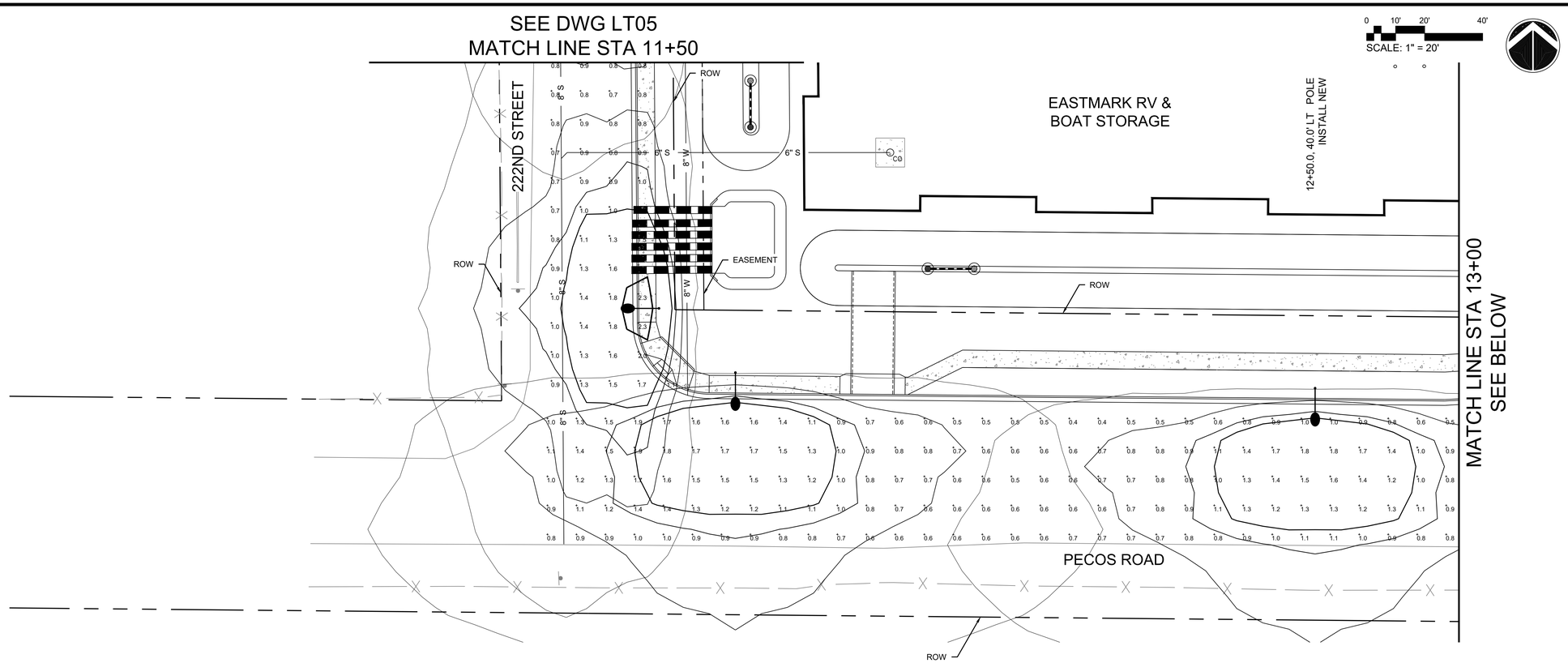
Registered Professional Engineer (Civil)
CERTIFICATE NO. 42636
CHRISTOPHER B. WILLIAMS
Date Signed 04/28/21
ARIZONA, U.S.A.

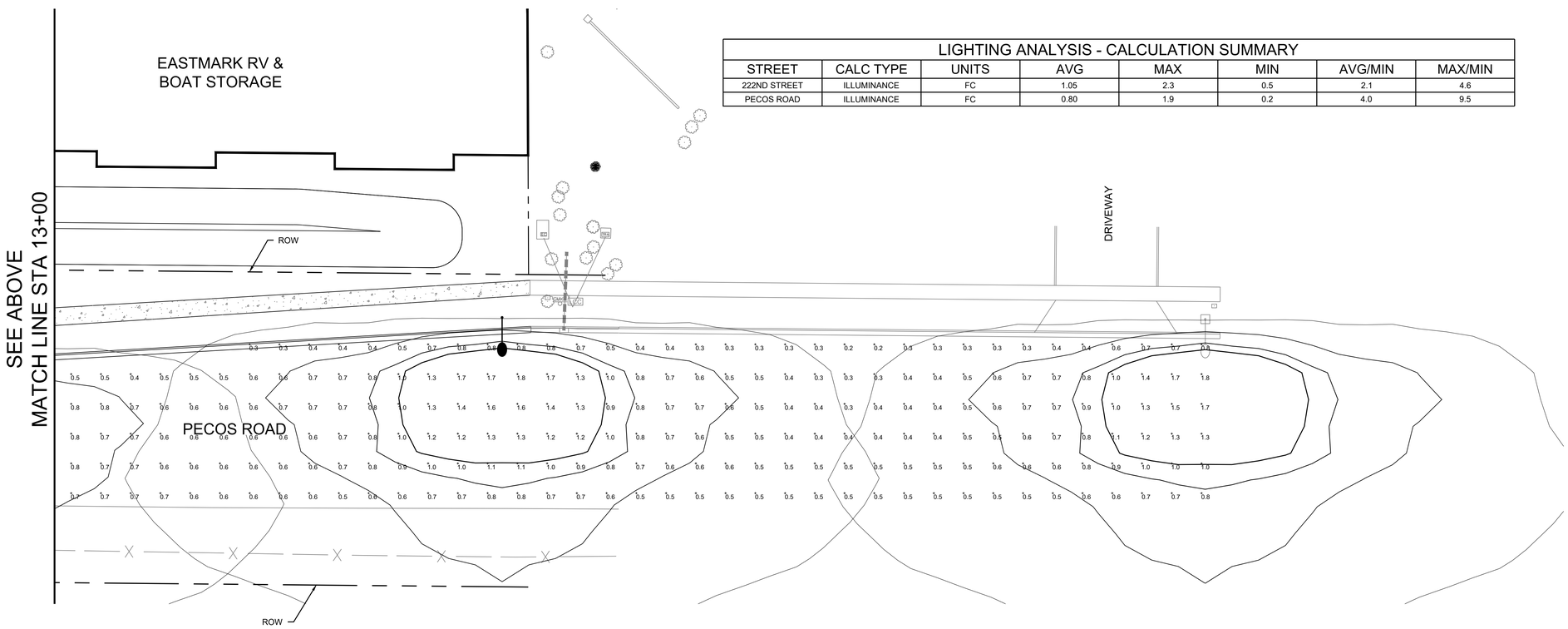
NO.	BY	DATE	REVISION	APPR.	DATE

EASTMARK RV & BOAT STORAGE

STREET LIGHT PLAN
222ND STREET

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
RAN	RAN	CBW	LT03	16 OF	18
DATE: 04/21	DATE: 04/21	DATE: 04/21			





LIGHTING ANALYSIS - CALCULATION SUMMARY							
STREET	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
222ND STREET	ILLUMINANCE	FC	1.05	2.3	0.5	2.1	4.6
PECOS ROAD	ILLUMINANCE	FC	0.80	1.9	0.2	4.0	9.5

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LEGEND

- NEW STREET LIGHT
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EASTMARK RV & BOAT STORAGE

STREET LIGHT ANALYSIS
PECOS ROAD

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO.	TOTAL SHEETS
RAN	RAN	CBW	LT04	17 OF	18
DATE: 04/21	DATE: 04/21	DATE: 04/21			

0 10' 20' 40'
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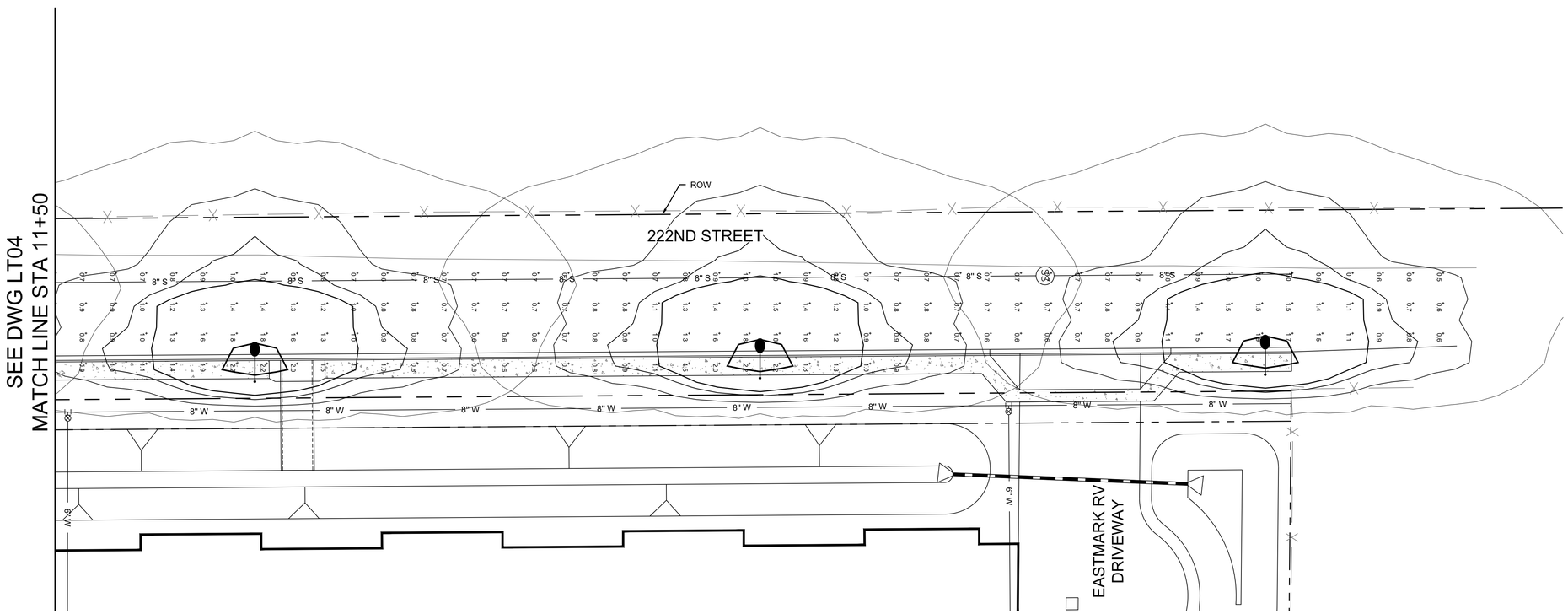

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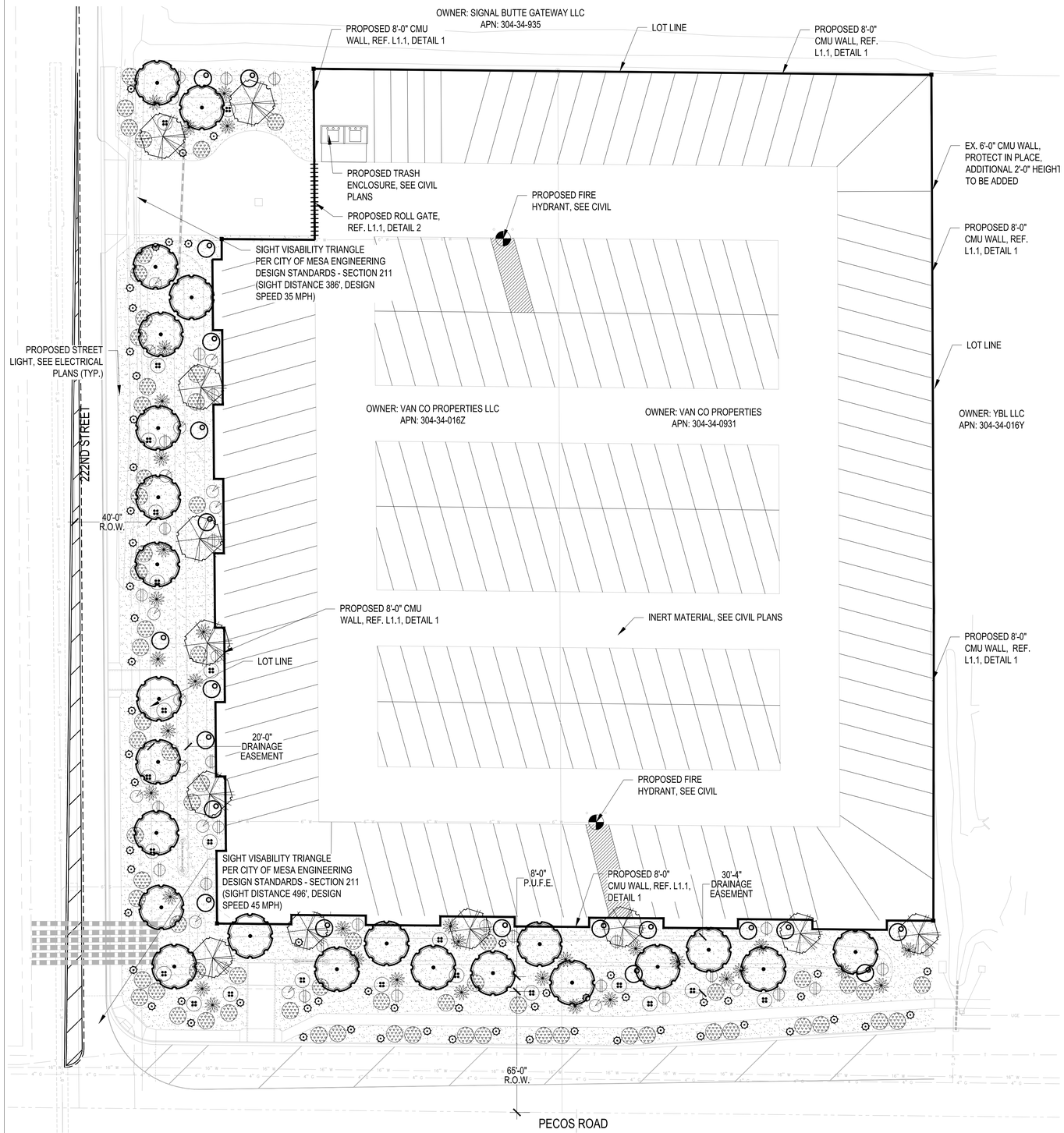
EASTMARK RV & BOAT STORAGE

STREET LIGHT ANALYSIS
222ND STREET

DESIGNED:	DRAWN:	CHECKED:	DWG. NO.	SHEET NO. OF TOTAL SHEETS
RAN	RAN	CBW	LT05	18 OF 18
DATE: 04/21	DATE: 04/21	DATE: 04/21		

DATE: Apr 28, 2021 FILE: C:\Users\RyanNeiffer\Y2K Engineering\Project - Documents\~2020-000-Closed Jobs\2020-045-Mad Aim RV\04_Working Docs\02_CADD\Sheets\2020-045-LT.dwg



HARDSCAPE LEGEND

	DESCRIPTION
	8'-0" CMU PERIMETER WALL. REF. L1.1, DETAIL 1
	8'-0" GATE. REF. L1.1, DETAIL 2
	CMU COLUMN. REF. L1.1, DETAIL 3

CITY OF MESA LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
   A. DAMES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTORS ACTIVITIES.
   B. DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
   C. INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITION PRIOR TO SUBMITTING A BID.
2. INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIAL SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS AS AMENDED BY THE CITY OF MESA IN MANUAL, LANDSCAPE AND IRRIGATION STANDARDS.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM AND FLOOD IRRIGATION SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
4. LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
5. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. NOTED TO BE REMOVED ON THE PLANS SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTORS EXPENSE (SCARIFY EXISTING SUB-GRADE, MINIMUM 6 INCHES DEPTH).
6. DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E. RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES, EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
7. ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES SHALL CONFIRM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7, SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION SPECIFICATION SHALL PREVAIL.
8. CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINER TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO THE CITY.
9. PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
10. ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRAD IS INCLUDED IN THIS PROJECT.
11. SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE COMPLETED BY THE CONTRACTOR TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE A COPY OF THE SOIL TEST RESULTS FOR REVIEW AND APPROVAL TO ENGINEERING INSPECTOR AT LEASE SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING. AFTER APPROVAL BY THE CITY, THE CONTRACTOR SHALL PROVIDE AND INCORPORATE ANY ADDITIVES REQUIRED PRIOR TO AT AT THE TIME OF PLANTING.
12. PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE HALF PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME. THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
13. CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT LEGEND ITEM NUMBER FROM PLANS.
14. ALL EXISTING (GAS, ELECTRIC, WATER, ETC.) COVERS AND BOXES SHALL REMAIN UNCOVERED. CONTRACTOR TO ADJUST TO FINAL GRADE AS NECESSARY. NON-PAY ITEM (NPI) UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE UNDERGROUND SPRINKLER SYSTEM IN ADVANCE OF CONSTRUCTION. THE SPRINKLER SYSTEM LOCATIONS NOTED ON PLANS ARE FOR REFERENCE ONLY.
16. CONTRACTOR TO VERIFY DEPTH OF ALL INLET STRUCTURES AND SPRINKLER SYSTEMS PRIOR TO TRENCHING FOR LOW-FLOW CHANNEL.
17. CONTRACTOR TO PROVIDE PUMPING WITHIN FIVE (5) DAYS AFTER THE NOTICE TO PROCEED IS GIVEN AS REQUIRED TO DRY THE AREA SUFFICIENTLY TO BEGIN CONSTRUCTION.
18. CONTRACTOR SHALL ARRANGE FOR SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION BY CONTACTING THE ENGINEERING INSPECTOR.
19. NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP SIX (6) INCHES OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS A NON-PAY (NPI) ITEM UNLESS OTHERWISE NOTED.
20. WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY ONE-THIRD (1/3) OVER SPECIFICATION, AND A LIQUID PENETRATOR, "AL-KALICHE" OR EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL INSTALL DECOMPOSED GRANITE TO A ROLLED DEPTH PER THE APPROVED PLANS AND SPECIFICATIONS. DECOMPOSED GRANITE SHALL BE PER THE APPROVED PLANS AND SPECIFICATIONS WITH THE COLOR AS SPECIFIED ON THE PLANS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED BEFORE AND AFTER PLACEMENT OF DECOMPOSED GRANITE PER THE MANUFACTURER'S RECOMMENDATIONS. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN, DACTHAL, OR APPROVED EQUAL. SAMPLE TO BE PROVIDED FOR CITY REVIEW AND APPROVAL. CONTRACTOR SHALL WASH OFF ROCK MULCH ONCE FINAL PLACEMENT HAS OCCURRED.
22. RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS, COMPONENTS AND LANDSCAPE AREAS IMPACTED BY ANY WORK UNDER THIS CONTRACT. RESTORE ALL EXISTING IRRIGATION AND LANDSCAPE IN ACCORDANCE WITH THE LANDSCAPE RESTORATION NOTES INDICATED WITHIN THESE DOCUMENTS. AT A MINIMUM, ALL RESTORATION SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATION 107.9 - PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE. ALL RESTORATION WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF MESA ENGINEER.
23. ALL RESTORATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REFERENCED DETAILS AND ANY ADDITIONAL DETAILS PROVIDED.
24. REFER TO LANDSCAPE PLANTING SHEETS AND ENGINEERING DRAWINGS FOR ADDITIONAL RESTORATION NOTES AND REQUIRED COORDINATION.

LANDSCAPE NOTES

1. SHRUBS AND GROUNDCOVER PLANTED WITHIN THE SIGHT VISABILITY TRIANGLE SHALL HAVE A MATURE HEIGHT OF NOT MORE THAN 24 INCHES. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT, AND TOTAL HEIGHT OF ANY MOUNDING.
2. TREES PLANTED IN WITHIN SIGHT VISABILITY TRIANGLES SHALL HAVE A CLEAR TRUNK PRUNED TO A HEIGHT OF SEVEN FEET OR GREATER UPON INSTALLATION. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT.
3. DECOMPOSED GRANITE SHALL FADE TO LOT LINE.

PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Ulmus parvifolia Chinese Elm Caliper Size: 1.75"	36" Box 10' H X 6' W	*ADWR	12
Quercus virginiana Live Oak Caliper Size: 2.0"	24" Box 8' H X 3' W	*ADWR	23

GROUNDCOVERS			QTY
Lantana montevidensis Trailing Lantana 'Gold'	5 Gallon	*ADWR	68

SHRUBS / ACCENTS			QTY
Leucophyllum frutescens Texas Sage	5 Gallon	*ADWR	30
Caesalpinia pulcherrima Red Bird of Paradise	5 Gallon	*ADWR	20
Calliandra eriophylla Pink Fairy Duster	5 Gallon	*ADWR	23
Salvia leucantha Mexican Bush Sage	5 Gallon	*ADWR	18
Hesperaloe parviflora Red Yucca	5 Gallon	*ADWR	61
Dasylirion wheeleri Desert Spoon	5 Gallon	*ADWR	35

LANDSCAPE MATERIALS	
Decomposed Granite. 3/4" minus, Madison Gold 2" deep in planting areas per plan.	48,320 sq.ft.

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

*SVT = Sight Visibilty Triangle

SHEET INDEX

SHEET	TITLE
L1.0	PRELIMINARY LANDSCAPE PLAN
L1.1	PRELIMINARY WALL DETAILS

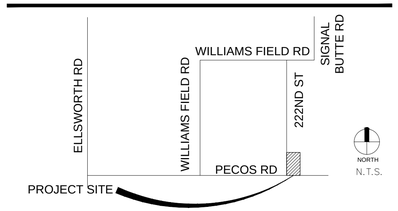
OWNER CONTACT

MAD AIM INVESTMENTS, LLC
ATTEN: ALISON AVALOS
PO BOX 13006
CHANDLER, ARIZONA 85248
PHONE: 480-510-1494
ALIAVALOS@GMAIL.COM

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL RD.
MESA, AZ 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

VICINITY MAP



CITY OF MESA LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
STREET FRONTAGE LANDSCAPE PER 11-33-3 MESA Z/O ARTERIAL STREET 1 TREE/6 SHRUBS PER 25 LINEAR FT FRONTAGE (4 TREES / 24 SHRUB PER 100 FT FRONTAGE)	PECOS ROAD: 430' / 25' = 17.2 TREES 103.2 SHRUBS	18 TREES 135 SHRUBS 24" BOX = 66.6% 36" BOX = 33.3%
STREET FRONTAGE LANDSCAPE PER 11-33-3 MESA Z/O COLLECTOR STREET 1 TREE/6 SHRUBS PER 25 LINEAR FT FRONTAGE (4 TREES / 24 SHRUB PER 100 FT FRONTAGE)	222ND STREET: 495' / 25' = 19.8 TREES 118.8 SHRUBS	20 TREES 134 SHRUBS 24" BOX = 65% 36" BOX = 35%
REQUIRED TREE SIZES A MINIMUM OF 25% OF THE TOTAL REQUIRED TREES SHALL BE 36-INCH OR LARGER BOX TREES	TOTAL TREES = 35 TREES 36" BOX = 8.75 TREES (25%)	36" BOX = 12 TREES (34.3%)

ARIZONA BLUESTAKE CENTER
CALL TWO WORKING DAYS BEFORE YOU DIG
1.800.782.5348

HARRINGTON PLANNING + DESIGN
1921 S Alma School Rd, Suite 204
Mesa, Arizona 85210
Tel: 480-250-0116
www.HarringtonPlanningDesign.com

PRELIMINARY
NOT FOR CONSTRUCTION
REGISTERED PROFESSIONAL ARCHITECT
44161
JASON E. HARRINGTON
Date Signed 04.29.21
ARIZONA U.S.A.

EASTMARK RV & BOAT STORAGE

10630 E. PECOS ROAD
Mesa, Arizona 85212

REV.	COMMENT	DATE

ISSUE	DATE
3rd Prelim Submittal	04.29.21
2nd Prelim Submittal	02.24.21
Preliminary Submittal	06.24.20

LANDSCAPE PACKAGE

April 29, 2021

DRAWN BY:	TKW
CHECK BY:	JEH
PROJ. NO.:	2020-021
CASE NO.:	

NORTH

0 15 30 60

PRELIMINARY LANDSCAPE PLAN

L1.0

1 of 2

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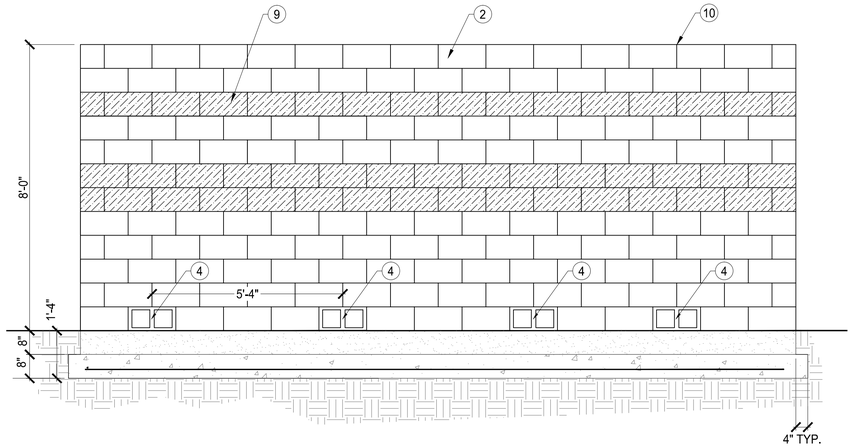

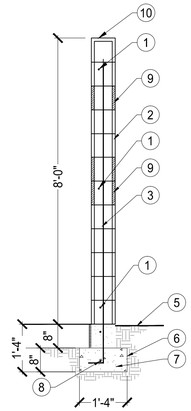

1. #4 HOR. CONT. REBAR.
2. 8" X 8" X 16" C.M.U. SCREEN WALL. STANDARD SMOOTH BLOCK FINISH, INTEGRAL COLOR - DAVIS COLOR "BAYOU(6130)" OR APPROVED EQUAL
3. #4 VERT. REBAR @ 36" O.C.
4. CMU DRAIN BLOCK @ 5'-4" O.C.
5. FINISHED GRADE.
6. 95% COMPACTED SUBGRADE.
7. CONCRETE FOOTING.
8. #4 HOR. CONT. REBAR.
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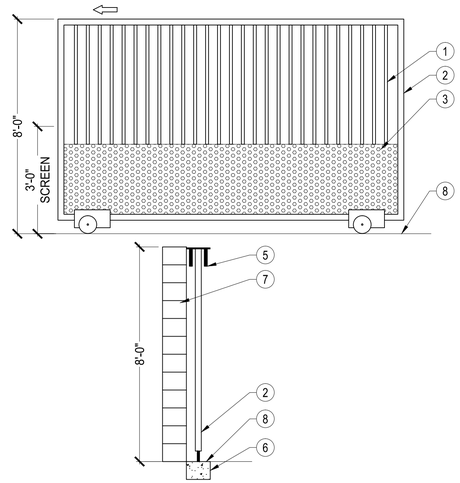
NOTES:
1. DETAIL PROVIDED FOR REFERENCE ONLY.
2. CONTRACTOR TO PROVIDE SHOP DRAWING OF FOOTING FOR DEFERRED SUBMITTAL.
3. DAVIS COLORS, (323) 265-8323, https://www.daviscolors.com/

1 SITE WALL 8 FT TALL - CMU

SCALE: N.T.S.



1. PICKETS 1". PLACE 4" O.C.
2. GATE FRAME 2"
3. PERFERATED METAL. SEE NOTES FOR SIZE
4. V-GROOVE WHEEL
5. PINCH ROLLER BRACKET
6. CONCRETE RIBBON
7. EXISTING WALL
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NOTES:
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2. GATE
   MANUFACTURER: AMERICAN FENCE CO.
   PRODUCT: HOLDMAN SERVICE GATE
   WEBSITE: https://www.americanfence.com/
3. PERFORATED SCREEN
   MANUFACTURER: MC NICHOLS CO.
   ITEM #: 1614121141
   WEBSITE: https://www.mcnichols.com/
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2 ROLL GATE - 8FT

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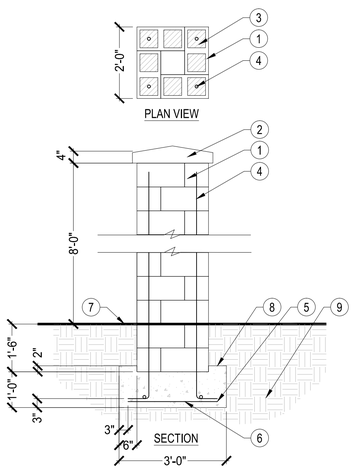

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NOTES:
1. GROUT COLOR TO MATCH BLOCK FINISH.
2. CONCAVE TYPE JOINT.
3. PRECAST CONCRETE CAP
   MANUFACTURE: PHOENIX PRECAST PRODUCTS
   SKU: CCLP2706
   FINISH: SMOOTH
   COLOR: TAUPE
4. CONFIRM REINFORCEMENTS WITH CIVIL / STRUCTURAL IF AVAILABLE.

3 CMU COLUMN

SCALE: N.T.S.

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HARRINGTON PLANNING + DESIGN
1921 S Alma School Rd, Suite 204
Mesa, Arizona 85210
Tel: 480-250-0116
www.HarringtonPlanningDesign.com

PRELIMINARY
NOT FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER (CIVIL) 44161 JASON E. HARRINGTON Date Signed 04.29.21 ARIZONA U.S.A.

EASTMARK RV & BOAT STORAGE

10630 E PECOS ROAD
Mesa, Arizona 85212

REV.	COMMENT	DATE

ISSUE	DATE
3rd Prelim Submittal	04.29.21
2nd Prelim Submittal	02.24.21
Preliminary Submittal	06.24.20

LANDSCAPE PACKAGE

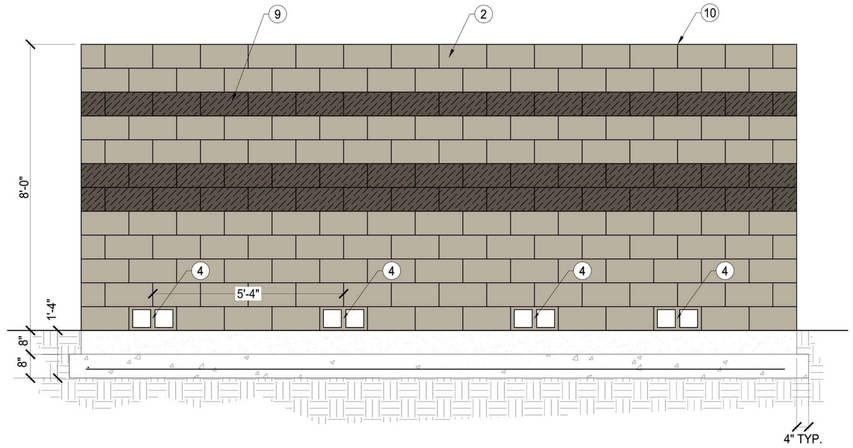
April 29, 2021

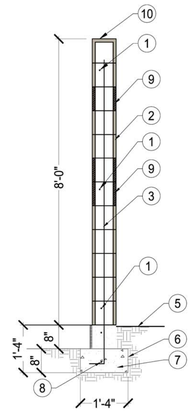
DRAWN BY:	TKW
CHECK BY:	JEH
PROJ. NO.:	2020-021
CASE NO.:	

PRELIMINARY WALL DETAILS

L1.1

ARIZONA BLUESTAKE CENTER
CALL TWO WORKING DAYS BEFORE YOU DIG
1.800.782.5348





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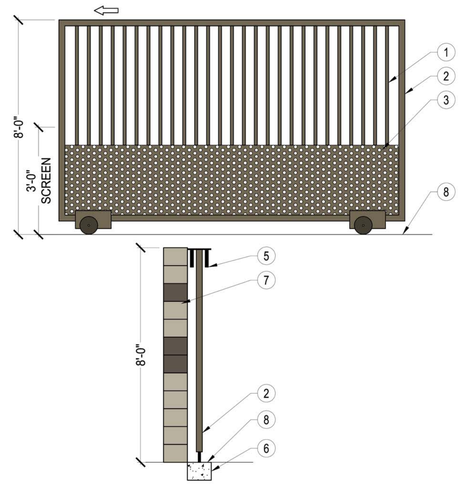

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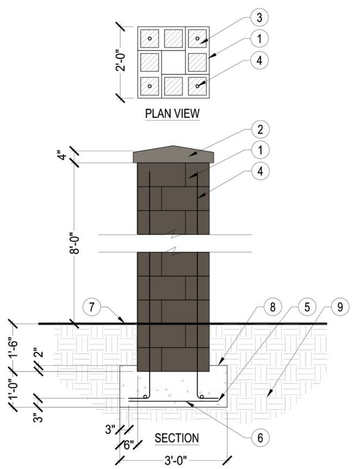

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44161 JASON E. HARRINGTON
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EASTMARK RV & BOAT STORAGE

10630 E PECOS ROAD
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REV.	COMMENT	DATE

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April 29, 2021

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Citizen Participation Plan
Design Review Application
Eastmark RV & Boat Storage – 10630 E. Pecos Road

Date: April 30, 2021

Purpose: The purpose of this Citizen Participation Plan is to inform all property owners, HOA's, and neighborhood associations of the Design Review application that are within the vicinity of the site. The Site Plan application is to approve the construction of a new outdoor RV and Boat storage. This plan will ensure effective notice is given to the neighbors and will establish a means of communication between the applicants and surrounding property owners.

Contact:
Adam Baugh, Withey Morris PLC
2525 E. Arizona Biltmore Cir. Suite A-212
Phoenix, AZ 85016
(602) 230-0600
adam@witheymorris.com

Pre-submittal Meeting: The pre-submittal meeting with City of Mesa planning staff was held on April 21, 2020. Staff reviewed the application and recommended we send notice letters to property owners, HOAs, and neighborhood associations as defined in the Action Plan below. Staff is not requiring a neighborhood meeting but through the notice letters, neighbors will have contact information for the project should they have any questions regarding the project.

Action Plan: The following plan will be followed to provide effective citizen participation and opportunities for the applicant to address and real or perceived impact the project will have on the community.

1. Create a contact list of all property owners within 1,000 feet of the property, all HOAs within one half mile of the property, and all registered neighborhood organizations within one mile of the property. Anyone who has requested to be on the notice list will be included as well.
2. Send a letter to all people/entities on the contact list. The letter will inform the citizens of what is happening at the site and will also contain contact information for any citizens who want more information about the project.
3. The applicant will meet with citizens and respond to questions and concerns from the community. This will be completed in person, via email or telephone calls.

Schedule: Pre-submittal meeting – April 16, 2020
Application Submittal - July 3, 2020
Initial mailing sent – August 19, 2020
Resubmittal of Applications – March 4, 2021
Submittal of Citizen Participation Report – May 2021
Planning & Zoning Board Hearing – May 2021

Parcel Number	Owner	Mailing Address
304-34-015D	TUCKER PROPERTIES LTD	4010 E GROVE CIRCLE MESA AZ 85206
304-34-015E	TUCKER PROPERTIES LTD	4010 E GROVE CIRCLE MESA AZ 85206
304-34-016Q	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-016T	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-016V	YBL LLC	8525 N 75TH AVE PEORIA AZ 85345
304-34-016Y	YBL LLC	8525 N 75TH AVE PEORIA AZ 85345
304-34-016Z	VAN CO PROPERTIES LLC	4502 E UNIVERSITY PHOENIX AZ 85034
304-34-019C	SIGNAL BUTTE 20 DJB LLC	2251 N 32ND ST NO 30 MESA AZ 85213
304-34-019E	SIGNAL BUTTE 20 DJB LLC	2251 N 32ND ST NO 30 MESA AZ 85213
304-34-020D	SIGNAL BUTTE 10 LLC	2251 N 32ND ST UNIT 30 MESA AZ 85213
304-34-931	VAN CO PROPERTIES LLC	4502 E UNIVERSITY PHOENIX AZ 85034
304-34-933	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-934	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-935	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-36-003	HOME REAL ESTATE INVESTMENTS LLC	1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-63-005	TRW VEHICLE SAFETY SYSTEMS INC	11202 E GERMAIN RD QUEEN CREEK AZ 85242-9361
304-63-016	BYNER CATTLE COMPANY	333 N CENTRAL AVE PHOENIX AZ 85004-2121

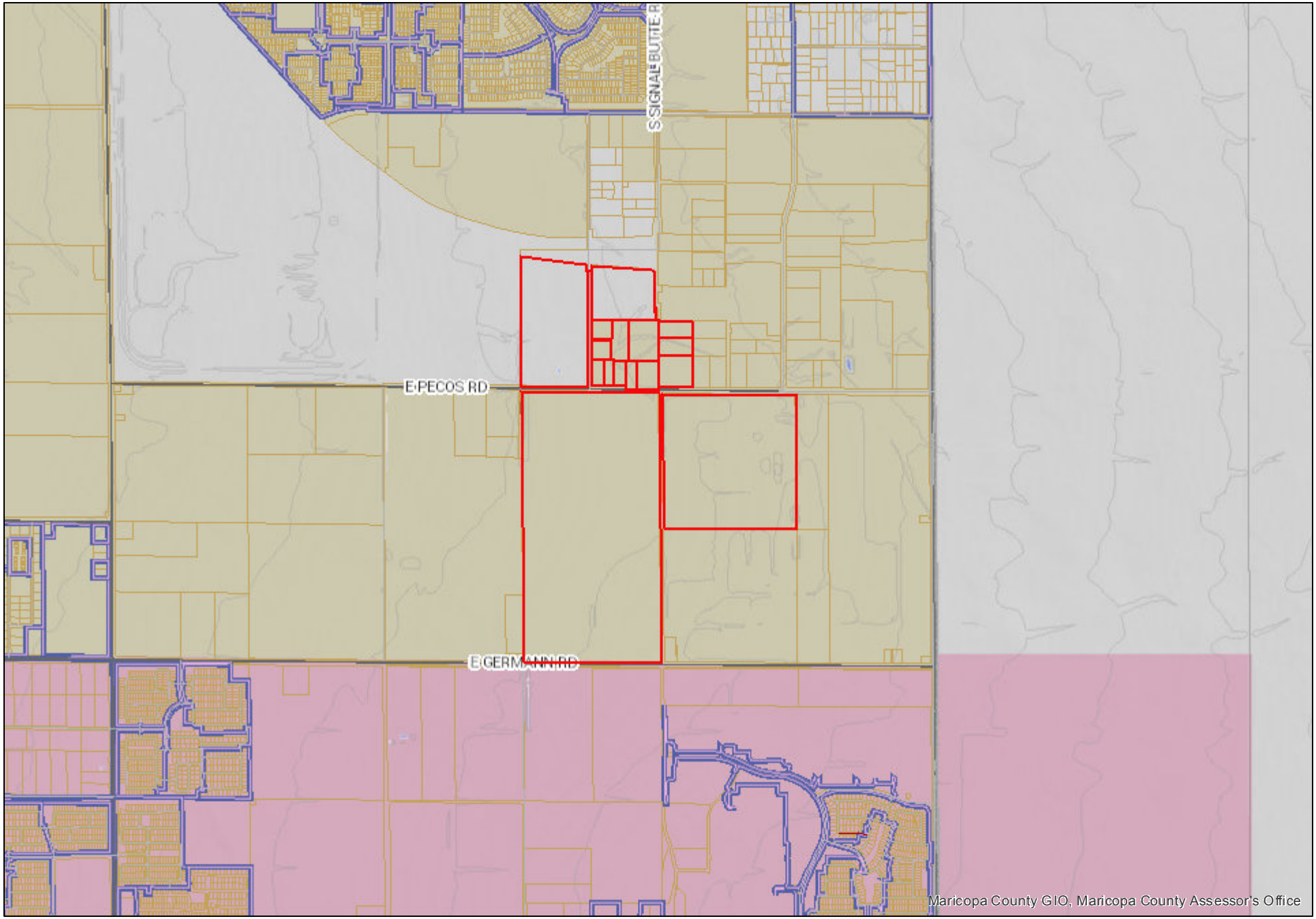
Registered Neighborhoods and City of Mesa

Neighborhood Name	First Name	Last Name	St No	St Dir	St Name	StType	UnitNum	City	State	Zip
Eastmark	Suzanne	Walden-Wells	10100	E	Ray	Rd		Mesa	AZ	85212

HOA Name Corp Comm Link

Eastmark https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=16931004

Map



7/2/2020 2:28:20 PM

August 19, 2020

Notice of Project

Dear Property Owner or Resident:

Our firm represents Mad Aim Investments, LLC, who owns a property at 10630 E. Pecos Road, Mesa, Arizona (the “Property”), as shown on the enclosed map. The site is currently vacant and zoned Light Industrial (LI). Our client is proposing to develop an outdoor RV and boat storage facility on the Property, which is permitted by right in the LI zoning district.

We have filed Site Plan and Design Review applications with the City of Mesa. No new buildings, canopies, lighting, or permanent structures are proposed at this time. The character and image of the development will be established by the decorative perimeter fence and streetscape landscaping. Access to the site will be from 222nd Street with a gated entrance and electronic keypad. The conceptual site plan is attached to this letter.

When hearing dates are scheduled, we will send out another mailing notifying you of those dates and times. If you have any questions or would like to meet with the applicant or the development team, please feel free to contact me at 602-230-0600 or hannah@witheymorris.com.

Thank you for your courtesy and consideration.

Sincerely,

WITHEY MORRIS P.L.C.

By

Hannah Bleam

Enclosures

Citizen Participation Report
Eastmark RV & Boat Storage
10630 E. Pecos Road

Date: May 25, 2021

Purpose: This report provides results of the implementation of the Citizen Participation Plan for the Eastmark RV & Boat Storage. The site is located at 10630 E. Pecos Road at the northeast corner of Pecos Road and 222nd Street and the application is for site plan review to allow for the development of an RV Storage Facility. This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application, and applicable materials are attached.

Contact:
Adam Baugh, Withey Morris PLC
2525 E. Arizona Biltmore Cir. Suite A-212
Phoenix, AZ 85016
(602) 230-0600
adam@witheymorris.com

Pre-submittal Meeting:
The pre-submittal meeting with City of Mesa planning staff was held on April 21, 2020. Staff reviewed the application and recommended we send notice letters to property owners, HOAs, and neighborhood associations as defined in the Citizen Participation Plan. Staff is not requiring a neighborhood meeting. However, adjacent property owners will receive notification letters that have contact information for the project should they have any questions regarding the project.

Correspondence and Calls:
1) Initial mailing sent to contact list, including HOAs, and property owners on 8/20/20. (See the attached list and example of materials mailed)
2) 2nd mailings sent to contact list, including HOAs, and property owners on 5/21/21. (See the attached list and example of materials mailed)
3) Sign posted on the Property regarding the upcoming hearings on 5/25/21.

Concerns:
We did not receive any correspondence or calls from adjacent property owners or the public and therefore did not hear any concerns regarding the request.

August 19, 2020

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Dear Property Owner or Resident:

Our firm represents Mad Aim Investments, LLC, who owns a property at 10630 E. Pecos Road, Mesa, Arizona (the “Property”), as shown on the enclosed map. The site is currently vacant and zoned Light Industrial (LI). Our client is proposing to develop an outdoor RV and boat storage facility on the Property, which is permitted by right in the LI zoning district.

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Sincerely,

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By

Hannah Bleam

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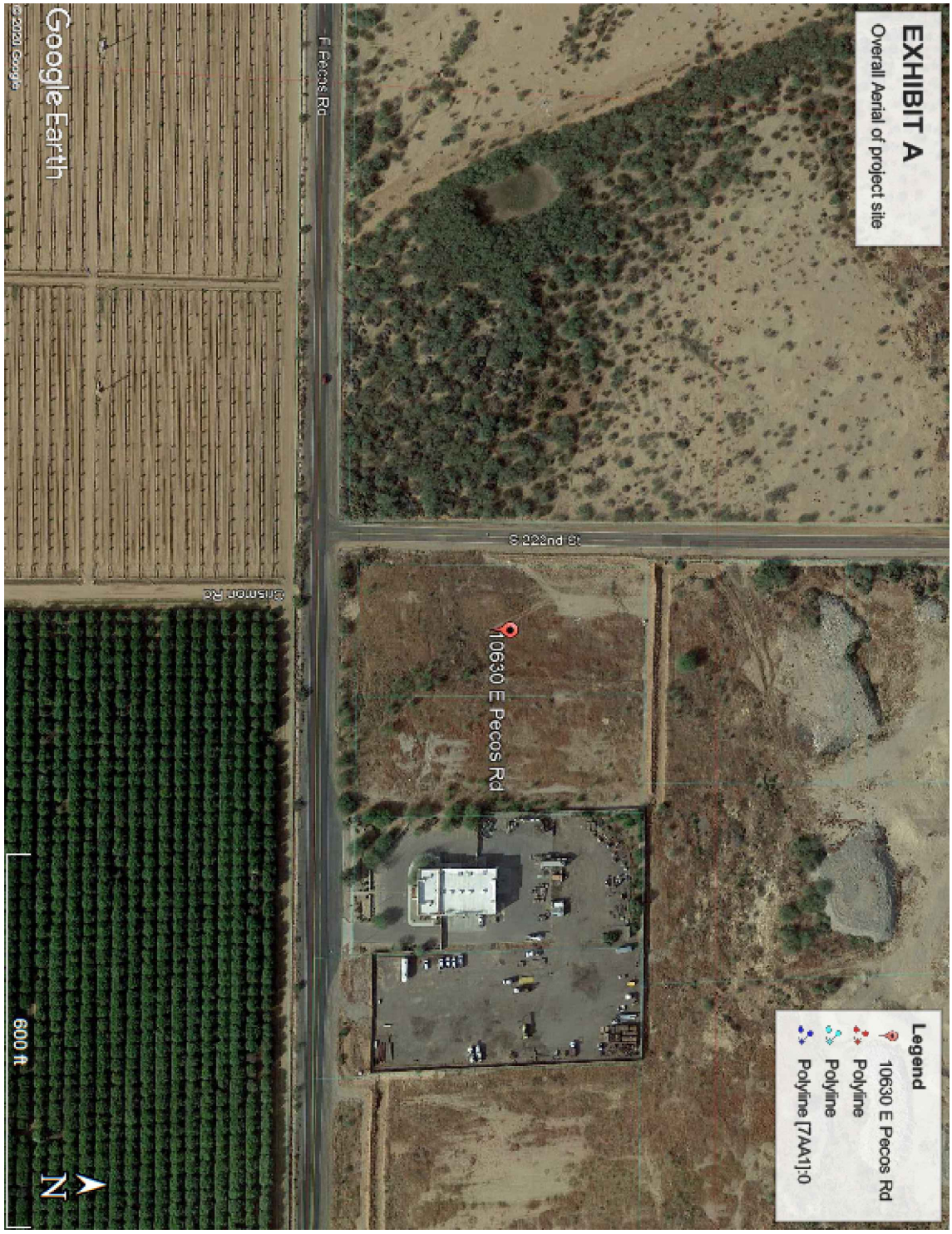

SHEET	DRAWN BY:	JB
1	DATE:	4/2/20
	SCALE:	N.T.S.
OF 6	JOB NO:	220038

EASTMARK RV & BOAT STORAGE

EXHIBIT A

MARICOPA COUNTY MESA, ARIZONA

RPA
RITOCH-POWELL & Associates
602-263-1177
WWW.RPAENG.COM

DATE: Apr 03, 2020 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Pre-application Narrative\EXHIBITS.dwg

Parcel Number	Owner	Mailing Address
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Eastmark HOA, 6263 N. Scottsdale Road, Suite 330, Scottsdale AZ 85250

CITY OF MESA
PUBLIC NOTICE
ZONING HEARING
PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA
TIME: 4:00 PM DATE: June 9, 2021
CASE: ZON20-00447
REQUEST: Site Plan Review. This request will allow for the development of an RV Storage Facility.
APPLICANT: Adam Baugh - Withey Morris PLC
PHONE: 602-230-0600
Planning Division 480-644-2385
Posting date: 5/25/2021
5/25/21 16:27:31

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PLANNING & ZONING BOARD
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Planning Division 480-644-2385
Posting date: 5/25/2021
5/25/21 16:30:35

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by _____, 2021

Date: May 25th, 2021

I, Maria Hitt, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to ZON20-00447(case number), on the 25th day of May, 2021. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: Maria Hitt

SUBSCRIBED AND SWORN before me this 25th day of May, 2021

Marybeth Conrad
Notary Public

MARYBETH CONRAD
Notary Public - Arizona
Maricopa County
Commission # 591461
My Comm. Expires Oct 25, 2024

WITHEY MORRIS PLC
ATTORNEYS AT LAW

May 21, 2021

RE: Notice of Hearing
ZON20-00447 & DRB20-00446
10630 E Pecos Road

Dear Property Owner or Resident:

Our firm represents Mad Aim Investments, LLC, who owns a property at 10630 E. Pecos Road, Mesa, Arizona (the "Property"), as shown on the enclosed map. The site is currently vacant and zoned Light Industrial (LI). Our client is proposing to develop an outdoor RV and boat storage facility on the Property, which is permitted by right in the LI zoning district.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. We have filed Site Plan and Design Review applications with the City of Mesa (Case Nos ZON20-00447 & DRB20-00446). No new buildings, canopies, or permanent structures are proposed at this time. The character and image of the development will be established by the decorative perimeter fence and streetscape landscaping. Access to the site will be from 222nd Street with a gated entrance and electronic keypad. Enclosed for your review is a copy of the site plan and elevations of the proposed development.

There will be two separate hearings for each case, Design Review and Zoning, as described below:

Design Review Board (DRB20-00446)

This application will be scheduled for consideration by the Mesa Design Review Board at their meeting held on June 8, 2021. in the Lower Level of the City Council Chambers. The meeting will begin at 4:30 p.m.

Because of the current public health emergency, the Lower Level of the City Council Chambers is closed for Design Review Board Meetings. However, the live meeting may be listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.

Public participation will be available electronically and telephonically. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card at https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

PHONE: 602-230-0600 FAX: 602-212-1787 2525 E. Arizona Biltmore Circle, Suite A-212, Phoenix, AZ 85016

Planning & Zoning Commission (ZON20-00447)

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on June 9, 2021 in the City Council Chambers. The meeting will begin at 4:00 p.m.

Because of the current public health emergency, the City Council Chambers is closed for Planning and Zoning Meetings. However, the live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.

Public participation will be available electronically. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card at https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned these cases to Evan Balmer of their Planning Division staff. He can be reached at 480-644-3654 or evan.balmer@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

If you have any questions or would like to meet with the applicant or the development team, please feel free to contact me at 602-230-0600 or adam@witheymorris.com.

Thank you for your courtesy and consideration.

Sincerely,

WITHEY MORRIS P.L.C.

By Andy Millard for
Adam Baugh

Enclosures

SITE PLAN
FOR
EASTMARK RV & BOAT STORAGE

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION:

PARCEL NO. 1 (APN 304-34-016Z):

A PORTION OF PARCEL A, OF THE LAND SPLIT MAP RECORDED IN BOOK 696, PAGE 6, BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 35, SAID POINT BEING A 2 INCH MARICOPA COUNTY ALUMINUM CAP STAMPED L.S. #38563;

THENCE WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION35, A DISTANCE OF 1062.00 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUING WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 229.63 FEET, TO A POINT ON THE EXISTING 30 FOOT EAST RIGHT-OF-WAY LINE OF 222ND STREET, AS RECORDED DOCUMENT NO. 03-1096365, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 00° 58' 23" WEST, ALONG THE EXISTING 30 FOOT EAST RIGHT OF WAY LINE OF 222ND STREET, A DISTANCE OF 560.08 FEET; THENCE EAST, A DISTANCE OF 231.28 FEET;

THENCE SOUTH 00° 48' 17" EAST, A DISTANCE OF 560.05 FEET, TO THE POINT OF BEGINNING.

PARCEL NO. 2 (APN 304-34-931):

A PORTION OF PARCEL A, OF THE LAND SPLIT MAP RECORDED IN BOOK 696, PAGE 6, BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 35, SAID POINT BEING A 2 INCH MARICOPA COUNTY ALUMINUM CAP STAMPED L.S. #38563;

THENCE WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 862.00 FEET, TO THE POINT OF BEGINNING;

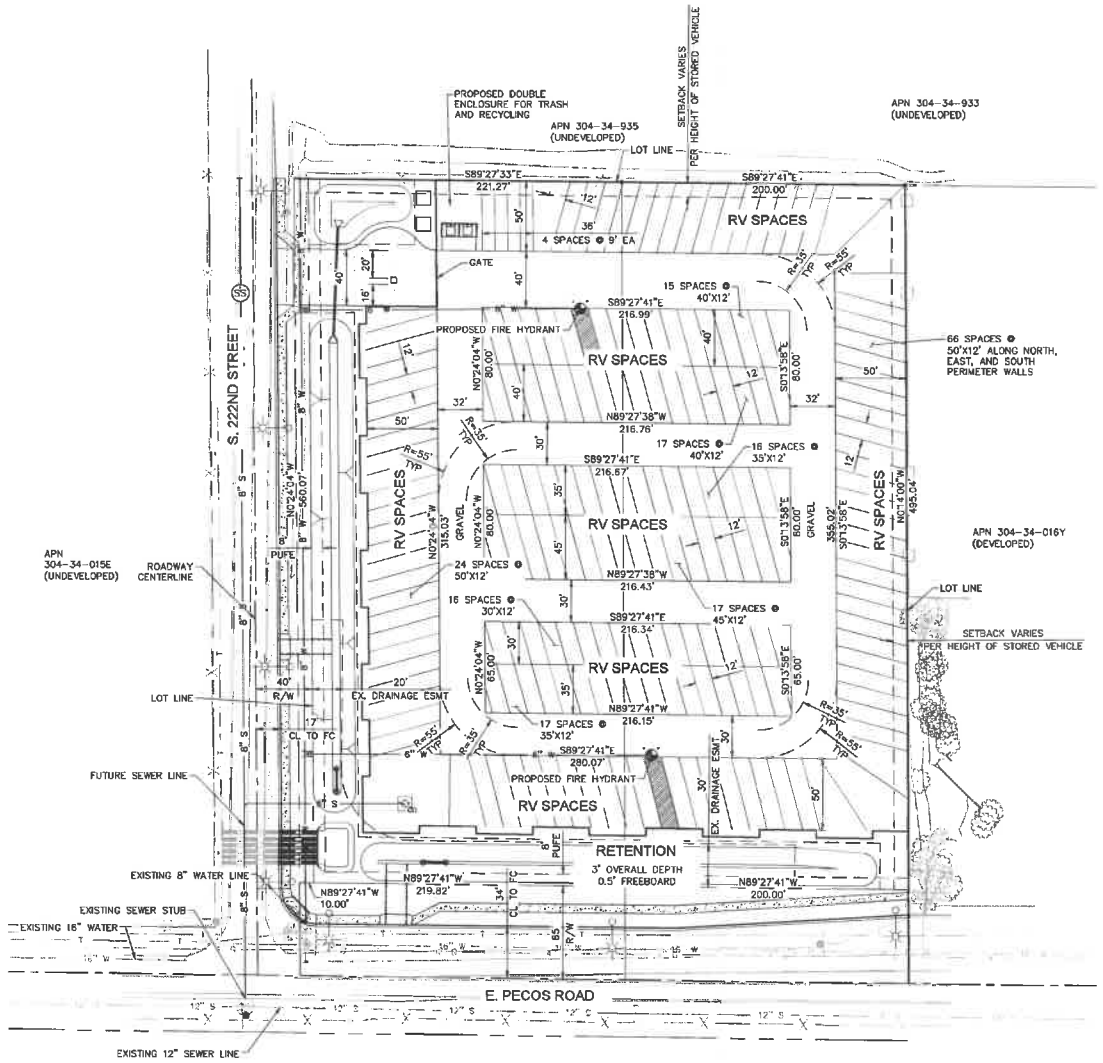
THENCE CONTINUING WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 200.00 FEET; THENCE NORTH 00° 48' 17" WEST, A DISTANCE OF 560.05 FEET;

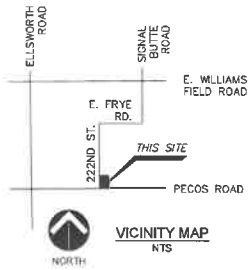
THENCE EAST, A DISTANCE OF 200.00 FEET;

THENCE SOUTH 00° 48' 17" EAST, A DISTANCE OF 560.05 FEET TO THE POINT OF BEGINNING.

LEGEND

- SAWCUT LINE
- PROPERTY LINE
- EASEMENT/BUILDING SETBACK LINE
- SECTION LINE
- RIGHT OF WAY
- EXISTING OVERHEAD ELECTRIC
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING STORM DRAIN
- EXISTING TELEPHONE SERVICE
- EXISTING GAS LINE
- PROPERTY CORNER
- EXISTING WATER METER
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING PEDESTAL
- EXISTING POWER POLE
- EXISTING SIGN
- EXISTING OVERHEAD LIGHT





VICINITY MAP
NTS

OWNER/DEVELOPER:

MAD AIM INVESTMENTS, LLC
ATTEN: ALISON AVALOS
PO BOX 13006
CHANDLER, AZ 85248
PHONE: 480-610-1494
ALIAVALOS@GMAIL.COM

CONTRACTOR:

FLEMING COMPLETE
ATTN: ROBERT HAGGARD
1736 S. NEVADA WAY
MESA, ARIZONA 85204
PHONE: 480-237-0755
RHAGGARD@FLEMINGWEST.COM

ENGINEER:

RITOCH-POWELL & ASSOCIATES
ATTN: JOHN BISHOP, PM
53 E. MAIN ST., STE 502
MESA, AZ 85201
PHONE: 480-539-7497
JBISHOP@RPAENG.COM

PROJECT DESCRIPTION:

DESIGN BUILD PROJECT TO CONSTRUCT AN RV & BOAT STORAGE FACILITY.

SITE INFORMATION AND PROJECT DATA:

ADDRESS: 10630 E. PECOS ROAD, MESA, AZ 85212

ASSESSOR'S NUMBER(S): APN# 304-34-016Z (2.963 ACRES)
APN#304-34-931 (2.571 ACRES)

GROSS AREA:	257,849.26 SF (5.918 ACRES)
NET AREA:	213,120.47 SF (4.893 ACRES)
LOT COVERAGE:	174,853.62 SF (82%)
ZONING:	LI (LIGHT INDUSTRIAL)
MINIMUM LOT DEPTH:	100 FEET
MINIMUM LOT WIDTH:	100 FEET
MAXIMUM LOT COVERAGE:	90%
MAXIMUM HEIGHT:	40 FEET

FRONT AND STREET FACING SETBACK:

ARTERIAL:	15 FEET
COMMERCIAL/INDUSTRIAL/ LOCAL:	20 FEET
INTERIOR SIDE AND REAR:	0 (NONE)

NOTE: A SETBACK WILL BE PROVIDED FOR VEHICLES STORED ON THIS SITE AT A RATIO OF 1:1 FROM ALL LOT LINES FOR STORED VEHICLES WITH A HEIGHT GREATER THAN THE 8 FOOT SCREEN WALL.

NOTE: THERE ARE NO BUILDINGS PLANNED FOR THIS SITE

NOTE: SCALE FACTOR EXAGERRATED FOR CLARITY ON APPURTENANCES IDENTIFIED ON THIS PLAN.

N

0 20 40 80
HORIZONTAL 1" = 40'

Contact Arizona 811 at least two full working days before you begin excavation.
ARIZONA811
Call 811 or visit ArizonaBlue811.com

NO	DATE	BY	REVISION

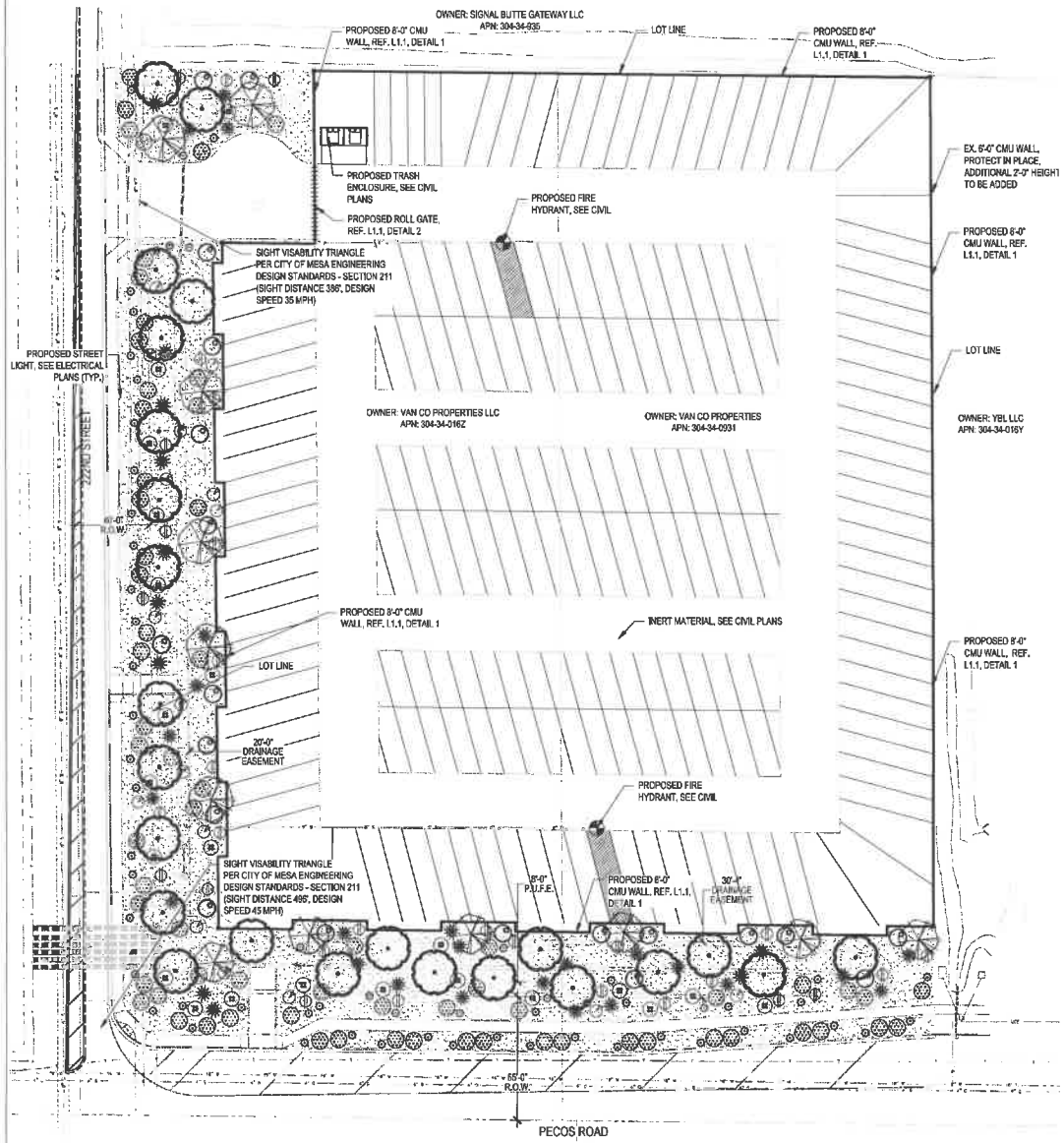
RITOCH-POWELL & Associates
602-263-1177
www.ritochpowell.com

EXPIRES 06/30/2023

EASTMARK RV & BOAT STORAGE
SITE PLAN
MESA, ARIZONA
MARICOPA COUNTY

JOB NO.:	220038
DESIGN BY:	JB
DRAWN BY:	JB
CHECKED:	JC
DATE:	4/29/2021
DWG.	SP01
SHEET	1
OF	1

DATE: Apr 29, 2021 FILE: J:\2020 Jobs\220038 - MAD AIM RV Storage\CAD Files\Sheets\Site Plan\220038-SP01.dwg



HARDSCAPE LEGEND

DESCRIPTION
8'-0" CMU PERIMETER WALL. REF. L1.1, DETAIL 1
8'-0" GATE. REF. L1.1, DETAIL 2
CMU COLUMN. REF. L1.1, DETAIL 3

CITY OF MESA LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
   A. DAMES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTORS ACTIVITIES.
   B. DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
   C. INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITION PRIOR TO SUBMITTING A BID.
2. INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIAL SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 796 OF THE MAG STANDARD SPECIFICATIONS AS AMENDED BY THE CITY OF MESA IN MANUAL, LANDSCAPE AND IRRIGATION STANDARDS.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM AND FLOOD IRRIGATION SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
4. LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
5. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. NOTED TO BE REMOVED ON THE PLANS SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTORS EXPENSE (SCARIFY EXISTING SUB-GRADE, MINIMUM 6 INCHES DEPTH).
6. DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E. RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES, EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
7. ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES SHALL CONFIRM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7, SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION SPECIFICATION SHALL PREVAIL.
8. CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINER TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO THE CITY.
9. PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
10. ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRAD IS INCLUDED IN THIS PROJECT.
11. SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE COMPLETED BY THE CONTRACTOR TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE A COPY OF THE SOIL TEST RESULTS FOR REVIEW AND APPROVAL TO ENGINEERING INSPECTOR AT LEASE SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING. AFTER APPROVAL BY THE CITY, THE CONTRACTOR SHALL PROVIDE AND INCORPORATE ANY ADDITIVES REQUIRED PRIOR TO AT AT THE TIME OF PLANTING.
12. PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE HALF PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
13. CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT LEGEND ITEM NUMBER FROM PLANS.
14. ALL EXISTING (GAS, ELECTRIC, WATER, ETC.) COVERS AND BOXES SHALL REMAIN UNCOVERED. CONTRACTOR TO ADJUST TO FINAL GRADE AS NECESSARY. NON-PAY ITEM (NPI) UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE UNDERGROUND SPRINKLER SYSTEM IN ADVANCE OF CONSTRUCTION. THE SPRINKLER SYSTEM LOCATIONS NOTED ON PLANS ARE FOR REFERENCE ONLY.
16. CONTRACTOR TO VERIFY DEPTH OF ALL INLET STRUCTURES AND SPRINKLER SYSTEMS PRIOR TO TRENCHING FOR LOW-FLOW CHANNEL.
17. CONTRACTOR TO PROVIDE PUMPING WITHIN FIVE (5) DAYS AFTER THE NOTICE TO PROCEED IS GIVEN AS REQUIRED TO DRY THE AREA SUFFICIENTLY TO BEGIN CONSTRUCTION.
18. CONTRACTOR SHALL ARRANGE FOR SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION BY CONTACTING THE ENGINEERING INSPECTOR.
19. NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP SIX (6) INCHES OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS A NON-PAY (NPI) ITEM UNLESS OTHERWISE NOTED.
20. WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY ONE-THIRD (1/3) OVER SPECIFICATION, AND A LIQUID PENETRATOR, "AL-KALICHE" OR EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL INSTALL DECOMPOSED GRANITE TO A ROLLED DEPTH PER THE APPROVED PLANS AND SPECIFICATIONS. DECOMPOSED GRANITE SHALL BE PER THE APPROVED PLANS AND SPECIFICATIONS WITH THE COLOR AS SPECIFIED ON THE PLANS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED BEFORE AND AFTER PLACEMENT OF DECOMPOSED GRANITE PER THE MANUFACTURER'S RECOMMENDATIONS. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN, DACTHAL, OR APPROVED EQUAL. SAMPLE TO BE PROVIDED FOR CITY REVIEW AND APPROVAL. CONTRACTOR SHALL WASH OFF ROCK MULCH ONCE FINAL PLACEMENT HAS OCCURRED.
22. RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS, COMPONENTS AND LANDSCAPE AREAS IMPACTED BY ANY WORK UNDER THIS CONTRACT. RESTORE ALL EXISTING IRRIGATION AND LANDSCAPE IN ACCORDANCE WITH THE LANDSCAPE RESTORATION NOTES INDICATED WITHIN THESE DOCUMENTS. AT A MINIMUM, ALL RESTORATION SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATION 107.9 - PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE. ALL RESTORATION WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF MESA ENGINEER.
23. ALL RESTORATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REFERENCED DETAILS AND ANY ADDITIONAL DETAILS PROVIDED.
24. REFER TO LANDSCAPE PLANTING SHEETS AND ENGINEERING DRAWINGS FOR ADDITIONAL RESTORATION NOTES AND REQUIRED COORDINATION.

LANDSCAPE NOTES

1. SHRUBS AND GROUNDCOVER PLANTED WITHIN THE SIGHT VISABILITY TRIANGLE SHALL HAVE A MATURE HEIGHT OF NOT MORE THAN 24 INCHES. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT, AND TOTAL HEIGHT OF ANY MOUNDING.
2. TREES PLANTED IN WITHIN SIGHT VISABILITY TRIANGLES SHALL HAVE A CLEAR TRUNK PRUNED TO A HEIGHT OF SEVEN FEET OR GREATER UPON INSTALLATION. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT.
3. DECOMPOSED GRANITE SHALL FADE TO LOT LINE.

PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Ulmus parvifolia Chinese Elm Caliper Size: 1.75"	36" Box 10' H X 6' W	*ADWR	12
Quercus virginiana Live Oak Caliper Size: 2.0"	24" Box 8' H X 3' W	*ADWR	23
GROUNDCOVERS			**QTY**
Lantana montevidensis Trailing Lantana 'Gold'	5 Gallon	*ADWR	68
SHRUBS / ACCENTS			**QTY**
Leucophyllum frutescens Texas Sage	5 Gallon	*ADWR	30
Caesalpinia pulcherrima Red Bird of Paradise	5 Gallon	*ADWR	20
Calliandra eriophylla Pink Fairy Duster	5 Gallon	*ADWR	23
Salvia leucantha Mexican Bush Sage	5 Gallon	*ADWR	18
Hesperaloe parviflora Red Yucca	5 Gallon	*ADWR	61
Dasylirion wheeleri Desert Spoon	5 Gallon	*ADWR	35
LANDSCAPE MATERIALS			
Decomposed Granite. 3/4" minus, Madison Gold 2" deep in planting areas per plan.			48,320 sq.ft.

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

*SVT = Sight Visibility Triangle

SHEET INDEX

SHEET	TITLE
L1.0	PRELIMINARY LANDSCAPE PLAN
L1.1	PRELIMINARY WALL DETAILS

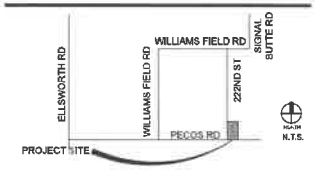
OWNER CONTACT

MAD AIM INVESTMENTS, LLC
ATTEN: ALISON AVALOS
PO BOX 13006
CHANDLER, ARIZONA 85248
PHONE: 480-510-1494
ALIAVALOS@GMAIL.COM

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL RD.
MESA, AZ 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

VICINITY MAP



CITY OF MESA LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
STREET FRONTAGE LANDSCAPE PER 11-33-3 MESA Z/O ARTERIAL STREET 1 TREE/6 SHRUBS PER 25 LINEAR FT FRONTAGE (4 TREES / 24 SHRUB PER 100 FT FRONTAGE)	PECOS ROAD: 430' / 25' = 17.2 TREES 103.2 SHRUBS	18 TREES 135 SHRUBS 24" BOX = 66.6% 36" BOX = 33.3%
STREET FRONTAGE LANDSCAPE PER 11-33-3 MESA Z/O COLLECTOR STREET 1 TREE/6 SHRUBS PER 25 LINEAR FT FRONTAGE (4 TREES / 24 SHRUB PER 100 FT FRONTAGE)	222ND STREET: 495' / 25' = 19.8 TREES 118.8 SHRUBS	20 TREES 134 SHRUBS 24" BOX = 65% 36" BOX = 35%
REQUIRED TREE SIZES A MINIMUM OF 25% OF THE TOTAL REQUIRED TREES SHALL BE 36-INCH OR LARGER BOX TREES	TOTAL TREES = 35 TREES 36" BOX = 8.75 TREES (25%)	36" BOX = 12 TREES (34.3%)

ARIZONA BLUESTAKE CENTER
CALL TWO WORKING DAYS BEFORE YOU DIG
1.800.782.5348

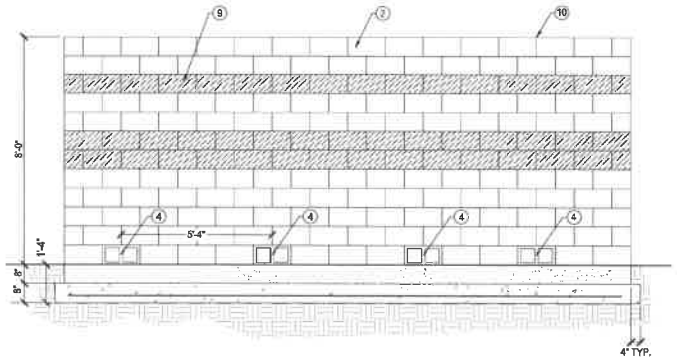
HARRINGTON PLANNING + DESIGN
1921 S Alma School Rd. Suite 204
Mesa, Arizona 85210
Tel: 480-250-0116
www.HarringtonPlanningDesign.com

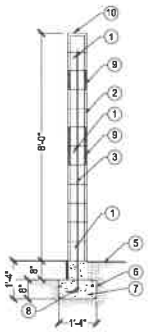
PRELIMINARY
NOT FOR CONSTRUCTION
ARIZONA U.S.A.
JASON R. HARRINGTON
04-29-21

EASTMARK RV & BOAT STORAGE

10630 E PECOS ROAD
Mesa, Arizona 85212

REV.	COMMENT	DATE



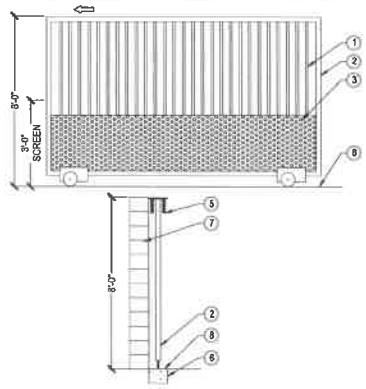


1. #4 HOR. CONT. REBAR.
2. 8" X 8" X 16" C.M.U. SCREEN WALL. STANDARD SMOOTH BLOCK FINISH, INTEGRAL COLOR - DAVIS COLOR "BAYOU(6130)" OR APPROVED EQUAL
3. #4 VERT. REBAR @ 36" O.C.
4. CMU DRAIN BLOCK @ 5'-4" O.C.
5. FINISHED GRADE.
6. 95% COMPACTED SUBGRADE.
7. CONCRETE FOOTING.
8. #4 HOR. CONT. REBAR.
9. 8" X 8" X 16" C.M.U. SCREEN WALL. SPLIT FACE BLOCK , INTEGRAL COLOR - DAVIS COLORS "KAILUA (677)" OR APPROVED EQUAL
10. 8" X 8" X 16" C.M.U. INVERTED SOLID BOTTOM LINTEL AS CAP, INTEGRAL COLOR - DAVIS COLORS "BAYOU (6130)" OR APPROVED EQUAL

NOTES:
1. DETAIL PROVIDED FOR REFERENCE ONLY.
2. CONTRACTOR TO PROVIDE SHOP DRAWING OF FOOTING FOR DEFERRED SUBMITTAL.
3. DAVIS COLORS, (323) 265-8323, https://www.daviscolors.com/

1 SITE WALL 8 FT TALL - CMU

SCALE: N.T.S.

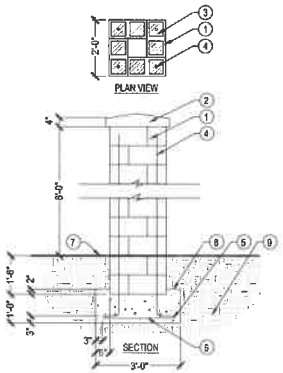


1. PICKETS 1", PLACE 4" O.C.
2. GATE FRAME 2"
3. PERFERATED METAL. SEE NOTES FOR SIZE
4. V-GROOVE WHEEL
5. PINCH ROLLER BRACKET
6. CONCRETE RIBBON
7. EXISTING WALL
8. FINISH GRADE

NOTES:
1. DETAIL PROVIDED FOR REFERENCE ONLY
2. GATE
   MANUFACTURER: AMERICAN FENCE CO.
   PRODUCT: HOLDMAN SERVICE GATE
   WEBSITE: https://www.americanfence.com/
3. PERFORATED SCREEN
   MANUFACTURER: MC NICHOLS CO.
   ITEM #: 1614121141
   WEBSITE: https://www.mcnichols.com/
4. OVERALL WIDTH TO BE FIELD VERIFIED.
5. GATE & SCREEN TO BE PAINTED DUNN EDWARDS TREASURE CHEST (DE6224).
6. SHOP DRAWING TO BE PROVIDED BY MANUFACTURER.
7. POWER SOURCE TO BE COORDINATED BY CONTRACTOR.

2 ROLL GATE - 8FT

SCALE: N.T.S.



1. CMU BLOCK, 8"X8"X16", 8" X 8" X 16" C.M.U. SCREEN WALL. STANDARD SMOOTH BLOCK FINISH, INTEGRAL COLOR - DAVIS COLOR "BAYOU(6130)" OR APPROVED EQUAL
2. PRECAST CONCRETE CAP. 2"X2"X4", EPOXY REF. NOTES FOR FINISH
3. GROUT FILL ALL BLOCK CELLS SOLID
4. REBAR #4 VERTICAL AT EACH CORNER BEND IN FOOTING AS SHOWN
5. REBAR #4 HORIZONTAL BAR EACH WAY, 4
6. REBAR #2 HORIZONTAL BAR TIES @ 8" O.C. MAX OR PER CIVIL / STRUCTURAL.
7. FINISH GRADE.
8. CONCRETE FOOTING 2000 PSI @ 28 DAYS OR PER CIVIL / STRUCTURAL
9. COMPACT SUBGRADE, 95% MIN. PROCTOR OR PER CIVIL / STRUCTURAL

NOTES:
1. GROUT COLOR TO MATCH BLOCK FINISH.
2. CONCAVE TYPE JOINT.
3. PRECAST CONCRETE CAP
   MANUFACTURE: PHOENIX PRECAST PRODUCTS
   SKU: CCLP2706
   FINISH: SMOOTH
   COLOR: TAUPE
4. CONFIRM REINFORCEMENTS WITH CIVIL / STRUCTURAL IF AVAILABLE.

3 CMU COLUMN

SCALE: N.T.S.

HARRINGTON PLANNING + DESIGN
1923 S Alma School Rd, Suite 204
Mesa, Arizona 85210
Tel: 480-250-0118
www.HarringtonPlanningDesign.com

PRELIMINARY
NOT FOR CONSTRUCTION
04/29/21

EASTMARK RV & BOAT STORAGE
10630 E PECOS ROAD
Mesa, Arizona 85212

REV.	COMMENT	DATE

ISSUE	DATE
3rd Prelim Submittal	04.29.21
2nd Prelim Submittal	02.24.21
Preliminary Submittal	06.24.20

LANDSCAPE PACKAGE

April 29, 2021

DRAWN BY:	TKW
CHECK BY:	JEH
PROJ.NO.:	2020-021
CASE NO.:	

PRELIMINARY WALL DETAILS

L1.1

2 of 2

ARIZONA BLUESTAKE CENTER
CALL TWO WORKING DAYS BEFORE YOU DIG
1.800.782.5348

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Parcel Number	Owner	Mailing Address
304-34-015D	TUCKER PROPERTIES LTD	4010 E GROVE CIRCLE MESA AZ 85206
304-34-015E	TUCKER PROPERTIES LTD	4010 E GROVE CIRCLE MESA AZ 85206
304-34-016Q	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-016T	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-016V	YBL LLC	8525 N 75TH AVE PEORIA AZ 85345
304-34-016Y	YBL LLC	8525 N 75TH AVE PEORIA AZ 85345
304-34-016Z	VAN CO PROPERTIES LLC	4502 E UNIVERSITY PHOENIX AZ 85034
304-34-019C	SIGNAL BUTTE 20 DJB LLC	2251 N 32ND ST NO 30 MESA AZ 85213
304-34-019E	SIGNAL BUTTE 20 DJB LLC	2251 N 32ND ST NO 30 MESA AZ 85213
304-34-020D	SIGNAL BUTTE 10 LLC	2251 N 32ND ST UNIT 30 MESA AZ 85213
304-34-931	VAN CO PROPERTIES LLC	4502 E UNIVERSITY PHOENIX AZ 85034
304-34-933	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-934	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-34-935	SIGNAL BUTTE GATEWAY LLC	2251 N 32ND ST STE 30 MESA AZ 85213
304-36-003	HOME REAL ESTATE INVESTMENTS LLC	1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-63-005	TRW VEHICLE SAFETY SYSTEMS INC	11202 E GERMAIN RD QUEEN CREEK AZ 85242-9361
304-63-016	BYNER CATTLE COMPANY	333 N CENTRAL AVE PHOENIX AZ 85004-2121

Eastmark HOA, 6263 N. Scottsdale Road, Suite 330, Scottsdale AZ 85250

When recorded, return to:

City of Mesa

AIRCRAFT OPERATION, SOUND AND AVIGATION EASEMENT AND RELEASE FOR PHOENIX-MESA GATEWAY AIRPORT

WHEREAS, _____ company, hereinafter called "Owner," is the owner of that certain parcel of land situated in the City of Mesa, Maricopa County, Arizona, consisting of approximately _____acres, legally described on the attached Exhibit A, and incorporated by reference herein, which is hereinafter referred to as the "**Land**," and which the Owner desires to develop as a mixed use community which will include both residential and non-residential uses.

WHEREAS, the Owner is aware that the Land lies in an area that is subject to aircraft overflights and operations for aircraft utilizing airspace in connection with "Phoenix-Mesa Gateway Airport" (formerly known as Williams Air Force Base), which is hereinafter referred to as the "**Airport**."

WHEREAS, the Owner recognizes that all airspace is governed by the U.S. Code, and the U.S. Government has exclusive sovereignty of airspace in the United States. Owner is willing to develop such Land as a mixed-use community subject to the sovereign authority of the U.S. Government subject to the plans and policies developed by the Federal Aviation Administration ("**FAA**") for use of the navigable airspace including the right of flight and other airspace uses over the Land and all effects flowing therefrom.

NOW THEREFORE, for and in consideration of the sum of TEN DOLLARS ($10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby fully acknowledged, Owner and its heirs, administrators, executors, occupants, users, developers, successors and assigns (collectively referred to herein as "**Owner**"), does hereby give and grant to the Airport, the Phoenix-Mesa Gateway Airport Authority (the "**Authority**") and the City of Mesa, a municipal corporation, and its respective administrators, successors and assigns ("City") and Aircraft users of the Airport and Airport facilities ("**Aircraft Users**"), a perpetual, nonexclusive easement for all avigation purposes and uses over and across the Land in connection with flights, airspace usage, passage, operations, testing, development of Aircraft (the term "**Aircraft**" shall include any device that is used or intended to be used for flight in the air or space, existing or future, that is regulated by the FAA), and other related uses and flight or airspace activities, in, to, over, across and through all navigable airspace above the surface of the

Owner's Land in such flight patterns, routes, uses, the above purposes and altitudes that are in conformance with FAA regulations and to an infinite height above such Owner's Land, which easement shall include, but not be limited to, the right of flight of all Aircraft above, across and over the Land in such flight patterns, routes, uses, the foregoing purposes and altitudes that are in conformance with FAA regulations, together with its related inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel, gas and lubricant particles, and dripping and all other effects that may be caused by the operation of Aircraft including for the purposes and uses described above and also landing at, or taking off from, or operating in relation to, on, from or around the Airport. The Owner does further release and discharge the City, the Authority, the Airport, Aircraft Users, The Boeing Company, a Delaware corporation, and its affiliates ("**Boeing**"), and other third party beneficiaries (as described below) of and from any liability for any and all claims for damages of any kind to persons or property that may arise now or at any time in the future over or in connection with the Owner's Land above, in, to, over and through all navigable air space above Owner's Land, and on and to the surface of the Land and on and to all structures now existing or hereafter constructed on the Land, or any portion of the Land, whether such damage shall originate from smoke, noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of Aircraft landing at, or taking off from, or operating at or around the Airport.

This easement is granted for the above purpose and uses for the passage of all Aircraft, specifically including but not limited to military and developmental and test aircraft, present or future, by whomever owned or operated on, from, around or to the Airport and any other airport or air facility which is or may be located at or near the site of said Airport, including any future change or increase in the boundaries of the Airport or air facility(ies), the volume or nature of operation of the Airport or air facility(ies), or noise or pattern of air traffic thereof; and these Aircraft Users, Boeing, Aircraft owners, operators, and users are and shall be third party beneficiaries of this Easement and the rights granted.

Owner shall give notice of this Easement to invitees, occupants, and tenants (collectively referred to herein as “Property Users”) of the Land, or any portion thereof, and the Property Users, to the fullest extent permitted by law, are bound by the terms of this Easement.

This instrument does not release the owners and operators of Aircraft from liability for damage or injury to person or property caused by falling Aircraft or falling physical objects from such Aircraft, except as stated herein with respect to inconvenience, smoke, attendant sound and noise, vibrations, fumes, dust, fuel and lubricant particles. This Aircraft Operation, Sound and Avigation Easement and Release shall be binding upon said Owner and successors in interest to the Land, and any part thereof, and it is further agreed that this instrument shall be a covenant running with the Land and shall be recorded in the office of the County Recorder of Maricopa County,

Arizona and other counties as applicable. This Easement may not be amended, terminated or retracted without the prior written consent of City, Owner, and Boeing.

[Signatures appear on following page]

EXECUTED this _____ of _____, 2020.

OWNER:

_____

_____

By_____

Name_____

Its_____

____

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this ___ day of _____, 2018, by _____, the _____of _____corporation or limited liability company, in his/her capacity as _____ of and on behalf of said entity.

_____

Notary Public

My commission expires:

THE BOEING COMPANY, a
Delaware corporation

By_____

Name_____

Its_____

____

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this ___ day of _____, 2020, by _____, the _____of The Boeing Company, a Delaware corporation, in his/her capacity as _____ of and on behalf of such corporation.

_____

Notary Public

My commission expires:

Exhibit A

Legal Description