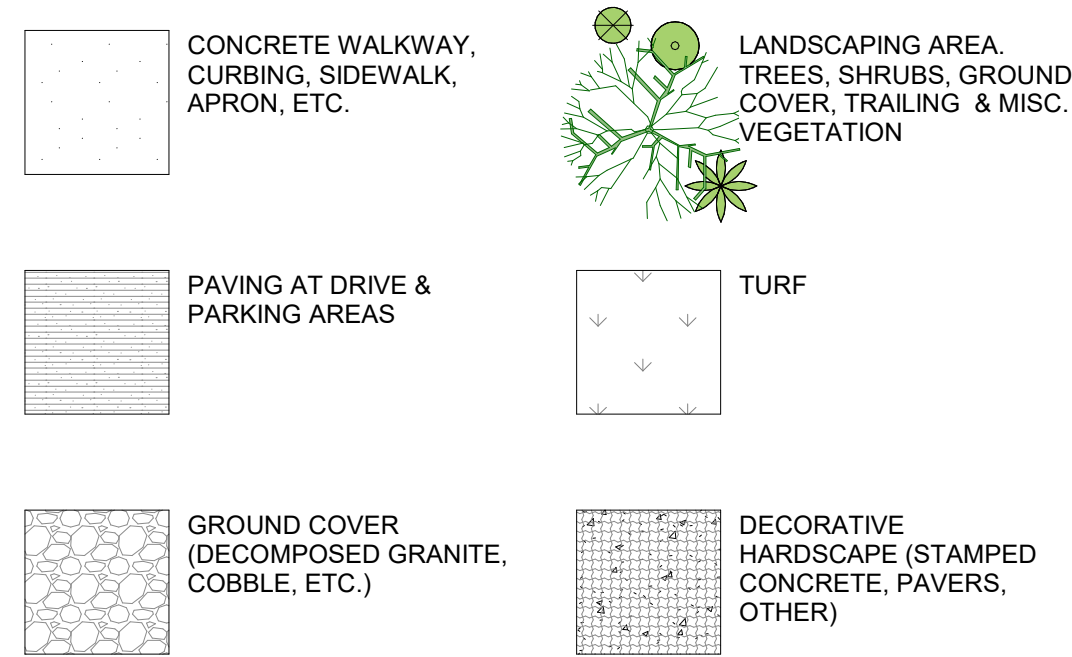


SITE COMPONENTS LEGEND



SEE LANDSCAPE PLANS FOR PLANTING TYPES, HARDSCAPE APPLICATIONS AND OTHER SITE SPECIFIC INFORMATION



KEY PLAN - SOSSAMAN HEIGHTS

KEYED NOTES SCHEDULE	
VALUE	KEYED NOTES
101	ROOF MOUNTED MECHANICAL UNIT. TYPICAL
102	SITE ACCESSIBILITY PATHWAY.
201	EXTERIOR FINISH SYSTEM - STUCCO, PAINTED. SEE PLANS & FINISH SCHEDULE
205	EXTERIOR FINISH - PERIMETER GLAZING ASSEMBLY. SEE FINISH SCHEDULE. SEE PLANS & FINISH SCHEDULE
206	EXTERIOR FINISH - METAL FASCIA. SEE PLANS & FINISH SCHEDULE
207	EXTERIOR SHADOW BOX ASSEMBLY. SEE PLANS AND FINISH SCHEDULE
301	EXTERIOR PLANTER & GUARD RAIL ASSEMBLY. SEE PLAND & FINISH SCHEDULE
302	EXTERIOR TRELLIS, FENCING OR GUARD RAIL ASSEMBLY. SEE PLANS & FINISH SCHEDULE
303	LOUVERED MECHANICAL SCREEN ASSEMBLY. FINISH TO MATCH PLANTER GUARD RAIL HEIGHT TO FULLY SCREEN UNITS.
401	EXTERIOR LIGHTING, WALL SCONCE
909	CITY OF MESA PRESSURE REDUCING VALVE STATION TO REMAIN
911	EXISTING FIRE HYDRANT TO REMAIN, TO SERVE BUILDING 100
930	SITE RETENTION, LANDSCAPE AREA (OR) BOTH. SEE CIVIL & LANDSCAPE PLANS
931	LANDSCAPED RIGHT OF WAY - SEE LANDSCAPE PLANS
932	LANDSCAPE ISLAND AREA - SEE LANDSCAPE PLANS
933	REFUSE ENCLOSURE, PER CITY OF MESA STANDARDS
934	DECORATIVE HARDSCAPE / PAVING - SEE LANDSCAPING
936	CONCRETE APRON
937	ASPHALT PAVING - SEE CIVIL
939	ACCESSIBLE PEDESTRIAN WALK / WAY
951	ENTRYWAY / MONUMENT SIGNAGE
953	COVERED PARKING CANOPY
957	MASONRY SCREEN WALL, 8X8X16, STACK BOND
970	NEW SITE AMENITY - PET PARK
971	NEW SITE AMENITY - YARD GAMES & BBQ AREA
980	PROPOSED 3 STORY STRUCTURE, BUILDING 100
981	PROPOSED 3 STORY STRUCTURE, BUILDING 200
MP-1	EXTERIOR METAL PANELING - WEATHERED FINISH

SOSSAMAN LOTS - PAD DEVELOPMENT STANDARDS		
PROJECT CRITERIA	RM-4 REQUISITES (PER TABLE 11-5-5 CITY OF MESA ZONING ORDINANCE)	PAD PROVIDED
HEIGHT AND AREAS		
MINIMUM LOT AREA	6,000 SF	52,792 SF
MINIMUM LOT WIDTH	60'-0"	100'-0" (AT MINIMUM)
MINIMUM LOT DEPTH	94'-0"	402'-1"
MAXIMUM DENSITY	30 DU / ACRE	24.2 DU / ACRE (29 TOTAL DWELLING UNITS)
MINIMUM LOT AREA / DU	1,452 SF	1,820 SF (AT 29 DWELLING UNITS)
MAXIMUM HEIGHT	40'-0"	40'-0" MAX. (35'-9" APPROX.)
BUILDING COVERAGE	55 PERCENT (29,035 SF)	28.0 PERCENT (14,974 SF)
OPEN SPACE / UNIT	150 SF (4,350 SF TOTAL)	397 SF (11,513 SF TOTAL), NOT INCLUSIVE OF CLUBHOUSE, DRIVE AISLES, SIDEWALKS, LANDSCAPED ROW, PRIVATE / DWELLING UNIT TERRACE AREAS. SEE GA-01.1 FOR MORE INFORMATION
SETBACKS		
MINIMUM FRONT YARD	20'-0" (4-LANE ARTERIAL)	0'-0"
INTERIOR, SIDE AND REAR (3 OR MORE UNITS ON LOT)	15 FEET / STORY	15'-0" MIN. - SEE PLANS
MINIMUM SEPARATION OF DETACHED COVERED PARKING CANOPIES	20'-0"	26'-11" - SEE PLANS
SEPARATION BETWEEN BUILDINGS ON SAME LOT	30'-0"	48'-5" MIN. SEE PLANS
PARKING		
PARKING (CITY OF MESA ZONING ORD. 11-32-3)	2.1 SPACES PER UNIT	1.86 SPACES PER UNIT SHOWN IN CURRENT DESIGN
PARKING TOTALS	61	54 - REFERENCE PARKING REPORT PERFORMED BY WELLS + ASSOCIATES DATED 3/12/2021.

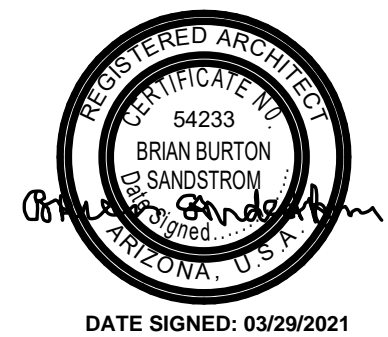
SITE PLAN GENERAL NOTES:

1. WORK WITHIN THE ROW IS INTENDED TO BE PERFORMED BY THE CITY OF MESA'S TEAM, RELATED CONSULTANTS & CONTRACTORS, AS IT RELATES TO THE WORK DEFINED WITHIN FY 21/22 CIP 0968. WORK SHOWN ON THE ARCHITECTURAL, LANDSCAPE AND CIVIL PLANS FOR THIS SUBMISSION IS FOR COORDINATION PURPOSES ONLY AND MAY INFLUENCE THE DESIGN OF FY 21/22 CIP 0968.
2. SEE CIVIL SHEET GD-1 FOR NEW UTILITIES, GRADING AND DRAINAGE
3. SEE LANDSCAPE PLANS FOR PLANTING SPECIES AND LAYOUTS. PLANTINGS SHOWN ON THIS SHEET ARE FOR GRAPHICAL PURPOSES ONLY AND ARE NOT INTENDED TO PROVIDE DESIGN DIRECTION
4. REFUSE CONSIGNEE SERVICE SHALL BE PART OF BUILDING THE OVERALL PROJECT'S OPERATION AGREEMENT. REGULAR SERVICING SHALL BE DAILY, MONDAY THROUGH FRIDAY, INCLUDING HOLIDAYS.
5. SITE REFUSE BINS TO BE CLEARED / SERVICED AS NEEDED TO PROVIDE THE EQUIVALENT CAPACITY THAT WOULD BE PROVIDED WITH MORE REFUSE CONTAINERS ON SITE. INCREASED FREQUENCY OF REFUSE PICK UP IS INTENDED TO MEET THE CITY OF MESA'S BASE RECOMMENDATIONS OF 0.5 CU. YARDS PER DWELLING UNIT PER WEEK. REFERENCE CITY OF MESA STANDARD DETAILS, M-62.02.2 - NOTE 4.

1 SITE PLAN - OVERALL_SOSSAMAN HEIGHTS

SCALE: 1" = 20'-0"

CHERRY STREET APARTMENTS LLC



ZON21-00050 & DRB21-00086 SOSSAMAN HEIGHTS
APN 218-56-(007N, 304B, 305, 306, 307A, 307B, 308, 309, 310)
MESA, AZ

NO.	REVISION	DATE
1	ZONING COMMENT UPDATES	03/15/21
2	ZONING COMMENT UPDATES	03/29/21

PROJECT NO.: 002
DATE: 03/29/2021
DESIGNED BY: ADB
DRAWN BY: BBS
APPROVED BY: BBS
SHEET TITLE: CONCEPTUAL SITE PLAN

SHEET NO.:

GA-01