
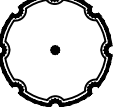










1. LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - A. DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTORS ACTIVITIES.
 - B. DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
 - C. INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITION PRIOR TO SUBMITTING A BID.
2. INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIAL SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS AS AMENDED BY THE CITY OF MESA IN MANUAL, LANDSCAPE AND IRRIGATION STANDARDS.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM AND FLOOD IRRIGATION SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
4. LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
5. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. NOTED TO BE REMOVED ON THE PLANS SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTORS EXPENSE (SCAFIRY EXISTING SUB-GRADE, MINIMUM 6 INCHES DEPTH).
6. DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E. RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES, EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
7. ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES SHALL CONFIRM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7, SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION SPECIFICATION SHALL PREVAIL.
8. CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINER TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO THE CITY.
9. PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
10. ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRAD IS INCLUDED IN THIS PROJECT.
11. SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE COMPLETED BY THE CONTRACTOR TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE A COPY OF THE SOIL TEST RESULTS FOR REVIEW AND APPROVAL TO ENGINEERING INSPECTOR AT LEASE SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING. AFTER APPROVAL BY THE CITY, THE CONTRACTOR SHALL PROVIDE AND INCORPORATE ANY ADDITIVES REQUIRED PRIOR TO AT AT THE TIME OF PLANTING.
12. PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE HALF PARTS NUTRIENT FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
13. CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT LEGEND ITEM NUMBER FROM PLANS.
14. ALL EXISTING (GAS, ELECTRIC, WATER, ETC.) COVERS AND BOXES SHALL REMAIN UNCOVERED. CONTRACTOR TO ADJUST TO FINAL GRADE AS NECESSARY. NON-PAY ITEM (NPI) UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE UNDERGROUND SPRINKLER SYSTEM IN ADVANCE OF CONSTRUCTION. THE SPRINKLER SYSTEM LOCATIONS NOTED ON PLANS ARE FOR REFERENCE ONLY.
16. CONTRACTOR TO VERIFY DEPTH OF ALL INLET STRUCTURES AND SPRINKLER SYSTEMS PRIOR TO TRENCHING FOR LOW-FLOW CHANNEL.
17. CONTRACTOR TO PROVIDE PUMPING WITHIN FIVE (5) DAYS AFTER THE NOTICE TO PROCEED IS GIVEN AS REQUIRED TO DRY THE AREA SUFFICIENTLY TO BEGIN CONSTRUCTION.
18. CONTRACTOR SHALL ARRANGE FOR SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION BY CONTACTING THE ENGINEERING INSPECTOR.
19. NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP SIX (6) INCHES OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS A NON-PAY (NPI) ITEM UNLESS OTHERWISE NOTED.
20. WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY ONE-THIRD (1/3) OVER SPECIFICATION, AND A LIQUID PENETRATOR, "AL-KALICHE" OR EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL INSTALL DECOMPOSED GRANITE TO A ROLLED DEPTH PER THE APPROVED PLANS AND SPECIFICATIONS. DECOMPOSED GRANITE SHALL BE PER THE APPROVED PLANS AND SPECIFICATIONS WITH THE COLOR AS SPECIFIED ON THE PLANS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED BEFORE AND AFTER PLACEMENT OF DECOMPOSED GRANITE PER THE MANUFACTURER'S RECOMMENDATIONS. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN, DACTHAL, OR APPROVED EQUAL. SAMPLE TO BE PROVIDED FOR CITY REVIEW AND APPROVAL. CONTRACTOR SHALL WASH OFF ROCK MULCH ONCE FINAL PLACEMENT HAS OCCURRED.
22. RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS, COMPONENTS AND LANDSCAPE AREAS IMPACTED BY ANY WORK UNDER THIS CONTRACT. RESTORE ALL EXISTING IRRIGATION AND LANDSCAPE IN ACCORDANCE WITH THE LANDSCAPE RESTORATION NOTES INDICATED WITHIN THESE DOCUMENTS. AT A MINIMUM, ALL RESTORATION SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATION 107.9 - PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE. ALL RESTORATION WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF MESA ENGINEER.
23. ALL RESTORATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REFERENCED DETAILS AND ANY ADDITIONAL DETAILS PROVIDED.
24. REFER TO LANDSCAPE PLANTING SHEETS AND ENGINEERING DRAWINGS FOR ADDITIONAL RESTORATION NOTES AND REQUIRED COORDINATION.

1. SHRUBS AND GROUND COVER PLANTED WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A MATURE HEIGHT OF NOT MORE THAN 24 INCHES. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT, AND TOTAL HEIGHT OF ANY MOUNDING.
2. TREES PLANTED IN WITHIN SIGHT VISIBILITY TRIANGLES SHALL HAVE A CLEAR TRUNK PRUNED TO A HEIGHT OF SEVEN FEET OR GREATER UPON INSTALLATION. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT.
3. DECOMPOSED GRANITE SHALL FADE TO LOT LINE.

	TREES	SIZE	NOTES	QTY
	<i>Ulmus parvifolia</i> Chinese Elm Caliper Size: 1.75"	36" Box 10' H X 6" W	*ADWR	12
	<i>Quercus virginiana</i> Live Oak Caliper Size: 2.0"	24" Box 8' H X 3" W	*ADWR	23
GROUNDCOVERS				
	<i>Lantana montevidensis</i> Trailing Lantana 'Gold'	5 Gallon	*ADWR	68
SHRUBS / ACCENTS				
	<i>Leucophyllum frutescens</i> Texas Sage	5 Gallon	*ADWR	30
	<i>Caesalpinia pulcherrima</i> Red Bird of Paradise	5 Gallon	*ADWR	20
	<i>Calliandra eriophylla</i> Pink Fairy Duster	5 Gallon	*ADWR	23
	<i>Salvia leucantha</i> Mexican Bush Sage	5 Gallon	*ADWR	18
	<i>Hesperaloe parviflora</i> Red Yucca	5 Gallon	*ADWR	61
	<i>Dasyliroton wheeleri</i> Desert Spoon	5 Gallon	*ADWR	35
LANDSCAPE MATERIALS				
	Decomposed Granite. 3/4" minus, Madison Gold 2" deep in planting areas per plan.			48,320 sq.ft.

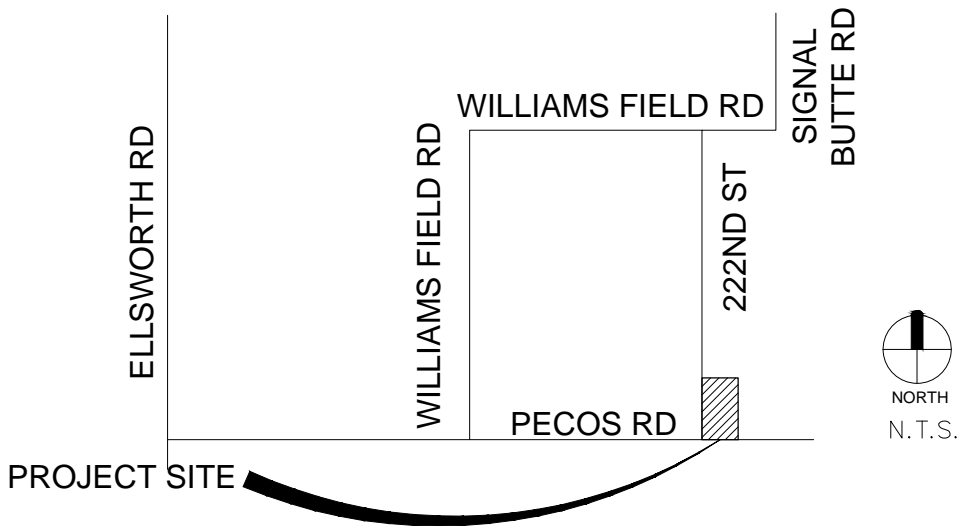
*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

*SVT = Sight Visibilty Triangle

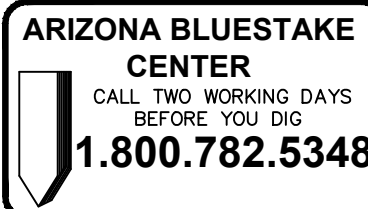
SHEET	TITLE
L1.0	PRELIMINARY LANDSCAPE PLAN
L1.1	PRELIMINARY WALL DETAILS




MAD AIM INVESTMENTS, LLC
ATTEN: ALISON AVALOS
PO BOX 13006
CHANDLER, ARIZONA 85248
PHONE: 480-510-1494
ALIAVALOS@GMAIL.COM


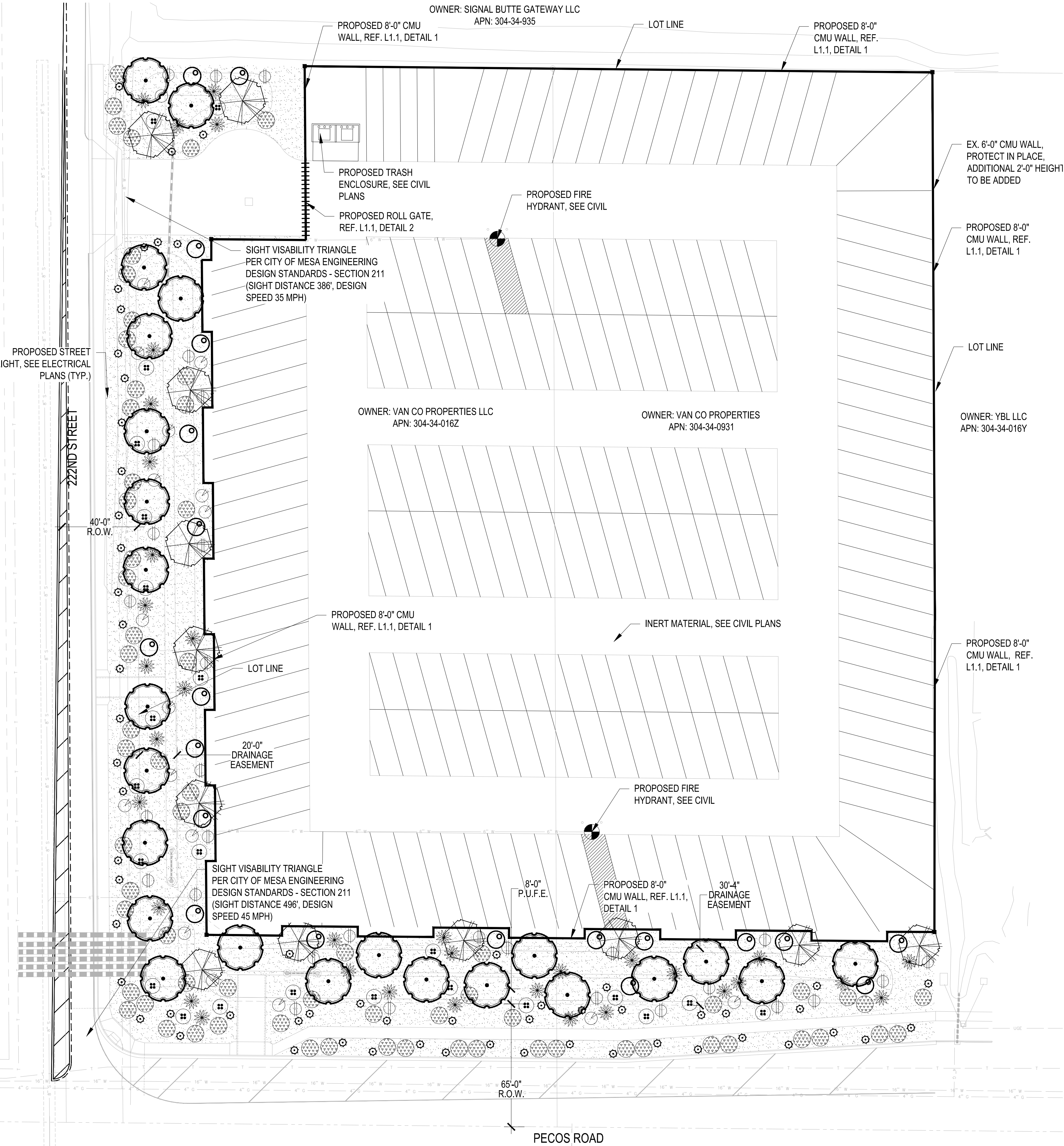
HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL RD.
MESA, AZ 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM



	REQUIRED	PROVIDED
STREET FRONTAGE LANDSCAPE PER 11-33-3 MESA Z/O ARTERIAL STREET 1 TREE/6 SHRUBS PER 25 LINEAR FT FRONTAGE (4 TREES / 24 SHRUB PER 100 FT FRONTAGE)	PECOS ROAD: 430' / 25' = 17.2 TREES 103.2 SHRUBS	18 TREES 135 SHRUBS 24" BOX = 66.6% 36" BOX = 33.3%
STREET FRONTAGE LANDSCAPE PER 11-33-3 MESA Z/O COLLECTOR STREET 1 TREE/6 SHRUBS PER 25 LINEAR FT FRONTAGE (4 TREES / 24 SHRUB PER 100 FT FRONTAGE)	222ND STREET: 495' / 25' = 19.8 TREES 118.8 SHRUBS	20 TREES 134 SHRUBS 24" BOX = 65% 36" BOX = 35%
<u>REQUIRED TREE SIZES</u> A MINIMUM OF 25% OF THE TOTAL REQUIRED TREES SHALL BE 36-INCH OR LARGER BOX TREES	TOTAL TREES = 35 TREES 36" BOX = 8.75 TREES (25%)	36" BOX = 12 TREES (34.3%)



	DESCRIPTION
	8'-0" CMU PERIMETER WALL. REF. L1.1, DETAIL 1
	8'-0" GATE. REF. L1.1, DETAIL 2
	CMU COLUMN. REF. L1.1, DETAIL 3



H P
+ D

**HARRINGTON
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44161
JASON E.
HARRINGTON

04.29.21

REGISTRATION
ARIZONA U.S.A.

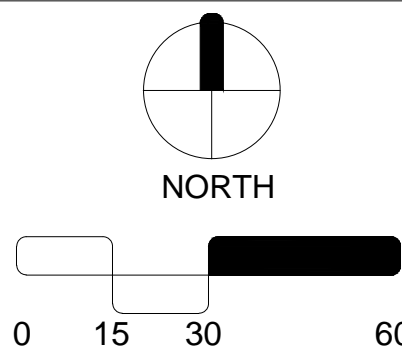
EASTMARK RV & BOAT STORAGE

10630 E PECOS ROAD
Mesa, Arizona 85212

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REV.	COMMENT	DATE
3rd Prelim Submittal		04.29.2
2nd Prelim Submittal		02.24.2
Preliminary Submittal		06.24.2
ISSUE		DATE

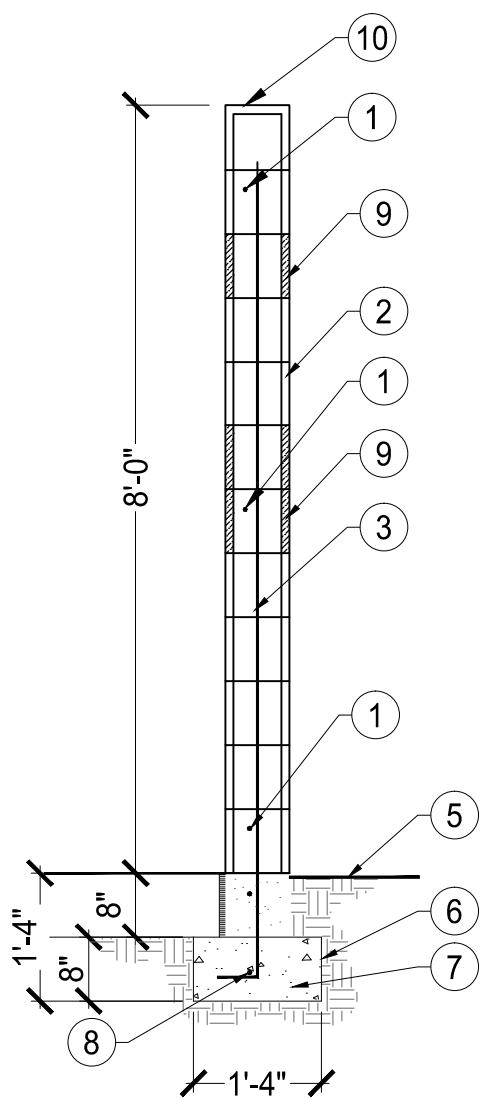
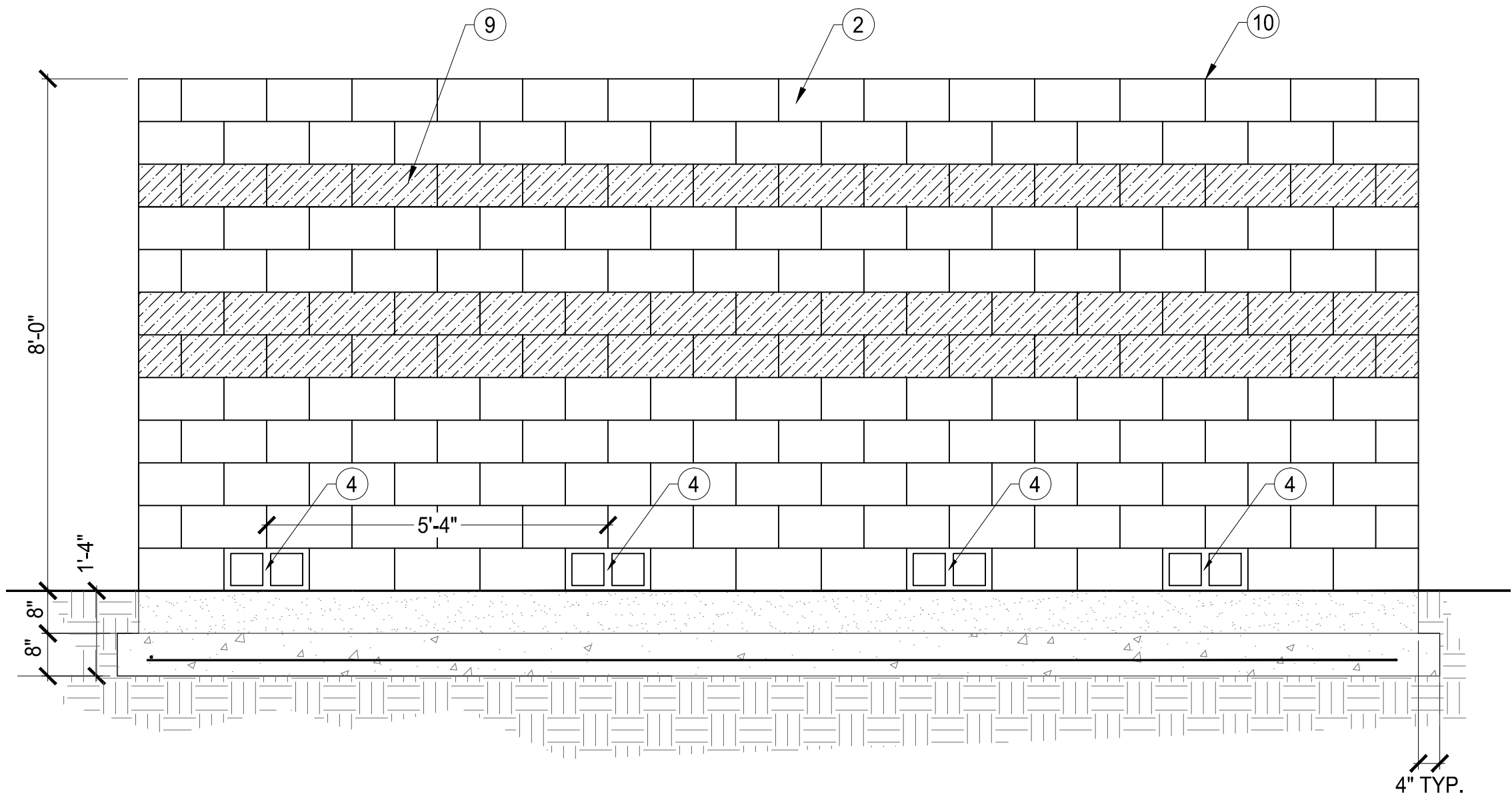
April 29, 2021	
DRAWN BY:	TKW
CHECK BY:	JEH
PROJ. NO.:	2020-021
CASE NO.:	



L1.0

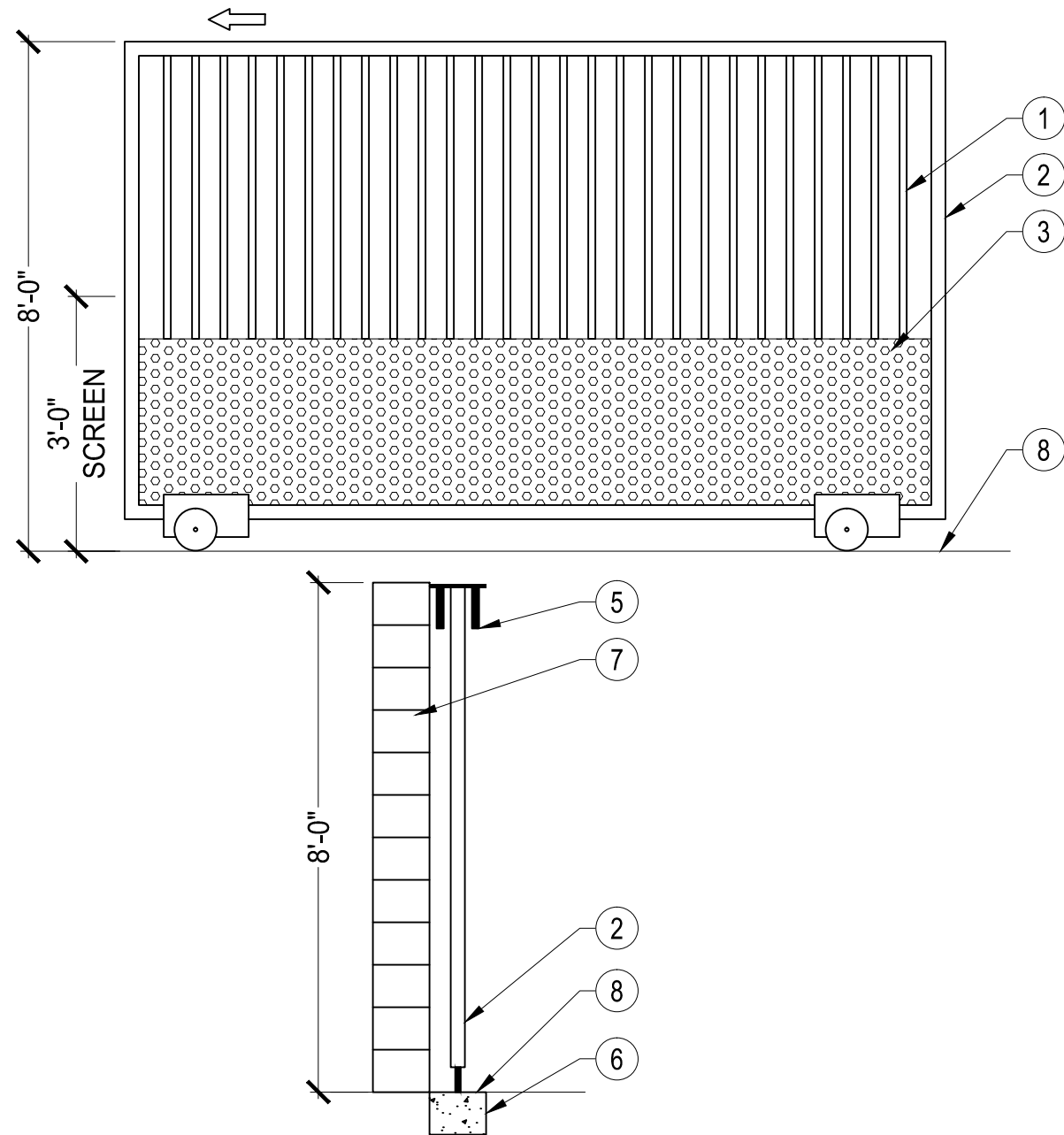
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- #4 HOR. CONT. REBAR.
- 8" X 8" X 16" C.M.U. SCREEN WALL. STANDARD SMOOTH BLOCK FINISH, INTEGRAL COLOR - DAVIS COLOR "BAYOU(6130)" OR APPROVED EQUAL
- #4 VERT. REBAR @ 36" O.C.
- CMU DRAIN BLOCK @ 5'-4" O.C.
- FINISHED GRADE.
- 95% COMPACTED SUBGRADE.
- CONCRETE FOOTING.
- #4 HOR. CONT. REBAR.
- 8" X 8" X 16" C.M.U. SCREEN WALL. SPLIT FACE BLOCK, INTEGRAL COLOR - DAVIS COLORS "KAILUA (677)" OR APPROVED EQUAL
- 8" X 8" X 16" C.M.U. INVERTED SOLID BOTTOM LINTEL AS CAP, INTEGRAL COLOR - DAVIS COLORS "BAYOU (6130)" OR APPROVED EQUAL

- NOTES:
- DETAIL PROVIDED FOR REFERENCE ONLY.
 - CONTRACTOR TO PROVIDE SHOP DRAWING OF FOOTING FOR DEFERRED SUBMITTAL.
 - DAVIS COLORS, (323) 265-8323, <https://www.daviscolors.com/>

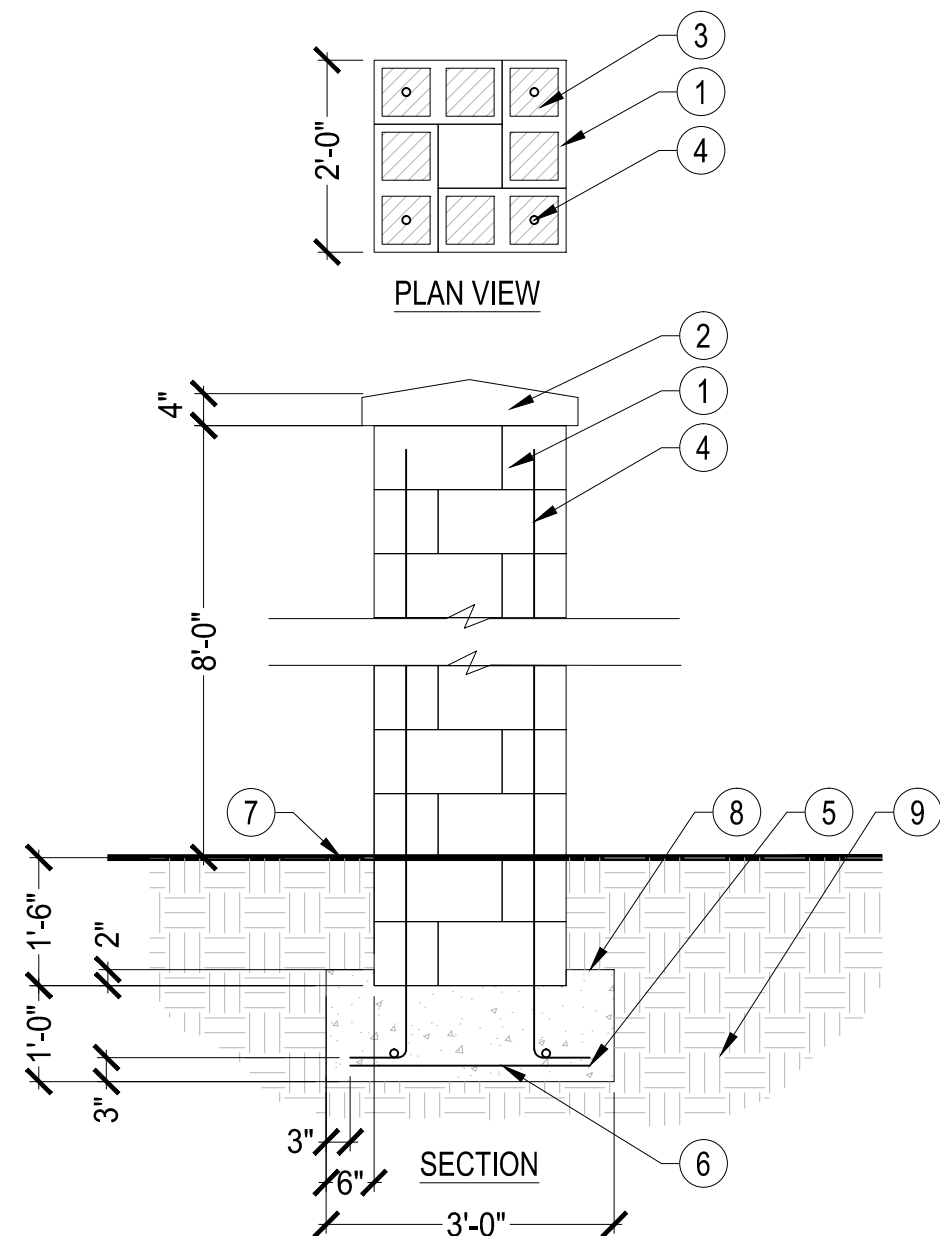


- PICKETS 1", PLACE 4" O.C.
- GATE FRAME 2"
- PERFERATED METAL. SEE NOTES FOR SIZE
- V-GROOVE WHEEL
- PINCH ROLLER BRACKET
- CONCRETE RIBBON
- EXISTING WALL
- FINISH GRADE

- NOTES:
- DETAIL PROVIDED FOR REFERENCE ONLY
 - GATE
MANUFACTURER: AMERICAN FENCE CO.
PRODUCT: HOLDMAN SERVICE GATE
WEBSITE: <https://www.americanfence.com/>
 - PERFORATED SCREEN
MANUFACTURER: MC NICHOLS CO.
ITEM #: 1614121141
WEBSITE: <https://www.mcnichols.com/>
 - OVERALL WIDTH TO BE FIELD VERIFIED.
 - GATE & SCREEN TO BE PAINTED DUNN EDWARDS TREASURE CHEST (DE6224).
 - SHOP DRAWING TO BE PROVIDED BY MANUFACTURER.
 - POWER SOURCE TO BE COORDINATED BY CONTRACTOR.

1 SITE WALL 8 FT TALL - CMU

SCALE: N.T.S.



- CMU BLOCK, 8"X8"X16", 8" X 8" X 16" C.M.U. SCREEN WALL. STANDARD SMOOTH BLOCK FINISH, INTEGRAL COLOR - DAVIS COLOR "BAYOU(6130)" OR APPROVED EQUAL
- PRECAST CONCRETE CAP, 2"X2"X4", EPOXY REF. NOTES FOR FINISH
- GROUT FILL ALL BLOCK CELLS SOLID
- REBAR #4 VERTICAL AT EACH CORNER BEND IN FOOTING AS SHOWN
- REBAR #4 HORIZONTAL BAR EACH WAY, 4
- REBAR #2 HORIZONTAL BAR TIES @ 8" O.C. MAX OR PER CIVIL / STRUCTURAL
- FINISH GRADE.
- CONCRETE FOOTING 2000 PSI @ 28 DAYS OR PER CIVIL / STRUCTURAL
- COMPACT SUBGRADE, 95% MIN. PROCTOR OR PER CIVIL / STRUCTURAL

- NOTES:
- GROUT COLOR TO MATCH BLOCK FINISH.
 - CONCAVE TYPE JOINT.
 - PRECAST CONCRETE CAP
MANUFACTURE: PHOENIX PRECAST PRODUCTS
SKU: CCLP2706
FINISH: SMOOTH
COLOR: TAUPE
 - CONFIRM REINFORCEMENTS WITH CIVIL / STRUCTURAL IF AVAILABLE.

3 CMU COLUMN

SCALE: N.T.S.

2 ROLL GATE - 8FT

SCALE: N.T.S.

EASTMARK RV & BOAT
STORAGE

10630 E PECOS ROAD
Mesa, Arizona 85212

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LANDSCAPE PACKAGE

April 29, 2021
DRAWN BY: TKW
CHECK BY: JEH
PROJ. NO.: 2020-021
CASE NO.:

PRELIMINARY
WALL DETAILS

L1.1

2 of 2

ARIZONA BLUESTAKE
CENTER
CALL TWO WORKING DAYS
BEFORE YOU DIG
1.800.782.5348

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44161
JASON E.
HARRINGTON
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+ D

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