

SITE PLAN FOR: VERTUCCIO FARMS

4011 SOUTH POWER ROAD | MESA, AZ | 85212

LEGAL DESCRIPTION

LOCATED IN S/W 1/4, SECTION 18, T.1.S, R.7E OF THE GILA AND SALT
RIVER BASE & MERIDIAN MARICOPA COUNTY, ARIZONA

ZONING REQUEST

CURRENT ZONING _____ LIMITED COMMERCIAL (LC)
AND LIGHT INDUSTRIAL (LI)

PROPOSED ZONING _____ LI-PAD

SITE DATA

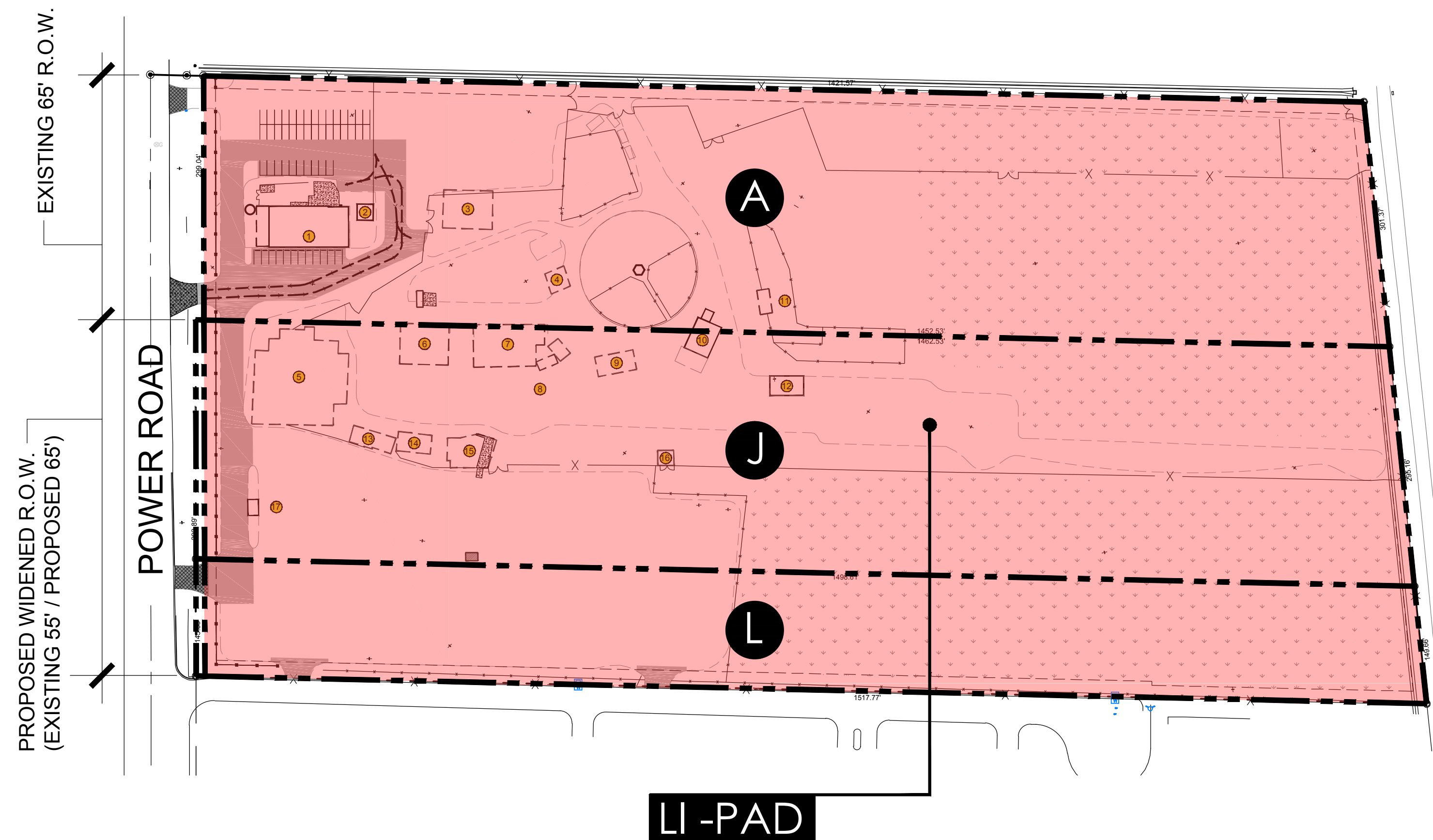
PARCEL	PARCEL I.D.	GROSS AC.	NET AC.
304-17-003A	A	(+/-) 10.30 AC	(+/-) 9.86 AC
304-17-003J	J	(+/-) 10.29 AC	(+/-) 9.93 AC
304-17-003L	L	(+/-) 5.12 AC	(+/-) 4.94 AC
TOTAL		(+/-) 25.71 AC	(+/-) 24.73 AC

FIRE DEPT. ACCESS

EMERGENCY VEHICLE ACCESS ROUTES ARE SHOWN TO BE WITHIN 150'
OF EXISTING NON-SPRINKLERED SHADE CANOPIES AND STRUCTURES

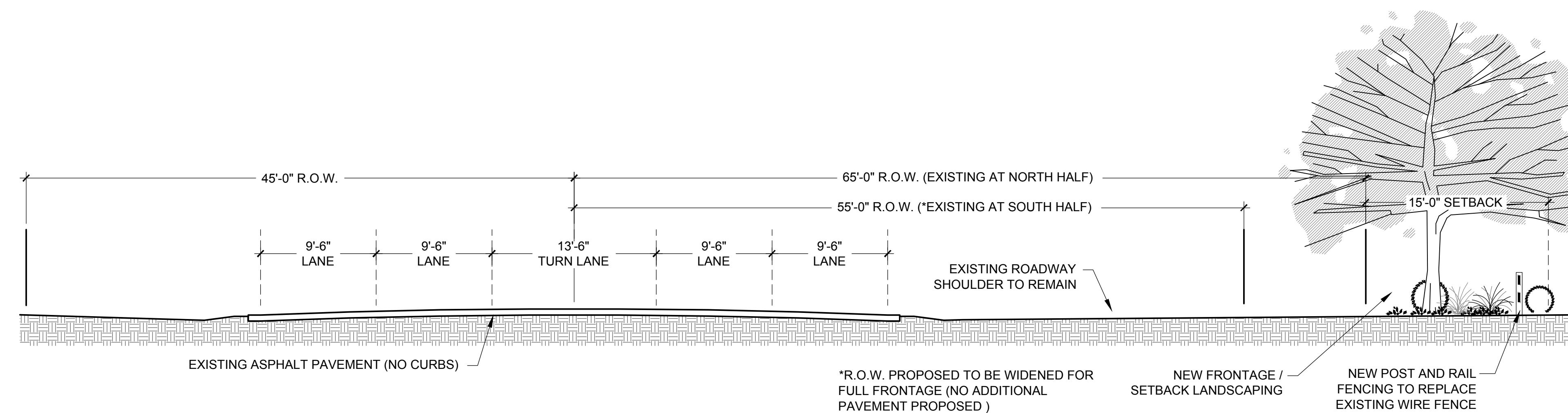
EXISTING SITE CONDITIONS

1. ALL IMPROVEMENTS AND STRUCTURES SHOWN ON SITE PLAN ARE EXISTING AND ARE TO REMAIN IN PLACE UNLESS NOTED OTHERWISE AS NEW OR RELOCATED.
2. SITE IS PREDOMINANTLY LEVEL WITH NO SIGNIFICANT TOPOGRAPHY CHANGE.
3. ALL EXISTING BUILDINGS ARE WOOD FRAMED WITH EITHER METAL OR SHADE ROOFING.
4. ALL SHADE STRUCTURES ARE METAL WITH FABRIC SHADE CLOTH MATERIAL.
5. THERE ARE NO EXISTING FIRE HYDRANTS ON THIS SITE.
6. PROPERTY IS CURRENTLY BEING OPERATED AS AN OUTDOOR AGRI-TAINMENT VENUE.
7. THERE ARE NO PARKING CANOPIES ON THIS SITE.
8. A.D.A. ACCESS IS LIMITED TO AREAS WITHIN THIS SITE ONLY. THERE ARE CURRENTLY NO PUBLIC SIDEWALKS WITHIN THE R.O.W. IMPROVEMENTS ADJACENT TO THIS SITE ALONG POWER ROAD AND REMBRANDT AVE. FOR PUBLIC R.O.W. CONNECTION.



PARCEL / ZONING MAP

SCALE: N.T.S

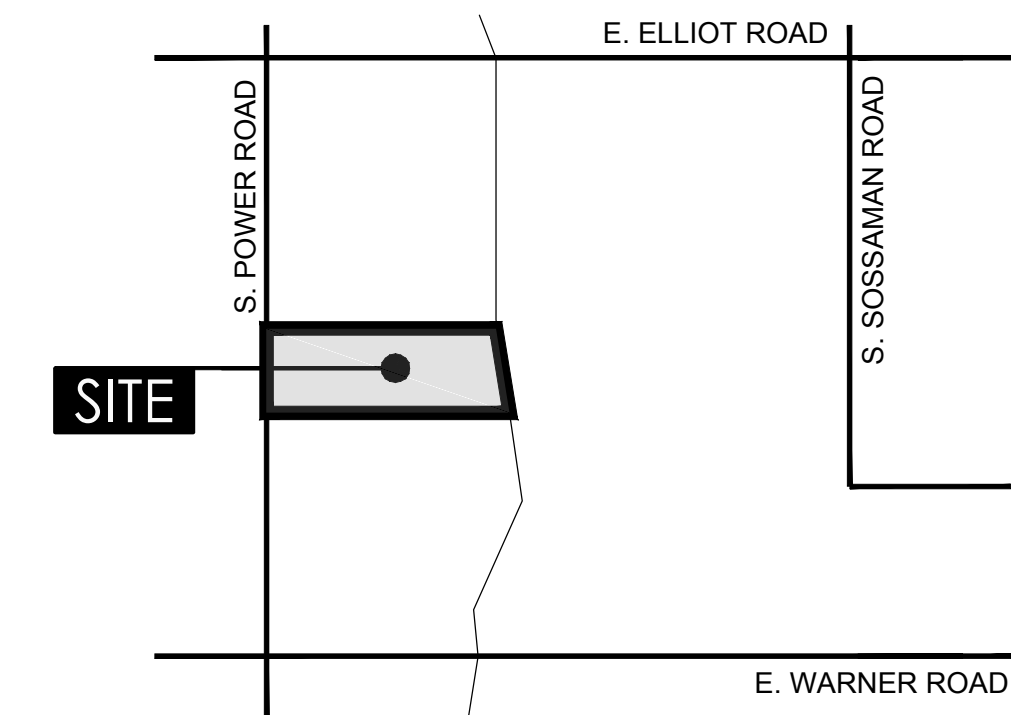


 POWER ROAD CROSS SECTION (LOOKING NORTH)

NOT TO SCALE

VICINITY MAP

N.T.S. 



PROJECT TEAM

OWNER :

VERTUCCIO FAMILY LIMITED
PARTNERSHIP TRUST
4045 SOUTH POWER ROAD
MESA, AZ 85142
PH: (480) 882-1482
CONTACT: CONO VERTUCCIO
conov42@gmail.com

LAND PLANNER / LS ARCH:

YOUNG DESIGN GROUP
7234 EAST SHOEMAN LN.
SUITE # 8
SCOTTSDALE, AZ 85251
PH: (480) 257-3312
CONTACT: JOE YOUNG
jyoung@youngdg.com

APPLICANT / LAND USE
CONSULTANT:

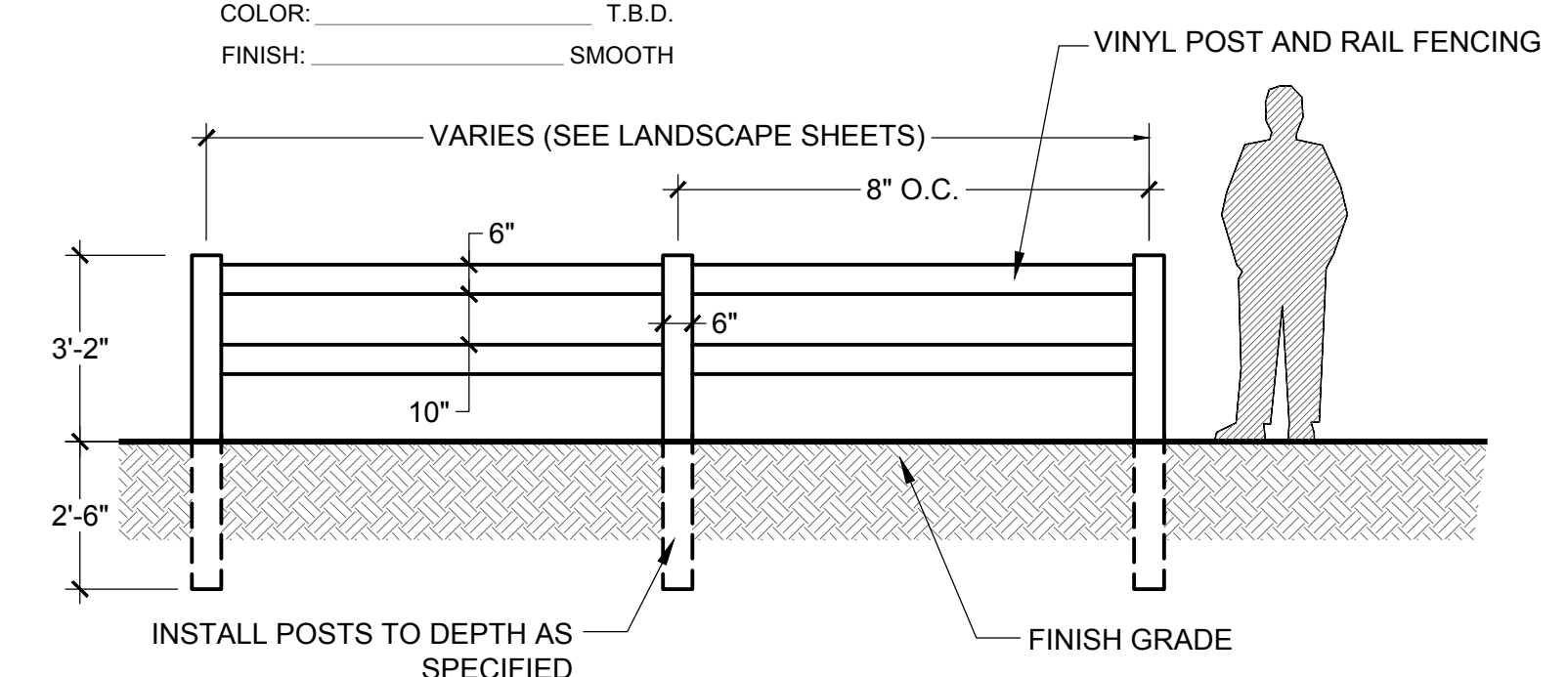
PEW AND LAKE, PLC
71744 S. VAL VISTA DRIVE
SUITE # 217
MESA, ARIZONA 85204
PH: (480) 461-4670
CONTACT: RALPH PEW
Ralph.pew@azbar.org

CIVIL ENGINEER:

KSE DESIGN GROUP, PLC
2525 WEST GREENWAY SUITE # 306
PHOENIX, AZ 85023
PH: (602) 347-7007
CONTACT: CRAIG SMITH
craig@kseaz.com



MANUFACTURER: _____ CERTAINTEED
STYLE: _____ BUFFTECH®
COLOR: _____ T.B.D.
FINISH: _____ SMOOTH



POST + RAIL FENCE (TYP)

NOT TO SCALE



VERTUCCIO FARMS
4011 SOUTH POWER ROAD | MESA, AZ | 85212

DATE:		03/08/19
JOB NO:		1820
DRAWN BY:		YDG
CHECKED BY:		JMY
REVISONS:	DATE:	
CITY	11/01/19	
CITY	01/16/20	
CITY	02/10/20	

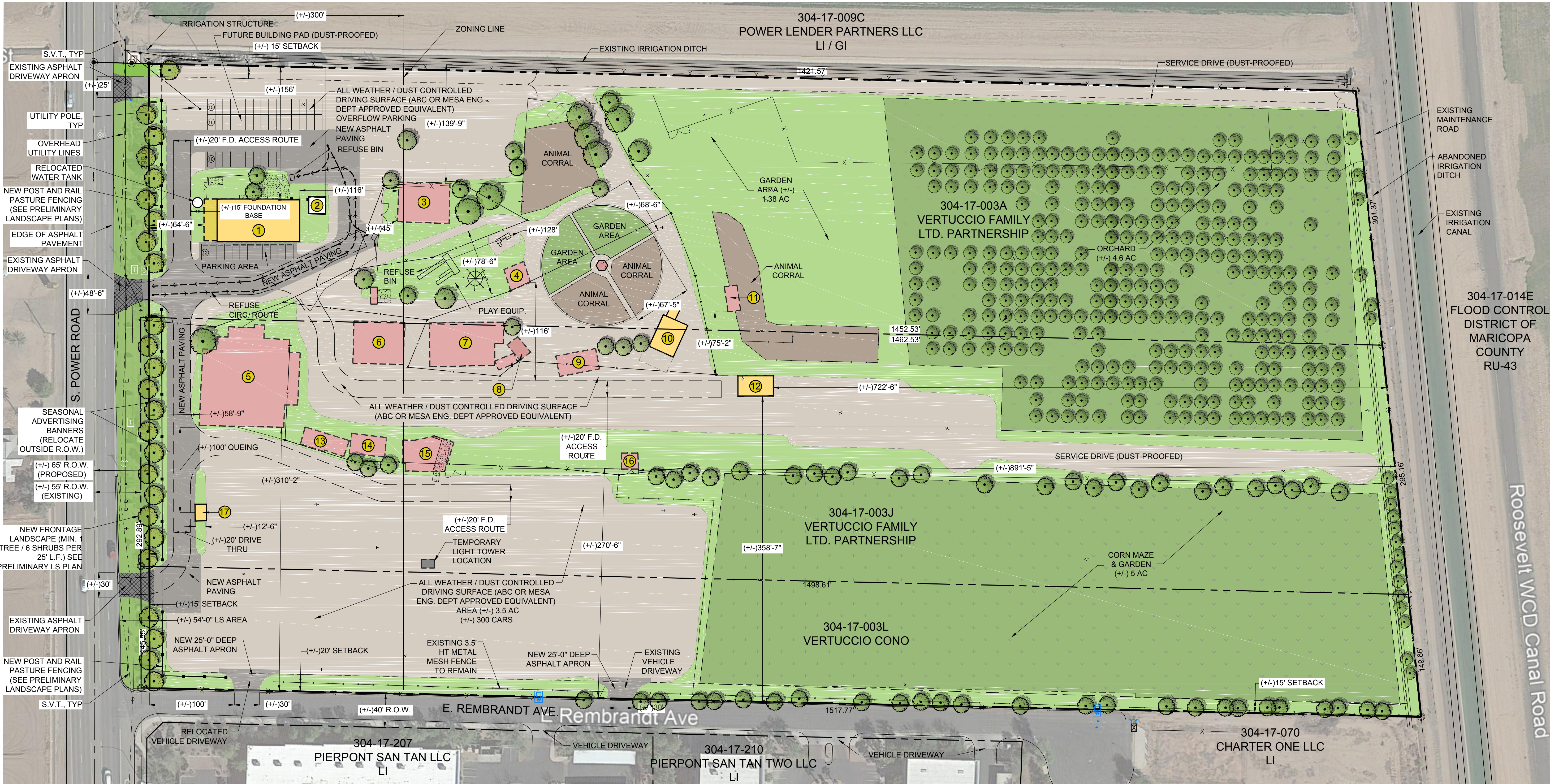
SUBMITTED FOR:

SITE PLAN

SHEET NO.

SP1.1

1 OF 2



SITE PLAN

CITY OF MESA FIRE CODE NOTES

- a. Compliance is required with all provisions and requirements of IBC Chapter 33, Safeguards During Construction, and; IFC Chapter 33 and NFPA 241, Fire Safety During Construction and Demolition.
- b. There shall be a 20 feet wide fire apparatus access road during construction or demolition. This road shall be an all-weather driving surface, graded to drain standing water and engineered to bear the imposed loads of fire apparatus (74,000 lbs./24,000lbs per axle) when roads are wet. The access road shall be extended to within 100 of temporary or permanent fire department connections. All open trenches shall have steel plates capable of maintaining the integrity of the access road design when these trenches cross an access road. Permanent access per the Mesa Fire Code shall be in place prior to any final inspection or certificate of occupancy.
- c. Approved water supply for construction site shall meet the requirements of Appendix Chapters B and C. The minimum fire flow requirement when contractor or developer brings combustible materials on site is 1,500 gpm at 25 psi. At least one fire hydrant shall be within 500 feet of any combustible material and capable of delivering the minimum fire flow requirement. This hydrant or hydrants may be either temporary or permanent as the project schedule permits. There are times when hydrants and valves must be closed temporarily for repair work or construction. The developer/contractor is responsible for ensuring that the water supply is always available. When the work is complete, the developer/contractor shall make sure that the fire hydrants are active, and the valves are open.

BUILDING / STRUCTURE KEY

- 1 FARM STAND (+/-) 54'x100'
- 2 CELL TOWER
- 3 PAVILLION (+/-) 32'x62'
- 4 SHADE STRUCTURE (+/-) 25'x25'
- 5 SUN SHADE / PAVILLION (+/-) 86'x104'
- 6 SUN SHADE (+/-) 50'x60'
- 7 SUN SHADE (+/-) 52'x78'
- 8 RESTROOMS (+/-) 14'x20'
- 9 PAVILLION (+/-) 24'x48'
- 10 FARM EQUIP. BUILDING (+/-) 30'x40'
- 11 ANIMAL SHADE STRUCTURE (+/-) 15'x30'
- 12 STORAGE BLDG WITH SHADE CANOPY (+/-) 36'x45'
- 13 ENTRANCE AND TICKET BOOTHS (+/-) 20'x52'
- 14 SUN SHADE (+/-) 24'x50'
- 15 CONCESSIONS (+/-) 32'x56'
- 16 SHADE CANOPY (+/-) 18'x18'
- 17 RELOCATED COFFEE STAND (+/-) 13'x20'

LEGEND

- PARCEL BOUNDARY
- - - PROPERTY LINE
- - - ROAD CENTER LINE
- - - ALL WEATHER FIRE ACCESS ROUTE (20' WIDTH)
- - - REFUSE COLLECTION ROUTE
- - - EXISTING FENCE
- - - EDGE OF IMPROVED DUST PROOFING
- - - O.H. UTILITY LINE
- - - UTILITY POLE

PARKING DATA

BUILDING / USE	AREA (S.F.)	PARKING REQUIRED	PARKING PROVIDED
- SUN SHADE BUIDINGS - ANIMAL CORRALS - GARDEN AREA - PLAY EQUIPMENT AREA - STORAGE BUILDINGS	(+/-) 52,789	1 STALL / 1,000 S.F. (53 STALLS)	(+/-) 300 STALLS
FARM STAND	(+/-) 4,862	1 STALL / 375 S.F. (13 STALLS)	52 STALLS