

DEVIATIONS

PARKING REQUIRED PER UNIT	300 (1.2 / UNIT) WITH TRANSIT
PARKING REQUIRED PER UNIT	525 (2.1 / UNIT) WITHOUT TRANSIT
PARKING PROVIDED PER UNIT	346 (1.38 / UNIT)
3 STORY BUILDING SEPARATION	10' REQUIRED 25' PROVIDED
PARKING CANOPY SEPARATION AT BLDG.	20' REQUIRED 15'-0" MINIMUM PROVIDED
SEPARATION BETWEEN CANOPIES	10' REQUIRED 8'-6" MINIMUM PROVIDED
FOUNDATION BASE @ MAIN ENTRY	15' ENTIRE LENGTH 32'-12' PROVIDED

OPEN SPACE REQUIRED PER UNIT	120 SF
OPEN SPACE PROVIDED PER UNIT	260 SF
PRIVATE OPEN SPACE REQUIRED	100 SF / 2BD UNIT 60 SF / STUDIO & 1 BD UNIT
PRIVATE OPEN SPACE PROVIDED	60 SF / UNIT AVG. PER NARRATIVE

PROPOSED DEVELOPMENT

PROPOSED USE:	MULTI-FAMILY DEVELOPMENT FOR RENT
HEIGHT:	3 STORIES / 38'
DENSITY:	31.1 DU PER NET ACRE PROVIDED = 250 UNITS
SETBACKS:	PER PAD

MECHANICAL SCREENING:	ROOFTOP EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC STREET BY USE OF PARAPETS
PARKING:	CARPARK SIZE PROVIDED 9'X18' STANDARD, 8'X16' COMPACT
AISLES:	AISLE WIDTH 26' TWO WAY
UNITS / CARPARKS:	STUDIO: 102 UNITS (41%) 1 BDRM: 102 UNITS (41%) 2 BDRM: 46 UNITS (18%) TOTAL UNITS 250 UNITS
	IBC 1107.6.2.1.1 2% OF THE UNITS ARE ACCESSIBLE TYPE 'A' 250 X .02 = 5 UNITS
CARPARKS PROVIDED:	PRIVATE STANDARD COVERED 250 PRIVATE COMPACT COVERED 0 PRIVATE STANDARD (UNCOV) 78 PRIVATE COMPACT (UNCOV) 0 TOTAL PRIVATE 326 PRIVATE PARKING RATIO 1.3
	GUEST PARKING 20
	TOTAL PRIVATE & GUEST 346 TOTAL PARKING RATIO 1.38 TOTAL COMPACT % 0%

COVERED CARPARKS:	1 PER UNIT PROVIDED PER SITE PLAN
ADA PARKING:	ADA REQUIRED 8 0 STD., 8 VAN TOTAL PROVIDED 8

BIKE PARKING:	326 CARPARKS RQRD / 10 = 33 BIKE SPACE RQRD TOTAL PROVIDED 33
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LOADING:	(1) 10'X30' PROVIDED
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PRIVATE OS PROVIDED:	60 SF AVG / UNIT = 15,000 SF
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COMMON OS PROVIDED:	COURTYARD PODS = 30,000 SF PASSIVE OS: PATHWAYS = 20,000 SF
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TOTAL OS PROVIDED:	65,000 SF
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OS LIMITS PROVIDED:	65,000 SF (2.17 X GREATER THAN RQRD.) 260 SF / UNIT
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BLDG. COVERAGE:	BUILDING 1 = 18,611 SF BUILDING 2 = 21,695 SF BUILDING 3 = 21,695 SF BUILDING 4 = 16,326 SF TOTAL = 78,327 SF (22% OF NET)
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GROSS BUILDING AREA:	BUILDING 1 = 41,774 SF BUILDING 2 = 51,026 SF BUILDING 3 = 51,026 SF BUILDING 4 = 47,511 SF TOTAL = 191,337 SF
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REFUSE CALCULATION:	PER MARICOPA STANDARDS 250 DWELLING UNITS 0.5 CY PER DU X 250 = 125 CY / 2X PER WEEK = 63 CY / 8 CY DUMPSTER = 8 DUMPSTERS RQRD 8 DUMPSTERS PROVIDED
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LOT COVERAGE:	PAVEMENT & CANOPIES = 132,729 SF COURTYARD HARDSCAPE= 7067 SF PEDESTRIAN PATH = 18,677 SF BUILDINGS = 78,327 SF TOTAL = 236,800 SF (68% OF NET)
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ZONING

ZONED CURRENTLY:	RS-43 (PEP)
BUILDING HEIGHT:	3 STORIES (50')
DENSITY:	43 DU/ ACRE MAX
SETBACKS:	0' @ FRONT (STREET FACING) 25' @ SIDE (PARKING CANOPY) 25' @ SIDE (BLDG) 15' @ REAR (PARKING CANOPY) 35' @ REAR(BLDG)

MECHANICAL SCREENING:	ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC STREET VIEW
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PARKING:	1.2 PER UNIT WITH TRANSIT 2.1 PER UNIT MAX 125% OF REQUIRED
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CARPARK STANDARDS:	9' X 18' REGULAR 8' X 16' COMPACT (20% OF TOTAL MAX) 1 REGULAR SPACE COVERED PER UNIT AT 9'X20'
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BIKE PARKING:	1 / 10 CARPARKS
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LOADING:	0 REQUIRED
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PRIVATE OS CALC:	100 SF / 2BD UNIT= 8,200 SF 60 SF / 1 BD UNIT = 5,040 SF 60 SF / STUDIO UNIT = 5,040 SF TOTAL = 18,280 SF
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COMMON OS CALC:	30,000 SF - 18,280 SF = 11,720 SF
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OPEN SPACE (OS):	120 SF PER UNIT= 30,000 SF
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BLDG. COVERAGE:	25% OF NET LOT AREA = 87,401 SF
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REFUSE REQUIRED:	PER MAG STANDARDS
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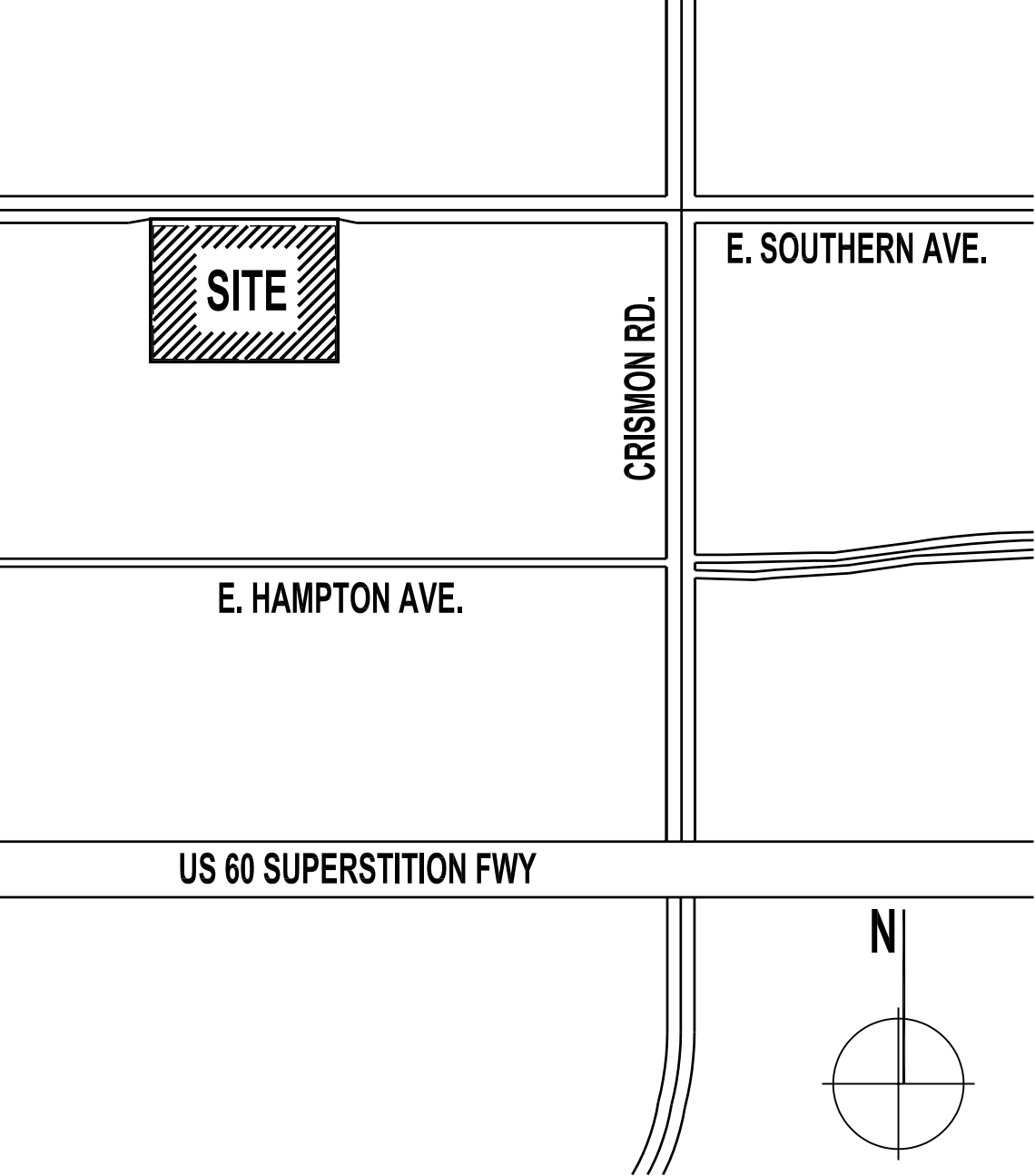
LOT COVERAGE:	70% OF NET LOT AREA= 244,721 SF
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CABANA SOUTHERN
PLANNING: ZON20-00786

SITE INFORMATION

PROP ADDRESS:	APN: 220-80-005-C
SITE AREA:	8.03 NET ACRES (349,602 SF) 8.63 GROSS ACRES (376,121 SF)
FEMA:	ZONE 'X'
CURRENT USE:	VACANT
PHASING:	NO PHASING REQUIRED OF DEVELOPMENT

VICINITY MAP



CONSTRUCTION INFORMATION

CONSTRUCTION TYPE:	V-B W/ AUTOMATIC SPRINKLER PER NFPA 13
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PROJECT DESCRIPTION

GREENLIGHT COMMUNITIES PLANS TO BUILD A MULTI-FAMILY COMMUNITY ON A 8.03 NET ACRE PARCEL. THE SITE IS CURRENTLY VACANT. THE PROJECT CONTAINS FOUR BUILDINGS WITH INTERIOR "COMMUNITY PODS". A MIX OF UNITS ARE DISPERSED THROUGH THE PROJECT. EACH BUILDING WILL BE WOOD FRAME CONSTRUCTION WITH WALK UP STAIRS ACCESSING ALL FLOORS.

TWO COMMERCIAL SPACES ARE PROVIDED ON THE NORTH SIDE OF BUILDING 1 WITH PARKING AND STREET ACCESS.

THERE WILL BE 3 TOTAL UNIT TYPES RANGING FROM 468 SF STUDIOS TO 828 SF 2 BEDROOM UNITS. ALL PARKING WILL BE AT GRADE SURFACE PARKING. THERE WILL BE A FENCE ALONG THE SITE PERIMETER. THE PRIMARY ENTRANCE WILL BE FROM SOUTHERN. ADDITIONAL EXITING IS ALSO PROVIDED AS SHOWN.

THE COMMUNITY AMENITIES WILL INCLUDE: LEASING OFFICE, FITNESS CENTER, POOL, COWORK SPACES, COMMUNITY BBQ PARK, PARCEL STORAGE, AND BIKE STORAGE. THESE AREAS ARE DISPERSED ABOUT THE SITE WITH THE OUTDOOR COMMON SPACES CONTAINED WITHIN INDIVIDUAL COURTYARDS FRONTED BY THE UNITS.

APPLICANT

DEVELOPER:	GREENLIGHT COMMUNITIES 135 E. INDIAN BEND, SUITE #101 SCOTTSDALE, AZ 85250 DAN RICHARDS DAN@LIVEGREENLIGHT.COM 480-609-6779
ARCHITECT:	WORKSBUREAU, INC. 2524 N. 24TH ST. PHOENIX, AZ ROB GASPARD RGASPARD@WORKSBUREAU.COM 602-391-4444

05 APRIL 2021

DRAWN BY: EB CHECKED BY: RG

PROJECT # 20120

PLANNING

CABANA SOUTHERN
GREENLIGHT COMMUNITIES
MESA, AZ, USA

COVER SHEET

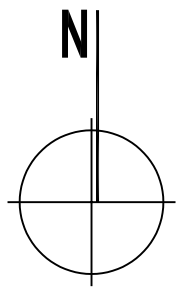
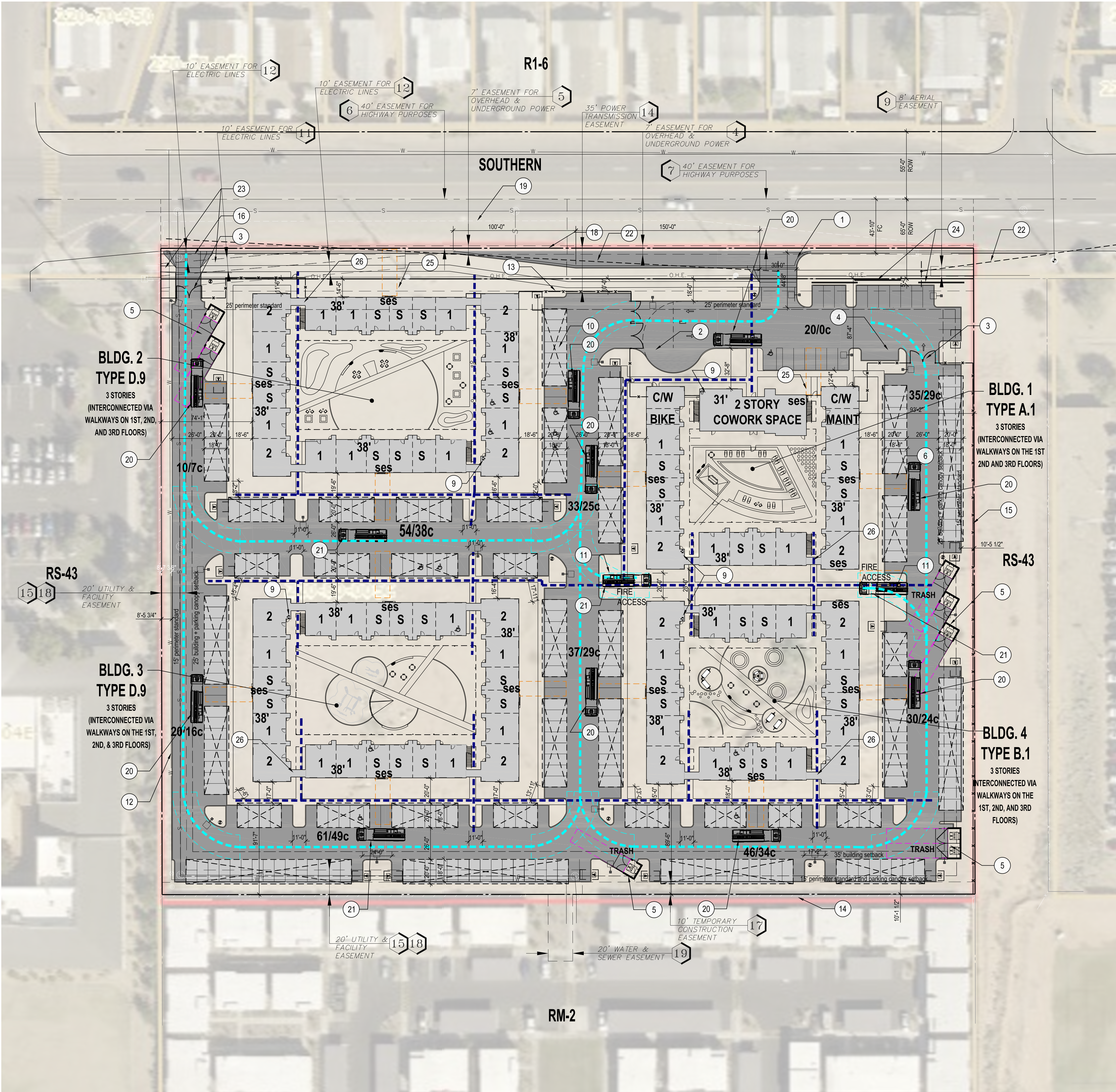
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NO.	DATE	DESCRIPTION
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REVISIONS

8
SHEET SCALE



SITE PLAN
SCALE: 1" = 40'-0"

1. FULLY ACCESSIBLE VEHICULAR ENTRY
2. VEHICULAR INGRESS AND EGRESS GATES WITH FIRE DEPARTMENT KNOX BOX
3. EGRESS GATES ONLY
4. 10'X30' DELIVERY / MAIL PARKING
5. CMU TRASH ENCLOSURE WITH GATE PER C.O.M STANDARD DTL M-62.01 - M-62.09
6. SES UTILITY COMPANY ACCESS, TYP.
7. EXISTING FIRE HYDRANT
8. PROPOSED FIRE HYDRANT
9. FIRE RISER CLOSET AND FDC
10. 20' CANOPY
11. 20'X40' FIRE APPARATUS PARKING ON 'GRAVEL PAVE' SURFACE
12. UNUSED
13. 6" ORNAMENTAL METAL FENCE W/ CMU PILASTERS AT 50' AND 3' CMU BASE TO SCREEN CARS.
14. EXISTING 6' DOOLEY WALL FENCE
15. PROPOSED 6' DOOLEY WALL FENCE
16. VEHICULAR EXIT ONLY
17. NOT USED
18. CURB AND GUTTER, SIDEWALK, AND DECELERATION LANE
19. EDGE OF EXISTING PAVEMENT
20. FIRE APPARATUS ACCESS
21. AERIAL FIRE APPARATUS ACCESS
22. SVT PER SECTION 211, FIGURE 2.3, 40 MPH DESIGN SPEED
23. EXIT ONLY SIGNAGE
24. PARKING SCREEN WALL
25. SCREENED SES UTILITY COMPANY ACCESS LOCATION. REF. DETAIL 2/A6.2
26. 6" WIDE ROOF CONNECTION WITH 42" HIGH PARAPETS PER APPROVED FIRE MODIFICATION, TYP.

LEGEND

- SES ACCESS POINT
- REFUSE TRUCK RADII
- FIRE APPARATUS RADII
- FIRE APPARATUS ACCESS PATH
- ACCESSIBLE PATHWAY
- PROPERTY LINE
- FENCE
- BUILDING SETBACK
- PUBLIC UTILITY EASEMENT
- FIRE RISER
- PROPOSED / EXISTING FIRE HYDRANT
- COWORK SPACE
- MAINTENANCE SPACE

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MESA, AZ, USA

SITE PLAN

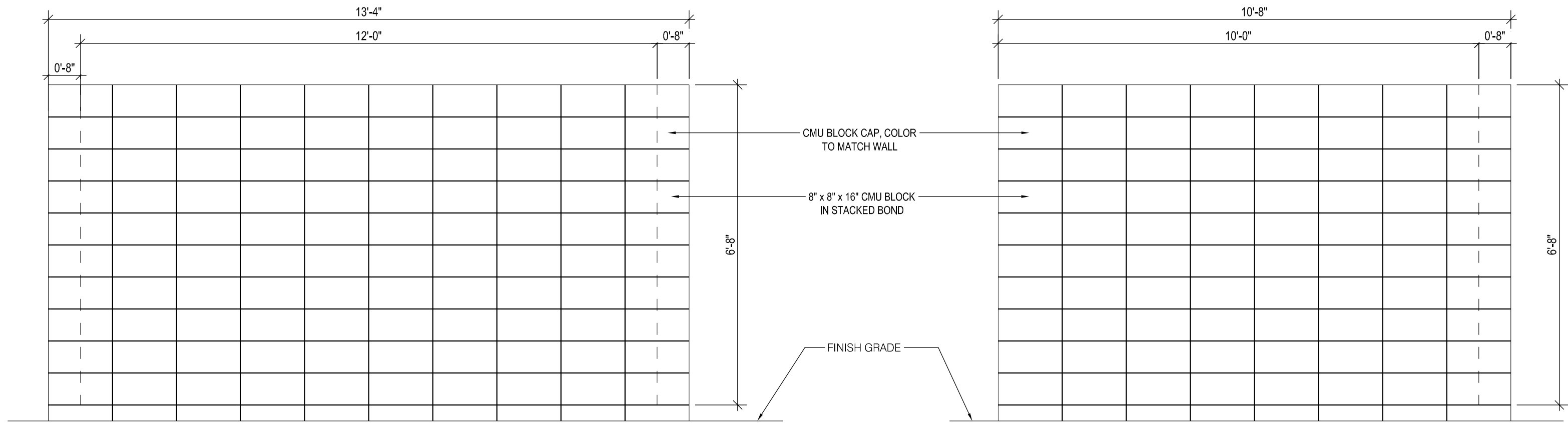
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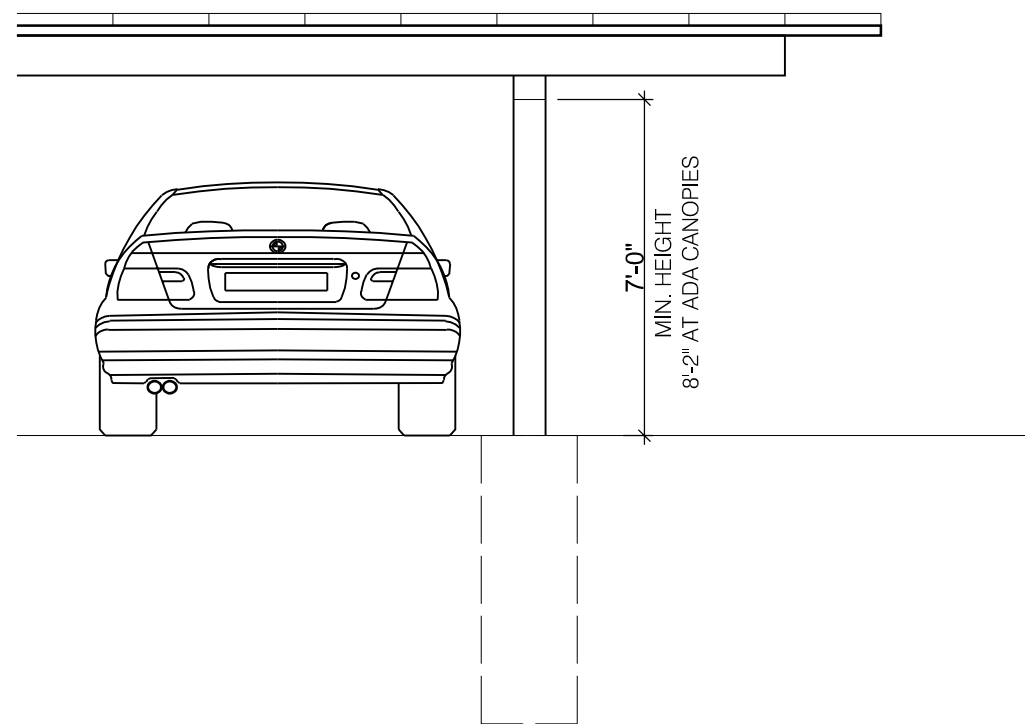
PLANNING

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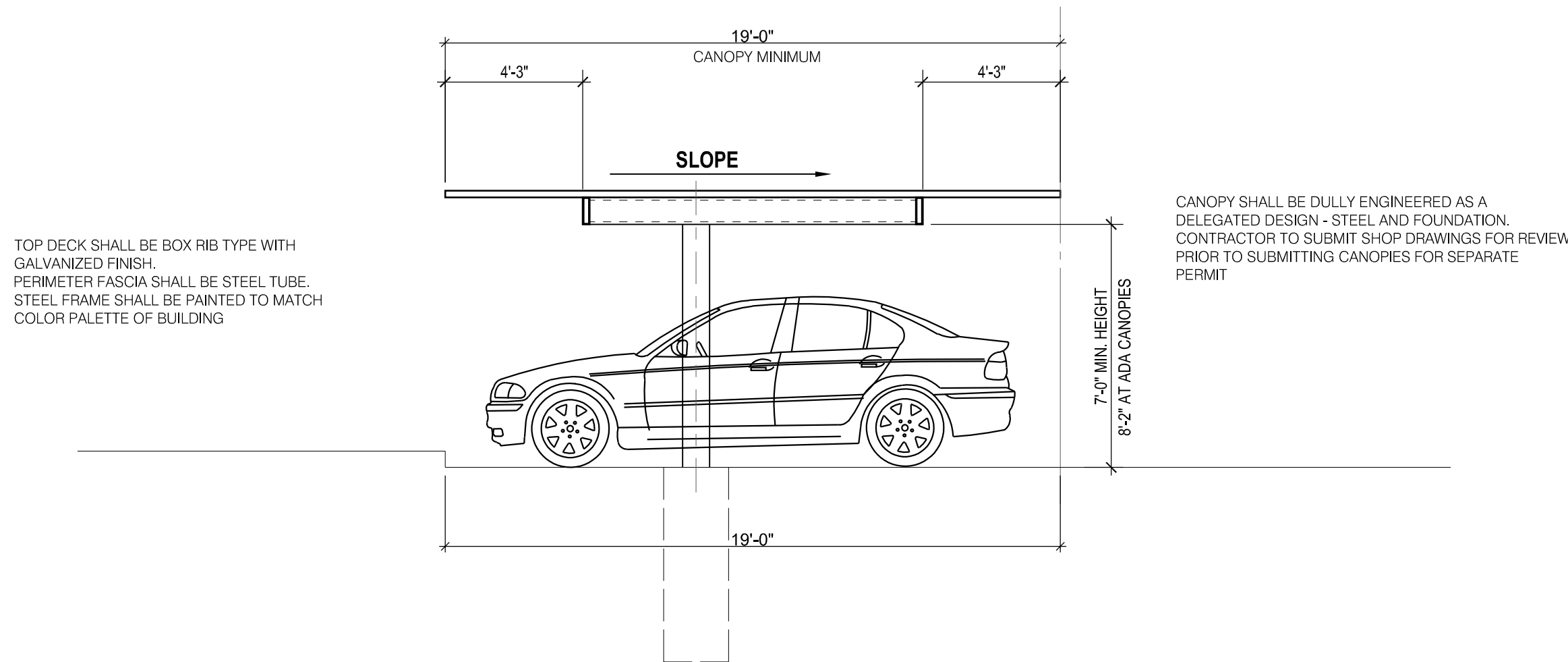


5 REFUSE BACK ELEVATION DETAIL
A6.1 Scale: 1/2" = 1'-0"

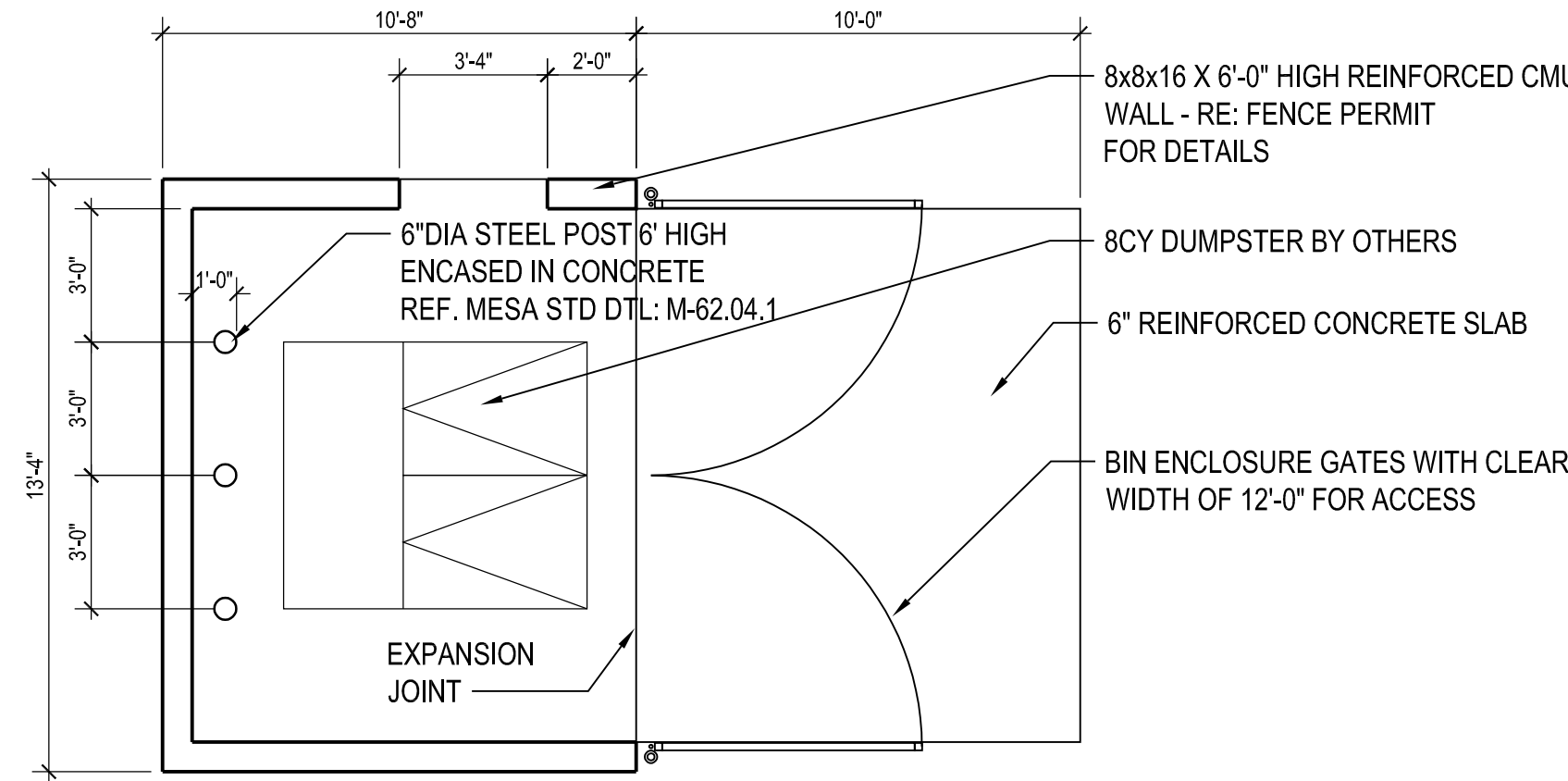
4 REFUSE SIDE ELEVATION DETAIL
A6.1 Scale: 1/2" = 1'-0"



2 BASIS OF DESIGN - PARKING CANOPY ELEVATION
A6.1 Scale: 1/4" = 1'-0"



1 BASIS OF DESIGN - PARKING CANOPY
A6.1 Scale: 1/4" = 1'-0"



3 SINGLE BIN CONTAINMENT PLAN
A6.1 Scale: 1/4" = 1'-0"

02 MARCH 2021

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PLANNING

CABANA SOUTHERN
GREENLIGHT COMMUNITIES
MESA, AZ, USA

SITE DETAILS

A6.1

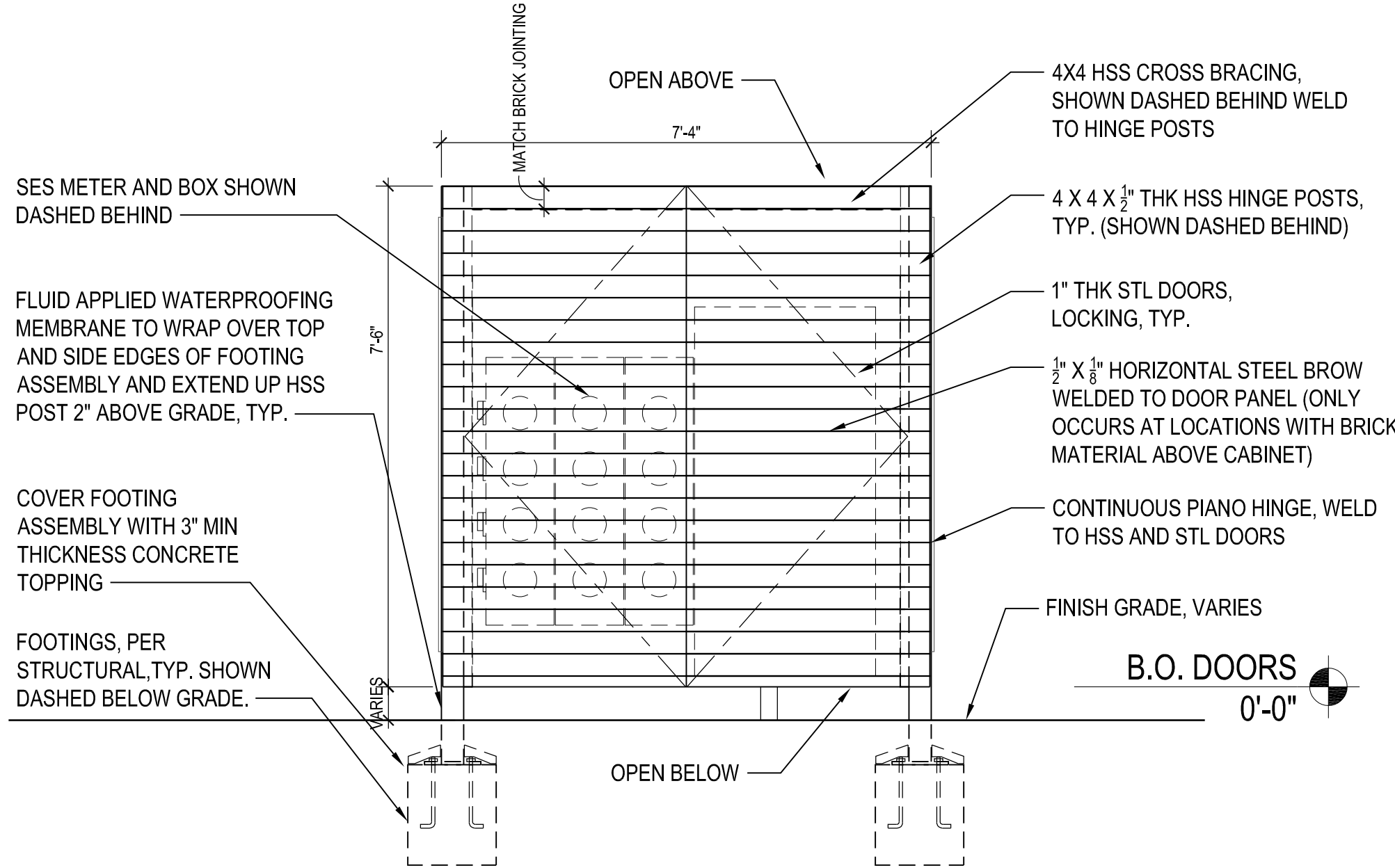
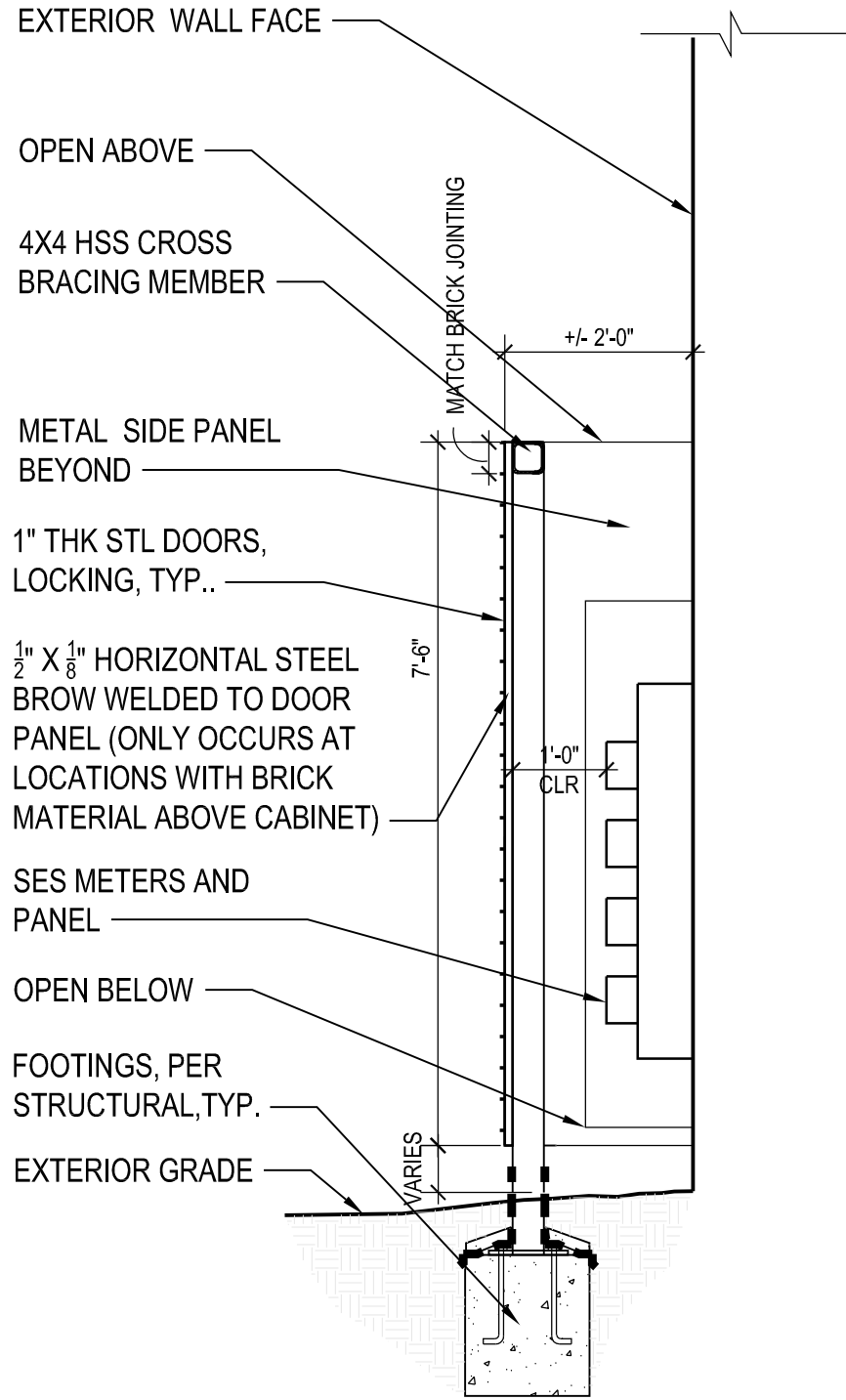
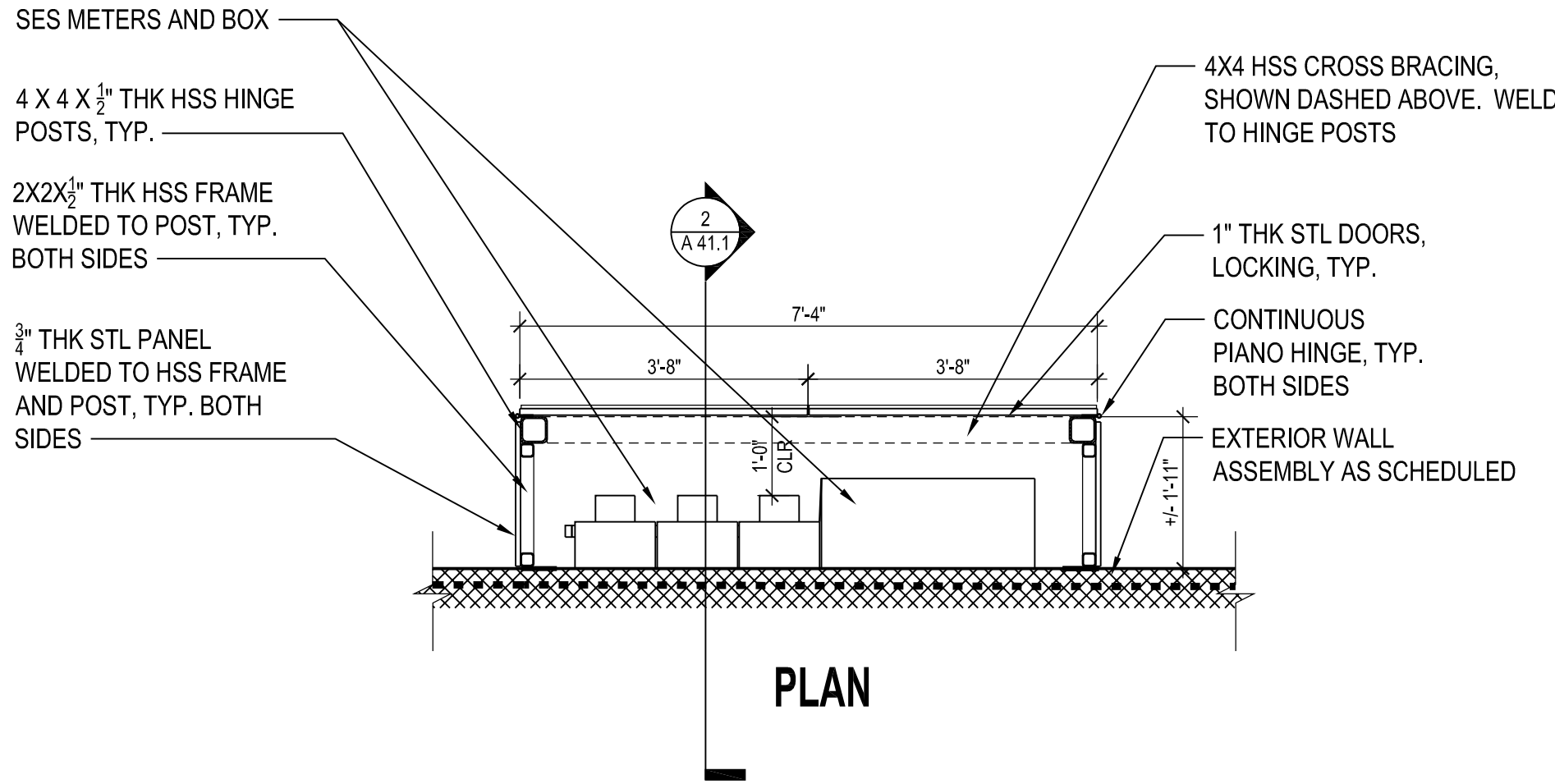
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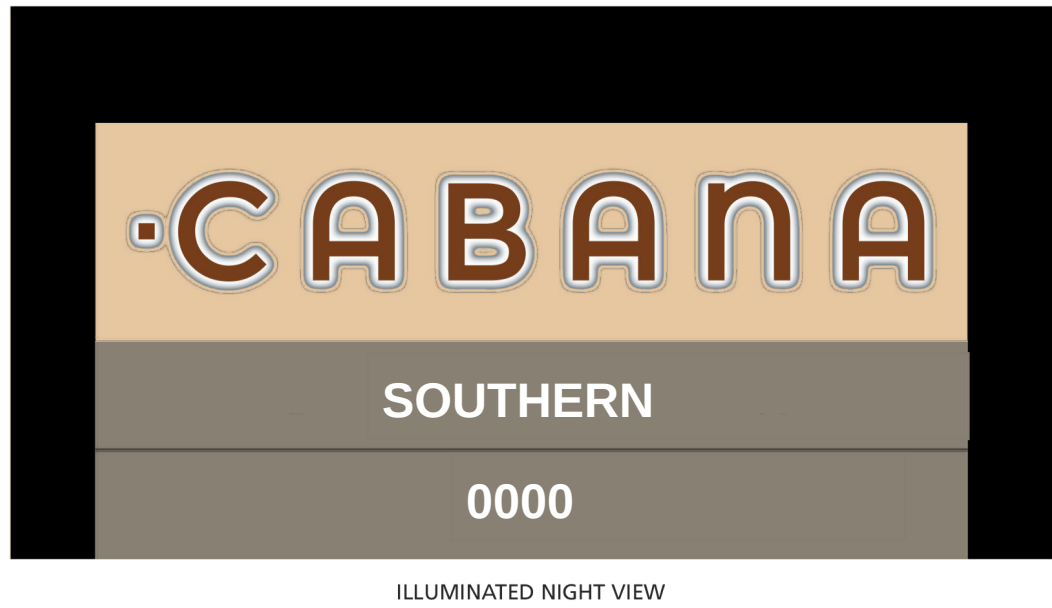
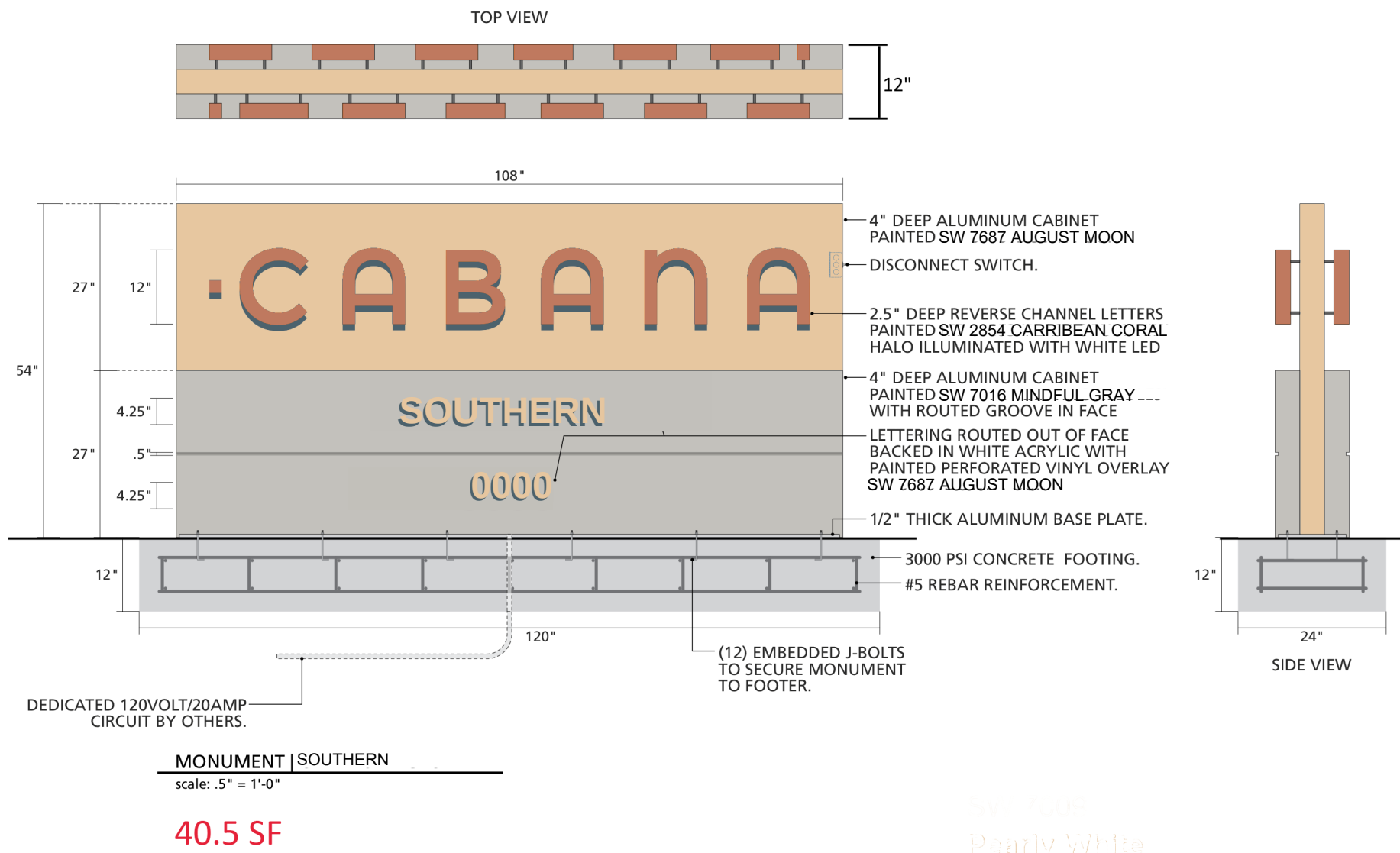
8
SHEET SCALE

FINISH NOTE: PAINT STEEL TO MATCH COLOR OF FACADE



3 SECTION @ SES CABINET
A6.2 Scale: 1/2" = 1'-0"

2 SES CABINET_3X4
A6.2 Scale: 1/2" = 1'-0"



1 BASIS OF DESIGN - MONUMENT SIGN
A6.2 Scale: 1/2" = 1'-0"

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PROJECT # 20120

PLANNING

A6.2

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GREENLIGHT COMMUNITIES
MESA, AZ, USA

SITE DETAILS

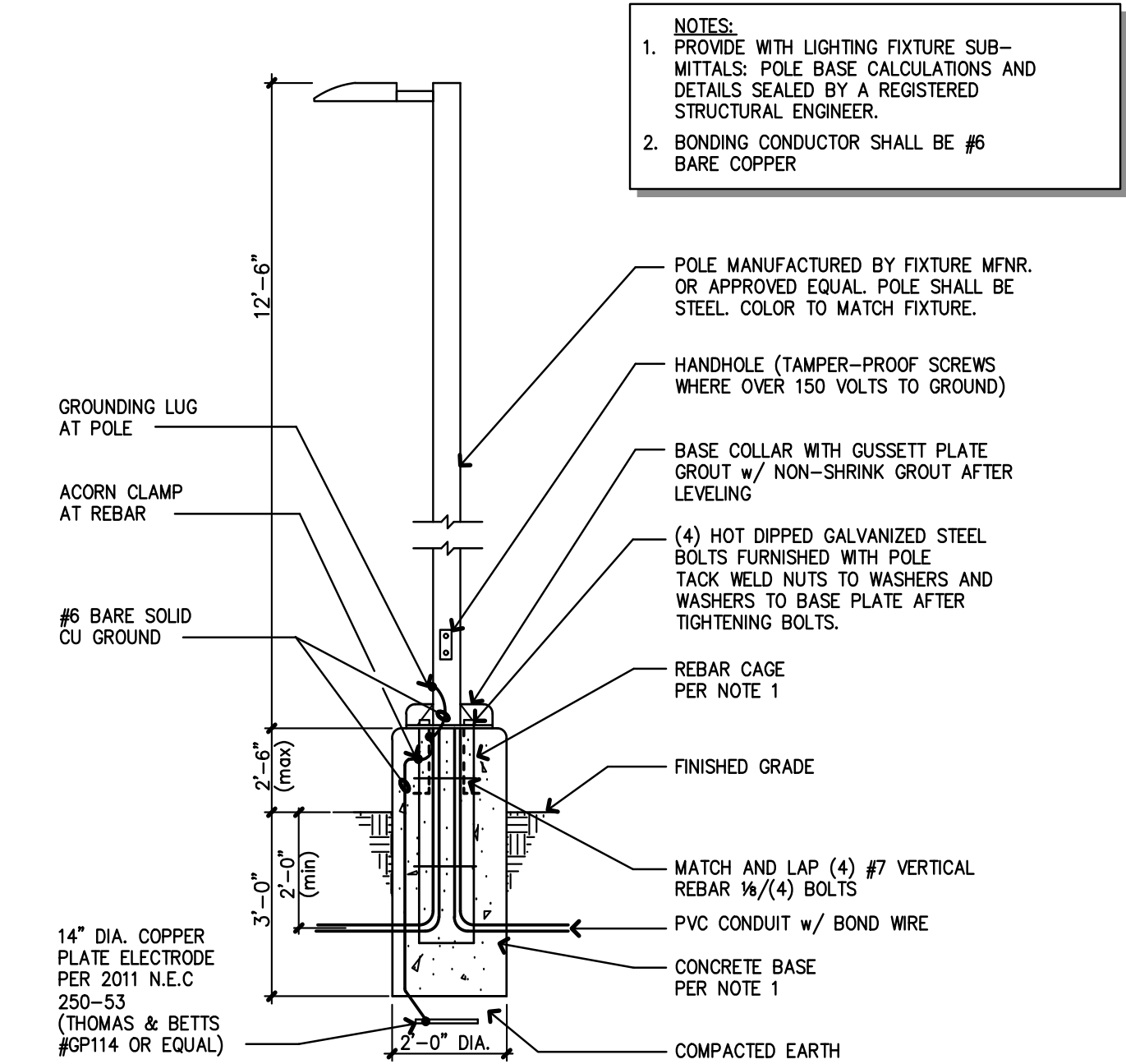
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8
SHEET SCALE

4 POLE MOUNTED SITE LIGHT FIXTURE DETAIL

A6.3 Scale: NTS



DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and ULcUL Listed for wet locations.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

McGraw-Edison

Catalog #	Type
Project	
Comments	Date
Prepared by	

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm

may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint. 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
Five-year warranty.



DESCRIPTION

The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

SPECIFICATION FEATURES

Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

Optics
Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K

and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

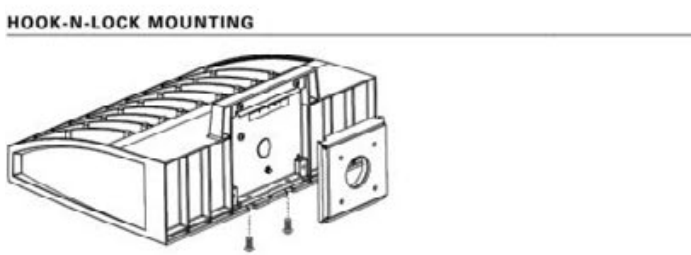
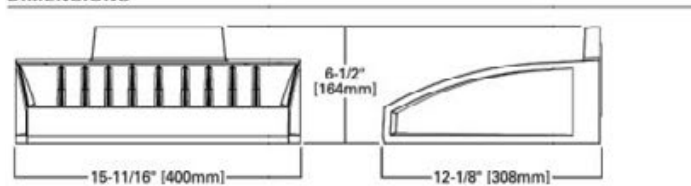
Electrical
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Cooper Lighting Solutions proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" i box or wall with the Galleon Wall "hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

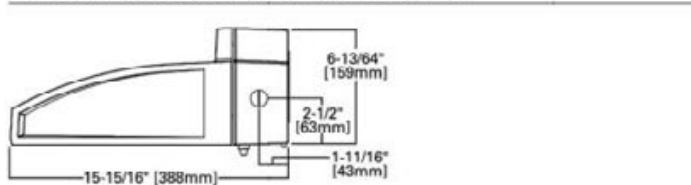
Finish
Housing finished in super durable TGIC polyester powder coat paint. 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.

DIMENSIONS



BATTERY BACKUP AND THRU-BRANCH BACK BOX



McGraw-Edison

Catalog #	Type
Project	S6
Comments	Date
Prepared by	



DIMENSIONS



DESCRIPTION

The Halo Surface LED Downlight (SLD) incorporates WaveStream™ technology to create an ultra-low profile surface mounting luminaire with the performance and look of a traditional downlight. SLD6 is designed for installation in many 3-1/2" and 4" square, octagon or round junction boxes. And may also retrofit in 5" and 6" IC and Non-IC recessed housings.* Suitable for residential or commercial installations. Ideal for closets, storage areas, attics and basements. Compliant with NFPA 70, NEC Section 410.16 (A)(3) and 410.16 (C)(5).

SPECIFICATION FEATURES

CONSTRUCTION
• Die cast aluminum trim ring, and die formed aluminum frame

OPTICS
• WaveStream™ technology provides uniform luminance from a low profile flat lens

RECESSED HOUSING MOUNTING
• May be installed in IC recessed housings in direct contact with insulation

DESIGNER TRIMS
Accessories (sold separately) SLD designer trims are accessory rings that attach to the SLD for a permanent finish.* Refer to SLD accessories specification sheet for details.

ELECTRICAL JUNCTION BOX MOUNTING
• SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation

LED
• Linear LED arrays are integrated in trim perimeter

WARRANTY
Cooper Lighting Solutions provides a five year limited warranty on the SLD LED

Catalog #	Type
Project	S7
Comments	Date
Prepared by	



SLD 1200 Series
SLD6128xxWH
2700K, 3000K, 3500K, and 4000K

SLD6129xxWH
2700K, 3000K, 3500K, and 4000K

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Lumens (400K model)	80 CRI	90 CRI
Input Voltage	120V	120V
Frequency	50/60 Hz	50/60 Hz
Input Current	0.12 A	0.12 A
Input Power	14.8 W	14.8 W
Efficiency (400K model)	82 lm/W	88 lm/W
THD	≤ 20%	
Power Factor	≥ 0.95	
T Ambient	-30 ~ +40°C	
Sound Rating	Class A	

NOMENCLATURE
SLD612830WH
612 = 6\"/>

3 POLE MOUNTED SITE LIGHT FIXTURE CUT SHEET

A6.3 Scale: NTS



2 SURFACE MOUNTED SITE LIGHT FIXTURE CUTSHEET

A6.3 Scale: NTS



1 UNDER CANOPY SITE LIGHT FIXTURE CUTSHEET

A6.3 Scale: NTS



02 MARCH 2021

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PROJECT # 20120

PLANNING

CABANA SOUTHERN
GREENLIGHT COMMUNITIES
MESA, AZ, USA

SITE LIGHTING CUT SHEETS & DETAIL

A6.3

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REVISIONS	NO.	DATE	DESCRIPTION	TYPE
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SHEET SCALE