



## **Citizen Participation Plan for Gateway Commerce Center - Wetta Ventures, LLC.**

**Date:** January 20, 2021

**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools, and businesses in the vicinity of the site of an application for GATEWAY COMMERCE CENTER for Site Plan Approval. This site is located at 7132 E. Seaver Avenue in Mesa, AZ and is approximately 10.50 gross acres of vacant land. The Parcel numbers are: 304-30-046, 304-30-045, and 304-30-044. The Property is located within the City of Mesa and is zoned L-I (Light Industrial within a Planned Area Development (PAD) which permits by-right light industrial uses, including warehousing, distribution, manufacturing, and storage. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

**Contact:**

City of Mesa Planning Department  
55 N. Center St.  
Mesa, Arizona 85201

**Pre-submittal Meeting:** The pre-application meeting with City of Mesa planning staff was held on September 22, 2020. Staff reviewed the application and recommended that adjacent residents and nearby registered neighborhoods be contacted.

**Action Plan:** In order to provide effective citizen participation in conjunction with their application, the following steps will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list was developed for citizens and agencies in this area including:
  - All registered neighborhood associations within one mile of the project (None within one mile)
  - Homeowners Associations within one half mile of the project (None within one half mile)
  - Property owners within 1,000 feet from site, but may include more (See attached for list of property owners and sample mailing packet)
2. All persons listed on the contact list were mailed a letter describing the project, site plan, and landscape plans. Recipients were provided email and phone number to provide feedback or ask any questions.
  - One packet was returned as undeliverable (IWA Holdings) due to a typo in the address. Their packet was remailed approximately one week later.
  - Two packets were returned as undeliverable (BV Strategic Management, LLC and Phx-Mesa Gateway airport Authority).
  - On 12/24/20, the adjacent property owner to the south emailed and requested a phone call to discuss the project. Due to the holiday break, we did not speak until 12/31. He stated he had concerns about the west driveway being too close to the property line and suggested they would prefer landscaping or parking as a buffer between their building and the driveway. Their building is located approximately 2 feet from the property line. In response, we are able to increase the distance of face of curb to property line from 3'-9 1/2" to 4'-6". No landscaping is planned for this narrow strip south of the west driveway. The property owner was notified of our response via email 1/7/21.
  - No other comments or questions have been received.

**Schedule:**

- Pre-submittal meeting – 9/22/2020
- Application Submittal – October 29, 2020
- 2<sup>nd</sup> Submittal – November 30, 2020
- Comment Resolution Submittal – December 21, 2020
- Planning and Zoning Board Hearing – January 27, 2021





**Notification Regarding Proposed Development: Gateway Commerce Center**

Address: 7132 E. Seaver Ave., Mesa, AZ 85212

Parcel Numbers: 304-30-044, 304-30-045, 304-30-046

Case Number: ZON20-00738

Date: December 11, 2020

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Dear Neighbor,

We have applied for City of Mesa Site Plan and Design Review approval for development at this location. This letter is being sent to all neighboring property owners within 500 feet of the boundaries of the proposed development site as required by the Planning Division to seek input from nearby neighbors. We are excited about this project and encourage you to review the attached plans and building elevations. Enclosed with this letter is a Project Narrative and copies of the site plan, landscape plan and building elevations.

Please provide any feedback or ask questions about the project by email or telephone as noted below.

For additional information concerning the design of the proposed development or the Design Review process, please contact the Mesa Planning Division at 55 North Center or call the Mesa Planning Division Office at 480-644-2385.

Sincerely,

Applicant: Karen Ohmann, RA, Project Manager

Phone: 602-317-0928

Email: [kohmann@2929.com](mailto:kohmann@2929.com)

Enclosures:

Project Narrative, photocopies of the site plan, landscape plan and elevations.



October 30, 2020

City of Mesa Planning Department  
55 N. Center St.  
Mesa, Arizona 85201

Re: Pre-Application #PRS20-00597

Site Plan Review Submittal Project Narrative respecting the approximately 10.50 gross acres located at 7132 E. Seaver Avenue. The Parcel numbers are: 304-30-046, 304-30-045, and 304-30-044. Lot consolidation is underway.

To City of Mesa Planning Department and Design Review Board:

Wetta Ventures, LLC ("Wetta Ventures"), the prospective owner and developer of the approximate 10.50 gross acres of vacant land located at 7132 E. Seaver Avenue. The Parcel numbers are: 304-30-046, 304-30-045, and 304-30-044. The Property is currently located within the city of Mesa and is zoned L-I (Light Industrial) which permits by-right light industrial uses, including warehousing, distribution, manufacturing, and storage. Immediately surrounding properties/land include: Loop 202 (Santan Freeway) to the north; vacant L-I land and the Potato Barn to the east; two industrial and warehouse/distribution buildings (Print.Save.Repeat) to the south zoned L-I Light Industrial and the Arizona canal; a vacant land zoned L-I Light Industrial to the south. These properties are all within the "Ray Road Commerce Center".

Established in 2012, Wetta Ventures is an Arizona real estate investment and development company that specializes in discovering opportunities for new commercial and industrial developments that have the potential to provide a positive impact on the surrounding community. Wetta Ventures focuses on pursuing development opportunities of all product types that provide the surrounding community and city with a high-quality product. In Mesa, the company is close to completing a 52,000- square foot commercial hangar with office space at Phoenix-Mesa Gateway Airport that can accommodate two Boeing 737s. The facility will be occupied by Belgium-based Aerocircular, a company that provides green, service-only, economical end-of-life aircraft recycling/up-cycling services to Fleet owners with plans to employ up to 130 people at 100% capacity.

#### Proposed Use

Current zoning is light industrial (LI) with a PAD and Airfield overlay. Wetta Ventures is proposing to develop the Property as a light industrial development. The current zoning designation of L-I allows for a light industrial development comprised of warehouse and distribution buildings and manufacturing. The property will have one building totaling approximately 145,600 SF. The Class A building is expected to have a clear height of 32 Feet and have truck wells and grade level overhead doors. The loading area is fully screened by 8'-0" high masonry walls. All refuse containers are located within the walled yard. Parking screen walls are provided along street frontage. Two employee amenity areas have been provided at the North property line, 927 SF and 1320 SF each. These landscaped areas have concrete paving for ADA accessibility, tables and benches, umbrella/shade, trash/recycling receptacles, and landscape lighting. See attached product data sheets for proposed site furnishings. Sidewalks are provided on 3 sides of the building for safe pedestrian circulation. Pedestrian crosswalks at drive aisles are highlighted by use of colored stamped concrete.

#### Conformance with Surrounding Properties

As stated above, the Property is designated Light Industrial and the Property is surrounded by multiple similar properties to the ones we are proposing to build. To the east is Potato Barn's building totaling 100,000 SF; EuroContempo's building totaling 70,000 SF; and The Landing Phase 1 and 2 comprises similar buildings ranging in size from 25,000 SF to 484,000 SF.



### Site Plan

Architectural site plan, enlarged plans and details are included in this submittal. Setbacks, foundation planting areas, parking screen walls, turning radii, and parking counts/ island spacing requirements have been addressed.

### Parking

Per Table 11-32-3 (A) of the MZO, 327 parking spaces are required for an industrial building of unspecified use. We respectfully request a Special Use Permit (SUP) to reduce the number of parking spaces from 327 to 244. Parking Analysis performed by Southwest Traffic and Engineering is included in this submittal supports this reduction.

### Maximum Building Height

Per 11-30-3 of the MZO, the maximum building height in LI district is 40'-0". We respectfully request to increase the building height to 45'-0". This is necessary to provide the market-driven requirement for 32'-0" clear height inside the building. The 40'-0" height limitation does not provide enough parapet to provide parapet height variation and to fully screen roof-mounted mechanical equipment in the future tenant improvements. Refer to Building Section for additional information.

### Landscaping

Landscape plans have been provided meeting MZO requirements, including increased landscape area at Public Entrances. Refer to Architectural Site Plan for areas provided.

### Elevations

Detailed black and white and colored elevations with notes, dimensions, and material tags are included in this submittal. Digital Color and Material Board is also included. Elevations provide wall articulation and varying parapet heights. Three building materials/textures are provided: concrete tilt panel walls with vertical and horizontal reveals, concrete tilt panel walls with horizontal ribbed texture, and metal wall panel accents. The color palate includes whites, grays, black, and rustic orange. The entries are highlighted with two-level canopies that clearly announce building entry points. Storefront glazing is used both at pedestrian level as well as clerestory level to provide natural daylighting within the warehouse portion of the building.

### INCLUDED IN THIS SUBMITTAL:

Written Response to Comments  
Project Narrative  
Architectural Site Plan, Enlarged Plans, and Details  
Overall Floor Plan and Building Section  
Exterior Elevations-Colored and Black & White  
Color and Material Board  
Site Furnishing Product Information Sheets  
Civil Conceptual Grading and Drainage Plans  
Landscape Plans  
Site Lighting, Photometrics, and Fixture Cutsheets  
Citizen Participation Plan  
Parking Analysis for Special Use Permit

# SITE DATA

**PARCEL NUMBER:**  
APN 304-30-046, 304-30-045, 304-30-044

**CURRENT ZONING:**  
LIGHT INDUSTRIAL (LI) IN PAD AND AIRFIELD OVERLAY  
(AIRPORT OVERFLIGHT AREA 2)

**USE RESTRICTIONS:**  
ACA 2 HAS RESTRICTED USES PER M20 11-7-2;  
COUNCIL USE PERMITS ARE REQUIRED FOR  
CERTAIN USES PER M20 11-7-2

**PROPOSED OCCUPANCIES:**  
B, S-1, F-2

**SITE AREA:**  
LOT 2 (APN 304-30-044) 133,246 SF/3.0589 AC  
LOT 3 (APN 304-30-045) 148,995 SF/3.4205 AC  
LOT 4 (APN 304-30-046) 167,299 SF/3.8407 AC  
449,541 SF/10.3201 AC

**CONSTRUCTION TYPE:** V-B

**BUILDING AREA:**  
BUILDING: 145,600 SF (GROSS)  
CANOPIES: 1,205 SF  
TOTAL: 146,805 SF

**BUILDING HEIGHT RESTRICTION:**  
40' MAX HEIGHT PER M20  
36'-45' PROVIDED

**BUILDING SETBACKS:** PER M20  
MINIMUM FRONT BUILDING SETBACK = 20'  
SETBACK PROVIDED = 15'-0" 1/2"  
MINIMUM SIDE BUILDING SETBACK = 0'-0"  
EAST SETBACK PROVIDED = 62'-9" NORTH  
WEST SETBACK PROVIDED = 187'-8" NORTH  
MINIMUM REAR BUILDING SETBACK = 0'-0"  
SETBACK PROVIDED = 132'-6", 136'-3"

**LOT COVERAGE:**  
BUILDING: 145,600 SF  
PAVING: 234,681 SF  
TOTAL: 380,281/449,541 = 84.5%

# KEYNOTES

- DASHED LINE INDICATES BUILDING CANOPY
- EXISTING FLOORING: SEE ELEVATIONS
- NEW CONCRETE SIDE WALK
- ACCESSIBLE ACCESS ROUTE FROM SIDEWALK
- ACCESSIBLE RAMP - REFER TO DETAILS
- 1/2" X 2" JOIST HUBBARD TRIMMED
- 1/2" X 2" JOIST HUBBARD TRIMMED
- ELEVATION
- EXISTING SIDEWALK
- CONCRETE PAVEMENT
- EXISTING
- CATCH BASIN
- RETENTION AREA
- 21' WEIR AREA - SEE LANDSCAPE FOR SITE
- TURNING RADIUS: 10' MINIMUM
- 22' WEIR AREA - SEE LANDSCAPE FOR SITE
- 23' WEIR AREA - SEE LANDSCAPE FOR SITE
- 24' WEIR AREA - SEE LANDSCAPE FOR SITE
- 25' WEIR AREA - SEE LANDSCAPE FOR SITE
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- 100' WEIR AREA - SEE LANDSCAPE FOR SITE

# PARKING CALCULATIONS

**PARKING CALCULATIONS:** PER M20  
REQUIRED: 219 (75%) + 97 (25%) = 316 SPACES  
PROVIDED: 244 SPACES  
(72 SPACES)  
ADA SPACES PROVIDED: 6 SPACES  
BIKE SPACES PROVIDED: 26 SPACES  
SPECIAL USE PERMIT REQUESTED - SEE PROJECT NARRATIVE

# ERRC SURVEY

EMERGENCY RESPONDER RADIO FREQUENCY SURVEY SHALL BE PERFORMED AT TIME OF BUILDING ENVELOPE COMPLETION.

# PROJECT TEAM

**OWNERS:** WETTA VENTURES, LLC  
1004 E. CAMELBACK RD, STE 507  
PHOENIX, AZ 85016  
PHONE: 602-479-3538  
EMAIL: OWNETTAVENTURES.COM  
CONTACT: DAVID WETTA

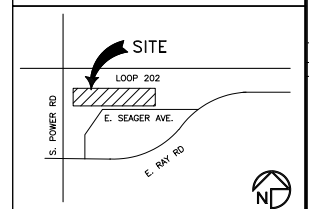
**ARCHITECT:** DEUTSCH ARCHITECTURE GROUP  
4001 E. INDIAN SCHOOL RD  
PHOENIX, AZ 85018  
PHONE: 602-440-2029  
EMAIL: KOHANN@DEUTSCH.COM  
CONTACT: KAREN CHAMBERS

**CIVIL ENGINEER:** HUNTER ENGINEERING  
1605 N. 16TH ST, STE 200  
SCOTTSDALE, AZ 85258  
PHONE: 480-294-6728  
EMAIL: L.TALBOT@HUNTERENGINEERING.COM  
CONTACT: LARRY TALBOT, PE

**ELECTRICAL ENGINEER:** PETERSON ASSOCIATES  
7201 N. DREAM DRIVE, STE 200  
PHOENIX, AZ 85020  
PHONE: 602-963-4116  
EMAIL: MARCH@PETERSONSUL.COM  
CONTACT: MARC HENSE, PE

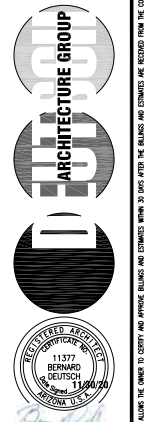
**LANDSCAPE ARCHITECT:** G.A. FLANAGAN ASSOCIATES  
4028 N. 44TH ST  
PHOENIX, AZ 85018  
PHONE: 602-412-8891  
EMAIL: JUSTIN@GAFASOCIATES.COM  
CONTACT: JUSTIN MEYER, RLA

# VICINITY MAP



# CITY TRACKING BOX

2929.COM



**4600**  
EAST INDIAN SCHOOL RD  
PHOENIX, ARIZONA 85018  
602-840-2929 P  
602-840-6646 F

**GATEWAY COMMERCE CENTER**  
7132 E. SENECA AVE  
MESA, AZ 85212

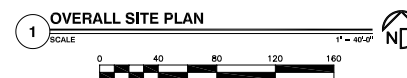
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OVERALL SITE PLAN

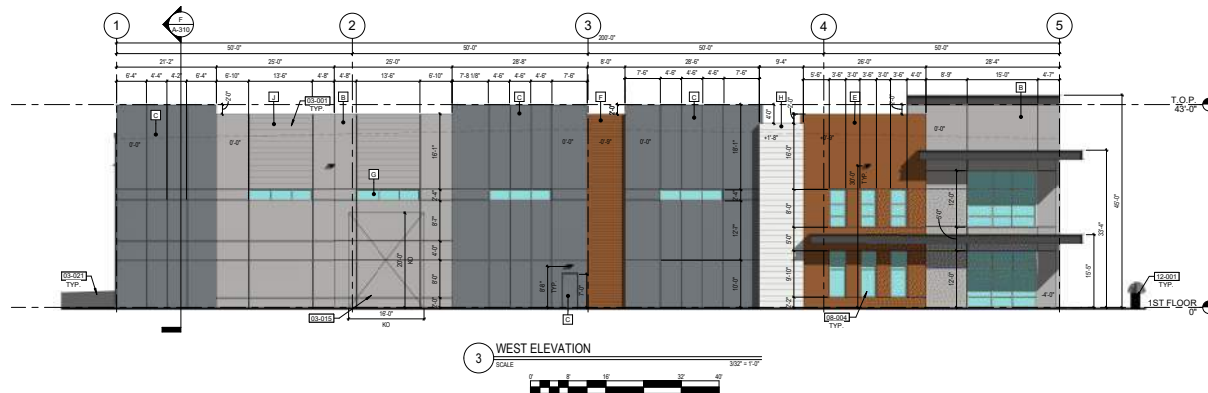
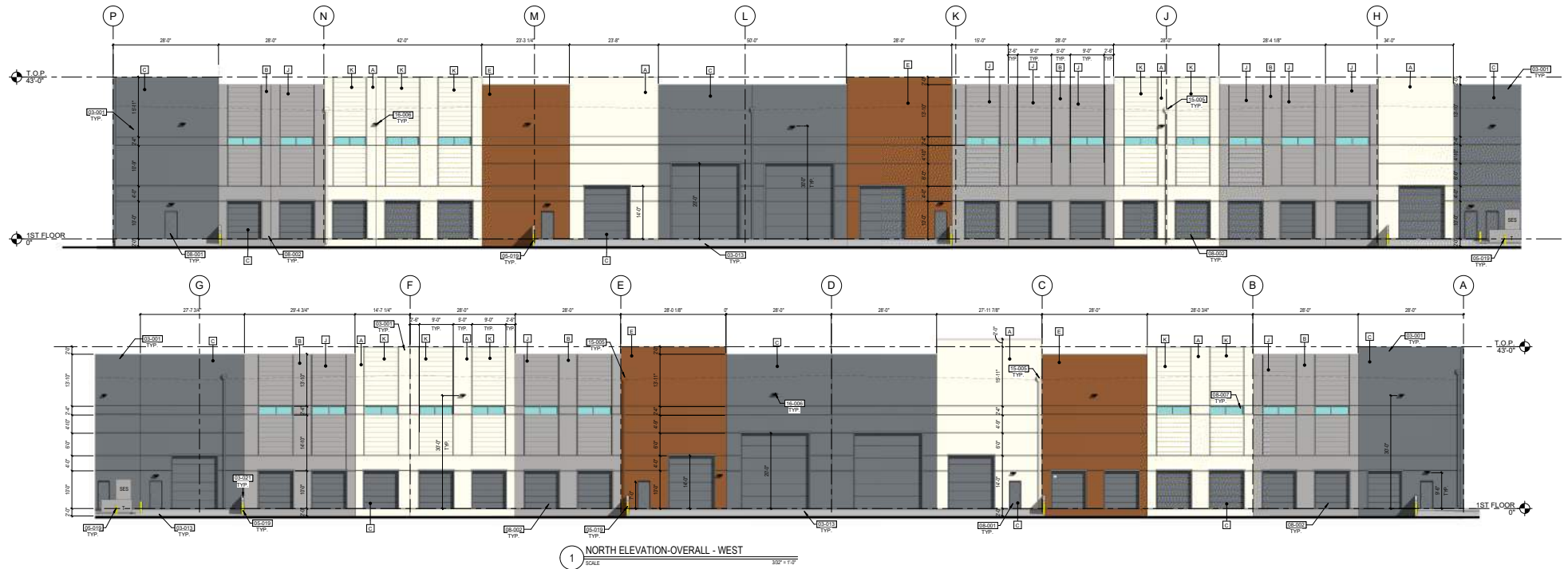
AS-110



PRS20-00597







EXTERIOR MATERIAL LEGEND	
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 6" OC PATTERNING: AGED
	DUNN EDWARDS PAINT DET910 WOLVERINE
	STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPG ASPHALT/ALUMINUM IN CLEAR ANODIZED ALUMINUM FRAME
	MDO METAL WALL PANEL KYNAR 300 BONE WHITE
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 12" OC FITZGERALD 1488
	DUNN EDWARDS PAINT DET910 WOLVERINE
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 12" OC FITZGERALD 1488
	DUNN EDWARDS PAINT DET949 CARRARA

KEYNOTES	
03-001	CONCRETE TLY PANEL WALL WITH HORIZONTAL AND/OR VERTICAL REVEALS
03-010	CONCRETE RAMP UP
03-011	KNICK-OUT PANEL FOR FUTURE OVERHEAD DOOR
03-012	CONCRETE GUARD RAIL, 42" HT.
03-013	4" PIPES BOLARS
03-014	HOLLOW METAL DOOR AND FRAME
03-015	OVERHEAD SECTIONAL DOOR
03-016	ALUMINUM STOREFRONT SYSTEM
03-017	ALUMINUM FRAMED WINDOW
03-018	CURTAIN STEEL PLATING/CLIPPING TO MATCH EXISTING, 1/8" TYP.
03-019	SCUPPER AND DOWNSPOUT WITH OVERFLOW SCUPPER, PAINTED TO MATCH BUILDING
03-020	WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGN/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.





G.K. FLANAGAN  
ASSOCIATES  
4626 N. 44th Street  
PHOENIX, AZ 85018  
602.840.2929  
602.840.2929 Fax

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4600  
EAST INDIAN SCHOOL RD  
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602-840-6646 F

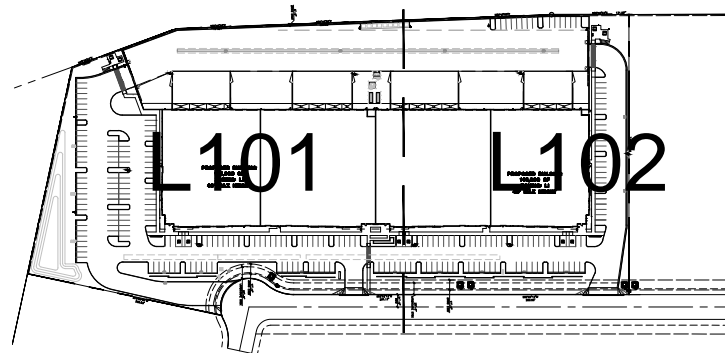
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LANDSCAPE COVER  
11.24.2020

L100



LANDSCAPE COVER SHEET



NOT TO SCALE

## PROPOSED PLANT PALETTE

TREES	SIZE/ COMMENTS/ QTY
AZT HYBRID PALO BREA PARKINSONIA PRAECOX 'AZT #5'	36" BOX / 15 QTY / PRE-EMERGENT PER MFG. SPECS. 2 APPLICATIONS. MIN / MATCHED
COOPER HYBRID MESQUITE PROSOPIS 'COOPERI'	36" BOX / 7 QTY / LOW BREAKING / MATCHED
COOPER HYBRID MESQUITE PROSOPIS 'COOPERI'	24" BOX / 9 QTY / LOW BREAKING / MATCHED
AZT PODLESS MESQUITE PROSOPIS 'AZT SEEDLESS'	24" BOX / 57 QTY / LOW BREAKING / MATCHED
DESERT WILLOW CHILLOPSIS LINEARIS	36" BOX / 5 QTY / LOW-BREAKING / MATCHED
SWEET ACACIA ACACIA FARNESIANA	24" BOX / 5 QTY / LOW BREAKING / MATCHED
SHRUBS	
* RED YUCCA	5 GAL, 54 QTY
* HESPERALOE PARVIFLORA	
o LITTLE OLLIE OLIVE OLEA EUROPAEA 'LITTLE OLLIE'	5 GAL, 233 QTY
o RIO BRAVO SAGE LEUCOPHYLLUM LANGMANIAE	5 GAL, 138 QTY
o BAJA RUELLIA RUELLIA PENINSULARIS	5 GAL, 144 QTY
o CIMARRON SAGE LEUCOPHYLLUM ZYGOPHYLLUM	5 GAL, 210 QTY
- CAT'S CLAW VINE MACFADYENA UNGUIS-CATI	5 GAL, 8 QTY
GROUNDCOVERS	
o TURPENTINE ERICAMERIA LARICIFOLIA 'AGUIRRE'	1 GAL, 275 QTY
o SWEET POTATO VINE IPOMEEA BATATAS	1 GAL, 26 QTY @ 18" O.C.
[A] TRAILING YELLOW LANTANA LANTANA MONTEVIDENSIS 'NEW GOLD'	1 GAL @ 3" O.C., 67 QTY
[B] TRAILING ROSEMARY ROSMARINUS 'HUNTINGTON CARPET'	1 GAL @ 3" O.C., 343 QTY
[C] OUTBACK SUNRISE EMU EREMOPHILA GLABRA 'MIGNEW GOLD'	1 GAL @ 3" O.C., 247 QTY
[D] NATAL PLUM 'GREEN CARPET' CARISSA GRANDIFLORA 'GREEN CARPET'	5 GAL @ 2.5" O.C., 162 QTY
[E] TRAILING ACACIA ACACIA REDOLENS 'DESERT CARPET'	1 GAL @ 4" O.C., 445 QTY
INERT MATERIAL	
DG DECOMPOSED GRANITE PALOMINO GOLD	1/2" MINUS, 2' DEPTH, TYP.
DG1 DECOMPOSED GRANITE ROCK PROS - MOHOGANY	1/2" MINUS, 2' DEPTH, TYP.
o FRACTURED GRANITE ROCK PROS - MOHOGANY	1'-3" NATURAL, 4' DEPTH, TYP.
SITE AMENITIES	
o FORMS-SURFACES - KNIGHT TABLE ENSAMBLE WITH: BACKLESS BENCHES AND ALUMINUM SLATS	
o FORMS-SURFACES - KNIGHT LITTER RECEPTACLE	

## GENERAL NOTES:

- ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE AND COLOR AS NOTED IN LEGEND, 2" DEPTH, TYP. APPLIED OVER PRE-EMERGENT PER MFG. SPECS. 2 APPLICATIONS. MIN.
- VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/ INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION, IN WRITING.
- NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
- LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
- FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
- PLANT LIST/QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
- FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
- GROUNDWORK AND/OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
- ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
- ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
- LANDSCAPE CONTRACTOR RESPONSIBLE TO DEMO ALL EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN.
- STEEL HEADER TO SEPARATE ALL FRACTURED GRANITE AND DECOMPOSED GRANITE BANDS. ALL STEEL HEADER TO BE 3/16" THICK COLD ROLLED STEEL.

## CITY NOTES:

- ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC... ARE TO BE REMOVED FROM THE PROJECT AREA AND DISPOSED OF PROPERLY OFF-SITE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN SCARIFY EXISTING SUBGRADE, TO A MINIMUM 8-INCH DEPTH.
- SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE MADE SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE AND INCORPORATE SUCH ADDITIVES PRIOR TO OR AT THE TIME OF PLANTING.
- CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT NAME OF PLANT LEGEND ITEM NUMBER FROM PLANS.
- CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION (480-644-2253) 24-HOURS IN ADVANCE FOR APPROVAL OF STAKED PLANT LOCATIONS.
- PLANT PITS MUST BE INSPECTED BY CITY LANDSCAPE INSPECTOR PRIOR TO PLANTING BY CONTRACTOR. CONTRACTOR TO REQUEST INSPECTION 48-HOURS IN ADVANCE.
- WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY (1/3) ONE-THIRD OVER SPECIFICATION, AND A LIQUID PENETRANT, "AL-KALICHE" OR APPROVED EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL ALSO COMPLY WITH SOIL TEST RECOMMENDATIONS.
- ALL TOP SOIL MIXTURE FOR PLANTS SHALL BE FREE OF GRASS AND NOXIOUS WEEDS. SEE SECTION 795 OF THE M.A.G. SPECIFICATIONS.
- PLANT SOIL MIXTURE SHALL CONSIST OF 3 1/2-PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6-INCH LIFTS. EACH LIFT SHALL BE WATER SETTLED, WITHOUT PUDDLING.
- ALL PLANT MATERIAL SHALL CONFORM TO GRADING, TYPE, ETC... AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.
- THE CITY OF MESA RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINER TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS FOR CONDITIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST.
- 120 VOLT POWER FOR SPRINKLER SYSTEM CONTROLLER IS TO BE ORDERED FROM APPROPRIATE POWER UTILITY BY CONTRACTOR. CONTRACTOR ACTS AS OWNER AND PAYS RELATED COSTS. IF METER IS INSTALLED, METER IS TO BE IN CONTRACTOR'S NAME UNTIL FINAL APPROVAL AND/OR ACCEPTANCE OF THE PROJECT AND THEN TRANSFERRED TO THE MAINTAINING PARTY.
- THE CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND LABOR NECESSARY TO INSTALL THE COMPLETE AUTOMATIC SPRINKLER SYSTEM INCLUDING THE WATER SERVICE AND METER. THE CONTRACTOR SHALL ORDER THE WATER METER AND PAY ALL RELATED CHARGES AT THE PUBLIC WORKS SERVICES. THE CITY MAY INSTALL THE WATER SERVICE AND METER AND CHARGE THE CONTRACTOR AT THE CITY'S DISCRETION.
- THE PLANT GUARANTEE AND MAINTENANCE SHALL BE AS PER SECTION 430.8 OF M.A.G. SPECIFICATIONS UNTIL PROJECT APPROVAL AND/OR ACCEPTANCE.
- UNLESS SPECIFIED ON THE PLANS FOR REMOVAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
  - DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC...
  - DAMAGES TO UTILITIES CAUSED AS A RESULT OF HIS WORK.
  - INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
- THE CONTRACTOR SHALL MAINTAIN UNCOVERED, ALL EXISTING UTILITY COVERS, BOXES, LIDS, AND MANHOLES.
- ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED IN THE PLANS OR IN THE SPECIFICATION WHICH ARE REQUIRED TO COMPLETE THE INSTALLATION, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF HIS CONTRACT WORK.

## LANDSCAPE / PLANTING CALCULATIONS:

TOTAL OPEN SPACE AREA: 66,909 S.F. = 15% SITE AREA	33,455 S.F. LIVE COVERAGE REQUIRED 59,500 S.F. LIVE COVERAGE PROVIDED				
	TOTAL TREES	36" TREES	24" BOX	TOTAL SHRUBS	5 GALLON SHRUBS
STREET FRONTAGE REQUIREMENTS 1 TREE/ 6 SHRUB PER 25 L.F.	25 TREES REQUIRED 25 TREES PROVIDED	6 TREES REQUIRED 8 TREES PROVIDED	13 TREES REQUIRED 17 TREES PROVIDED	150 SHRUBS REQUIRED 507 SHRUBS PROVIDED	75 SHRUBS REQUIRED 127 SHRUBS PROVIDED
PARKING LOT REQUIREMENTS 1 TREE / 3 SHRUB PER ISLAND	43 TREES REQUIRED 45 TREES PROVIDED	5 TREES REQUIRED 9 TREES PROVIDED	REMAINDER REQ. 36 TREES PROVIDED	129 SHRUBS REQUIRED 256 SHRUBS PROVIDED	N / A
FOUNDATION PLANTING REQUIREMENTS 1 TREE PER 50 L.F.	23 TREES REQUIRED 23 TREES PROVIDED	3 TREES REQUIRED 5 TREES PROVIDED	REMAINDER REQ. 18 TREES PROVIDED	N / A 394 SHRUBS PROVIDED	N / A 303 SHRUBS PROVIDED

-ALL TREES TO BE 15 GALLON SIZE OR LARGER



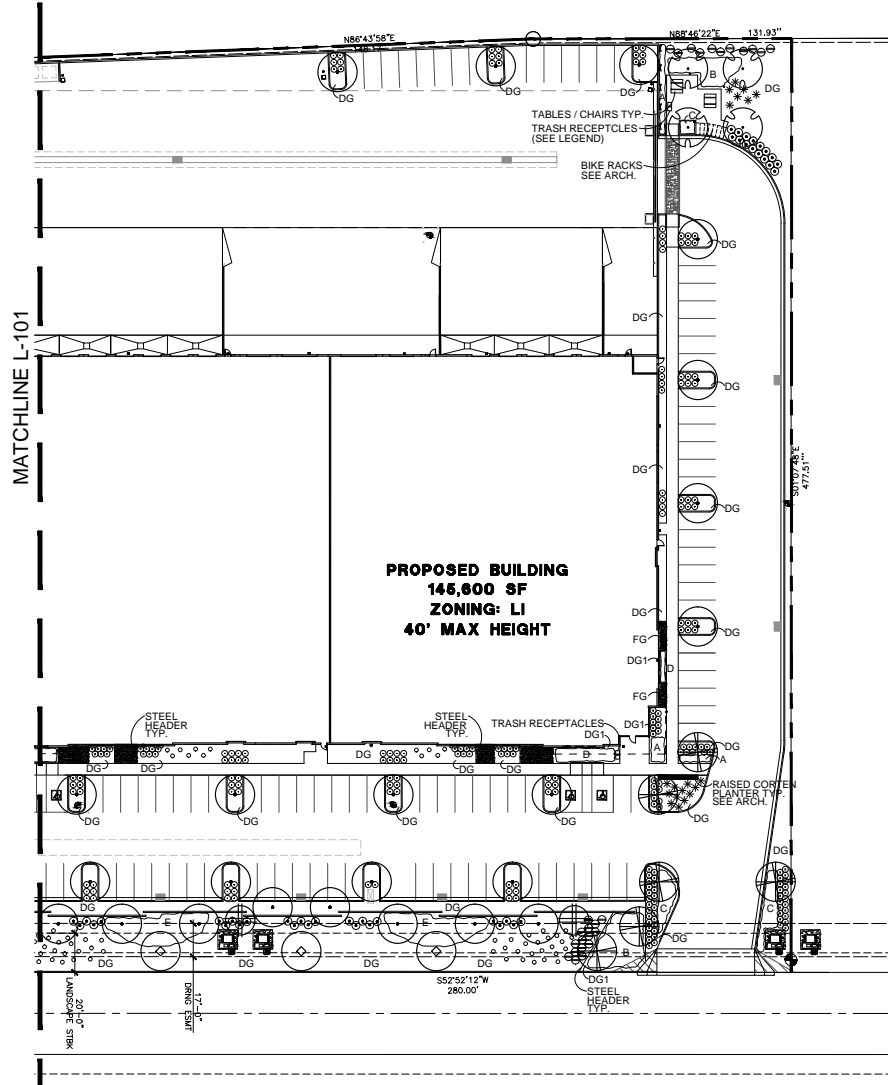
**4600**  
ST INDIAN SCHOOL R  
PHOENIX, ARIZONA 8501  
02-840-2929  
02-840-6646

1ST ISSUED:
Revisions

# L101



1. ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE BANDS, COLOR AS NOTED IN LEGEND, 2" DEPTH, TYP. APPLIED OVER PRE-EXISTING PAVING PER MFG. SPECS. 2 APPLICATIONS, MIN.
2. VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION IN WRITING.
3. NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
4. LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
5. LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
6. FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
7. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
8. PLANTING SHALL BE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
9. FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
10. EXISTING TREES AND/OR CDS SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
11. ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
12. ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
13. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
14. LANDSCAPE CONTRACTOR RESPONSIBLE TO DEMO ALL EXISTING PLANT MATERIAL NOT SHOWN ON PLANS.
15. STEEL HEADER TO SEPARATE ALL FRACTURED GRANITE AND DECOMPOSED GRANITE BANDS. ALL STEEL HEADER TO BE 3/16" THICK COLD ROLLED STEEL.



**CONCEPTUAL PLANTING PLAN**



**PROPOSED PLANT PALETTE**

TREES	SIZE/ COMMENTS/ QTY
36" BOX / 15 QTY / LOW-BREAKING / MATCHED	
COOPER HYBRID MESQUITE PROSOPIS 'COOPER'	36" BOX / 7 QTY / LOW BREAKING / MATCHED
COOPER HYBRID MESQUITE PROSOPIS 'COOPER'	24" BOX / 9 QTY / LOW BREAKING / MATCHED
AZT PODLESS MESQUITE PROSOPIS 'AZT SEEDLESS'	24" BOX / 57 QTY / LOW BREAKING / MATCHED
DESERT WILLOW CHILOPSIS LINEARIS	36" BOX / 5 QTY / LOW-BREAKING / MATCHED
SWEET ACACIA ACACIA FARNESIANA	24" BOX / 5 QTY / LOW BREAKING / MATCHED
SHRUBS	
RED YUCCA	5 GAL, 54 QTY
HESPERALOE PARVIFLORA	
LITTLE OLLIE OLIVE OLEA EUROPAEA 'LITTLE OLLIE'	5 GAL, 233 QTY
RIO BRAVO SAGE LEUCOPHYLLUM LANGMANIAE	5 GAL, 138 QTY
BAJA RUELLIA RUELLIA PENINSULARIS	5 GAL, 144 QTY
CIMARRON SAGE LEUCOPHYLLUM ZYGOPHYLLUM	5 GAL, 210 QTY
CAT'S CLAW VINE MACFADYENA UNGUIS-CATI	5 GAL, 8 QTY
GROUNDCOVERS	
TURPENTINE ERICAMERIA LARICIFOLIA 'AGUIRRE'	1 GAL, 275 QTY
SWEET POTATO VINE IPOMEA BATATAS	1 GAL @ 26 QTY @ 15" O.C.
TRAILING YELLOW LANTANA LANTANA MONTEVIDENSIS 'NEW GOLD'	1 GAL @ 3' O.C., 67 QTY
TRAILING ROSEMARY ROSMARINUS 'HUNTINGTON CARPET'	1 GAL @ 3' O.C., 343 QTY
OUTBACK SUNRISE EMU EREMOPHILA GLABRA 'MIGNEW GOLD'	1 GAL @ 3' O.C., 247 QTY
NATAL PLUM 'GREEN CARPET' CARISSA GRANDIFLORA 'GREEN CARPET'	5 GAL @ 2.5' O.C., 162 QTY
TRAILING ACACIA ACACIA REDOLENS 'DESERT CARPET'	1 GAL @ 4' O.C., 445 QTY
INERT MATERIAL	
DECOMPOSED GRANITE PALOMINO GOLD	1/2" MINUS, 2' DEPTH, TYP.
DECOMPOSED GRANITE ROCK PROS - MOHOGANY	1/2" MINUS, 2' DEPTH, TYP.
FRACTURED GRANITE ROCK PROS - MOHOGANY	1"-3" NATURAL, 4' DEPTH, TYP.
SITE AMENITIES	
FORMS+SURFACES - KNIGHT TABLE ENSEMBLE WITH: BACKLESS BENCHES AND ALUMINUM SLATS	
FORMS+SURFACES - KNIGHT LITTER RECEPTACLE	

**GENERAL NOTES:**

- ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE AND COLOR AS NOTED IN LEGEND, 2" DEPTH, TYP. APPLIED OVER PRE-EMERGENT PER MFG. SPECS, 2 APPLICATIONS, MIN.
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4600 East Indian School Road Phoenix, Arizona 85018 ph | 602.840.2929 [www.2929.com](http://www.2929.com)

January 13, 2021

Dear Neighbor,

We have applied for Special Use Permits for the property located at 7132 East Seaver Avenue, in Mesa, Arizona. This request is for development of Gateway Commerce Center. The case number assigned to this project is ZON20-00738.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please e-mail me at [kohmann@2929.com](mailto:kohmann@2929.com).

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on January 27, 2021 in the City Council Chambers. The meeting will begin at 4:00 p.m.

Because of the current public health emergency, the City Council Chambers is closed for Planning and Zoning Meetings. However, the live meeting may be watched on local cable **Mesa channel 11**, online at [Mesa11.com/live](http://Mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](http://www.youtube.com/user/cityofmesa11/live), or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**.

Public participation will be available electronically. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Charlotte Bridges of their Planning Division staff. She can be reached at [charlotte.bridges@mesa.az.gov](mailto:charlotte.bridges@mesa.az.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Karen Ohmann, RA, Project Manager

Phone: 602-317-0928

Email: [kohmann@2929.com](mailto:kohmann@2929.com)

Enclosures:

Photocopies of the site plan and Elevations

## SITE DATA

**PARCEL NUMBER:**  
APN 304-30-046, 304-30-045, 304-30-044

**CURRENT ZONING:**  
LIGHT INDUSTRIAL (LI) IN PAD AND AIRFIELD OVERLAY  
(AIRPORT OVERFLIGHT AREA 2)

**USE RESTRICTIONS:**  
AOA 2 HAS RESTRICTED USES PER MZO 11-7-2;  
COUNCIL USE PERMITS ARE REQUIRED FOR  
CERTAIN USES PER MZO 11-7-2

**PROPOSED OCCUPANCIES:**

B, S-1, F-2

**SITE AREA:**

LOT 2 (APN 304-30-044)	133,246 SF/3.0589 AC
LOT 3 (APN 304-30-045)	148,995 SF/3.4205 AC
LOT 4 (APN 304-30-046)	167,299 SF/3.8407 AC
	449,541 SF/10.3201 AC

**CONSTRUCTION TYPE:** V-B

**BUILDING AREA**

BUILDING:	145,600 SF (GROSS)
CANOPIES:	1,205 SF
TOTAL	146,805 SF

**BUILDING HEIGHT RESTRICTION:**  
40' MAX HEIGHT PER MZO  
38'-45' PROVIDED

BUILDING SETBACKS: PER MZO

MINIMUM FRONT BUILDING SETBACK = 20'  
SETBACK PROVIDED = 15'-9 1/2"  
MINIMUM SIDE BUILDING SETBACK = 0'-0"  
EAST SETBACK PROVIDED = 62'-9" NORTH  
WEST SETBACK PROVIDED = 187'-8" NORTH  
MINIMUM REAR BUILDING SETBACK = 0'-0"  
SETBACK PROVIDED = 132'-6", 136'-3"

**LOT COVERAGE:**

BUILDING	145,600 SF
PAVING	<u>234,681 SF</u>
TOTAL	380,281 SF

$380,281 / 449,541 = 84.5\%$

## KEYNOTES

- [illegible]

## PARKING CALCULATIONS

**PARKING CALCULATIONS:** PER MZO  
REQUIRED

REQUIRED:  
219 (75%) + 97 (25%) = 316 SPACES  
PROVIDED: 244 SPACES  
(72 SPACES)

ADA SPACES PROVIDED: 6 SPACES  
BIKE SPACES PROVIDED: 26 SPACES

BIKE SPACES PROVIDED: 26 SPACES  
SPECIAL USE PERMIT REQUESTED-SEE PROJECT NARRATIVE

## ERRC SURVEY

EMERGENCY RESPONDER RADIO FREQUENCY SURVEY SHALL BE PERFORMED AT TIME OF BUILDING ENVELOPE COMPLETION.

## PROJECT TEAM

**OWNER:**  
WETTA VENTURES, LLC  
3104 E. CAMELBACK  
RD, STE 957  
PHOENIX, AZ 85016  
PHONE: 602-476-3538  
E-MAIL:  
DW@WETTAVENTURES.COM  
CONTACT: DAVID WETTA

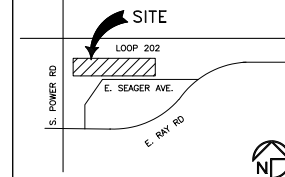
**ARCHITECT:**  
DEUTSCH ARCHITECTURE  
GROUP  
4600 E INDIAN SCHOOL RD  
PHOENIX, AZ 85018  
PHONE: 602-845-2929  
E-MAIL: KOHMANN@2929.COM  
CONTACT: KAREN OHMANN

**CIVIL ENGINEER:**  
HUNTER ENGINEERING  
10450 N. 74TH ST., STE 200  
SCOTTSDALE, AZ 85258  
PHONE: 480-294-8728  
E-MAIL:  
LTALBOTT@HUNTERENGINEERINGSF.COM  
CONTACT: LARRY TALBOTT, PE

**ELECTRICAL ENGINEER:**  
**PETERSON ASSOCIATES**  
7201 N. DREAMY DRAW DRIVE, STE 200  
PHOENIX, AZ 85020  
PHONE: 602-943-4115  
E-MAIL:  
MARCH@MPECONSULT.COM  
CONTACT: MARC HEASE, PE

**LANDSCAPE ARCHITECT:**  
G.K. FLANAGAN ASSOCIATES  
4626 N. 44TH ST  
PHOENIX, AZ 85018  
PHONE: 602-912-9691  
E-MAIL:  
JUSTING@GKFASSOCIATES.COM  
CONTACT: JUSTIN MEYER, RLA

### VICINITY MAP



### CITY TRACKING BOX

**2929.COM**



**4600**  
EAST INDIAN SCHOOL RD  
PHOENIX, ARIZONA 85018  
602-840-2929 P  
602-840-6646 F

**GATEWAY COMMERCE  
CENTER**  
7132 E. SEAVER AVE  
MESA, AZ 85212

1ST ISSUED: 10/29/20

PROJECT NO:
DRAWN BY:
CHK'D BY:
COPYRIGHT 2020: DEUTSCH ARCHITECTURE GROUP

## OVERALL SITE PLAN

## AS-110

## OVERALL SITE PLAN

SCAL

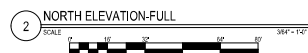
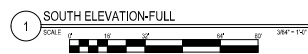
E 1° = 40'

PRS20-00597





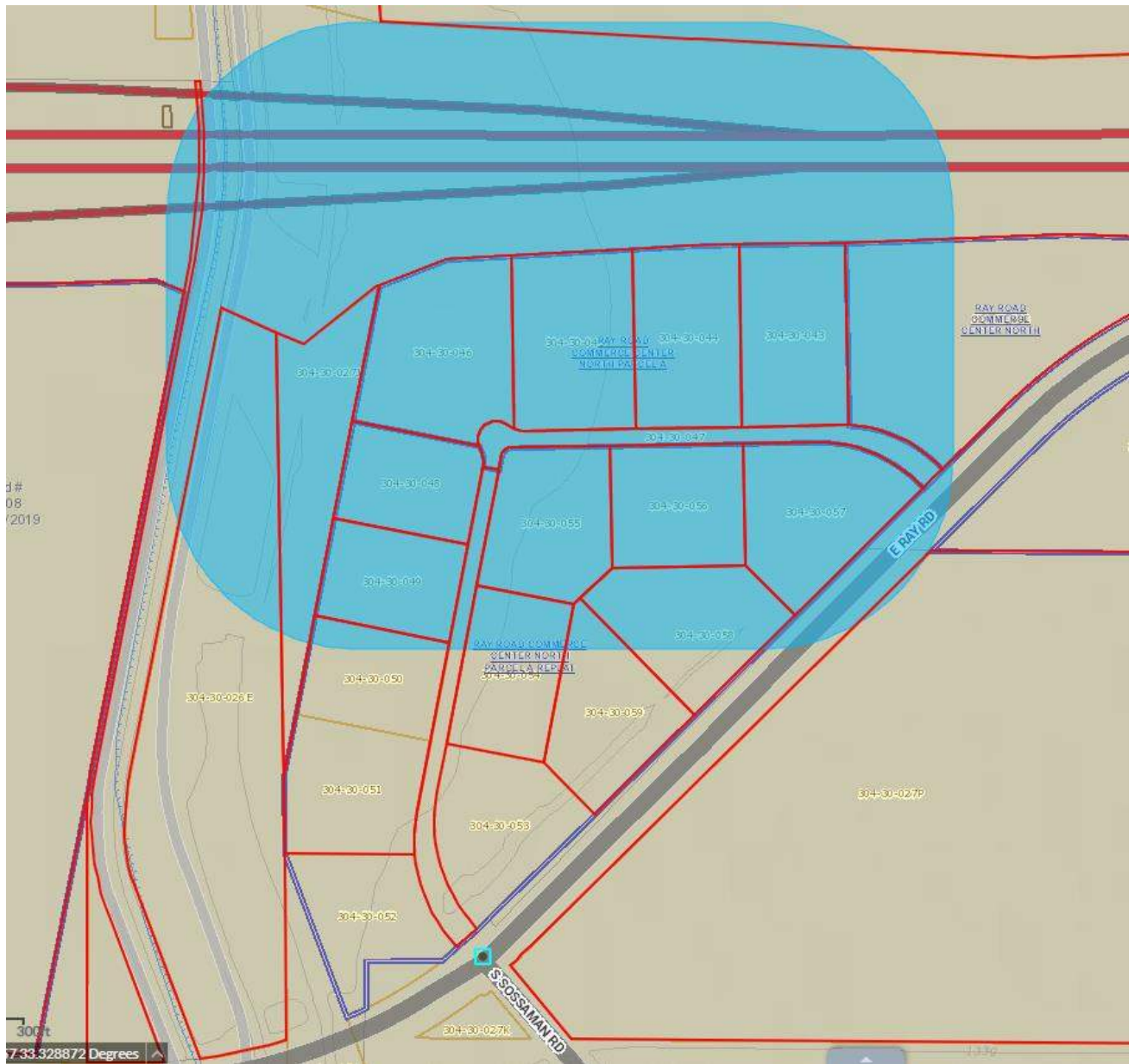




REGISTERED ARCHIVE  
11377  
BERNARD DEUTSCH  
ARIZONA U.S.A.  
221750

FIGURE 18-23





Owner	Property Address	Mailing Address
AEI ARIZONA OZ FUND LLC		11100 SANTA MONICA BLVD STE 260 LOS ANGELES CA 90025-6695
ALI ADVISOR INC		2999 N 44TH ST NO 100 PHOENIX AZ 85018
POWER 202 MIXED-USE LLC		4650 E COTTON CENTER BLVD SUITE 200 PHOENIX AZ 85040
GATEWAY 71A nad 71B LLC	4942 S 71ST ST MESA 85212	4942 S 71ST ST MESA AZ 85212-6436
PHX-MESA GATEWAY AIRPORT 193 LLC	5119 S 71ST ST MESA 85212	5353 N 16TH ST PHOENIX AZ 85016
IWA HOLDINGS 2 LLC	7150 E RAY RD MESA 85212	5865 S SOSSAMAN RD MESA AZ 85212
PHOENIX-MESA GATEWAY AIRPORT AUTHORITY		600 S POWER RD BLDG 41 MESA AZ 85206-5219
BV STRATEGIC MANAGEMENT LLC	7224 E SEAVER AVE MESA 85212	8475 S EMERALD DR TEMPE AZ 85284
RAY II LLC	7244 E RAY RD MESA 85212	PO BOX 1078 HIGLEY AZ 85236
GRANITE FIELD INVESTMENTS LLC	5229 S SARANAC MESA 85212	PO BOX 151 QUEEN CREEK AZ 85142
City of Mesa Planning Dept. ATTN: Charlotte Bridges		PO BOX 1466 Mesa, AZ 85211



