

Citizen Participation Plan for Gateway Commerce Center - Wetta Ventures, LLC.

Date: January 20, 2021

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools, and businesses in the vicinity of the site of an application for GATEWAY COMMERCE CENTER for Site Plan Approval. This site is located at 7132 E. Seaver Avenue in Mesa, AZ and is approximately 10.50 gross acres of vacant land. The Parcel numbers are: 304-30-046, 304-30-045, and 304-30-044. The Property is located within the City of Mesa and is zoned L-I (Light Industrial within a Planned Area Development (PAD) which permits by-right light industrial uses, including warehousing, distribution, manufacturing, and storage. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

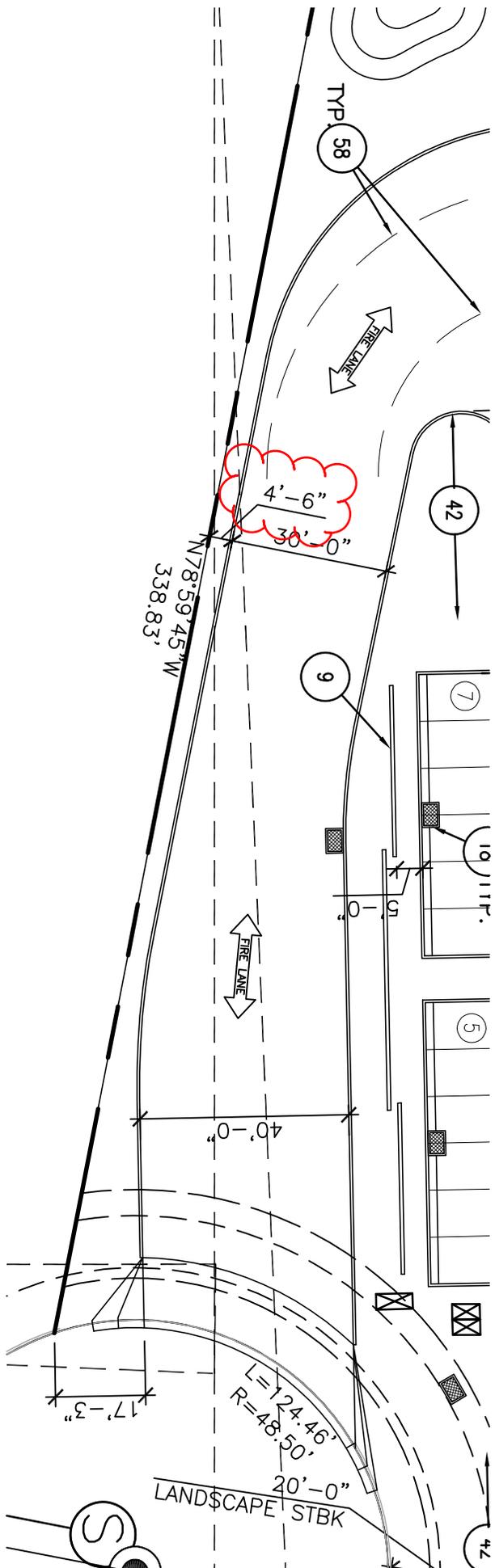
City of Mesa Planning Department
55 N. Center St.
Mesa, Arizona 85201

Pre-submittal Meeting: The pre-application meeting with City of Mesa planning staff was held on September 22, 2020. Staff reviewed the application and recommended that adjacent residents and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following steps will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list was developed for citizens and agencies in this area including:
 - All registered neighborhood associations within one mile of the project (None within one mile)
 - Homeowners Associations within one half mile of the project (None within one half mile)
 - Property owners within 1,000 feet from site, but may include more (See attached for list of property owners and sample mailing packet)
2. All persons listed on the contact list were mailed a letter describing the project, site plan, and landscape plans. Recipients were provided email and phone number to provide feedback or ask any questions.
 - One packet was returned as undeliverable (IWA Holdings) due to a typo in the address. Their packet was remailed approximately one week later.
 - Two packets were returned as undeliverable (BV Strategic Management, LLC and Phx-Mesa Gateway airport Authority).
 - On 12/24/20, the adjacent property owner to the south emailed and requested a phone call to discuss the project. Due to the holiday break, we did not speak until 12/31. He stated he had concerns about the west driveway being too close to the property line and suggested they would prefer landscaping or parking as a buffer between their building and the driveway. Their building is located approximately 2 feet from the property line. In response, we are able to increase the distance of face of curb to property line from 3'-9 1/2" to 4'-6". No landscaping is planned for this narrow strip south of the west driveway. The property owner was notified of our response via email 1/7/21.
 - No other comments or questions have been received.

Schedule: Pre-submittal meeting – 9/22/2020
Application Submittal – October 29, 2020
2nd Submittal – November 30, 2020
Comment Resolution Submittal – December 21, 2020
Planning and Zoning Board Hearing – January 27, 2021





Notification Regarding Proposed Development: Gateway Commerce Center

Address: 7132 E. Seaver Ave., Mesa, AZ 85212

Parcel Numbers: 304-30-044, 304-30-045, 304-30-046

Case Number: ZON20-00738

Date: December 11, 2020

Dear Neighbor,

We have applied for City of Mesa Site Plan and Design Review approval for development at this location. This letter is being sent to all neighboring property owners within 500 feet of the boundaries of the proposed development site as required by the Planning Division to seek input from nearby neighbors. We are excited about this project and encourage you to review the attached plans and building elevations. Enclosed with this letter is a Project Narrative and copies of the site plan, landscape plan and building elevations.

Please provide any feedback or ask questions about the project by email or telephone as noted below.

For additional information concerning the design of the proposed development or the Design Review process, please contact the Mesa Planning Division at 55 North Center or call the Mesa Planning Division Office at 480-644-2385.

Sincerely,

Applicant: Karen Ohmann, RA, Project Manager

Phone: 602-317-0928

Email: kohmann@2929.com

Enclosures:

Project Narrative, photocopies of the site plan, landscape plan and elevations.



October 30, 2020

City of Mesa Planning Department
55 N. Center St.
Mesa, Arizona 85201

Re: Pre-Application #PRS20-00597

Site Plan Review Submittal Project Narrative respecting the approximately 10.50 gross acres located at 7132 E. Seaver Avenue. The Parcel numbers are: 304-30-046, 304-30-045, and 304-30-044. Lot consolidation is underway.

To City of Mesa Planning Department and Design Review Board:

Wetta Ventures, LLC ("Wetta Ventures"), the prospective owner and developer of the approximate 10.50 gross acres of vacant land located at 7132 E. Seaver Avenue. The Parcel numbers are: 304-30-046, 304-30-045, and 304-30-044 The Property is currently located within the city of Mesa and is zoned L-I (Light Industrial) which permits by-right light industrial uses, including warehousing, distribution, manufacturing, and storage. Immediately surrounding properties/land include: Loop 202 (Santan Freeway) to the north; vacant L-I land and the Potato Barn to the east; two industrial and warehouse/distribution buildings (Print.Save.Repeat) to the south zoned L-I Light Industrial and the Arizona canal; a vacant land zoned L-I Light Industrial to the south. These properties are all within the "Ray Road Commerce Center".

Established in 2012, Wetta Ventures is an Arizona real estate investment and development company that specializes in discovering opportunities for new commercial and industrial developments that have the potential to provide a positive impact on the surrounding community. Wetta Ventures focuses on pursuing development opportunities of all product types that provide the surrounding community and city with a high-quality product. In Mesa, the company is close to completing a 52,000- square foot commercial hangar with office space at Phoenix-Mesa Gateway Airport that can accommodate two Boeing 737s. The facility will be occupied by Belgium-based Aerocircular, a company that provides green, service-only, economical end-of-life aircraft recycling/up-cycling services to Fleet owners with plans to employ up to 130 people at 100% capacity.

Proposed Use

Current zoning is light industrial (LI) with a PAD and Airfield overlay. Wetta Ventures is proposing to develop the Property as a light industrial development. The current zoning designation of L-I allows for a light industrial development comprised of warehouse and distribution buildings and manufacturing. The property will have one building totaling approximately 145,600 SF. The Class A building is expected to have a clear height of 32 Feet and have truck wells and grade level overhead doors. The loading area is fully screened by 8'-0" high masonry walls. All refuse containers are located within the walled yard. Parking screen walls are provided along street frontage. Two employee amenity areas have been provided at the North property line, 927 SF and 1320 SF each. These landscaped areas have concrete paving for ADA accessibility, tables and benches, umbrella/shade, trash/recycling receptacles, and landscape lighting. See attached product data sheets for proposed site furnishings. Sidewalks are provided on 3 sides of the building for safe pedestrian circulation. Pedestrian crosswalks at drive aisles are highlighted by use of colored stamped concrete.

Conformance with Surrounding Properties

As stated above, the Property is designated Light Industrial and the Property is surrounded by multiple similar properties to the ones we are proposing to build. To the east is Potato Barn's building totaling 100,000 SF; EuroContempo's building totaling 70,000 SF; and The Landing Phase 1 and 2 comprises similar buildings ranging in size from 25,000 SF to 484,000 SF.



Site Plan

Architectural site plan, enlarged plans and details are included in this submittal. Setbacks, foundation planting areas, parking screen walls, turning radii, and parking counts/ island spacing requirements have been addressed.

Parking

Per Table 11-32-3 (A) of the MZO, 327 parking spaces are required for an industrial building of unspecified use. We respectfully request a Special Use Permit (SUP) to reduce the number of parking spaces from 327 to 244. Parking Analysis performed by Southwest Traffic and Engineering is included in this submittal supports this reduction.

Maximum Building Height

Per 11-30-3 of the MZO, the maximum building height in LI district is 40'-0". We respectfully request to increase the building height to 45'-0". This is necessary to provide the market-driven requirement for 32'-0" clear height inside the building. The 40'-0" height limitation does not provide enough parapet to provide parapet height variation and to fully screen roof-mounted mechanical equipment in the future tenant improvements. Refer to Building Section for additional information.

Landscaping

Landscape plans have been provided meeting MZO requirements, including increased landscape area at Public Entrances. Refer to Architectural Site Plan for areas provided.

Elevations

Detailed black and white and colored elevations with notes, dimensions, and material tags are included in this submittal. Digital Color and Material Board is also included. Elevations provide wall articulation and varying parapet heights. Three building materials/textures are provided: concrete tilt panel walls with vertical and horizontal reveals, concrete tilt panel walls with horizontal ribbed texture, and metal wall panel accents. The color palate includes whites, grays, black, and rustic orange. The entries are highlighted with two-level canopies that clearly announce building entry points. Storefront glazing is used both at pedestrian level as well as clerestory level to provide natural daylighting within the warehouse portion of the building.

INCLUDED IN THIS SUBMITTAL:

Written Response to Comments
Project Narrative
Architectural Site Plan, Enlarged Plans, and Details
Overall Floor Plan and Building Section
Exterior Elevations-Colored and Black & White
Color and Material Board
Site Furnishing Product Information Sheets
Civil Conceptual Grading and Drainage Plans
Landscape Plans
Site Lighting, Photometrics, and Fixture Cutsheets
Citizen Participation Plan
Parking Analysis for Special Use Permit

SITE DATA

PARCEL NUMBER:
 APN 304-30-046, 304-30-045, 304-30-044

CURRENT ZONING:
 LIGHT INDUSTRIAL (LI) IN PAD AND AIRFIELD OVERLAY
 (AIRPORT OVERFLIGHT AREA 2)

USE RESTRICTIONS:
 ACA 2 HAS RESTRICTED USES PER MZO 11-7-2;
 COUNCIL USE PERMITS ARE REQUIRED FOR
 CERTAIN USES PER MZO 11-7-2

PROPOSED OCCUPANCIES:
 B, S-1, F-2

SITE AREA:
 LOT 2 (APN 304-30-044) 133,246 SF/3,0589 AC
 LOT 3 (APN 304-30-045) 148,895 SF/3,4205 AC
 LOT 4 (APN 304-30-046) 167,299 SF/3,8407 AC
 449,541 SF/10.3201 AC

CONSTRUCTION TYPE: V-B

BUILDING AREA:
 BUILDING: 145,600 SF (GROSS)
 CANOPIES: 1,205 SF
 TOTAL: 146,805 SF

BUILDING HEIGHT RESTRICTION:
 40' MAX HEIGHT PER MZO
 38'-45' PROVIDED

BUILDING SETBACKS: PER MZO
 MINIMUM FRONT BUILDING SETBACK = 20'
 SETBACK PROVIDED = 15'-0" 1/2"
 MINIMUM SIDE BUILDING SETBACK = 0'-0"
 EAST SETBACK PROVIDED = 62'-9" NORTH
 WEST SETBACK PROVIDED = 187'-8" NORTH
 MINIMUM REAR BUILDING SETBACK = 0'-0"
 SETBACK PROVIDED = 132'-6", 136'-3"

LOT COVERAGE:
 BUILDING: 145,600 SF
 PAVING: 234,681 SF
 TOTAL: 380,281 SF
 380,281/449,541 = 84.5%

KEYNOTES

1. DASHED LINE INDICATES BUILDING CANOPY
2. BRICK FINISH SEE DRAWINGS
3. NEW CONCRETE SIDE WALK
4. ACCESSIBLE ACCESS ROUTE FROM SIDEWALK
5. ACCESSIBLE RAMP - REFER TO DETAILS
7. 1/2" x 2" MOBILITY TRIANGLE
8. 1/2" x 2" MOBILITY PARKING SCREEN WALL-SEE EXPLANATIONS
10. 1/2" x 2" MOBILITY SCREEN WALL
11. CONCRETE PAVEMENT
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PARKING CALCULATIONS

PARKING CALCULATIONS: PER MZO
 REQUIRED: 219 (75%) + 97 (25%) = 316 SPACES
 PROVIDED: 316 SPACES (72 SPACES)
 ADA SPACES PROVIDED: 6 SPACES
 SPECIAL USE PERMIT REQUESTED-SEE PROJECT NARRATIVE

ERRC SURVEY

EMERGENCY RESPONDER RADIO FREQUENCY SURVEY SHALL BE PERFORMED AT TIME OF BUILDING ENVELOPE COMPLETION.

PROJECT TEAM

OWNERS:
 WETTA VENTURES, LLC
 11005 CAMELBACK RD, STE 507
 PHOENIX, AZ 85018
 PHONE: 602-478-3538
 EMAIL: OWNETT@WETTAVENTURES.COM
 CONTACT: DAVID WETTA

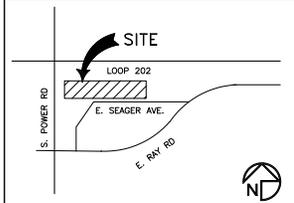
ARCHITECT:
 DEUTSCH ARCHITECTURE GROUP
 4020 E INDIAN SCHOOL RD
 PHOENIX, AZ 85018
 PHONE: 602-440-2029
 EMAIL: K@MANN@DEUTSCHARCHITECTURE.COM
 CONTACT: KAREN CHAMAN

CIVIL ENGINEER:
 HUNTER ENGINEERING
 1805 N. 10TH ST, STE 200
 SCOTTSDALE, AZ 85258
 PHONE: 480-246-8728
 EMAIL: L.TALBOT@HUNTERENGINEERING.COM
 CONTACT: LARRY TALBOT, PE

ELECTRICAL ENGINEER:
 PETERSON ASSOCIATES
 7201 N. DREAM DRIVE, STE 210
 PHOENIX, AZ 85020
 PHONE: 602-943-4116
 EMAIL: MARCH@PETERSONSUL.COM
 CONTACT: MARCH HEISE, PE

LANDSCAPE ARCHITECT:
 G.L. FLANAGAN ASSOCIATES
 4520 N. 44TH ST
 PHOENIX, AZ 85018
 PHONE: 602-412-8891
 EMAIL: JUSTIN@GLFASSOCIATES.COM
 CONTACT: JUSTIN MEYER, RLA

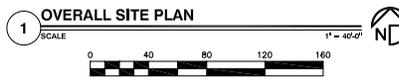
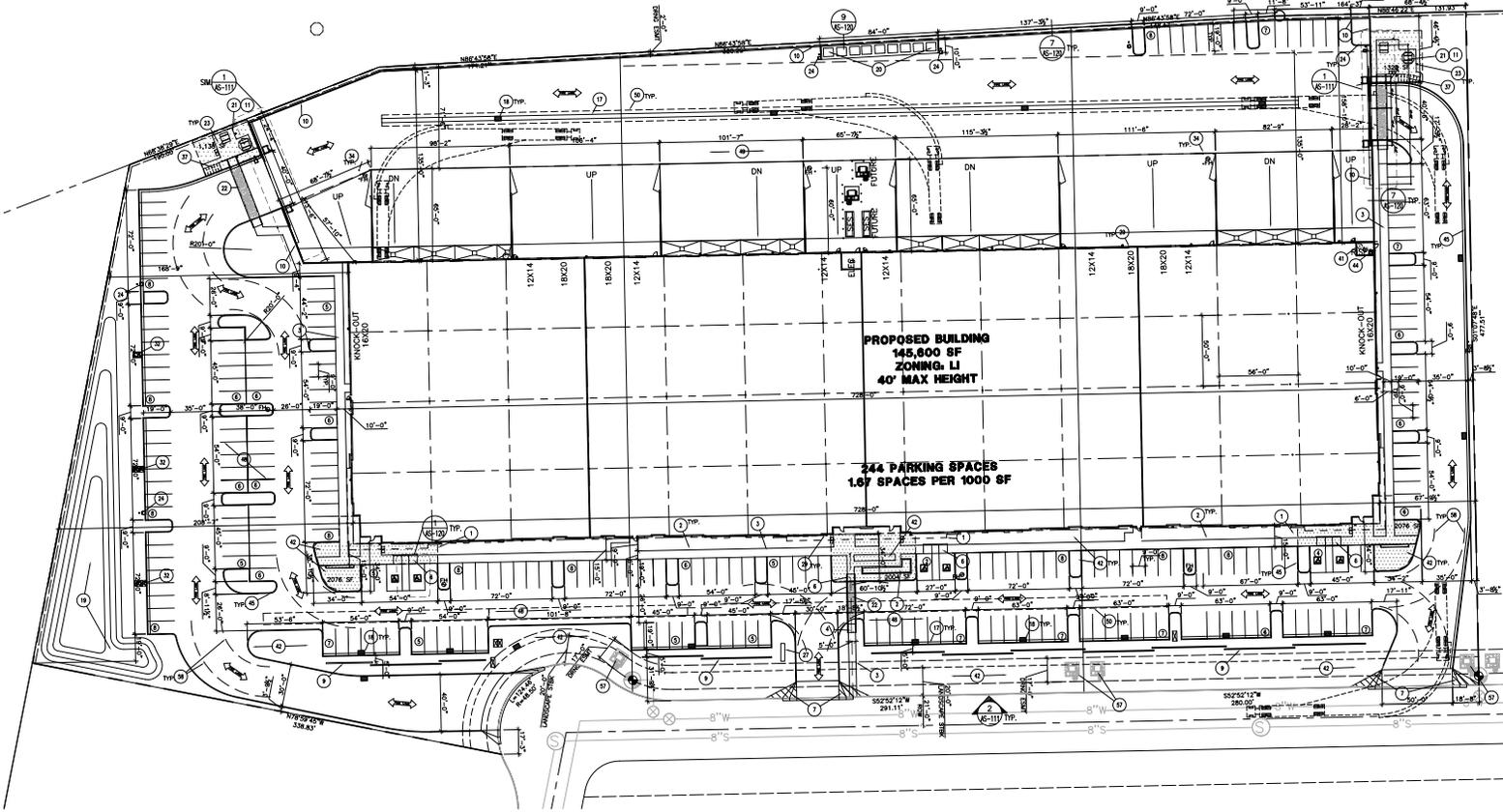
VICINITY MAP



CITY TRACKING BOX

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 DRAWN BY:
 CHK'D BY:
 COPYRIGHT 2020: DEUTSCH ARCHITECTURE GROUP

OVERALL SITE PLAN

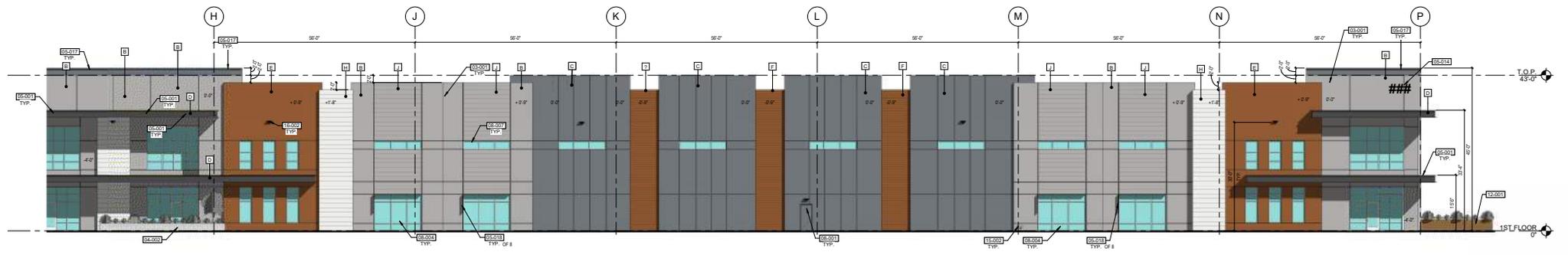
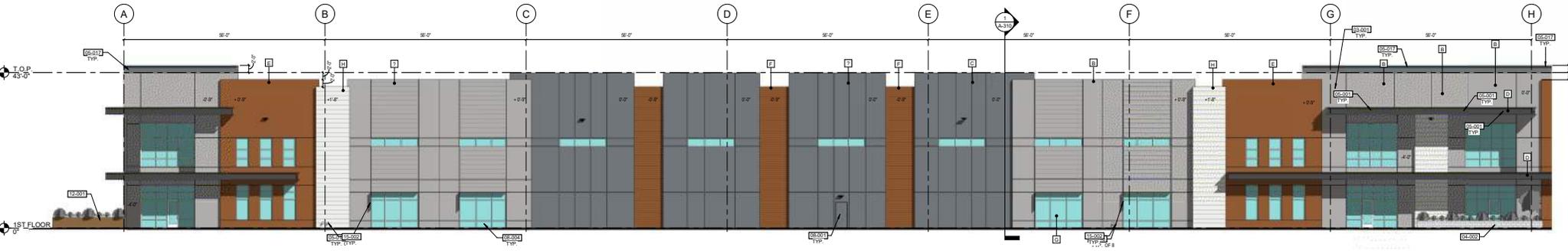


4600
 EAST INDIAN SCHOOL RD
 PHOENIX, ARIZONA 85018
 602-840-2929 F
 602-840-6646 F

GATEWAY COMMERCE CENTER
 7132 E. SENECA AVE
 MESA, AZ 85212

1ST ISSUED: 10/29/20

Revisions



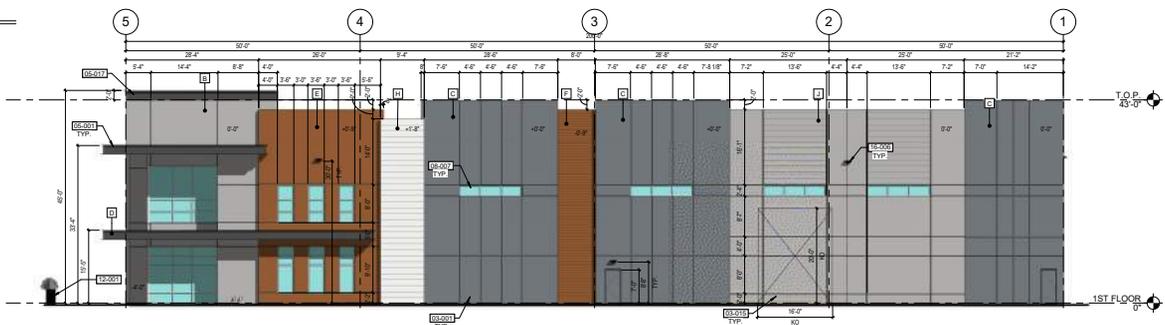
1 SOUTH ELEVATION
SCALE 3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND	
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I	CONCRETE FORMER, FLUTED RB 1/2" DEEP, 6" OC DUNN EDWARDS PAINT DETUSA CARBONIA
J	CONCRETE FORMER, FLUTED RB 1/2" DEEP, 12" OC FITZGERALD W/BE DUNN EDWARDS PAINT DETUSA CARBONIA
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KEYNOTES	
KS-01	CONCRETE TILT PANEL SHALL BE WITH HORIZONTAL AND/OR VERTICAL REVEALS.
KS-02	KNOCK-OUT PANEL FOR FUTURE OVERHEAD DOOR.
KS-03	INDUSTRY MANUFACTURED PLANTER.
KS-04	STEEL CANOPY, PAINTED.
KS-05	PROPOSED BUILDING ADDRESS LOCATION.
KS-06	PLATE STEEL CORNER, PAINTED.
KS-07	PLATE STEEL WINDOW SHADE ELEMENT, PAINTED.
KS-08	HOLLOW METAL DOOR AND FRAME.
KS-09	ALUMINUM STOREFRONT SYSTEM.
KS-10	ALUMINUM FINISH W/BE.
KS-11	CORTEN STEEL PLANTER REFER TO ARCHITECTURAL SITE PLAN.
KS-12	ROOF AND OVERFLOW DRAINS DAYLIGHT LOCATION.
KS-13	WALL MOUNTED LIGHT FIXTURE.
KS-14	WALL MOUNTED LIGHT FIXTURE-SEE ELECTRICAL.



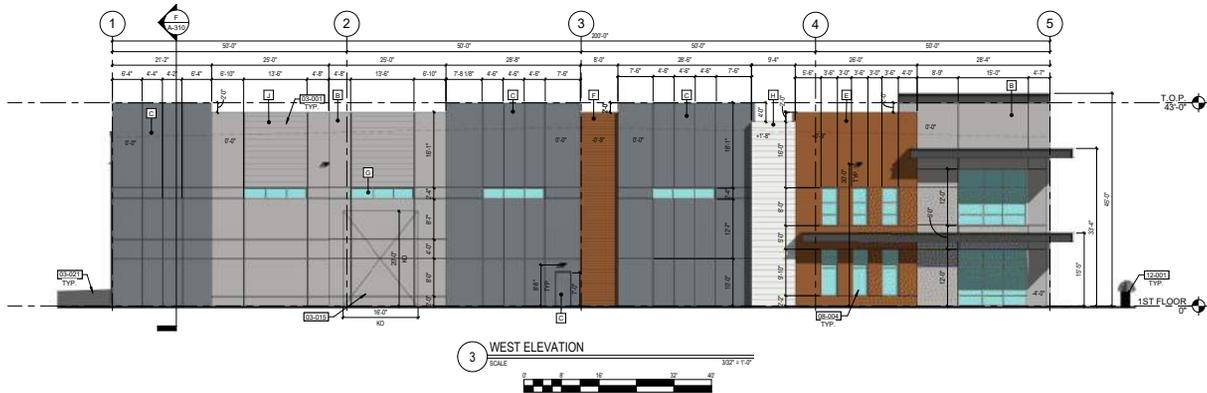
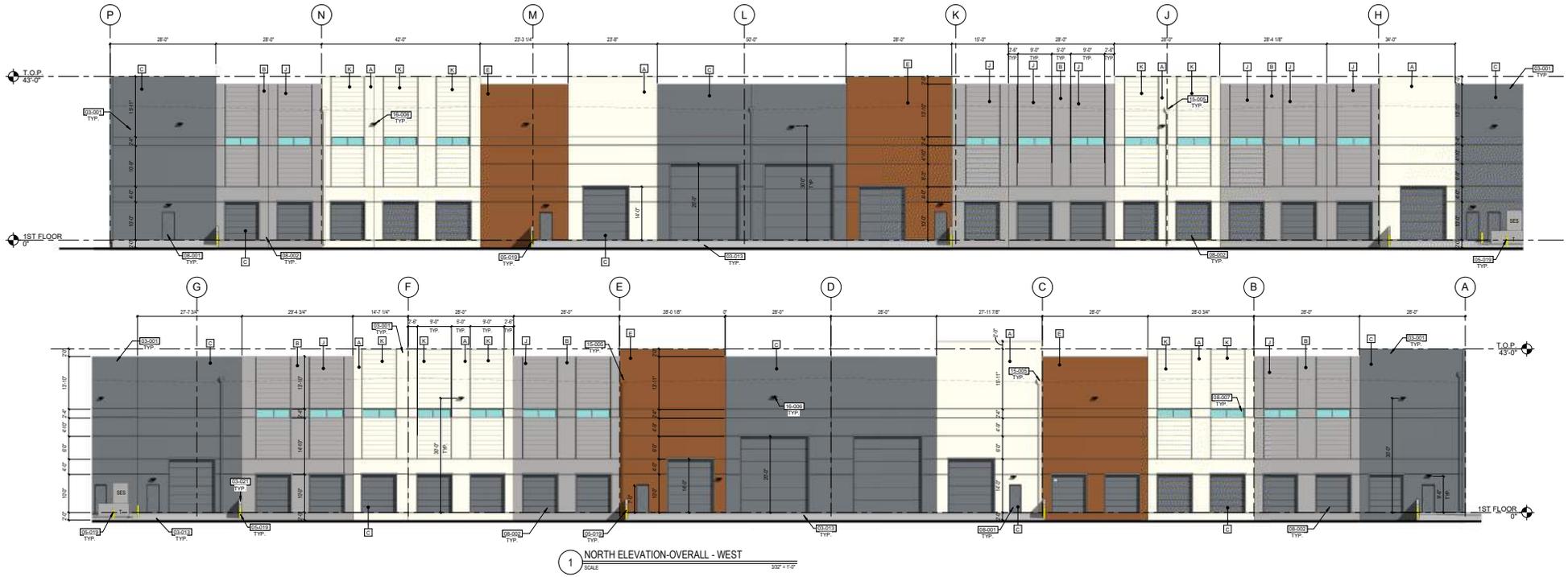
3 3D View 1
SCALE



4 EAST ELEVATION
SCALE 3/32" = 1'-0"

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS. BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGN RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.





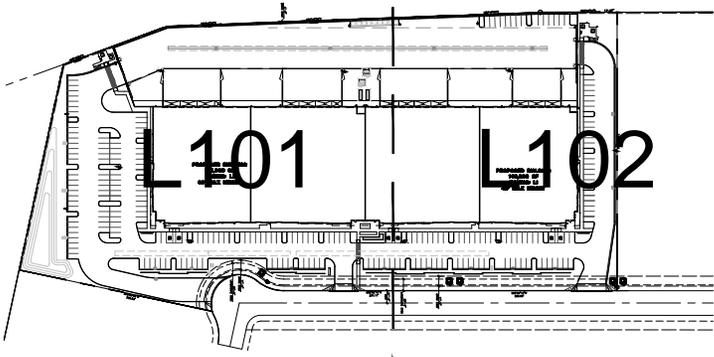
EXTERIOR MATERIAL LEGEND

	CONCRETE FORMLINER: FLUTED RB 1/2\" DEEP, 6\" OC PATTERN: 402
	CONCRETE FORMLINER: DET910 AGED WHISKY
	STOREFRONT SYSTEM: 1\" INSULATED GLAZING, PPS ALUMINA SOLARBAN FIL IN CLEAR ANODIZED ALUMINUM FRAME
	MDO METAL WALL PANEL, KYNAR 300 BONE WHITE
	CONCRETE FORMLINER: FLUTED RB 1/2\" DEEP, 12\" OC FITZGERALD 1438
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KEYNOTES

10.00	CONCRETE TILT PANEL (VERTICAL/IDENTICAL HORIZONTAL REVEALS)
03.01	CONCRETE RAMP UP
03.01	ROCK-CUT PANEL FOR FUTURE OVERHEAD DOOR
03.01	CONCRETE GUARD RAIL, 42\" HT.
05.01	PP PIPE BOLLARD
05.01	HOLLOW METAL DOOR AND FRAME
05.02	OVERHEAD SECTIONAL DOOR
05.04	ALUMINUM STOREFRONT SYSTEM
05.07	ALUMINUM FRAMED WINDOW
12.01	CURTAIN STEEL PLANTER (REFER TO ARCHITECTURAL SITE PLAN)
14.00	EQUIPPING AND DOWNCUT WITH OVERFLOW EQUIPPING, PAINTED TO MATCH BUILDING
16.00	WALL-MOUNTED LIGHT FIXTURE, SEE ELECTRICAL

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGN/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.



LANDSCAPE COVER SHEET

Ref. North
 NOT TO SCALE

PROPOSED PLANT PALETTE

TREES	SIZE/ COMMENTS/ QTY
AZT HYBRID PALO BREA PARKINSONIA PRAECOX 'AZT #5'	36" BOX / 15 QTY / LOW BREAKING / MATCHED
COOPER HYBRID MESQUITE PROSOPIS 'COOPERI'	36" BOX / 7 QTY / LOW BREAKING / MATCHED
COOPER HYBRID MESQUITE PROSOPIS 'COOPERI'	24" BOX / 9 QTY / LOW BREAKING / MATCHED
AZT PODLESS MESQUITE PROSOPIS 'AZT SEEDLESS'	24" BOX / 57 QTY / LOW BREAKING / MATCHED
DESERT WILLOW CHILOPSIS LINEARIS	36" BOX / 5 QTY / LOW BREAKING / MATCHED
SWEET ACACIA ACACIA FARNESIANA	24" BOX / 5 QTY / LOW BREAKING / MATCHED
SHRUBS	
* RED YUCCA HESPERALOE PARVIFLORA	5 GAL, 54 QTY
o LITTLE OLLIE OLIVE OLEA EUROPAEA 'LITTLE OLLIE'	5 GAL, 233 QTY
o RIO BRAVO SAGE LEUCOPHYLLUM LANGMANIAE	5 GAL, 138 QTY
o BAJA RUELLIA RUELLIA PENINSULARIS	5 GAL, 144 QTY
o CIMARRON SAGE LEUCOPHYLLUM ZYGOPHYLLUM	5 GAL, 210 QTY
- CAT'S CLAW VINE MACFADYENA UNGUIS-CATI	5 GAL, 8 QTY
GROUNDCOVERS	
o TURPENTINE ERICAMERIA LARICIFOLIA 'AGUIRRE'	1 GAL, 275 QTY
o SWEET POTATO VINE IPOMEA BATATAS	1 GAL, 26 QTY @ 18" O.C.
A TRAILING YELLOW LANTANA LANTANA MONTEVIDENSIS 'NEW GOLD'	1 GAL @ 3" O.C., 67 QTY
B TRAILING ROSEMARY ROSMARINUS 'HUNTINGTON CARPET'	1 GAL @ 3" O.C., 343 QTY
C OUTBACK SUNRISE EMU EREMOPHILA GLABRA 'MIGNEW GOLD'	1 GAL @ 3" O.C., 247 QTY
D NATAL PLUM 'GREEN CARPET' CARISSA GRANDIFLORA 'GREEN CARPET'	5 GAL @ 2.5" O.C., 162 QTY
E TRAILING ACACIA ACACIA REDOLENS 'DESERT CARPET'	1 GAL @ 4" O.C., 445 QTY
INERT MATERIAL	
DG DECOMPOSED GRANITE PALOMINO GOLD	1/2" MINUS, 2" DEPTH, TYP.
DG1 DECOMPOSED GRANITE ROCK PROS - MOHOGANY	1/2" MINUS, 2" DEPTH, TYP.
FRACTURED GRANITE ROCK PROS - MOHOGANY	1"-3" NATURAL, 4" DEPTH, TYP.
SITE AMENITIES	
o FORMS-SURFACES - KNIGHT TABLE ENSAMBLE WITH BACKLESS BENCHES AND ALUMINUM SLATS	
o FORMS-SURFACES - KNIGHT LITTER RECEPTACLE	

GENERAL NOTES:

- ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE AND COLOR AS NOTED IN LEGEND, 2" DEPTH, TYP. APPLIED OVER PRE-EMERGENT PER MFG. SPECS. 2 APPLICATIONS, MIN.
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- LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
- FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
- PLANT LIST/QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
- FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
- GROUNDWORK AND/OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
- ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
- ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
- LANDSCAPE CONTRACTOR RESPONSIBLE TO DEMO ALL EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN.
- STEEL HEADER TO SEPARATE ALL FRACTURED GRANITE AND DECOMPOSED GRANITE BANDS. ALL STEEL HEADER TO BE 3/16" THICK COLD ROLLED STEEL.

CITY NOTES:

- ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC... ARE TO BE REMOVED FROM THE PROJECT AREA AND DISPOSED OF PROPERLY OFF-SITE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN SCARIFY EXISTING SUBGRADE, TO A MINIMUM 8-INCH DEPTH.
- SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE MADE SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE AND INCORPORATE SUCH ADDITIVES PRIOR TO OR AT THE TIME OF PLANTING.
- CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT NAME OF PLANT LEGEND ITEM NUMBER FROM PLANS.
- CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION (480-644-2253) 24-HOURS IN ADVANCE FOR APPROVAL OF STAKED PLANT LOCATIONS.
- PLANT PITS MUST BE INSPECTED BY CITY LANDSCAPE INSPECTOR PRIOR TO PLANTING BY CONTRACTOR. CONTRACTOR TO REQUEST INSPECTION 48-HOURS IN ADVANCE.
- WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY 1/3) ONE-THIRD OVER SPECIFICATION, AND A LIQUID PENETRATE, "AL-KALICHE" OR APPROVED EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL ALSO COMPLY WITH SOIL TEST RECOMMENDATIONS.
- ALL TOP SOIL MIXTURE FOR PLANTS SHALL BE FREE OF GRASS AND NOXIOUS WEEDS. SEE SECTION 795 OF THE M.A.G. SPECIFICATIONS.
- PLANT SOIL MIXTURE SHALL CONSIST OF 3 1/2-PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6-INCH LIFTS. EACH LIFT SHALL BE WATER SETTLED, WITHOUT PUDDLING.
- ALL PLANT MATERIAL SHALL CONFORM TO GRADING, TYPE, ETC... AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.
- THE CITY OF MESA RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINER TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS FOR CONDITIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST.
- 120 VOLT POWER FOR SPRINKLER SYSTEM CONTROLLER IS TO BE ORDERED FROM APPROPRIATE POWER UTILITY BY CONTRACTOR. CONTRACTOR ACTS AS OWNER AND PAYS RELATED COSTS. IF METER IS INSTALLED, METER IS TO BE IN CONTRACTOR'S NAME UNTIL FINAL APPROVAL AND/OR ACCEPTANCE OF THE PROJECT AND THEN TRANSFERRED TO THE MAINTAINING PARTY.
- THE CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND LABOR NECESSARY TO INSTALL THE COMPLETE AUTOMATIC SPRINKLER SYSTEM INCLUDING THE WATER SERVICE AND METER. THE CONTRACTOR SHALL ORDER THE WATER METER AND PAY ALL RELATED CHARGES AT THE PUBLIC WORKS SERVICES. THE CITY MAY INSTALL THE WATER SERVICE AND METER AND CHARGE THE CONTRACTOR AT THE CITY'S DISCRETION.
- THE PLANT GUARANTEE AND MAINTENANCE SHALL BE AS PER SECTION 430.8 OF M.A.G. SPECIFICATIONS UNTIL PROJECT APPROVAL AND/OR ACCEPTANCE.
- UNLESS SPECIFIED ON THE PLANS FOR REMOVAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC...
 - DAMAGES TO UTILITIES CAUSED AS A RESULT OF HIS WORK.
 - INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
- THE CONTRACTOR SHALL MAINTAIN UNCOVERED, ALL EXISTING UTILITY COVERS, BOXES, LIDS, AND MANHOLES.
- ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED IN THE PLANS OR IN THE SPECIFICATION WHICH ARE REQUIRED TO COMPLETE THE INSTALLATION, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF HIS CONTRACT WORK.

LANDSCAPE / PLANTING CALCULATIONS:

TOTAL OPEN SPACE AREA: 66,909 S.F. = 15% SITE AREA	33,455 S.F. LIVE COVERAGE REQUIRED 59,500 S.F. LIVE COVERAGE PROVIDED		24" BOX	TOTAL SHRUBS	5 GALLON SHRUBS
	TOTAL TREES	36" TREES			
STREET FRONTAGE REQUIREMENTS 1 TREE / 6 SHRUB PER 25 L.F.	25 TREES REQUIRED 25 TREES PROVIDED	6 TREES REQUIRED 8 TREES PROVIDED	13 TREES REQUIRED 17 TREES PROVIDED	150 SHRUBS REQUIRED 507 SHRUBS PROVIDED	75 SHRUBS REQUIRED 127 SHRUBS PROVIDED
PARKING LOT REQUIREMENTS 1 TREE / 3 SHRUB PER ISLAND	43 TREES REQUIRED 45 TREES PROVIDED	5 TREES REQUIRED 9 TREES PROVIDED	REMAINDER REQ. 36 TREES PROVIDED	129 SHRUBS REQUIRED 256 SHRUBS PROVIDED	N / A
FOUNDATION PLANTING REQUIREMENTS 1 TREE PER 50 L.F.	23 TREES REQUIRED 23 TREES PROVIDED	3 TREES REQUIRED 5 TREES PROVIDED	REMAINDER REQ. 18 TREES PROVIDED	N / A 394 SHRUBS PROVIDED	N / A 303 SHRUBS PROVIDED

-ALL TREES TO BE 15 GALLON SIZE OR LARGER



EXPIRES 12/31/2020
4600
 EAST INDIAN SCHOOL RD
 PHOENIX, ARIZONA 85018
 602-840-2929 P
 602-840-6646 F

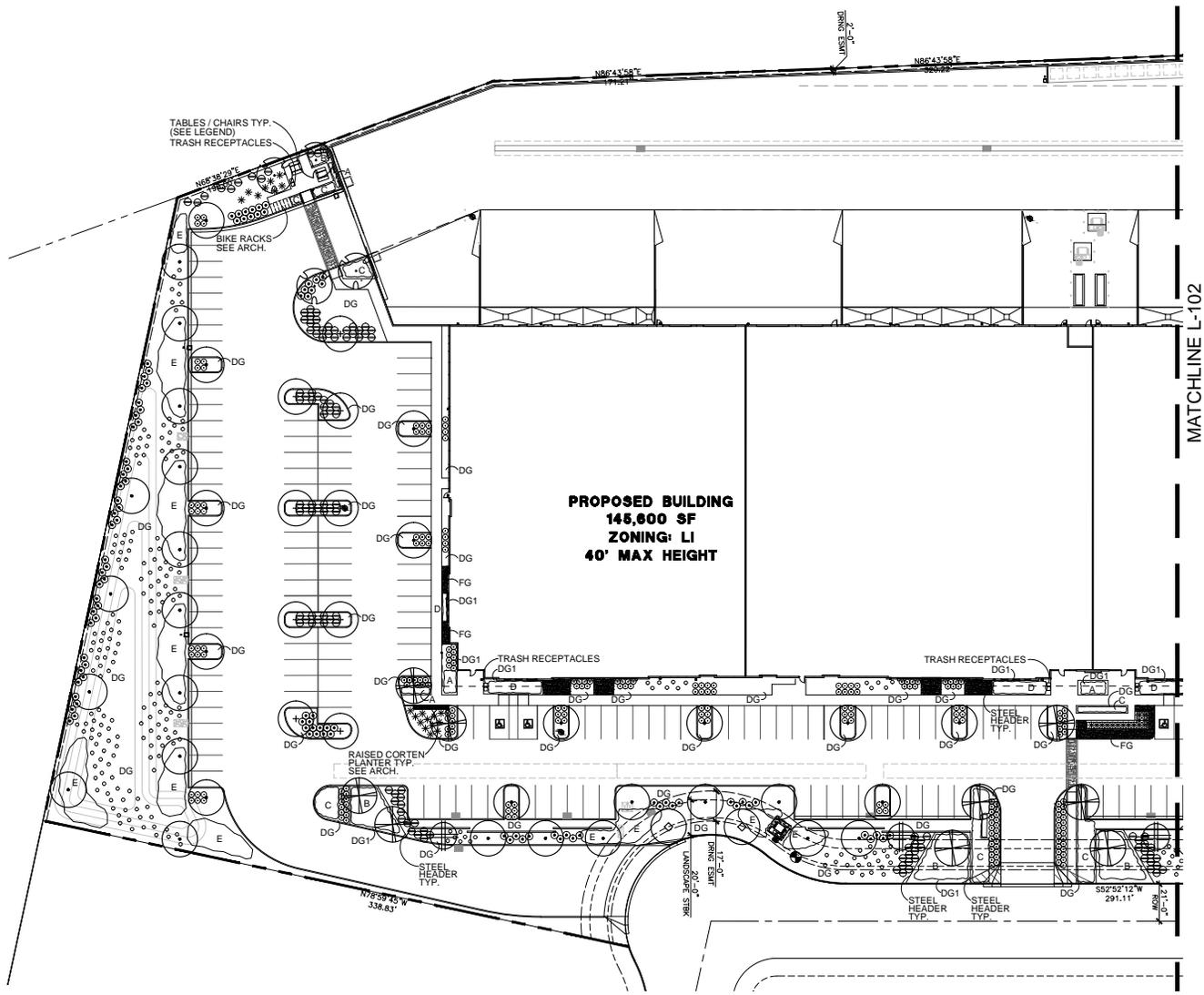
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 MESA, AZ 85212

1ST ISSUED:
 Revisions

PROJECT NO:
 DRAWN BY:
 CHK'D BY:
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PLANTING PLAN
 11.24.2020

L101



CONCEPTUAL PLANTING PLAN
 0 15' 30' 60' Ref. North SCALE 1"=30'-0"

PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS/QTY
AZT HYBRID PALO BRECA	36" BOX / 15 QTY / LOW-BREAKING / MATCHED
PARKINSONIA PRAECOX 'AZT #5'	
COOPER HYBRID MESQUITE 'PROSOPIS 'COOPERI'	36" BOX / 7 QTY / LOW BREAKING / MATCHED
COOPER HYBRID MESQUITE 'PROSOPIS 'COOPERI'	24" BOX / 9 QTY / LOW BREAKING / MATCHED
AZT PODDLE MESQUITE 'PROSOPIS 'AZT SEEDLESS'	24" BOX / 57 QTY / LOW BREAKING / MATCHED
DESERT WILLOW 'CHILOPSIS LINEARIS	36" BOX / 5 QTY / LOW-BREAKING / MATCHED
SWEET ACACIA 'ACACIA FARNESIANA	24" BOX / 5 QTY / LOW BREAKING / MATCHED
SHRUBS	
RED YUCCA 'HESPERALOE PARVIFLORA	5 GAL, 54 QTY
LITTLE OLLIE OLIVE 'OLEA EUROPAEA 'LITTLE OLLIE'	5 GAL, 233 QTY
RIO BRAVO SAGE 'LEUCOPHYLLUM LANGMANIAE	5 GAL, 138 QTY
BAJA RUELLIA 'RUELLIA PENINSULARIS	5 GAL, 144 QTY
CIMARRON SAGE 'LEUCOPHYLLUM ZYGOPHYLLUM	5 GAL, 210 QTY
CAT'S CLAW VINE 'MACFADYENA UNGUIS-CATI	5 GAL, 8 QTY
GROUNDCOVERS	
TURPENTINE 'ERICAMERIA LARICIFOLIA 'AGUIRRE'	1 GAL, 275 QTY
SWEET POTATO VINE 'IPOMEA BATATAS @ 18" O.C.	1 GAL, 26 QTY
TRAILING 'YELLOW LANTANA 'LANTANA MONTEVIDENSIS 'NEW GOLD'	1 GAL @ 3' O.C., 87 QTY
TRAILING ROSEMARY 'ROSMARINUS 'HUNTINGTON CARPET	1 GAL @ 3' O.C., 343 QTY
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TRAILING ACACIA 'ACACIA REDOLENS 'DESERT CARPET'	1 GAL @ 4' O.C., 445 QTY
INERT MATERIAL	
DG DECOMPOSED GRANITE 'PALOMINO GOLD	1/2" MINUS, 2" DEPTH, TYP.
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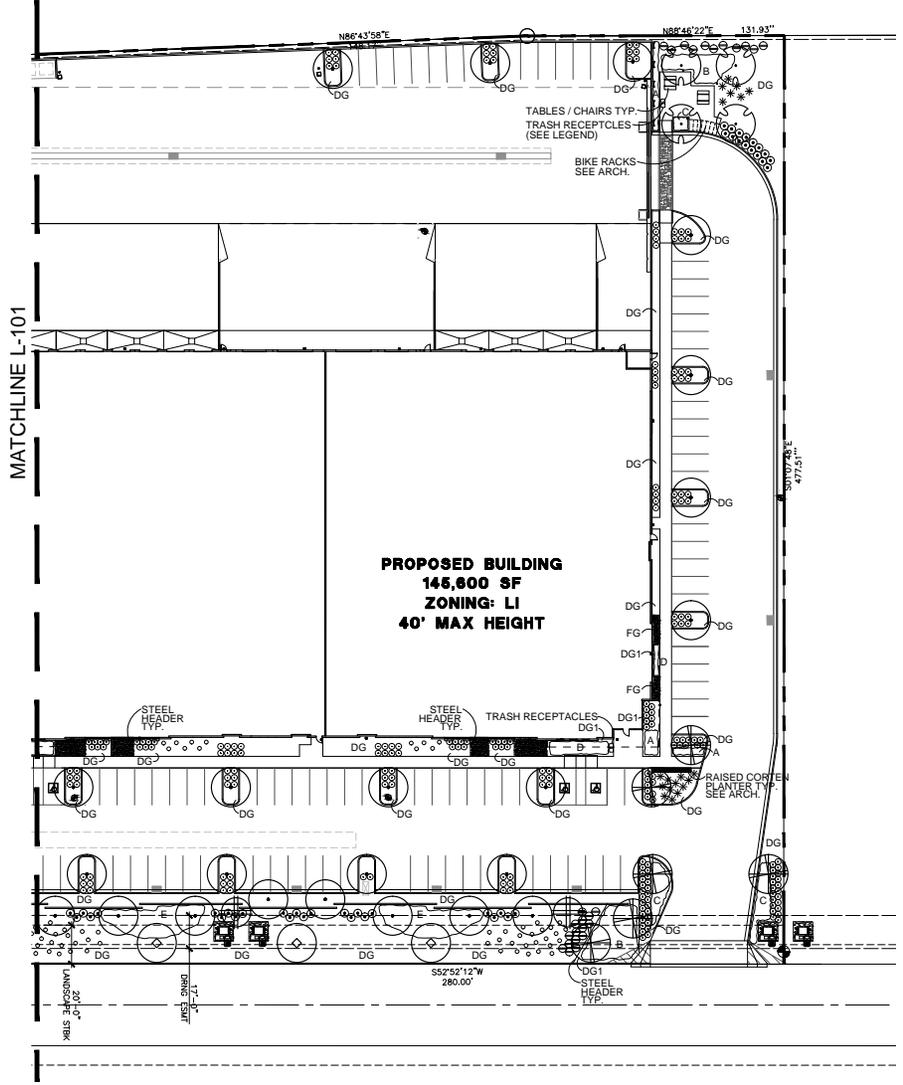
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1ST ISSUED:
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PLANTING PLAN
 11.24.2020

L102



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 SCALE 1"=30'-0"
 0 15' 30' 60'
 Ref. North

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4600 East Indian School Road Phoenix, Arizona 85018 ph | 602.840.2929 www.2929.com

January 13, 2021

Dear Neighbor,

We have applied for Special Use Permits for the property located at 7132 East Seaver Avenue, in Mesa, Arizona. This request is for development of Gateway Commerce Center. The case number assigned to this project is ZON20-00738.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please e-mail me at kohmann@2929.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on January 27, 2021 in the City Council Chambers. The meeting will begin at 4:00 p.m.

Because of the current public health emergency, the City Council Chambers is closed for Planning and Zoning Meetings. However, the live meeting may be watched on local cable **Mesa channel 11**, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**.

Public participation will be available electronically. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> **at least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Charlotte Bridges of their Planning Division staff. She can be reached at charlotte.bridges@mesa.az.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Karen Ohmann, RA, Project Manager

Phone: 602-317-0928

Email: kohmann@2929.com

Enclosures:

Photocopies of the site plan and Elevations

SITE DATA

PARCEL NUMBER:
 APN 304-30-046, 304-30-045, 304-30-044

CURRENT ZONING:
 LIGHT INDUSTRIAL (LI) IN PAD AND AIRFIELD OVERLAY
 (AIRPORT OVERFLIGHT AREA 2)

USE RESTRICTIONS:
 ACA 2 HAS RESTRICTED USES PER MZO 11-7-2;
 COUNCIL USE PERMITS ARE REQUIRED FOR
 CERTAIN USES PER MZO 11-7-2

PROPOSED OCCUPANCIES:
 B, S-1, F-2

SITE AREA:
 LOT 2 (APN 304-30-044) 133,246 SF/3,0589 AC
 LOT 3 (APN 304-30-045) 148,895 SF/3,4205 AC
 LOT 4 (APN 304-30-046) 167,299 SF/3,8407 AC
 449,541 SF/10,3201 AC

CONSTRUCTION TYPE: V-B

BUILDING AREA:
 BUILDING: 145,600 SF (GROSS)
 CANOPIES: 1,205 SF
 TOTAL: 146,805 SF

BUILDING HEIGHT RESTRICTION:
 40' MAX HEIGHT PER MZO
 38'-45' PROVIDED

BUILDING SETBACKS: PER MZO
 MINIMUM FRONT BUILDING SETBACK = 20'
 SETBACK PROVIDED = 15'-0" 1/2"
 MINIMUM SIDE BUILDING SETBACK = 0'-0"
 EAST SETBACK PROVIDED = 62'-9" NORTH
 WEST SETBACK PROVIDED = 187'-8" NORTH
 MINIMUM REAR BUILDING SETBACK = 0'-0"
 SETBACK PROVIDED = 132'-6", 136'-3"

LOT COVERAGE:
 BUILDING 145,600 SF
 PAVING 234,681 SF
 TOTAL 380,281 SF
 380,281/449,541 = 84.5%

KEYNOTES

- DASHED LINE INDICATES BUILDING CANOPY
- REMOVE EXISTING SIDE WALKWAYS
- NEW CONCRETE SIDE WALK
- ACCESSIBLE ACCESS ROUTE FROM SIDEWALK
- ACCESSIBLE RAMP - REFER TO DETAILS
- 1/2" x 2" MOBILITY TRIANGLE
- 1/2" x 2" MOBILITY PARKING SCREEN WALL-SEE EXPLANATIONS
- 1/2" x 2" MOBILITY SCREEN WALL
- CONCRETE PAVEMENT
- CONCRETE PAVEMENT WITH W/PP
- CATCH BASIN
- RETENTION AREA
- WEIHTY AREA-SEE LANDSCAPE FOR SITE FURNISHINGS-TRAILS, TRASH RECYCLING AND LANDFILL
- NEARBY TRAFFIC RATED INTEGRAL COLOR STAMPED
- BOLLARD LIGHTING-SEE ELECTRICAL
- PAVEMENT LIGHT FIXTURES-SEE ELECTRICAL
- MONUMENT SIGN UNDER SEPARATE PERMIT
- RECYCLING MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
- IMP. RAMP - SEE CIVIL
- TRIP BOLLARD SPACES
- FIRE RISER ROOM WITH ROOF ACCESS
- LANDSCAPE AND
- FIRE DEPARTMENT KNOX BOX
- 4" CONCRETE CURB
- CONCRETE PAVING
- UNDERGROUND RETENTION-SEE CIVIL
- EXISTING TRANSFORMER CABINET
- 30' x 30' TURNING PAD

PARKING CALCULATIONS

PARKING CALCULATIONS: PER MZO
 REQUIRED: 219 (75%) + 97 (25%) = 316 SPACES
 PROVIDED: 316 (75%) + 244 (25%) = 560 SPACES
 (72 SPACES)
 ADA SPACES PROVIDED: 6 SPACES
 BIKE SPACES PROVIDED: 26 SPACES
 SPECIAL USE PERMIT REQUESTED-SEE PROJECT NARRATIVE

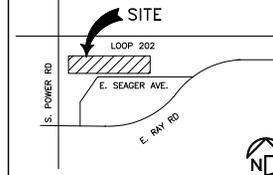
ERRC SURVEY

EMERGENCY RESPONDER RADIO FREQUENCY SURVEY SHALL BE PERFORMED AT TIME OF BUILDING ENVELOPE COMPLETION.

PROJECT TEAM

OWNERS: WETTA VENTURES, LLC 1104 S. CAMELBACK RD, STE 507 PHOENIX, AZ 85018 PHONE: 602-478-3538 EMAIL: OWNERS@WETTAVENTURES.COM CONTACT: DAVID WETTA	ARCHITECT: DEUTSCH ARCHITECTURE GROUP 4020 E. INDIAN SCHOOL RD PHOENIX, AZ 85018 PHONE: 602-440-2029 EMAIL: K@HANNING@DEUTSCHARCHITECTURE.COM CONTACT: KAREN HANNING
CIVIL ENGINEER: HUNTER ENGINEERING 1805 N. 16TH ST, STE 200 SCOTTSDALE, AZ 85258 PHONE: 480-246-8728 EMAIL: L.TALBOT@HUNTERENGINEERING.COM CONTACT: LARRY TALBOT, PE	ELECTRICAL ENGINEER: PETERSON ASSOCIATES 7201 N. DREAM DRIVE, STE 210 PHOENIX, AZ 85020 PHONE: 602-943-4116 EMAIL: MARCH@PETERSONSUL.COM CONTACT: MARCH HEISE, PE
LANDSCAPE ARCHITECT: G.L. FLANAGAN ASSOCIATES 4520 N. 44TH ST PHOENIX, AZ 85018 PHONE: 602-412-8891 EMAIL: JUSTIN@GFLASSOCIATES.COM CONTACT: JUSTIN MEYER, RLA	

VICINITY MAP



CITY TRACKING BOX

2929.COM



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 MESA, AZ 85212

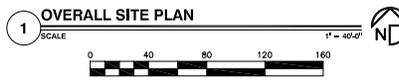
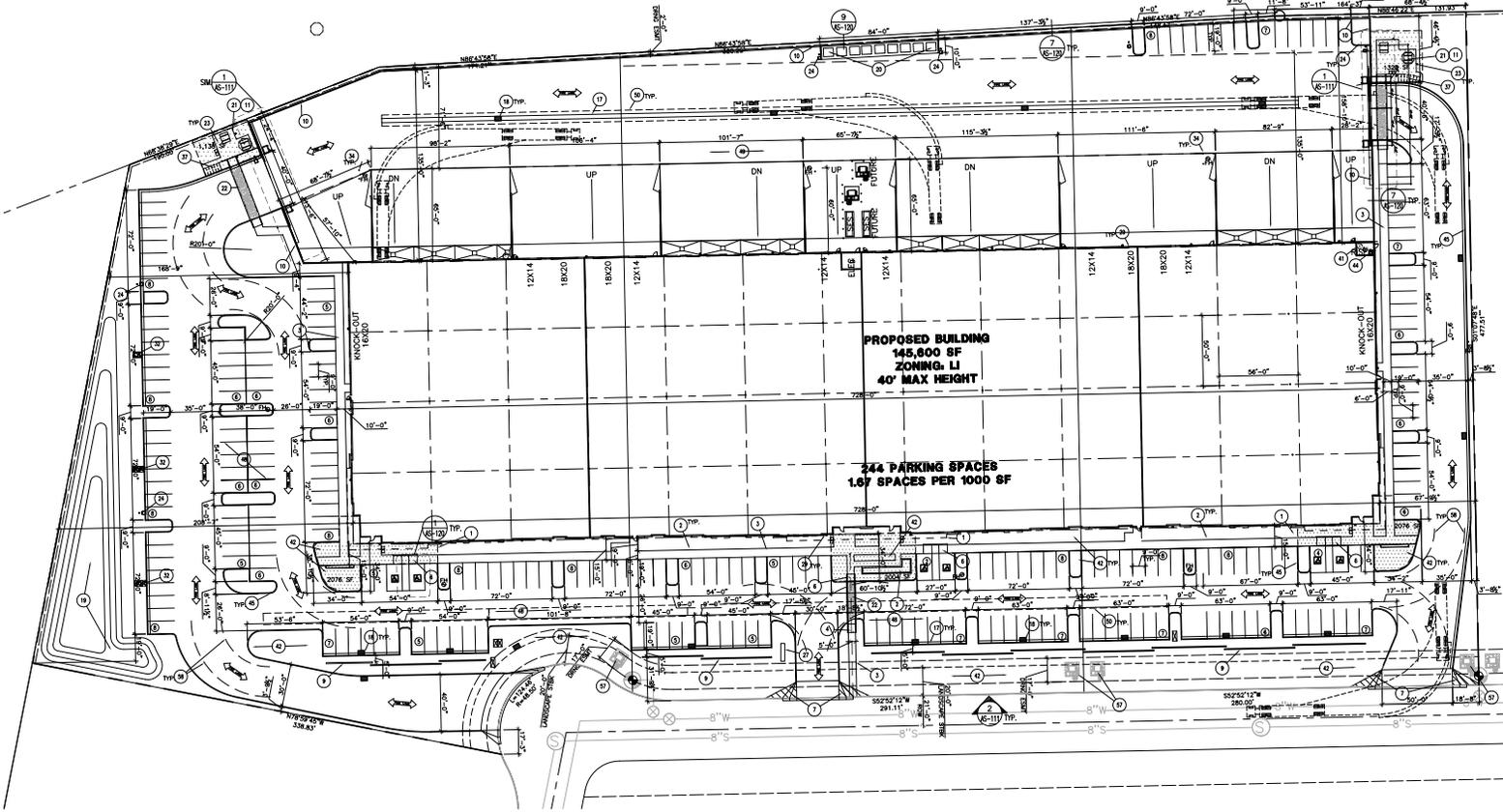
1ST ISSUED: 10/29/20

Revisions

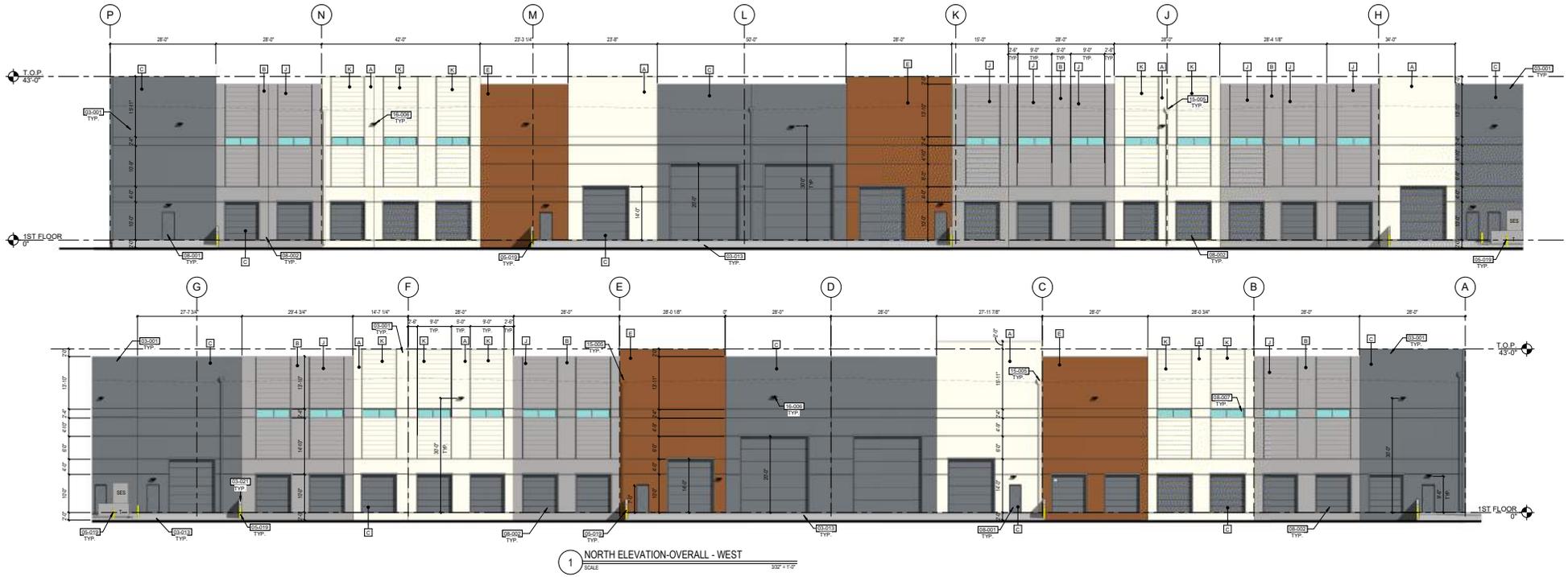
PROJECT NO:
 DRAWN BY:
 CHK'D BY:
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OVERALL SITE PLAN

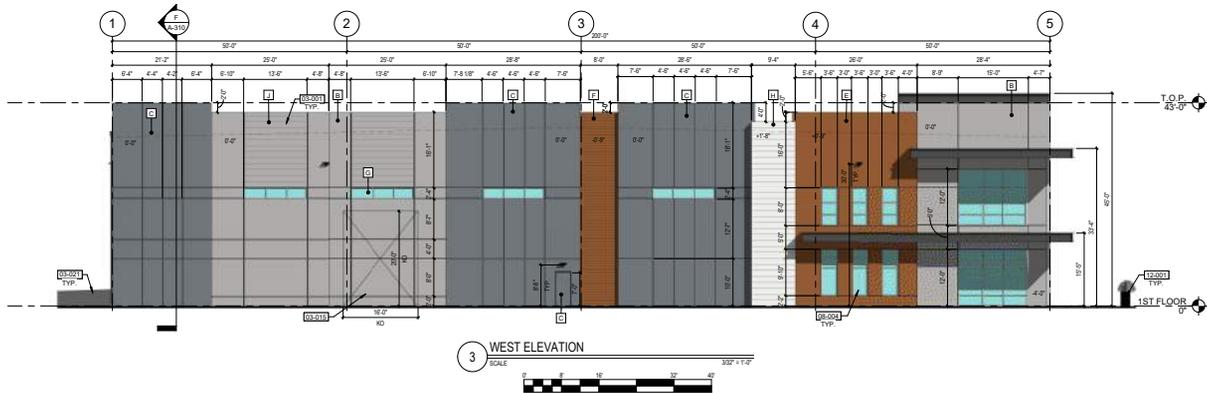
AS-110



PRS20-00597



1 NORTH ELEVATION-OVERALL - WEST
SCALE 3/32" = 1'-0"

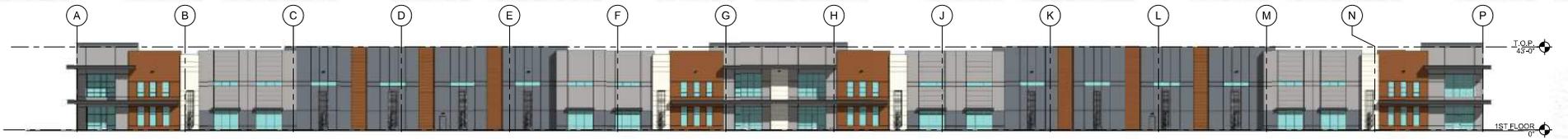


3 WEST ELEVATION
SCALE 3/32" = 1'-0"

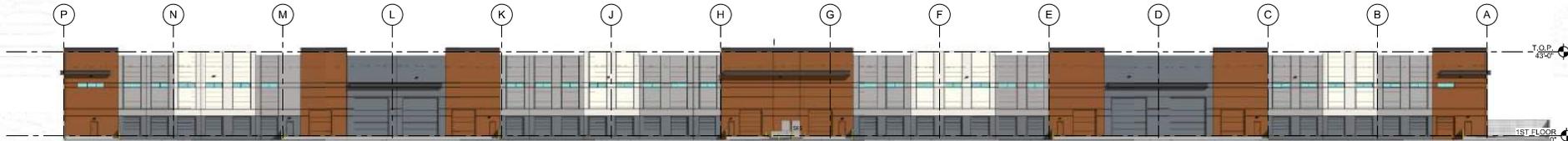
EXTERIOR MATERIAL LEGEND	
	DUNN EDWARDS PAINT DETS94 CARRARA
	DUNN EDWARDS PAINT DETS10 WOLVERINE
	DUNN EDWARDS PAINT DETS16 EQUINOX
	DUNN EDWARDS PAINT DETS17 BLACK
	DUNN EDWARDS PAINT DETS9 AGED WHISKY
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 6" OC PATTERN: 402
	STOREFRONT SYSTEM: 1" INSULATED GLAZING, PPS ALUMINUM SQUARE-BILT IN CLEAR ANODIZED ALUMINUM FRAME
	MDO METAL WALL PANEL KYNAR 300 BONE WHITE
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 12" OC FITZGERALD 1436
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 12" OC FITZGERALD 1436
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 12" OC FITZGERALD 1436
	CONCRETE FORMLINER: FLUTED RB 1/2" DEEP, 12" OC FITZGERALD 1436

KEYNOTES	
03-00	CONCRETE TILT PANEL WALL WITH HORIZONTAL AND/OR VERTICAL REVEALS
03-01	CONCRETE RAMP UP
03-02	ROCK-CUT PANELS FOR FUTURE OVERHEAD DOOR
03-03	CONCRETE GUARD RAIL, 42" HIGH
03-04	4" PIPE BOLLARD
03-05	HOLLOW METAL DOOR AND FRAME
03-06	OVERHEAD SECTIONAL DOOR
03-07	ALUMINUM STOREFRONT SYSTEM
03-08	ALUMINUM FRAMED WINDOW
12-01	CURTAIN STEEL PLANTING RISER TO ARCHITECTURAL SITE PLAN
14-00	EQUIPMENT AND DOWNCUT WITH OVERFLOW EQUIPMENT PAINTED TO MATCH BUILDING
16-00	WALL-MOUNTED LIGHT FIXTURE-SEE ELECTRICAL

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT ULTIMATELY LEADS TO MORE DETAILED DRAWINGS, BUT THE INFORMATION DEPICTED IN THESE DESIGNS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC DESIGN/RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.



1 SOUTH ELEVATION-FULL
SCALE 1" = 32'-0"

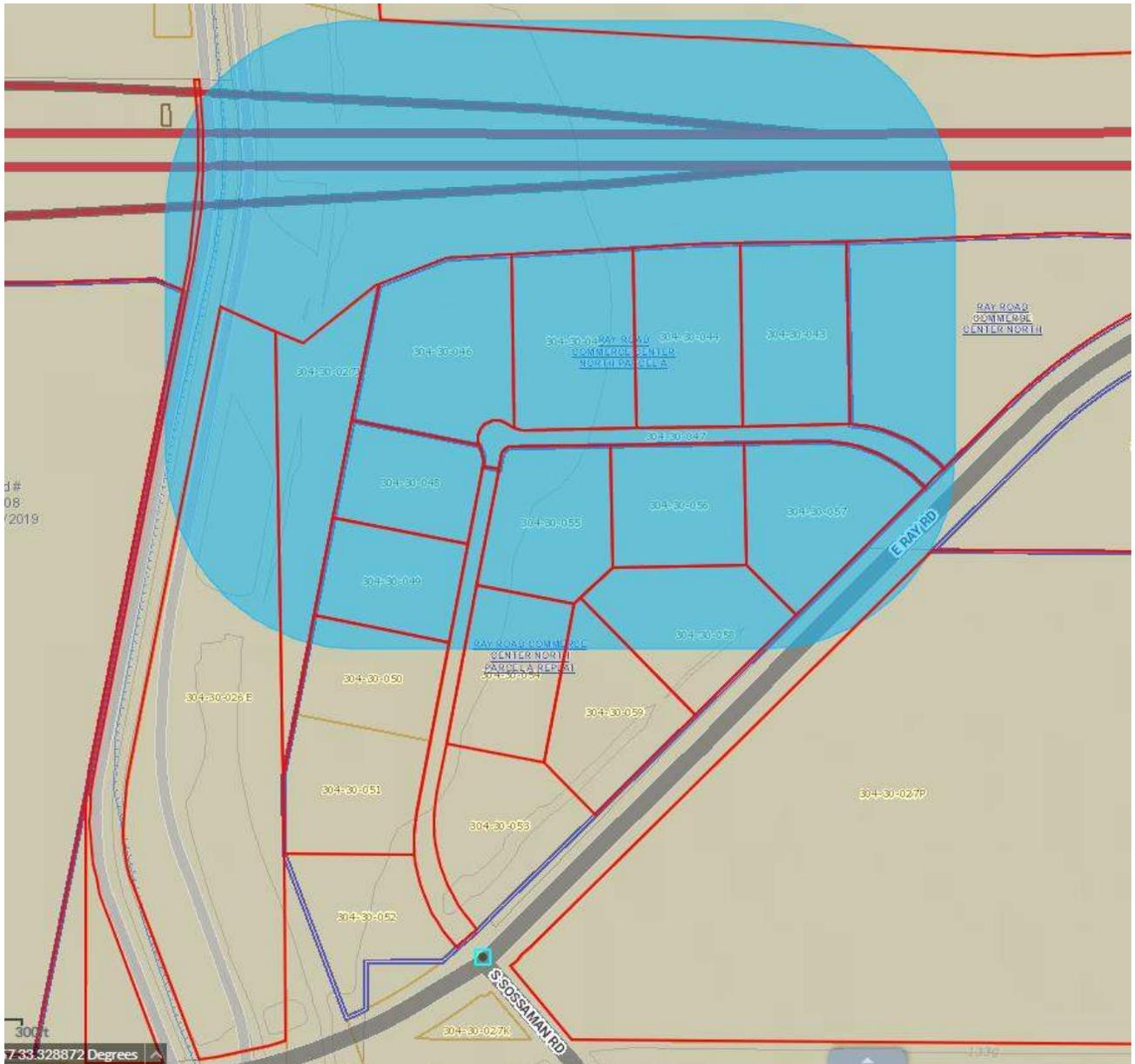


2 NORTH ELEVATION-FULL
SCALE 1" = 32'-0"



4 SOUTHEAST PERSPECTIVE
SCALE

CONCEPTUAL AND SCHEMATIC DESIGNS, INCLUDING RENDERINGS, ARE CREATED FOR THE SOLE PURPOSE OF DEVELOPING A DESIGN CONCEPT. THEY ARE PART OF THE OVERALL DESIGN PROCESS THAT EVENTUALLY LEADS TO MORE DETAILED DRAWINGS. BUT THE INFORMATION SHOWN IN THESE DRAWINGS IS INCOMPLETE AND NOT INTENDED TO REPRESENT THE FULL SCOPE OF THE PROJECT DESIGN. THE USE OF THESE CONCEPTUAL AND SCHEMATIC RENDERINGS FOR ANY PURPOSE OTHER THAN AS INTENDED BY THE ARCHITECT IS PROHIBITED.



Owner
AEI ARIZONA OZ FUND LLC
ALI ADVISOR INC
POWER 202 MIXED-USE LLC
GATEWAY 71A nad 71B LLC
PHX-MESA GATEWAY AIRPORT 193 LLC
IWA HOLDINGS 2 LLC
PHOENIX-MESA GATEWAY AIRPORT AUTHORITY
BV STRATEGIC MANAGEMENT LLC
RAY II LLC
GRANITE FIELD INVESTMENTS LLC

Property Address

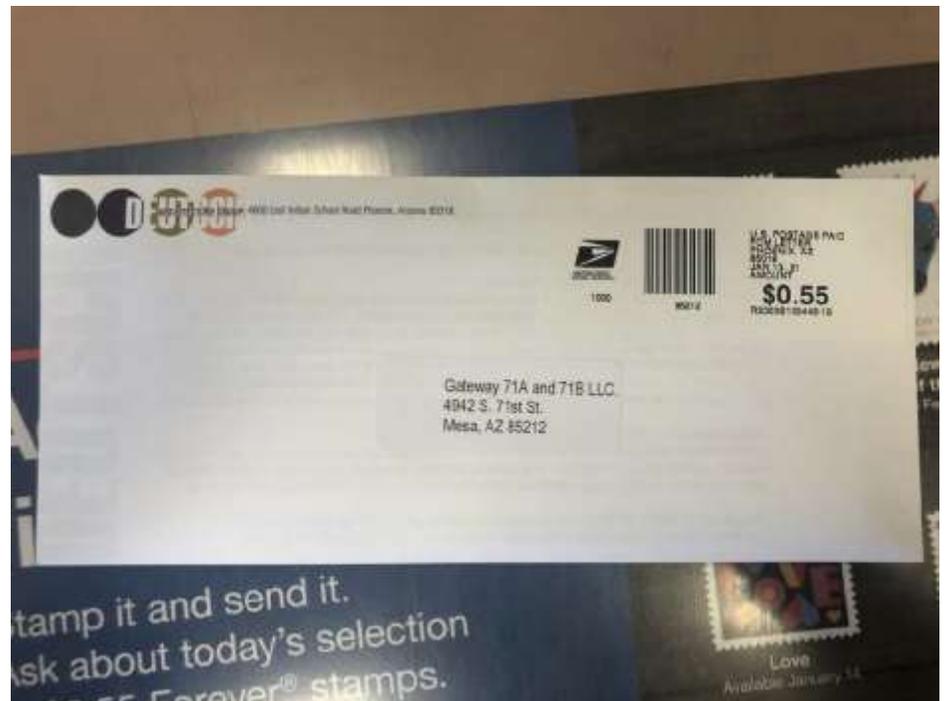
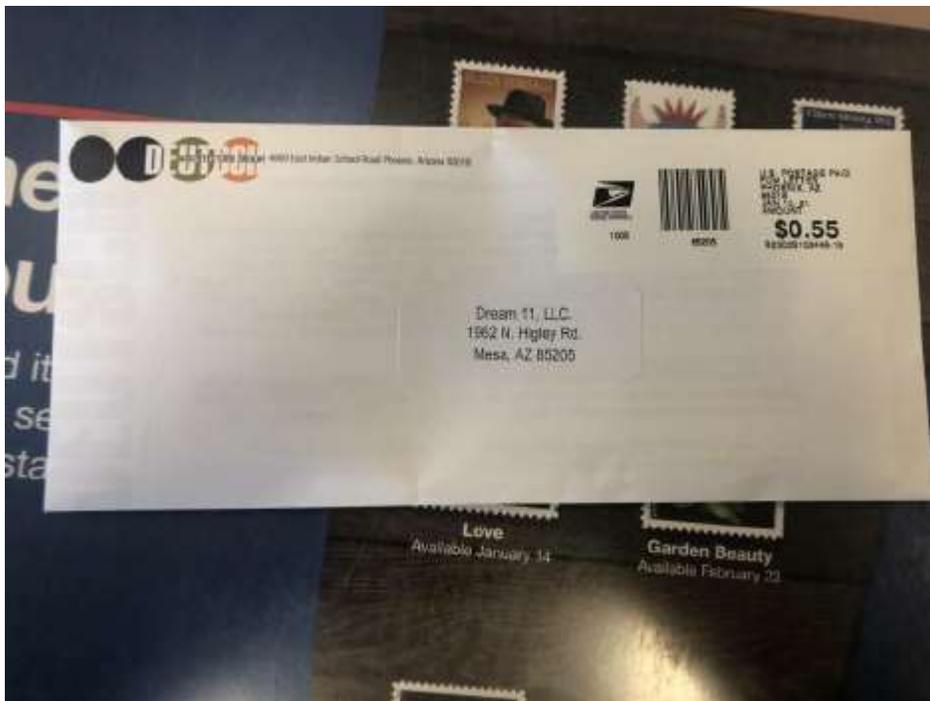
4942 S 71ST ST MESA 85212
5119 S 71ST ST MESA 85212
7150 E RAY RD MESA 85212

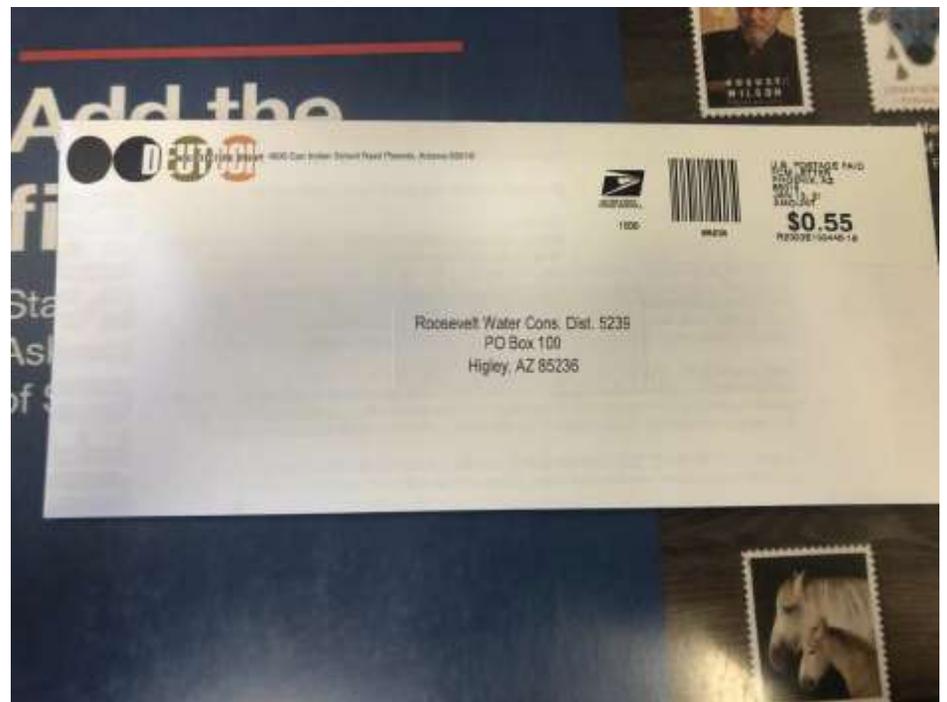
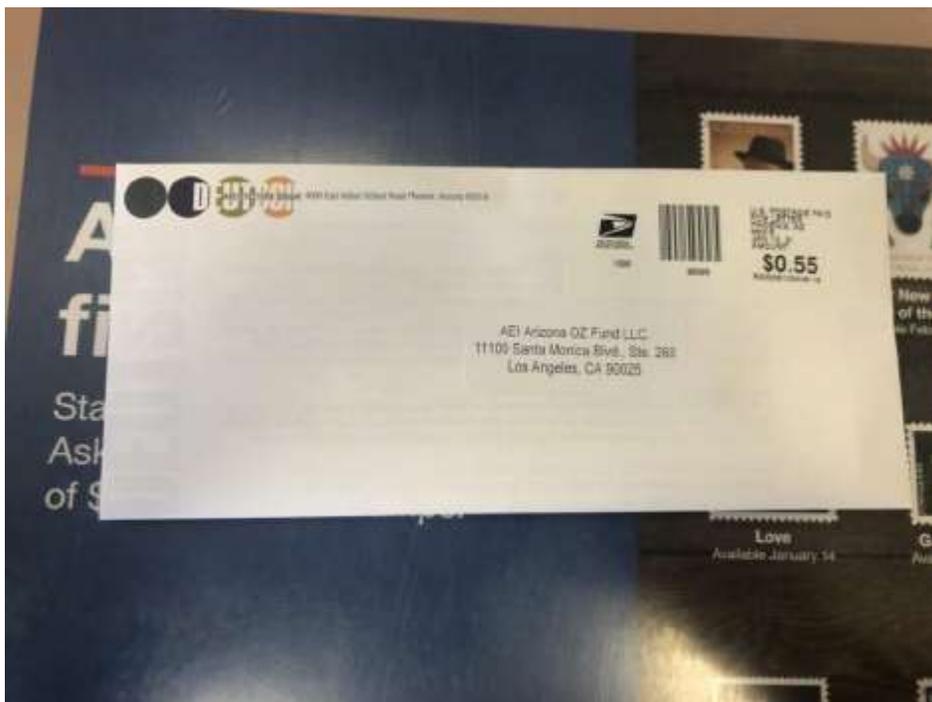
7224 E SEAVER AVE MESA 85212
7244 E RAY RD MESA 85212
5229 S SARANAC MESA 85212

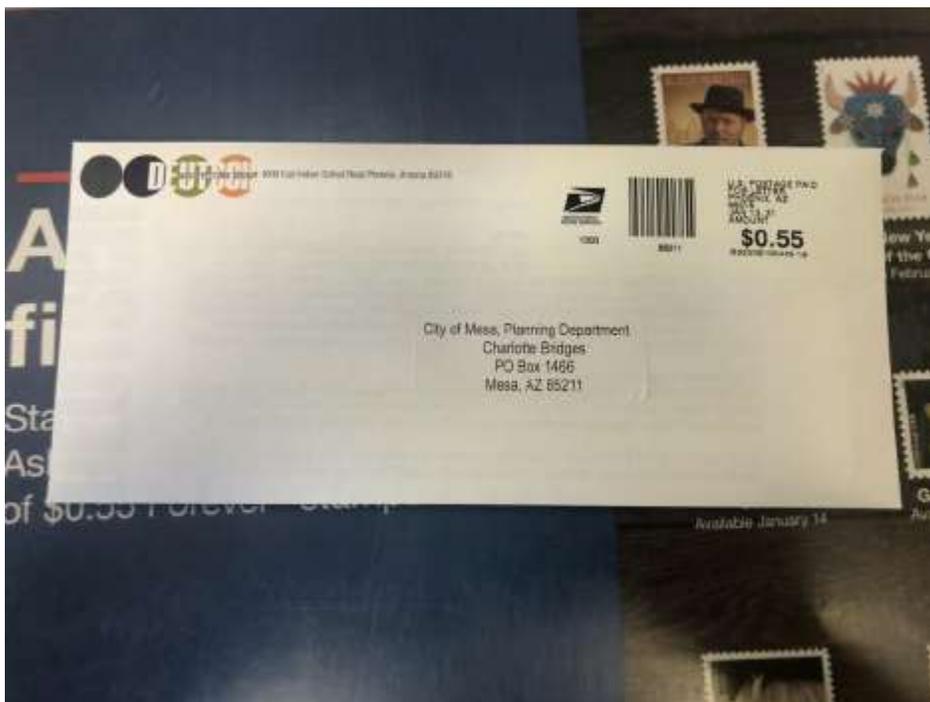
Mailing Address
11100 SANTA MONICA BLVD STE 260 LOS ANGELES CA 90025-6695
2999 N 44TH ST NO 100 PHOENIX AZ 85018
4650 E COTTON CENTER BLVD SUITE 200 PHOENIX AZ 85040
4942 S 71ST ST MESA AZ 85212-6436
5353 N 16TH ST PHOENIX AZ 85016
5865 S SOSSAMAN RD MESA AZ 85212
600 S POWER RD BLDG 41 MESA AZ 85206-5219
8475 S EMERALD DR TEMPE AZ 85284
PO BOX 1078 HIGLEY AZ 85236
PO BOX 151 QUEEN CREEK AZ 85142

PO BOX 1466 Mesa, AZ 85211

City of Mesa Planning Dept. ATTN: Charlotte Bridges





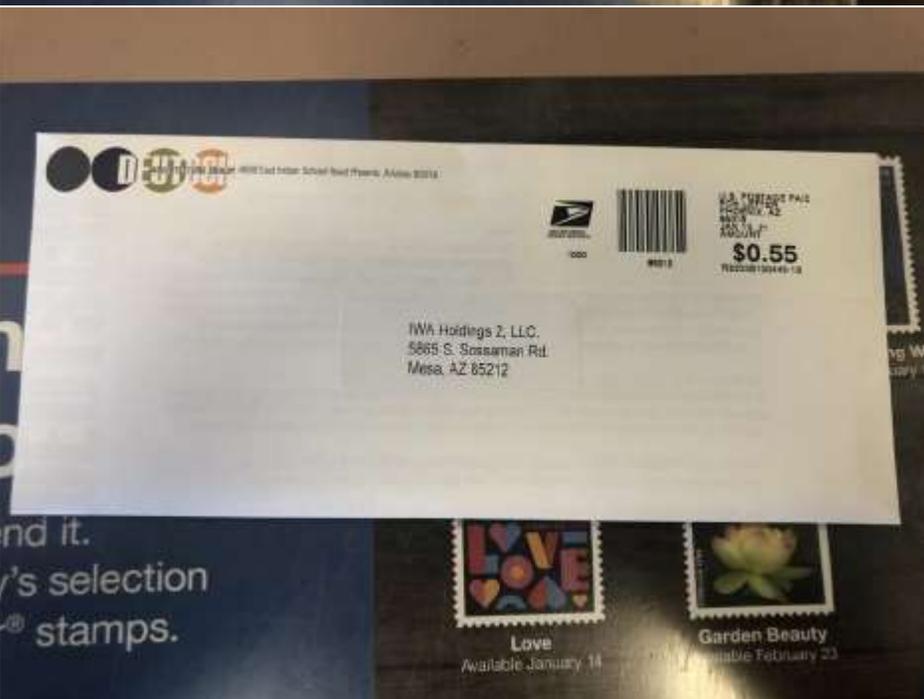




Flood Control District of Maricopa
County
2601 W. Durango St.
Phoenix, AZ 85009



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IWA Holdings 2, LLC
5865 S. Sossaman Rd.
Mesa, AZ 85212



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Love
Available January 14



Garden Beauty
Available February 23