

CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN

FOR

GATEWAY COMMERCE CENTER

FEMA CLASSIFICATION

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2295L (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X.

ZONE: X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION IN AO ZONE USE DEPTH)
4013	2760	L	10/16/2013	ZONE X	N/A

7132 EAST SEAYER AVE
MESA, ARIZONA 85212

A PORTION OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

DEVELOPER

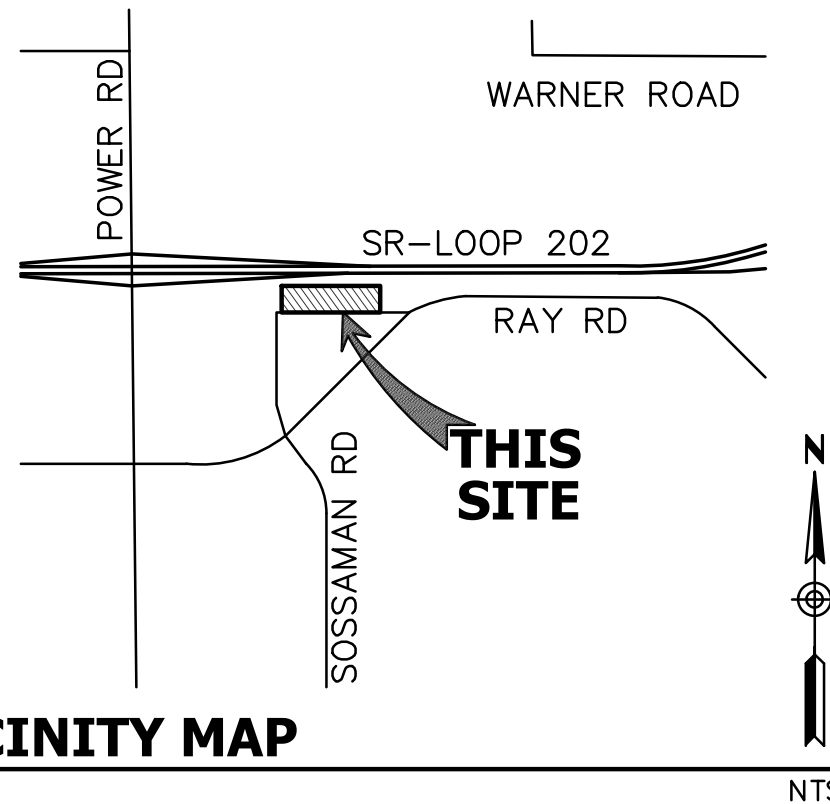
WETTA VENTURES, LLC
1101 W. 120TH STREET, SUITE 400
3104 EAST CAMELBACK ROAD, #957
CONTACT: PAUL SALINAS

ARCHITECT

DEUTSCH ARCHITECTURE GROUP
4600 EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
PHONE: (602) 840-2929
CONTACT: RANDY HILLEBOE
EMAIL: RHILLEBOE@2929.COM

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
E-MAIL: ltbott@hunterengineeringpc.com
PHONE: (480) 991-3985
CONTACT: LARRY TALBOTT



VICINITY MAP

SHEET INDEX

COVER SHEET/TYPICAL SECTIONS.C1
CONCEPTUAL GRADING & DRAINAGE PLAN.C2-C3
CONCEPTUAL UTILITY PLAN.C4-C5

AREA

449,540 SQ FT, 10.32 AC

APN: 304-30-044, 045 & 046

BENCHMARK

CITY OF MESA BRASS TAG IN TOP OF CURB OF THE NORTHEAST CORNER OF POWER ROAD AND SANTAN FREEWAY LOOP 202. ELEVATION = 1324.10 NAVD88.

BASIS OF BEARING

BASIS OF BEARING NORTH 00 DEGREES 53 MINUTES 56 SECONDS WEST, THE EAST LINE OF THE SOUTHEAST QUARTER SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCELS 2, 3 AND 4, PARCEL 'A' FINAL PLAT FOR RAY ROAD COMMERCE CENTER NORTH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1403 OF MAPS, PAGE 35T.

RETENTION CALCULATIONS

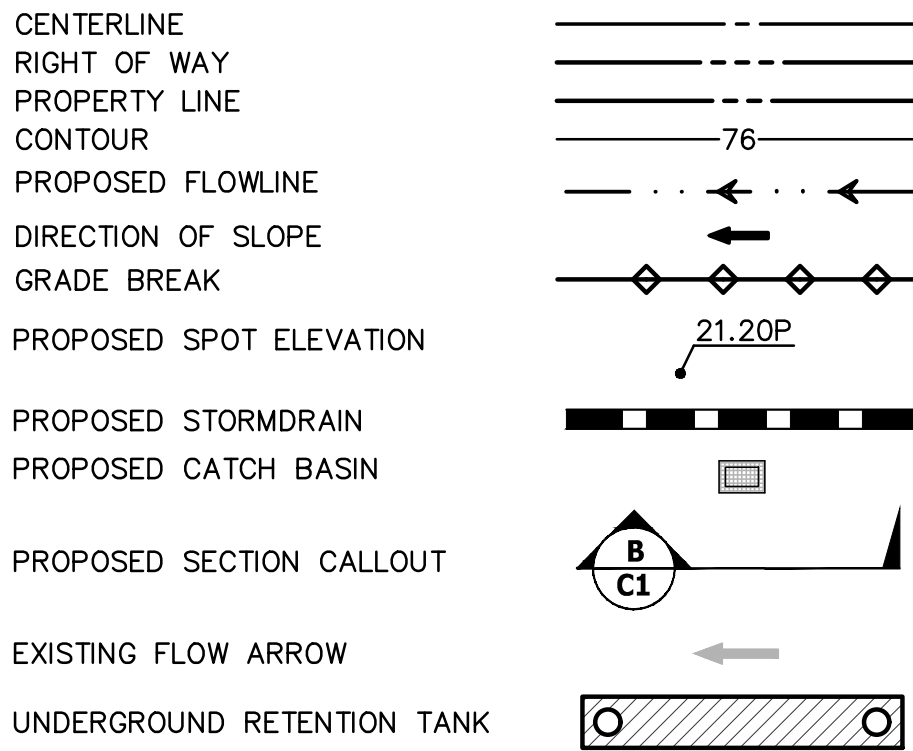
RETENTION REQUIRED
VR=C*P/12*A, ON-SITE 0.90, OFF-SITE 0.95 P=2.2

ONSITE AREA: 449,500 SF
OFFSITE AREA: 17,709 SF

RETENTION REQUIRED:
ONSITE: 74,168 CU.FT.
OFFSITE: 2,922 CU.FT.
TOTAL: 77,089 CU.FT.

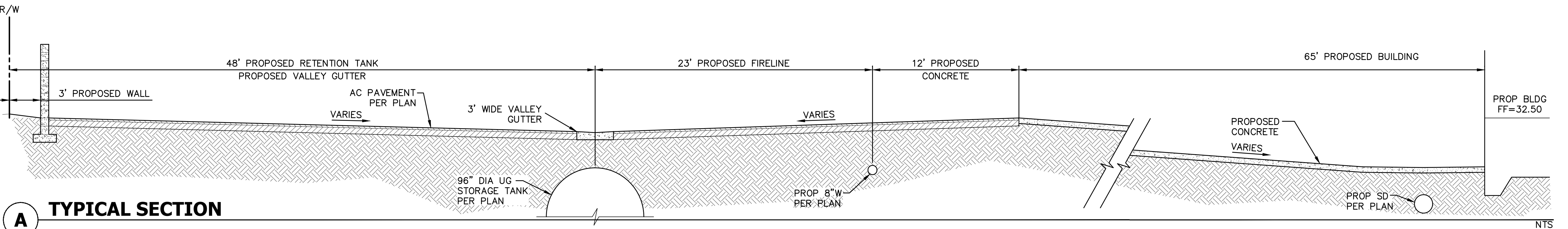
RETENTION PROVIDED:
BASIN#1 = 27,792 CU.FT.
NORTH TANK = 34,227 CU.FT.
SOUTH TANK = 15,078 CU.FT.
TOTAL RETENTION PROVIDED = 77,097 CU.FT.
TOTAL PROVIDED = 77,147 CU.FT.
TOTAL REQUIRED = 77,096 CU.FT.
TOTAL EXCESS = 8 CU.FT.

LEGEND

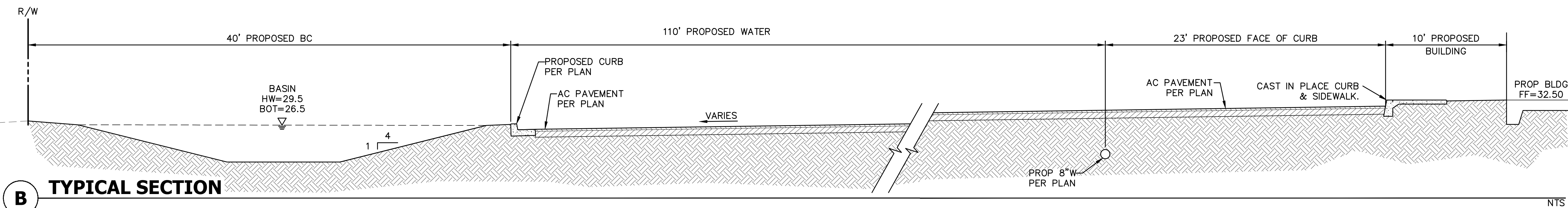


ABBREVIATIONS

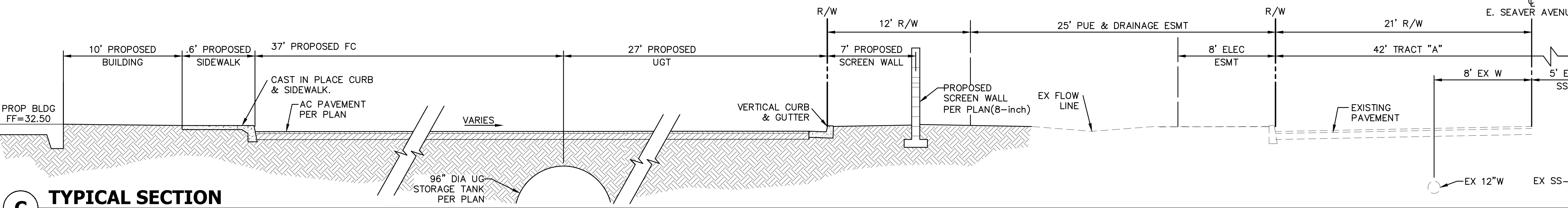
APN	ASSESSOR PARCEL NUMBER	PAE	PUBLIC ACCESS EASEMENT
B/C	BACK OF CURB	PDE	PUBLIC DRAINAGE EASEMENT
BOT	BOTTOM	P	PROPERTY LINE
C	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
CL	CENTERLINE	PUEF	PUBLIC UTILITY FACILITIES EASEMENT
CF	CUBIC FEET	PVMT	PAVEMENT
CFS	CUBIC FEET PER SECOND	P/C	PAVEMENT/CONCRETE
CY	CUBIC YARD	RCW	RECLAIMED WATER
DE	DRAINAGE EASEMENT	R/W	RIGHT OF WAY
DW	DRYWELL	SD	STORM DRAIN
EA	EACH	SF	SQUARE FEET
EL	ELEVATION	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	S/W	SIDEWALK
ESMT	EASEMENT	STA	STATION
EX	EXISTING	SY	SQUARE YARDS
EG	EXISTING GRADE	TC	TOP OF CURB
F/C	FACE OF CURB	TEL	TELEPHONE
FG	FINISH FLOOR	TS	TRAFFIC SIGNAL
FL	FLOWLINE	TW	TOP OF WALL
FT/FT	FOOT PER FOOT	UCFO	UNDERGROUND FIBER OPTIC
G	GUTTER	UGE	UNDERGROUND ELECTRIC
GB	GRADE BREAK	UGT	UNDERGROUND TELEPHONE
GR	GRATE	UTS	UNDERGROUND TRAFFIC SIGNAL
HP	HIGH POINT	VCP	VITRIFIED CLAY PIPE
HW	HIGH WATER	VG	VALLEY GUTTER
IE	INVERT ELEVATION	VNAE	VEHICULAR NON-ACCESS EASEMENT
IRR	IRRIGATION	VP	VOLUME PROVIDED
LF	LINEAR FEET	VR	VOLUME REQUIRED
ML	MATCH LINE	W	WATER
NTS	NOT TO SCALE		
P	PAVEMENT		



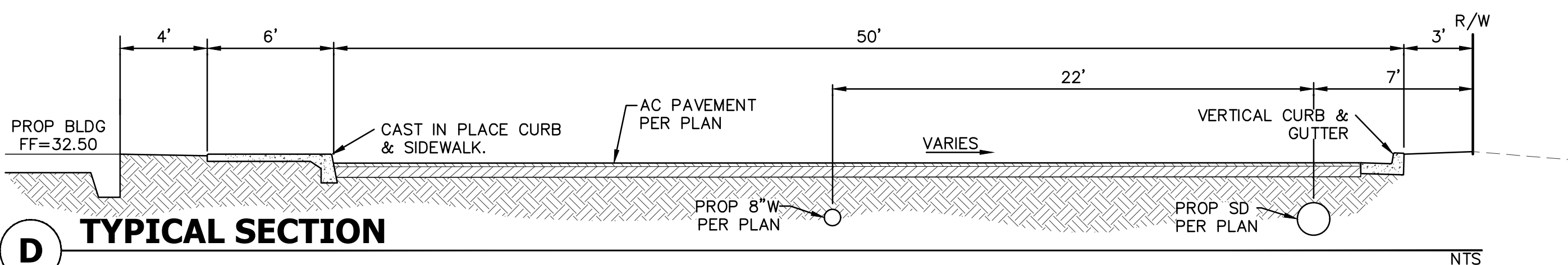
TYPICAL SECTION



TYPICAL SECTION



TYPICAL SECTION

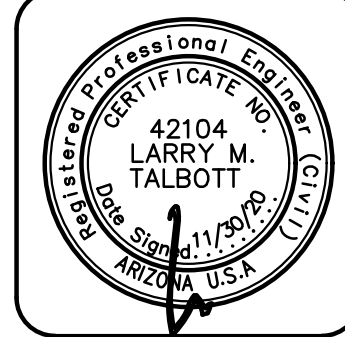


TYPICAL SECTION

NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: ARM
CHECKED BY: LT

HUNTER ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



COVER SHEET
FOR
GATEWAY COMMERCE CENTER
7132 EAST SEAYER AVE
MESA, ARIZONA 85212

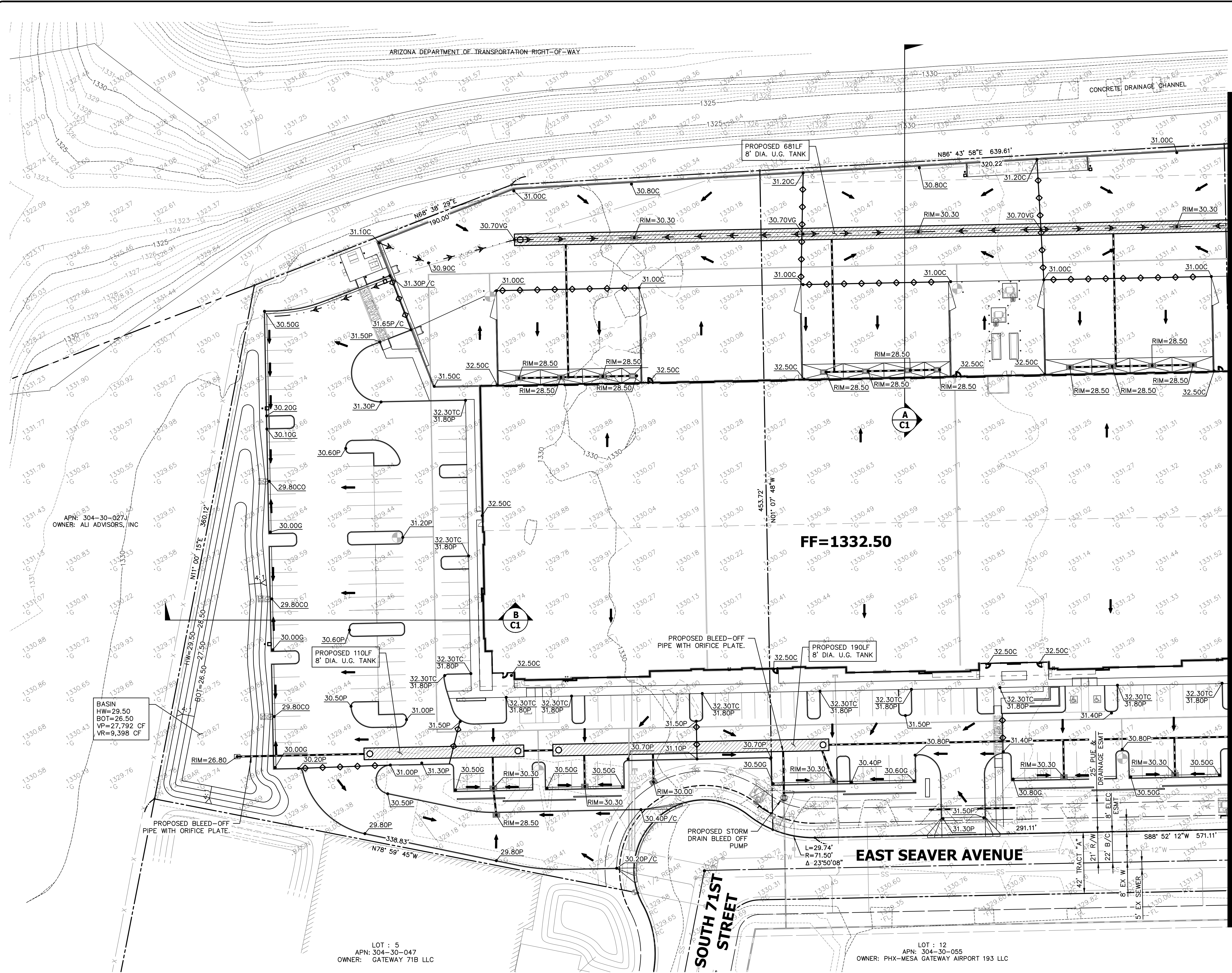


THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

PROJECT NAME:
GATEWAY COMMERCE CENTER

HE NO.: WETT002
SCALE: NTS

SHEET:
C1

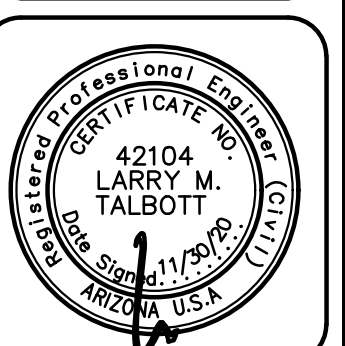


MATCH LINE
SEE SHEET C3

NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: ARM
CHECKED BY: LT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



**CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
GATEWAY COMMERCE CENTER
7132 EAST SEAVER AVE
MESA, ARIZONA 85212**

CONTACT ARIZONA 811 AT LEAST 2 FULL
WORKING DAYS BEFORE YOU BEGIN EXCAVATION.
AR ZONA811
CALL 811 OR CLICK ARIZONA811.COM

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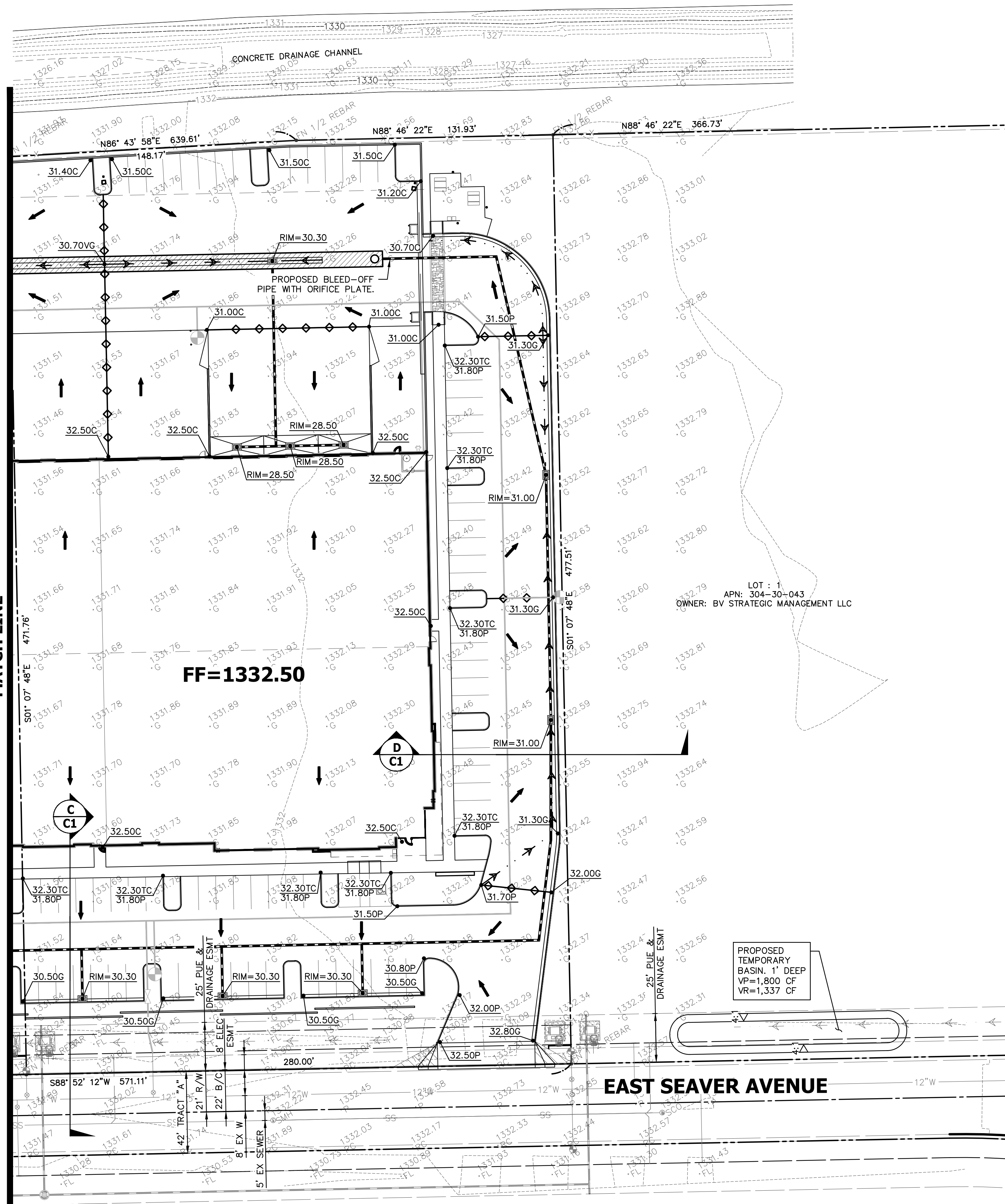
PROJECT NAME:
GATEWAY
COMMERCE
CENTER

HE NO.: WETT002
SCALE: 1"=30'

SHEET:
C2

C:\WET\1002\Drawings\1002002\1002002.dwg 10/1/2025 10:42:29 AM dml

SEE SHEET C2
MATCH LINE

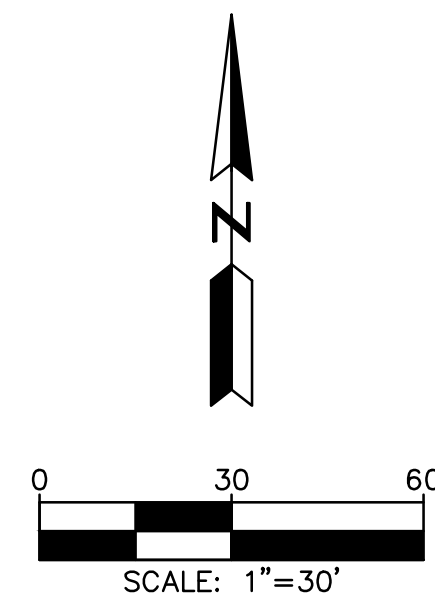


LOT : 13
APN: 304-30-056
OWNER: PHX-MESA GATEWAY AIRPORT 193 LLC

LOT : 1
APN: 304-30-043
OWNER: BV STRATEGIC MANAGEMENT LLC

PROPOSED
TEMPORARY
BASIN. 1' DEEP
VP=1,800 CF
VR=1,337 CF

EAST SEAVER AVENUE



NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: ARM
CHECKED BY: LT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY

REGISTERED PROFESSIONAL ENGINEER
42104
LARRY M. TALBOTT
09/11/2017
ARZONA, USA

**CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
GATEWAY COMMERCE CENTER
7132 EAST SEAVER AVE
MESA, ARIZONA 85212**

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PROJECT NAME:
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COMMERCE
CENTER**

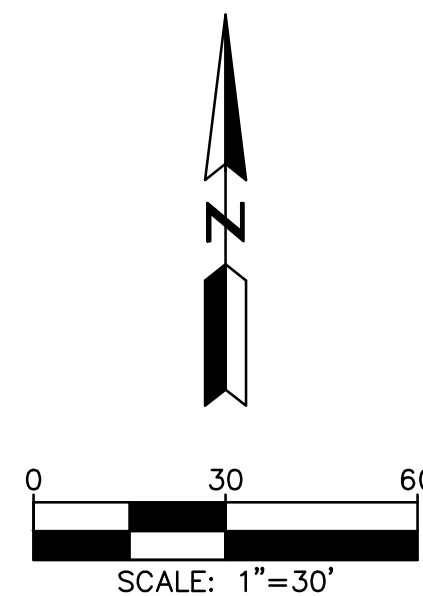
HE NO.: WETT002
SCALE: 1"=30'

SHEET:
C3

PURPOSE:
CONCEPTUAL 1ST SUBMITTAL

ARIZONA DEPARTMENT OF TRANSPORTATION
RIGHT-OF-WAY

CONCRETE DRAINAGE CHANNEL



APN: 304-30-027J
OWNER: ALI ADVISORS, INC

N11° 00' 15"E
360.12'

PROPOSED FIRE
HYDRANT
PROPOSED PRIVATE
FIRELINE

FF=1332.50

453.72'
N01° 07' 48"W

PROPOSED WATER

PROPOSED SEWER

PROPOSED FIRE
HYDRANT

PROPOSED BFD

PROPOSED DOMESTIC
METER

PROPOSED BFD

PROPOSED LS METER

PROPOSED LS STUB

EXISTING FIRE
HYDRANT TO
REMAIN

L=29.74'
R=71.50'
Δ 23°50'08"

CONNECT TO EXISTING
WATER LINE

PROPOSED PRIVATE
FIRELINE

PROPOSED PRIVATE
SEWER

CONNECT TO EXISTING
SEWER TAP

PROPOSED FIRE
HYDRANT

25' PUE &
DRAINAGE ESMT

8' ELEC
ESMT

21' R/W

22' B/C

42' TRACT "A"

8' EX W

5' EX SEWER

S88° 52' 12"W 571.11'

EAST SEAVER AVENUE

SOUTH 71ST
STREET

LOT : 5
APN: 304-30-047
OWNER: GATEWAY 71B LLC

LOT : 12
APN: 304-30-055
OWNER: PHX-MESA GATEWAY AIRPORT 193
LLC

MATCH LINE
SEE SHEET C5

NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: ARM
CHECKED BY: LT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



CONCEPTUAL UTILITY PLAN
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MESA, ARIZONA 85212



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PROJECT NAME:
**GATEWAY
COMMERCE
CENTER**

HE NO.: WETT002
SCALE: 1"=30'

SHEET:
C4

