

PROJECT DATA

APN 134-33-002H

Current Lot Size: 106,357 SF (2.44 Acres)

Owner of Record: Mekong Property LLC

Current Site Condition: Vacant Dirt Lot
No Buildings
No Earth Moving
No Construction

Current Zoning: GC

Proposed Use: Commercial/Retail

Proposed Bldg SF: 32,670 SF Enclosed (30.7%)
38,403 SF Under Roof (36.1%)

Proposed Bldg Height: 1 Story, 30' (30' Allowable)

Total Parking Required: 87 Spaces Required (1 per 375 SF)

Total Parking Provided: 106 Spaces (49 Front & 57 Rear)

Handicapped Parking: 4 Total (Including 1 Van)

Landscaping Coverage: 21,761 SF (20% Coverage)

ADOPTED CODES

2018 International Building Code
2018 International Energy Conservation Code
2018 International Fire Code
2018 International Mechanical Code
2018 International Plumbing Code
2017 National Electric Code

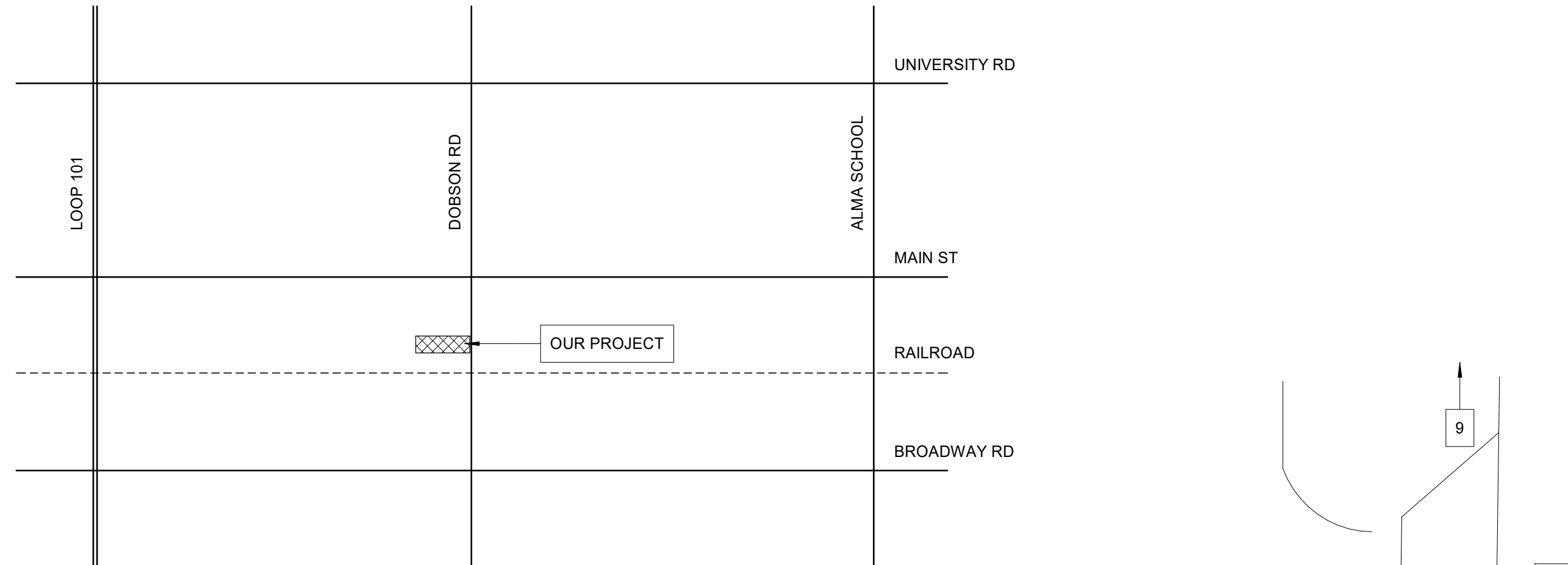
KEYNOTES

- 1,680 SF BUILDING ENTRY PLAZA (EXPOSED AGGREGATE)
- ADA PARKING SPACE
- ADA VAN PARKING SPACE
- FIRE TRUCK TURNING RADIUS
- TRASH VEHICLE TURNING RADIUS
- 40' TRUCK TURNING RADIUS
- ACCESSIBLE ROUTE TO MEKONG PLAZA
- EXISTING ACCESSIBLE ROUTE TO BUS STOP
- EXISTING BUS STOP
- LOADING ZONE, 10'X30'
- (3) THREE SINGLE BIN TRASH ENCLOSURES WITH REQUIRED 50' CLEARANCE & SAFETY POSTS
- 90 DEGREE PARKING, TYP.
- RISE SHARING PICK-UP/DROP-OFF
- BUILDING CODE SETBACK
- PROPOSED NEW SETBACK
- BAMBOO WITH CONTINUOUS ROOT SHIELD
- STATUE
- WATERFALL TO MASK STREET NOISE
- WATER FEATURE & RETENTION, FINAL DESIGN BY DESIGNER/CONTRACTOR
- OUTDOOR DINING DECK
- ACCESSIBLE PATH TO EXISTING SIDEWALK
- FIRE EXIT
- PLANTERS, TYP. (3'-6" X 5'-0") SEE LANDSCAPE PLAN. NO PLANTS WITHIN FIRST 24" FOR CAR OVERHANG
- n/ELEC. SERVICES, GAS CLOSET, IT CLOSET
- MINIMUM 7' ISLAND
- EXISTING DRIVEWAY
- EXISTING CROSS ACCESS NOT TO BE USED
- EXISTING CROSS ACCESS TO BE MODIFIED
- PROPOSED NEW CROSS ACCESS
- EXISTING 7' ELECTRIC EASEMENT
- EXISTING 8' TELEPHONE EASEMENT
- EXISTING 4' PUBLIC UTILITY EASEMENT
- EXISTING 17' SIDEWALK & LANDSCAPE EASEMENT
- EXISTING 10' SIDEWALK & SLOPE EASEMENT
- RIGHT OF WAY
- 5' SIDEWALK
- EXISTING RAILROAD CROSSING SIGN
- FIRE PIT
- ACCESSIBLE ROUTE WITHIN MEKONG PLAZA.
- COORDINATE WITH OWNER FOR FINISH AND STRIPING
- NEW SECURITY GATE & CMU WALL
- CONCEPTUAL MONUMENT SIGN
- ADA RAMP (EXPOSED AGGREGATE)
- TYPICAL 2' CAR OVERHANG
- EXISTING FIRE HYDRANT TO SERVE OUR PROJECT
- EXISTING CMU SITE WALL ON NEIGHBORING PROPERTY
- SITE VISIBILITY TRIANGLE
- AREA FOR RETENTION, SEE CIVIL
- EXISTING SIDEWALK TO REMAIN UNCHANGED
- APPROXIMATE LOCATION FOR FUTURE MECHANICAL EQUIPMENT SCREENED BY PARAPET
- 1,174 SF FOUNDATION BASE (EXPOSED AGGREGATE CONCRETE)



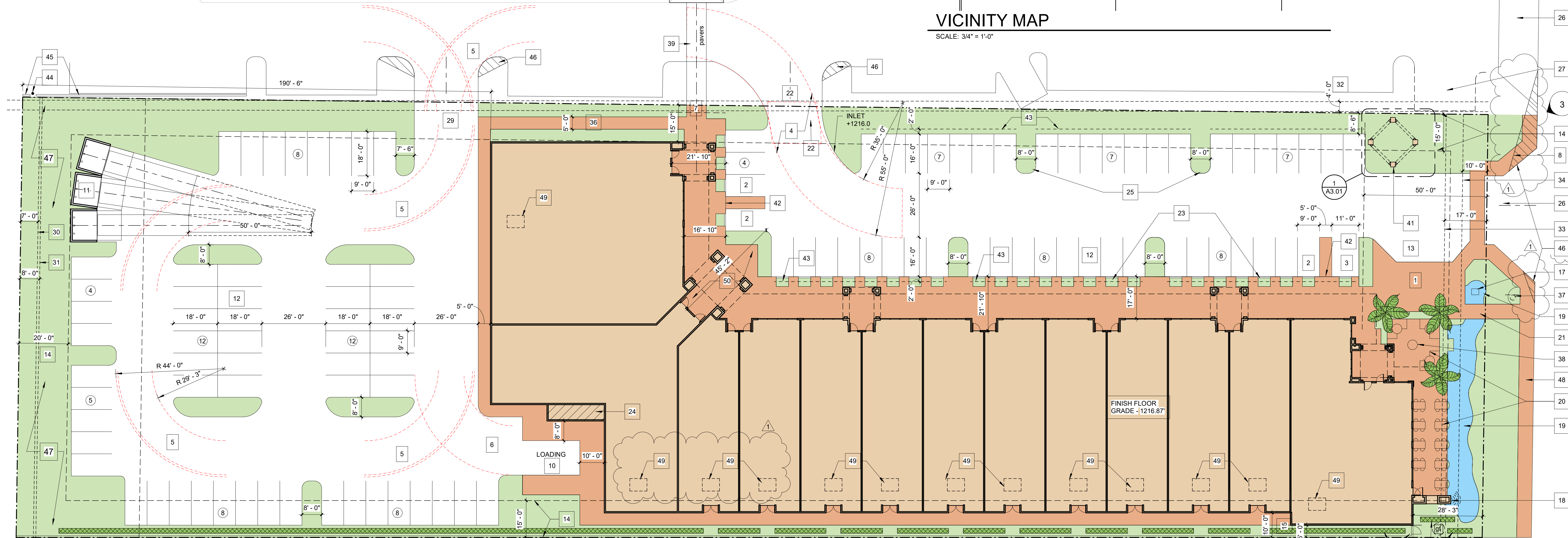
3 3D View - Entry

SCALE:



VICINITY MAP

SCALE: 3/4" = 1'-0"



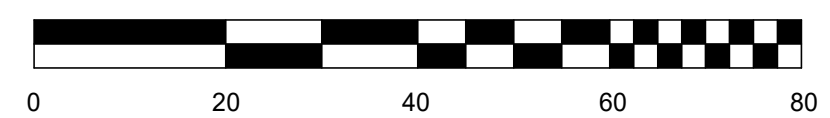
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SITE PLAN

SCALE: 1" = 20'-0"



GRAPHIC SCALE



3rd story

ARCHITECTURE
INTERIOR DESIGN
LAND PLANNING

16074 N. 78th St. Scottsdale AZ 85260
480.607.3337 connect@3rdstory.com

NOT FOR CONSTRUCTION

Revisions		
mark	description	date
1	CITY COMMENTS	11/24/20

Project Name:
MEKONG 88

88 S. DOBSON RD. MESA, AZ 85202

Date: 11/24/2020

Scale: As indicated

Dm: TS

Chk: RD

Sheet Name:

SITE PLAN

Sheet No.

A1.01