

## **Citizen Participation Report for: Morris Brothers Office Complex**

**Date:** December 30<sup>th</sup>, 2020

**Owner Contact:**

Kevin & Kemp Morris

5520 E. Baseline Road

Mesa, AZ 85206

Phone: 480-529-5097

Email: [arizonawildwest@gmail.com](mailto:arizonawildwest@gmail.com)

**Planning & Zoning Review Submittals:** Application submittals of materials and drawings for Planning & Zoning were uploaded through City of Mesa Dimes website on November 18<sup>th</sup>, 2020. City staff made comments on the submittal and we addressed all items. Re-Submittal Documents for Planning & Zoning were submitted on December 11<sup>th</sup>, 2020.

The Citizen Participation plan notices were sent out to all registered neighborhood associations within one mile of the project, all Homeowners Associations within one-half mile of the project, and all property owners within 1,000 feet from the subject property. All those listed above had received a letter describing the project, project schedule, site plan, and building elevations of the project as outlined in the Citizen Participation Plan. No property owners or homeowners' associations contacted us in regards to the project and as a result no commentary made.

The Planning and Zoning Hearing is scheduled for Wednesday January 13<sup>th</sup>, 2021. Notification letters to all property owners within 500 feet of the subject property and all HOA's within ½ mile of the property have been notified through mailing letters indicating time and place of the hearing, these notification letters were mailed out on December 18<sup>th</sup>, 2020.

End of Report Minutes

Dear Neighbor,

We have applied for City of Mesa Planning and Zoning Review Approval for the property located at 5520 E. Baseline Road, Mesa AZ. This request is for development of new single-story multi-tenant facility intended to serve for General Office and Medical Office suites. The case number assigned to this project is ZON20-00664.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-655-0633 or e-mail me at [vince@adaptivearchitectsinc.com](mailto:vince@adaptivearchitectsinc.com).

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on Wednesday January 13<sup>th</sup>, 2021 in the City Council Chambers. The meeting will begin at 4:00 p.m.

Because of the current public health emergency, the City Council Chambers is closed for Planning and Zoning Meetings. However, the live meeting may be watched on local cable **Mesa channel 11**, online at [Mesa11.com/live](http://Mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](http://www.youtube.com/user/cityofmesa11/live), or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.**

Public participation will be available electronically. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Kellie Rorex of their Planning Division staff. She can be reached at 480-644-6711 or (Kellie.Rorex@MesaAZ.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Vince Di Bella, AIA, CSI

Principal Architect  
Adaptive Architects Inc.  
Email: [vince@adaptivearchitectsinc.com](mailto:vince@adaptivearchitectsinc.com)  
Phone: 480-655-0633



LI ZONING

RM-4 PAD

RM-4 PAD

Site Plan

SCALE: 1" = 30'-0"



BASILINE ROAD

SITE PLAN KEYNOTES

(SOME KEYNOTES MAY NOT APPLY)

- 600 PROPERTY LINE, SEE CIVIL DRAWINGS
- 601 STREET CENTERLINE, SEE CIVIL DRAWINGS
- 602 SIGHT VISIBILITY TRIANGLE: BASED ON 6LD 50 MPH LEFT TURN STOP
- 603 BUILDING / LANDSCAPE SETBACK LINE
- 604 SITE / BUILDING LAYOUT POINT
- 605 ELECTRICAL TRANSFORMER LOCATION, SEE ELECTRICAL DRAWINGS
- 606 ELECTRICAL SERVICE ENTRANCE SECTION (SES) SEE ELECTRICAL DRAWINGS
- 607 FIRE HYDRANT LOCATION; SEE CIVIL DRAWINGS
- 608 FIRE DEPARTMENT CONNECTION LOCATION, SEE CIVIL AND FIRE PROTECTION DRAWINGS
- 609 FIRE DEPARTMENT KNOX BOX LOCATION PER CITY OF MESA REQUIREMENTS
- 610 FIRE RISER LOCATION, SEE CIVIL AND FIRE PROTECTION DRAWINGS
- 611 GAS METER LOCATION, VERIFY LOCATION AND COORDINATE WITH UTILITY COMPANY, SEE CIVIL AND PLUMBING DRAWINGS
- 612 DOMESTIC WATER METER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
- 614 IRRIGATION WATER METER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
- 615 BACKFLOW PREVENTER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
- 617 LANDSCAPE AND/OR RETENTION AREA, SEE CIVIL AND LANDSCAPE DRAWINGS
- 618 WATER FOUNTAIN FEATURE, SEE LANDSCAPE DRAWINGS
- 619 LANDSCAPE ISLAND, SEE CIVIL AND LANDSCAPE DRAWINGS
- 620 CATCH BASIN AND METAL GRATE PER CIVIL, SEE CIVIL DRAWINGS
- 621 UNDERGROUND DRAIN PIPE PER CIVIL, SEE CIVIL DRAWINGS
- 628 4" CONCRETE WALKWAY; BROOM FINISH, SCORE AS SHOWN: SEE SP-4- & CIVIL DWGS
- 629 1/2" EXPANSION JOINT (E.J.), SCORE JOINTS OTHERWISE, SEE DETAIL -/-
- 632 FUTURE 8' X 8' BACKUP GENERATOR LOCATION
- 634 DECORATIVE CONCRETE PAVERS
- 636 NEW ASPHALTIC CONCRETE PAVEMENT OVER PREPARED SUB-GRADE PER CIVIL DRAWINGS
- 640 CONCRETE VALLEY GUTTER, SEE CIVIL DRAWINGS
- 641 C.I.P. CONCRETE CURB AND GUTTER WHERE SHOWN, SEE CIVIL DRAWINGS
- 642 6" WIDE C.I.P. CONCRETE CURB FLUSH WITH TOP OF PAVERS AND ASPHALT, CREATE SLOPE FOR DEPRESSION; SEE DETAILS -/-
- 644 PAINTED FIRE LANE C.I.P. CONCRETE CURB, SEE DETL. -/- AND FPD 503.3
- 647 NEW DRIVEWAY APPROACH & SIDEWALK PER COM M-42, SEE CIVIL DWGS.
- 648 NEW PARKING STRIPING, 4" WIDE WHITE PAINTED STRIPES, TYP.
- 652 FIRE TURNING RADIUS PER CITY OF MESA REQUIREMENTS WITH 55'-0" OUTSIDE TURNING RADIUS AND 35'-0" INSIDE TURNING RADIUS, TYP.
- 654 ADA ACCESSIBLE PARKING SPACES; SEE ENLARGED PLANS
- 655 ADA ACCESSIBLE CROSSWALK
- 656 ADA SYMBOL PAVEMENT MARKING
- 658 ADA ACCESSIBILITY SIGN AND POLE, SEE DETAILS #2 & 3/SD2
- 659 2'-0" X 2'-0" PRE-CAST CONCRETE BOLLARD, SEE DETAIL #12/SD1
- 660 BICYCLE RACK LOCATION, SEE DETAIL #11/SD1; 5 SPACES PER RACK
- 676 NEW PARKING LOW SCREEN WALL , SEE DETAIL #9/SD1
- 677 EXISTING MASONRY SCREEN WALL
- 681 DOUBLE-WIDE TRASH ENCLOSURE
- 682 CARPORT CANOPY SHADE STRUCTURE
- 683 'URN' STATUE; PROVIDED BY CLIENT
- 686 SITE LIGHTING POLE AND BASE, SEE ELECTRICAL AND STRUCTURAL DRAWINGS
- 689 LINE OF ROOF OVERHANG
- 694 NEW MONUMENT SIGNAGE; SEE DETAIL #8/SD1
- 695 50'-0" CLEARANCE ALLOWING OPERATOR ROOM FOR SAFE MANEUVERABILITY.



Baseline Road

S. Sunnyvale Ave.

Aerial

SCALE: NTS



Vicinity Map

SCALE: NTS



Site

PROJECT DATA

PROJECT ADDRESS:  
MORRIS BROTHERS OFFICE COMPLEX  
5520 E. BASELINE ROAD  
MESA, AZ 85206

PROJECT DESCRIPTION:  
PROVIDING FOR A NEW GROUND-UP CONSTRUCTION  
BUILDING THAT WILL SERVE AS A MULTI-TENANT USE OR  
LARGE TENANT USE SPACE FOR FUTURE MEDICAL  
OFFICE SUITES.

CURRENT PARCEL NUMBER:  
141-53-052H

EXISTING ZONING:  
OC (OFFICE COMMERCIAL)

BUILDING SETBACKS:  
6'-LANE ARTERIAL: 15 FEET  
INTERIOR ADJ. TO RM DISTRICT: 20 FEET  
INTERIOR ADJ. TO NON RESIDENTIAL: 15 FEET

SITE AREA:  
98,694 S.F. = 2.26 ACRES

LOT COVERAGE:  
16.5 % PROVIDED

BUILDING HEIGHT ALLOWED: 30'-0" AFF MAXIMUM

BUILDING HEIGHT PROVIDED: 22'-0" AFF (TYPICAL AT ALL MAIN PARAPET LOCATIONS); ONLY EXCEPTION TO THE HEIGHT IS AT THE TOWER STRUCTURE LOCATIONS THAT EXCEED THE 30'-0" HEIGHT LIMIT BY APPROXIMATELY 2'-0". FOR A TOTAL HEIGHT OF ABOUT 32'-0" AFF. WE FEEL THIS HEIGHT EXCEPTION IS APPROPRIATE SINCE IT ONLY OCCURS AT KEY ENTRY POINTS AND WE CONSIDER THEM TO BE ARCHITECTURAL EMBELLISHMENTS UNIQUE TO THE PROJECT.

TYPE OF CONSTRUCTION:  
VB - WITH FIRE SPRINKLER

MULTI-TENANT BUILDING AREAS:  
GENERAL OFFICE AND MEDICAL OFFICE USES:  
BUILDING 'A' GROSS AREA = 8,167 SF  
BUILDING 'B' GROSS AREA = 8,167 SF  
TOTAL BUILDING GROSS AREA = 16,334 SF

OCCUPANCY CLASSIFICATION: BUSINESS (B)  
IBC 2018 CODE

ESTIMATED OCCUPANT LOADS:

1. BASED ON BUSINESS:  
16,334 SF / 150 SF = 109 OCCUPANTS

PARKING CALCULATIONS:

PARKING REQUIRED:  
HEALTHCARE MEDICAL OFFICES: 1 SPACE / 200 SF  
16,334 SF / 200 = 82 SPACES REQUIRED  
87 SPACES PROVIDED

ADA HANDICAP STALLS: 2% OF REQUIRED PARKING:  
82 SPACES X 2% = 1.6 SPACES REQUIRED  
4 ADA SPACES PROVIDED, 2 STANDARD 9'-0"X16'-0" W/2'-0" OVERHANG AND 2 VAN ACCESSIBLE STALL - 11'-0" X 16'-0" W/2'-0" OVERHANG

ALL TYPICAL STANDARD STALLS ARE DESIGNED AS 9'-0"(W) X 16'-0"(L) TYP. WITH A 2'-0" VEHICLE OVERHANG AT CURB LOCATIONS.

BICYCLE SPACES

2 RACKS X 5 SPACES EA = 10 SPACES  
1 BIKE SPACE FOR EACH 10 PARKING SPACES  
9 REQUIRED: 10 PROVIDED

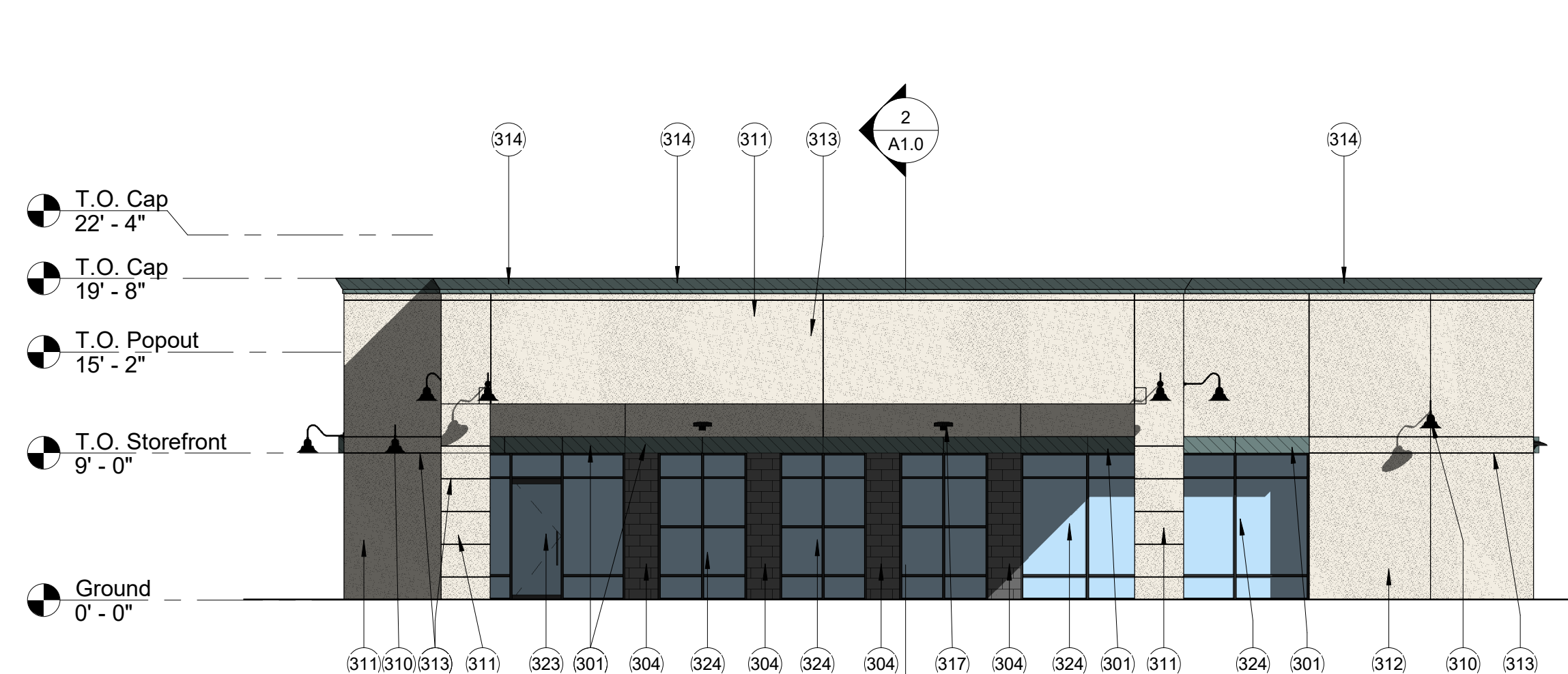
Morris Brothers Offices  
5520 East Baseline Rd  
Mesa, AZ 85206

SITE PLAN

Project Number: 2009	Revision Date:	Sheet Number: SP1
Date: 11/18/2020		



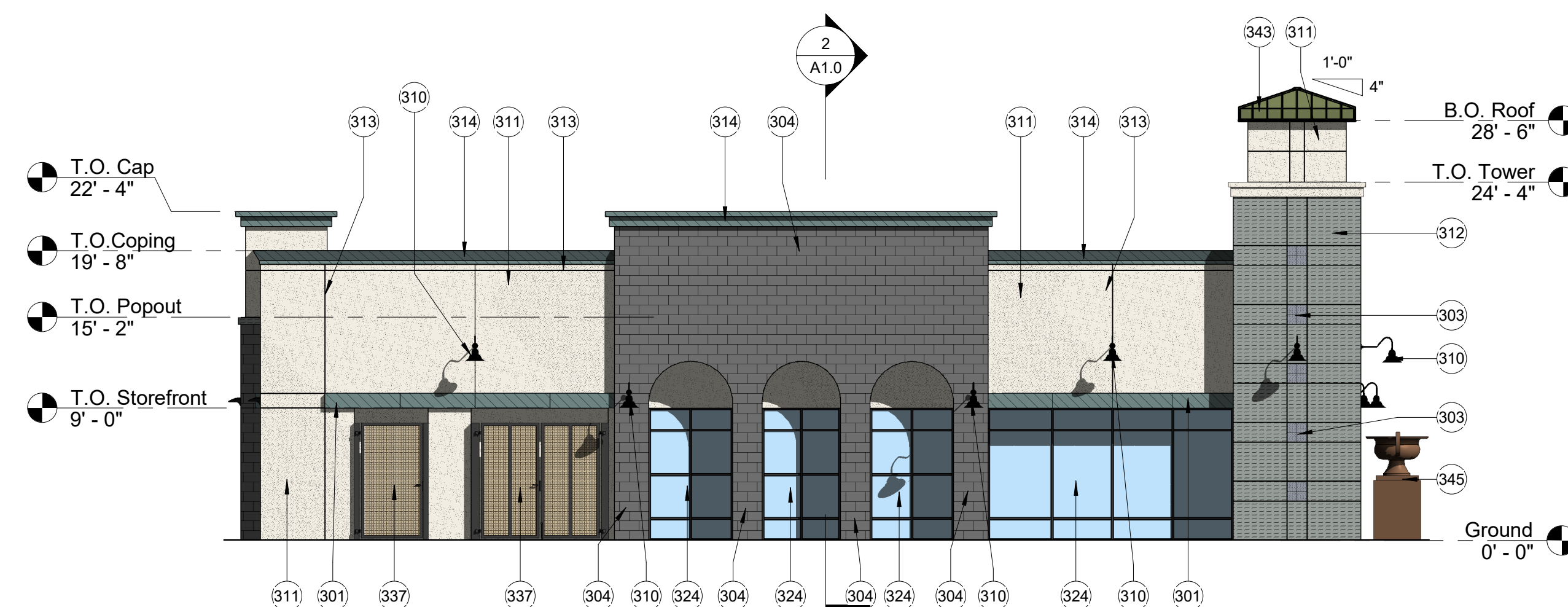
EXTERIOR ELEVATION KEYNOTES	
301	EIFS, 4" PROJECTION FROM FACE OF WALL, DUNN EDWARDS DEC788; COLOR: "DARK LAGOON"
303	8" X 8" X 8" TRENWYTH MESASTONE - COLOR: "MISSION WHITE"
304	8" X 8" X 16" SPLIT FACE MASONRY - COLOR: "BLACK CANYON"
310	LIGHT FIXTURE, ANP LIGHTING - RLM SERIES. (MBVF12)
311	EIFS FINISH, DUNN EDWARDS DEC785; COLOR: "WHISPER GRAY"
312	EIFS FINISH, DUNN EDWARDS DEC789; COLOR: "LIGHT GRAY"
313	EIFS CONTROL JOINT
314	EIFS FINISH, DUNN EDWARDS DEC788; COLOR: "DARK LAGOON"
317	LIGHT FIXTURE, LITHONIA LIGHTING - D SERIES WALL PACK, (DSXW1)
323	BLACK ALUMINUM-FRAMED ENTRANCE AND STOREFRONT
324	BLACK ALUMINUM - FRAMED STOREFRONT SYSTEM
327	METAL GATE; MATCH STOREFRONT FINISH
343	STANDING SEAM ROOF; ATAS INTERNATIONAL; COLOR: "ANTIQUE PATINA"
345	CAST IRON URN FIXTURE PROVIDED BY OWNER



1 Building A - North Elevation  
1/8" = 1'-0"

**Material Percentage (1,429 Total S.F.) :**

EIFS - (Whisper Gray - DEC785) - **846 S.F. (59%)**  
EIFS - (Dark Lagoon - DEC788) - **118 S.F. (8%)**  
EIFS - (Light Gray - DEC789) - **0 S.F. (0%)**  
8" x 8" x 16" Split Face CMU - (Mesastone - Black Canyon) - **72 S.F. (5%)**  
Glazing System - **393 S.F. (28%)**  
8" x 8" x 8" CMU - (Mesastone - Mission White) - **0 S.F. (0%)**



2 Building A - South Elevation  
1/8" = 1'-0"

**Material Percentage (1,613 Total S.F.) :**

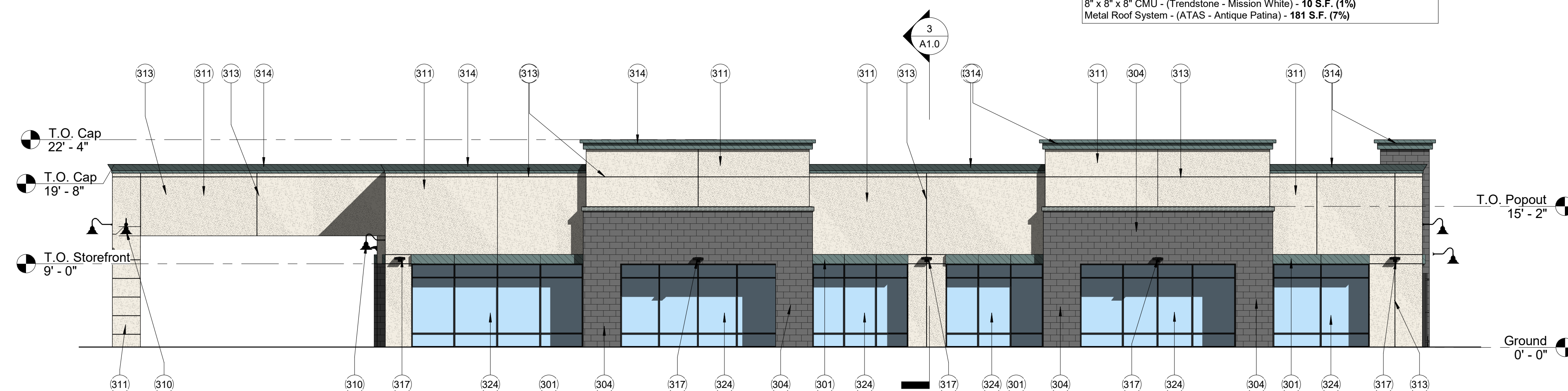
EIFS - (Whisper Gray - DEC785) - **678 S.F. (42%)**  
EIFS - (Dark Lagoon - DEC788) - **85 S.F. (5%)**  
EIFS - (Light Gray - DEC789) - **191 S.F. (12%)**  
8" x 8" x 16" Split Face CMU - (Mesatone - Black Canyon) - **347 S.F. (21%)**  
Glazing System - **289 S.F. (18%)**  
8" x 8" x 8" CMU - (Trendstone - Mission White) - **10 S.F. (1%)**  
Metal Roof System - (ATAS - Antique Patina) - **13 S.F. (1%)**



3 Building A - East Elevation  
1/8" = 1'-0"

**Material Percentage (2,726 Total S.F.) :**

EIFS - (Whisper Gray - DEC785) - **850 S.F. (31%)**  
EIFS - (Dark Lagoon - DEC788) - **144 S.F. (5%)**  
EIFS - (Light Gray - DEC789) - **191 S.F. (7%)**  
8" x 8" x 16" Split Face CMU - (Mesastone - Black Canyon) - **694 S.F. (25%)**  
Glazing System - **656 S.F. (24%)**  
8" x 8" x 8" CMU - (Trendstone - Mission White) - **10 S.F. (1%)**  
Metal Roof System - (ATAS - Antique Patina) - **181 S.F. (7%)**



4 Building A - West Elevation  
1/8" = 1'-0"

**Material Percentage (2,576 Total S.F.) :**

EIFS - (Whisper Gray - DEC785) - **1,208 S.F. (47%)**  
EIFS - (Dark Lagoon - DEC788) - **179 S.F. (7%)**  
EIFS - (Light Gray - DEC789) - **24 S.F. (1%)**  
8" x 8" x 16" Split Face CMU - (Mesastone - Black Canyon) - **424 S.F. (16%)**  
Glazing System - **741 S.F. (29%)**  
8" x 8" x 8" CMU - (Trendstone - Mission White) - **0 S.F. (0%)**  
Metal Roof System - (ATAS - Antique Patina) - **0 S.F. (0%)**

### EXTERIOR ELEVATION LEGEND

	<p>EXTERIOR INSULATION FINISH SYSTEM (MAIN BODY)  MANUF: DUNN EDWARDS  COLOR: WHISPER GRAY (DEC785)</p>
	<p>EXTERIOR INSULATION FINISH SYSTEM (ACCENT 1)  MANUF: DUNN EDWARDS  COLOR: LIGHT GRAY (DEC789)</p>
	<p>EXTERIOR INSULATION FINISH SYSTEM (ACCENT 2)  MANUF: DUNN EDWARDS  COLOR: DARK LAGOON (DEC798)</p>
	<p>8" X 8" X 16" CONCRETE MASONRY  MANUF: TRENWYTH MESASTONE  COLOR: BLACK GRAY</p>
	<p>8" X 8" X 8" CONCRETE MASONRY  MANUF: TRENWYTH TRENDSTONE  COLOR: MISSION WHITE</p>



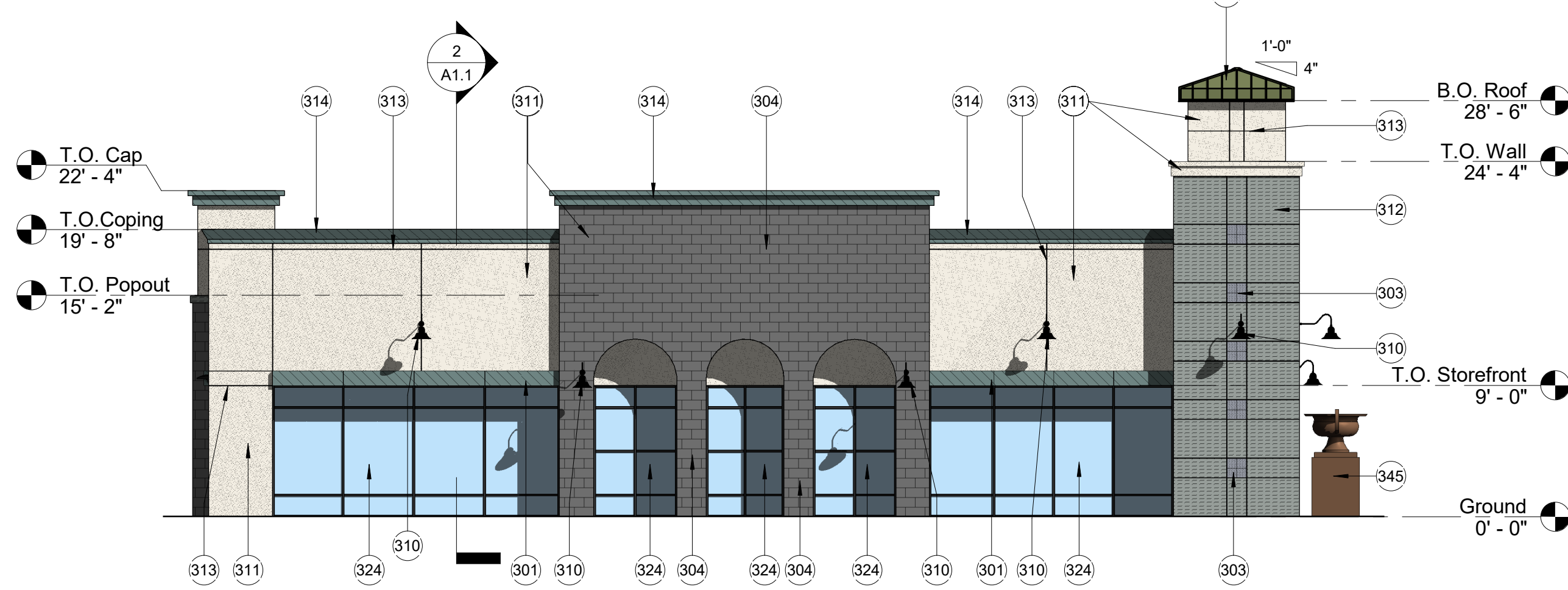




1 Building B - North Elevation  
1/8" = 1'-0"

**Material Percentage (1,492 Total S.F.):**

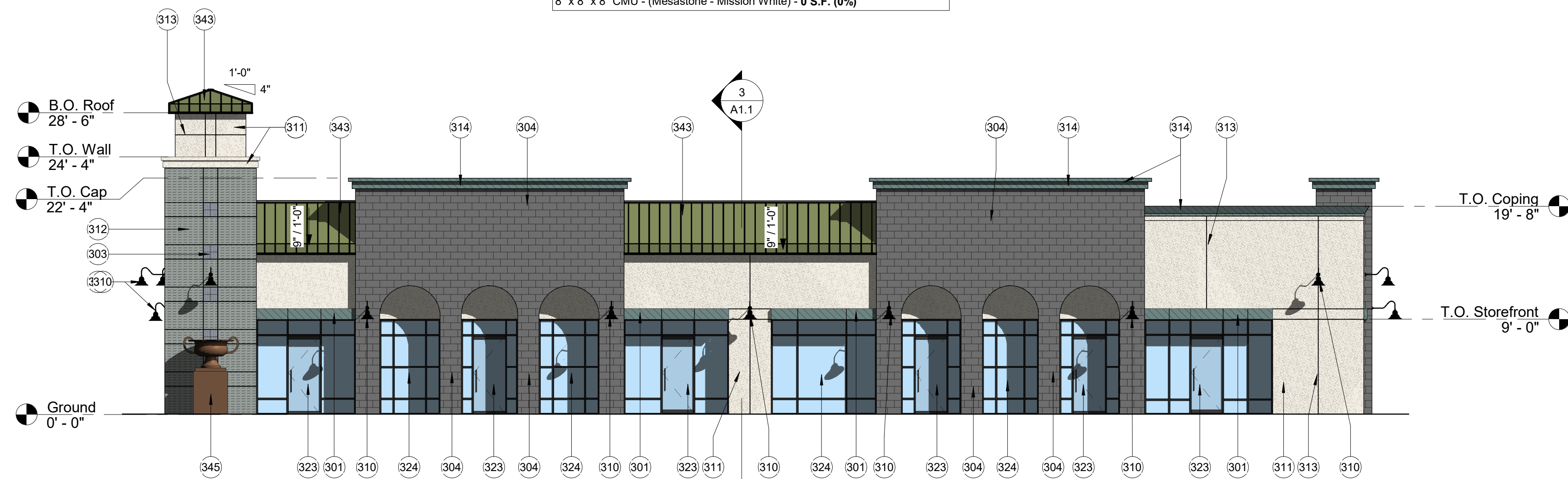
EIFS - (Whisper Gray - DEC785) - 757 S.F. (51%)  
EIFS - (Dark Lagoon - DEC788) - 105 S.F. (7%)  
EIFS - (Light Gray - DEC789) - 0 S.F. (0%)  
8" x 8" x 16" Split Face CMU - (Mesastone - Black Canyon) - 347 S.F. (23%)  
Glazing System - 283 S.F. (19%)  
8" x 8" x 8" CMU - (Mesastone - Mission White) - 0 S.F. (0%)



2 Building B - South Elevation  
1/8" = 1'-0"

**Material Percentage (1,613 Total S.F.):**

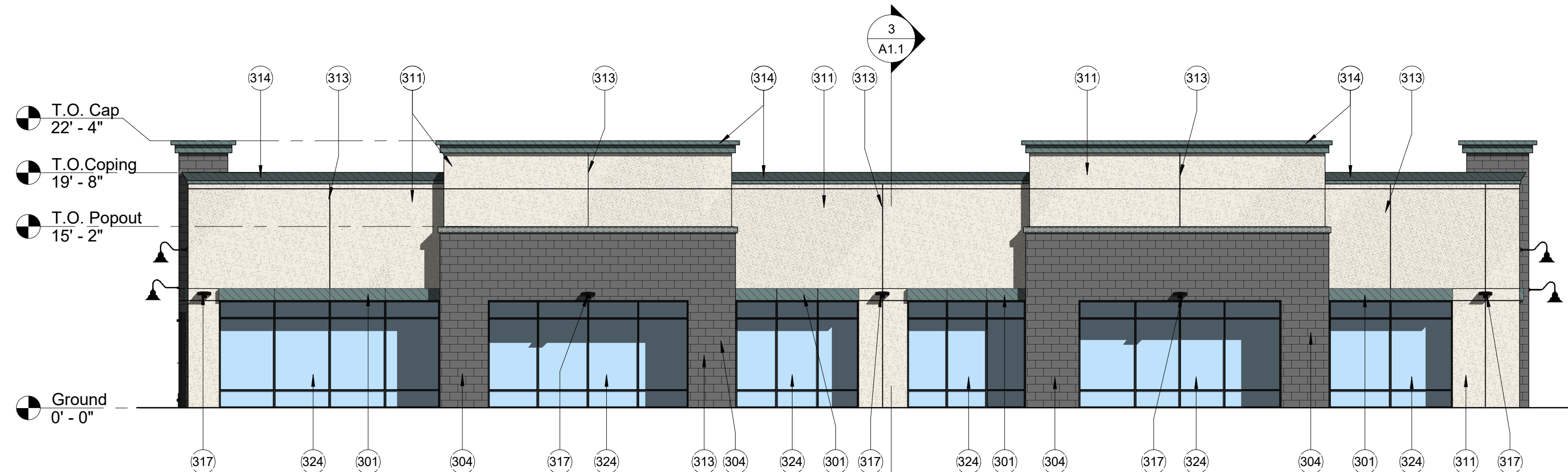
EIFS - (Whisper Gray - DEC785) - 484 S.F. (30%)  
EIFS - (Dark Lagoon - DEC788) - 105 S.F. (6%)  
EIFS - (Light Gray - DEC789) - 191 S.F. (12%)  
8" x 8" x 16" Split Face CMU - (Mesastone - Black Canyon) - 347 S.F. (21%)  
Glazing System - 463 S.F. (29%)  
8" x 8" x 8" CMU - (Trendstone - Mission White) - 10 S.F. (1%)  
Metal Roof System - (ATAS - Antique Patina) - 13 S.F. (1%)



3 Building B - East Elevation  
1/8" = 1'-0"

**Material Percentage (2,464 Total S.F.):**

EIFS - (Whisper Gray - DEC785) - 690 S.F. (28%)  
EIFS - (Dark Lagoon - DEC788) - 42 S.F. (2%)  
EIFS - (Light Gray - DEC789) - 191 S.F. (8%)  
8" x 8" x 16" Split Face CMU - (Mesastone - Black Canyon) - 694 S.F. (28%)  
Glazing System - 656 S.F. (27%)  
8" x 8" x 8" CMU - (Trendstone - Mission White) - 10 S.F. (1%)  
Metal Roof System - (ATAS - Antique Patina) - 181 S.F. (7%)



4 Building B - West Elevation  
1/8" = 1'-0"

**Material Percentage (2,316 Total S.F.):**

EIFS - (Whisper Gray - DEC785) - 976 S.F. (42%)  
EIFS - (Dark Lagoon - DEC788) - 151 S.F. (7%)  
EIFS - (Light Gray - DEC789) - 24 S.F. (1%)  
8" x 8" x 16" Split Face CMU - (Mesastone - Black Canyon) - 424 S.F. (18%)  
Glazing System - 741 S.F. (32%)  
8" x 8" x 8" CMU - (Trendstone - Mission White) - 0 S.F. (0%)  
Metal Roof System - (ATAS - Antique Patina) - 0 S.F. (0%)

**EXTERIOR ELEVATION KEYNOTES**

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**adaptive**  
ARCHITECTS  
1630 S. Stapley Drive  
Suite 219  
Mesa, AZ 85204  
480.655.0633  
www.adaptivearchitectsinc.com

Phase: Design Review

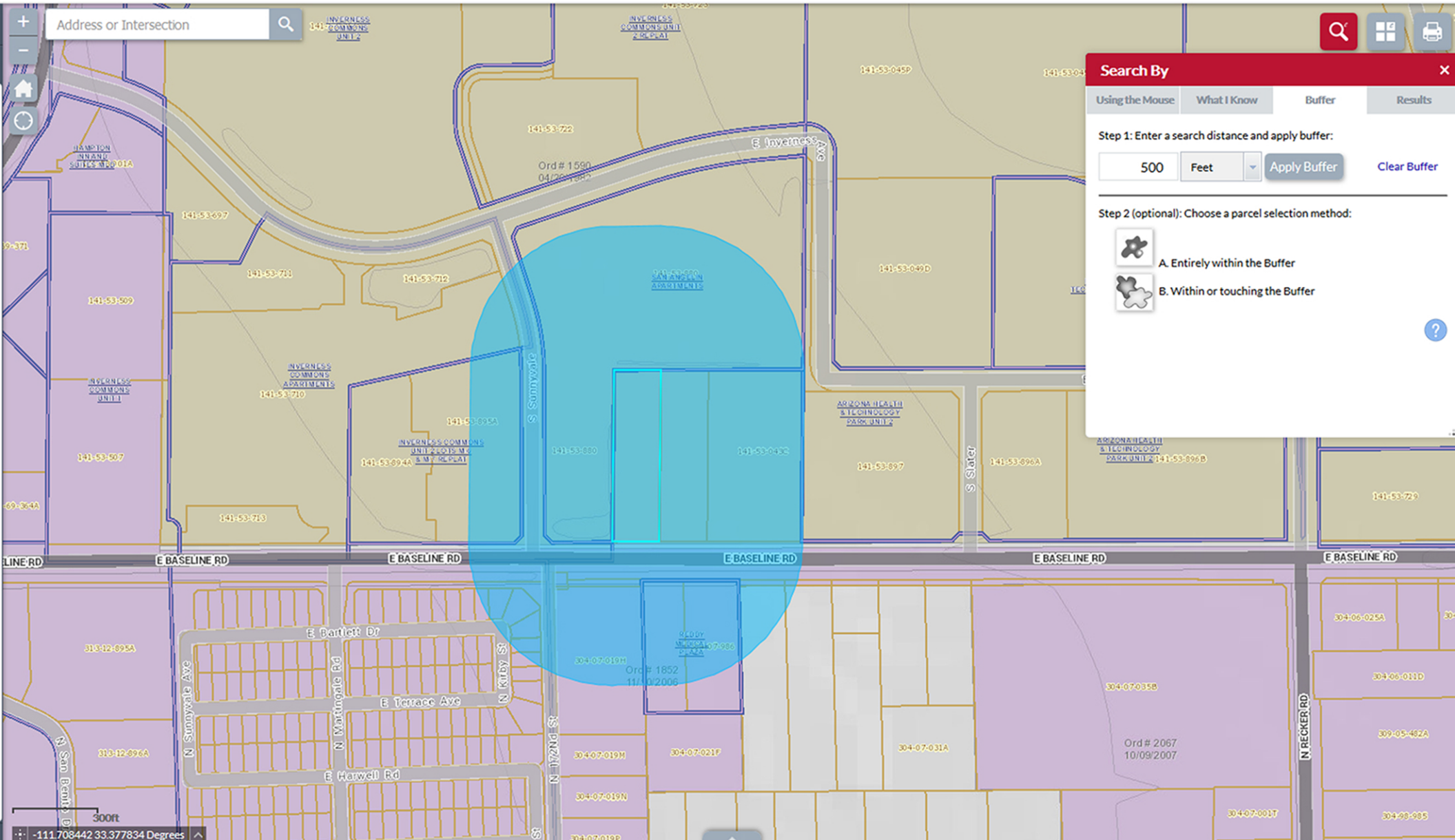
Morris Brothers Offices  
5520 East Baseline Rd.  
Mesa, AZ 85206

Building B - Exterior Elevations

Project Number: <b>2009</b>	Revisions: <table><tr><th>Number</th><th>Description</th><th>Date</th></tr><tr><td> </td><td> </td><td> </td></tr></table>	Number	Description	Date				Sheet Number: <b>A3.1</b>
Number	Description	Date						
Date: 11/18/2020								



Maricopa County Assessor's GIS Map  
500 ft. Radius - Property Owners Notification Map





MARIMO CAPITAL LLC  
5524 E BASELINE RD  
MESA, AZ 85206

MORRIS KELLY/KEVIN V/KEMP  
R/JUDITH ANN  
3735 E MALLORY DR  
MESA, AZ 85251

COLONIAL REALTY LIMITED  
PARTNERSHIP  
5332 E BASELINE RD  
MESA, AZ 85206

SAN ANGELIN APARTMENTS LP  
3777 E BROADWAY BLVD  
TUCSON, AZ 85716

FFIV AZ MESA LLC  
5416 E BASELINE RD  
MESA, AZ 85206

GMR MESA LLC  
5652 E BASELINE RD  
MESA, AZ 85206

BASELINE BIBLE ASSEMBLY OF GOD  
5525 E BASELINE RD  
MESA, AZ 85206

MUHAMMAD AND AMATAL SALIM  
FAMILY TRUST  
373 SOUTH BALBOA DR  
GILBERT, AZ 85296

ARUMALLA PROPERTIES LLC  
9681 N 56TH ST  
PARADISE VALLEY, AZ 85253

RUEL L AND MARIA FE A BALTAZAR  
TRUST  
1547 N KIRBY ST  
GILBERT, AZ 85234

RYAN CASEY L/EMILY N  
1553 N KIRBY ST  
GILBERT, AZ 85234

KWONG SAM/MANDY  
642 W RANCH RD  
GILBERT, AZ 85233

BARGREN CHRISTOPHER/ALYSSA  
1567 N KIRBY ST  
GILBERT, AZ 85234

J & N BOESSLING TRUST  
3574 E BARTLETT DR  
GILBERT, AZ 85234

REGINA MANAGEMENT LLC  
3517 E MENLO CIR  
MESA, AZ 85213

CHEN YUNYING/XUE LANZHEN  
3556 E BARTLETT DR  
GILBERT, AZ 85234

CAMERON RANCH COMMUNITY  
ASSOCIATION  
8765 W KELTON LN  
PEORIA, AZ 85382



Eric Jorgensen  
Superstition Springs Association  
7345 E Milargo Ave  
Mesa, AZ 85209

Patrick Jennings  
San Michelle Homeowners Assoc  
15010 N 78th Way, Ste 206  
Scottsdale, AZ 85260

Jennifer Campbell  
Superstition Springs Association  
6555 E Southern Ave  
Mesa, AZ 85209

Monica Michelizzi  
Stonegates Estates Homeowners Assoc  
1839 S Alma School Rd, Ste 150  
Mesa, AZ 85210

Joseph Freeman  
Hampton Place Homeowners Assoc  
4645 E Cotton Gin Loop  
Phoenix, AZ 85040



CITY OF MESA  
PUBLIC NOTICE  
**ZONING HEARING**

PLANNING & ZONING BOARD  
57 EAST FIRST STREET  
MESA, ARIZONA

TIME: 4:00 PM DATE: JANUARY 13, 2021

CASE: ZON20-00664

REQUEST: SITE PLAN REVIEW.  
THIS REQUEST WILL ALLOW FOR THE  
DEVELOPMENT OF MEDICAL OFFICES.

APPLICANT: ADAPTIVE ARCHITECTS INC.

PHONE: (480) 655-0633  
Planning Division 480-644-2385

Posting date: 12/24/2020

12/24/20 08:10:23



City of Mesa Planning Division

## AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by \_\_\_\_\_, 2020

Date: December 24th, 2020

I, Maria Hitt, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to ZON20-00664 (case number), on the 24th day of December, 2020. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature: Maria Hitt

SUBSCRIBED AND SWORN before me this 24th day of December, 2020

Marybeth Conrad  
Notary Public

