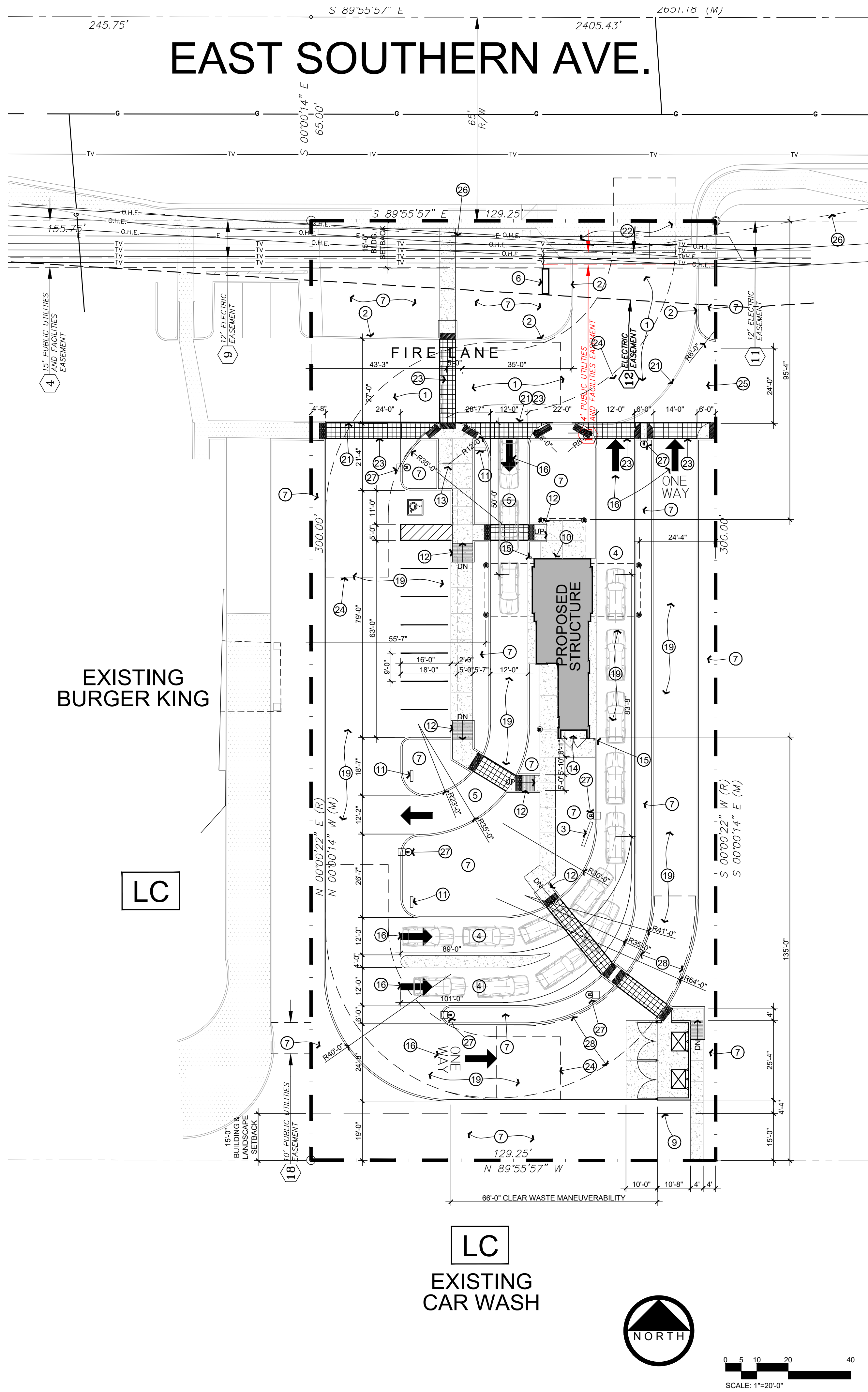




PROJECT DATA	
SCOPE OF WORK:	NEW DRIVE-THRU RESTAURANT
SITE INFORMATION	
SOUTHEAST CORNER OF EAST SOUTHERN & CRIMSON ROAD	
PARCEL#	220-81-743B
ZONING:	LC
LOT CONFIGURATION:	REGULAR SHAPED PROPERTY
LEGAL DESCRIPTION:	
AS RECORDED IN, BOOK --- OF MAPS, PAGE --, M.C.R. EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.	
SITE AREA:	38,775 SQ. FT. OR 0.89 ACRES
BUILDING FOOTPRINT:	786 SF
NET SITE AREA:	37,989 SQ.FT.
LOT COVERAGE OF NET SITE AREA: 786 SF / 37,989 SF = 2.0%	

BUILDING SETBACKS	
REQUIRED	PROPOSED
FRONT (NORTH) - 25'	99'-1"
SIDE (EAST) - 0'	22'-4"
SIDE (WEST) - 0'	73'-1"
REAR (SOUTH) - 0'	130'-10"

BUILDING INFORMATION	
SIZE:	786 SQ. FT. BUILDING
CONSTRUCTION TYPE:	TYPE V-B
ALLOWABLE AREA CALCULATION PER IBC 506 = 36,000 S.F.	
OCCUPANCY LOADS	
OCCUPANCY - B, LESS THAN 50 (B) RESTAURANT	
BUSINESS AREA:	454 S.F. NET / 100 = 4.54 OCCUPANTS
WALK UP:	78 S.F. NET / 7 = 11.14 OCCUPANTS
TOTAL OCCUPANTS	= 16 OCCUPANTS

PLUMBING FIXTURE COUNT (PER SECTION 2902.2)	
BUSINESS AREA:	= 5 OCCUPANTS
WALK UP (QUICK TRANS. LESS THAN 300 S.F.):(*)	= 0 OCCUPANTS
	= 5 OCCUPANTS

(*) PER EXCEPTION #2, SECTION 2902.3
REQUIRED FIXTURES PER TABLE 2902.1 = 1 W/C & 1 LAV & 1 SERVICE SINK
(WATER TO BE PROVIDED IN CONCERT W/ RESTAURANT USE)

BUILDING HEIGHT:	20'-4" FEET (INCLUDING PARAPETS)
GROSS BUILDING AREA:	786 SF
GROSS FLOOR AREA:	578 SF

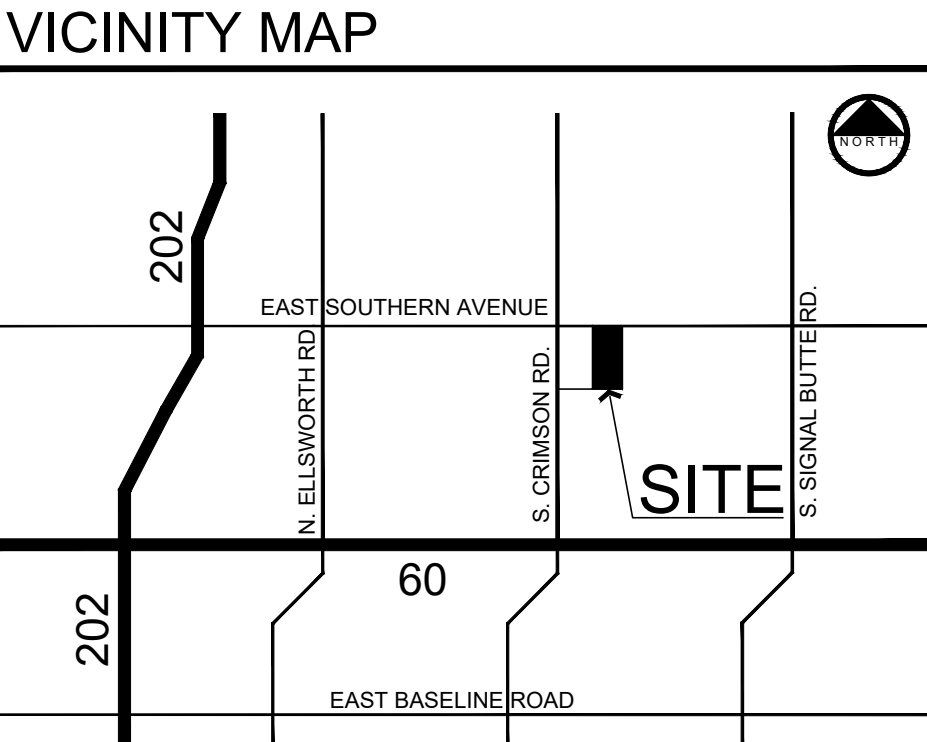
PARKING REQUIREMENTS	
BICYCLE PARKING:	(1 PER 10 VEHICLE PARKING SPACES) 2 BICYCLE SPACES PROVIDED

VEHICLE PARKING:	(1 SPACE PER 100 SF)
REQUIRED - 786 SF / 100 SF = 7.9	
NO INSIDE OR OUTSIDE DINING AREAS PROVIDED	
PROVIDED- 8 SPACES	
1 OF THE TOTAL PROVIDED ARE ACCESSIBLE	

LANDSCAPE CALCULATIONS	
LANDSCAPE AREA PROVIDED	-- SF, -- ACRES
LANDSCAPE PERCENTAGE	--%

BUILDING CODE	
2018 IBC	
2018 IMC	
2018 IPC	
2018 IECC	
2018 IFC	
2017 NEC	
2018 IFGC	
2010 ADA STANDARDS	

- ### KEYNOTES
- EXISTING PAVING TO REMAIN
 - EXISTING CURB TO REMAIN
 - ORDER MENU BOARD (UNDER SEPARATE PERMIT)
 - DRIVE-THRU LANE
 - EXPRESS ON LINE PICK UP DRIVE-THRU LANE
 - MONUMENT SIGN (UNDER SEPARATE PERMIT)
 - LANDSCAPE AREA
 - 38" HIGH CMU SCREEN WALL TO MATCH DEVELOPMENT (SEE DETAIL 10/A102)
 - TRASH ENCLOSURE PER MESA STANDARDS (SEE DETAIL 1/A102)
 - WALK-UP ORDERING AND PICKUP
 - DIRECTIONAL SIGNAGE (UNDER SEPARATE PERMIT)
 - ADA RAMP
 - BICYCLE PARKING (SEE DETAIL 6/A102)
 - SES LOCATION
 - BOLLARD (SEE DETAIL 11/A102)
 - LANE ARROW (SEE DETAIL 12/A102)
 - EXISTING PAVING TO REMAIN
 - NEW 6" CURB
 - NEW ASPHALT PAVING
 - LIGHT POLE (SEE ELECTRICAL)
 - REMOVE EXISTING CURB
 - EXISTING CONCRETE APRON TO REMAIN
 - 12"X12" STAMPED CONCRETE PEDESTRIAN CROSS WALK.
 - MINIMUM EMERGENCY TURNING RADIUS ACCESS
 - PAVED ACCESS TO FUTURE DEVELOPMENT
 - SITE VISIBILITY TRIANGLE
 - LIGHT FIXTURE (SEE ELECTRICAL)
 - TURNING RADIUS OF 41/64'

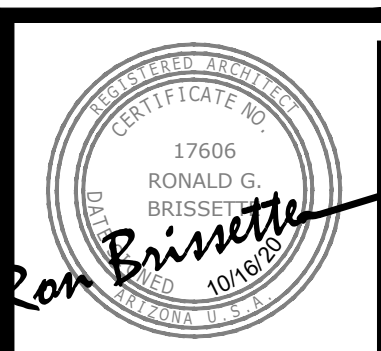


BRISSETTE ARCHITECTS
10229 N. SCOTTSDALE RD, STE. F
SCOTTSDALE, ARIZONA 85253
OFFICE@BRISSETTEARCHITECTS.COM
T: (480) 596-3882
WWW.BRISSETTEARCHITECTS.COM

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SOUTH CRIMSON ROAD AND EAST SOUTHERN AVENUE MESA, AZ 85208

SAAD AND GO



DATE: 10/16/20
DRAWN: JLK
REVISIONS

ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"

A-101