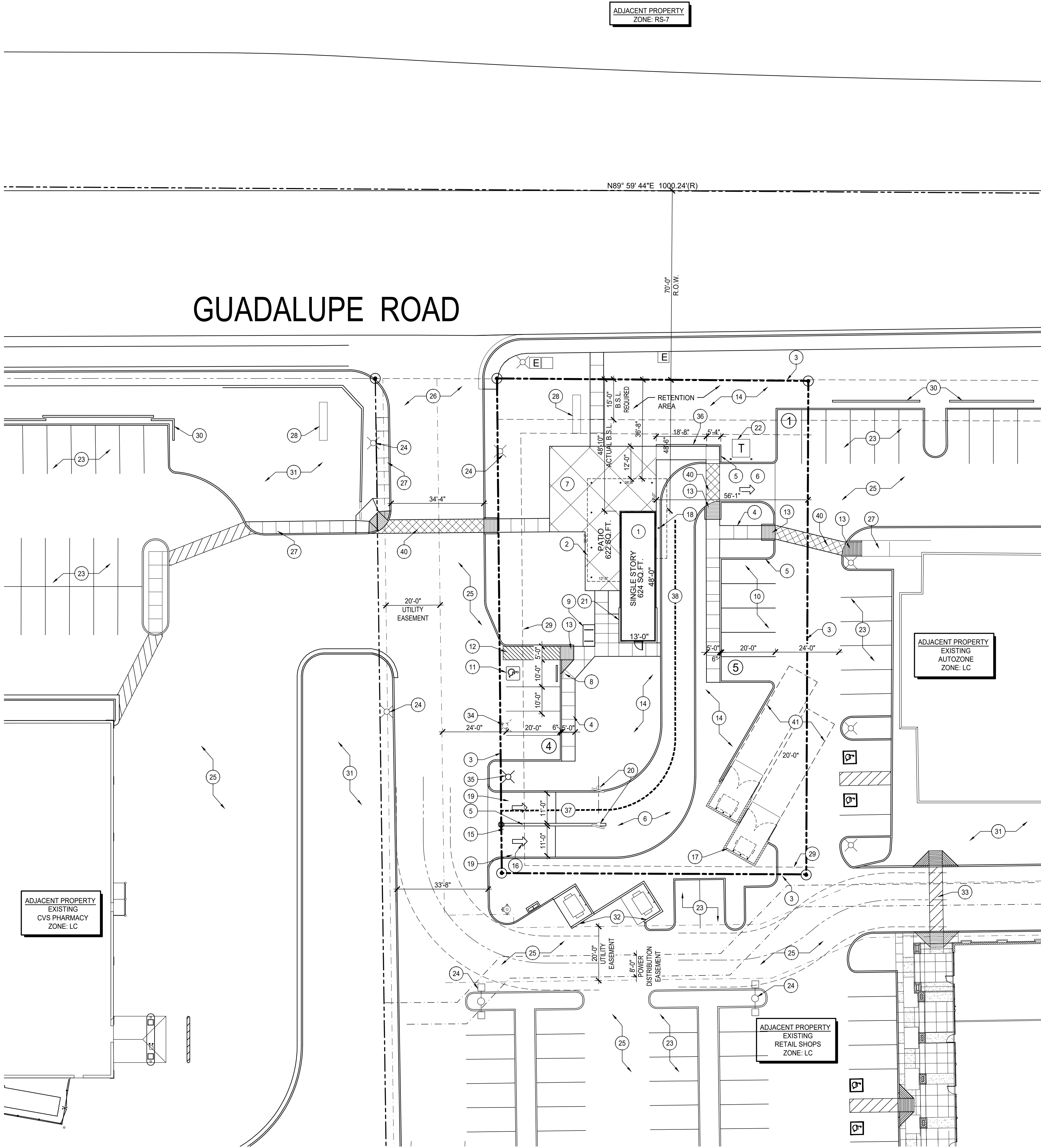




1 ENLARGED SITE PLAN

PROJECT SCOPE / DATA:

BUILDING ADDRESS:	SE CORNER OF GUADALUPE AND SOSSAMAN, MESA, AZ.
LOT - PARCEL NUMBER:	304-04-816
CURRENT ZONING:	LC
LOT AREA:	0.478 ACRES (20,833 S.F.)
MAX. BUILDING HEIGHT:	CURRENT LC ZONING - 30' MAX.
BUILDING HEIGHT:	18'-4" T.O. DECORATIVE ELEMENT
OCCUPANCY GROUP:	B (RESTAURANT)
CONSTRUCTION TYPE:	V-B (A.F.E.S.)
SETBACK ZONING:	EXISTING LC

SITE AREA:	GROSS SITE AREA	.66 ACRES / 28,927 S.F.
	NET SITE AREA	.48 ACRES / 20,833 S.F.

BUILDING AREA:	BUILDING	624 S.F.
	CANOPY	739 S.F.
	TOTAL	1,363 S.F.

PARKING:		
REQUIRED	(1 PER 150 S.F.) = 4	9 SPACES
PROVIDED		10 SPACES
ACCESSIBLE REQUIRED:	1	PROVIDED: 1
BICYCLE PARKING REQUIRED:	1 / 1,000 S.F. = 1	PROVIDED: 4 BICYCLE

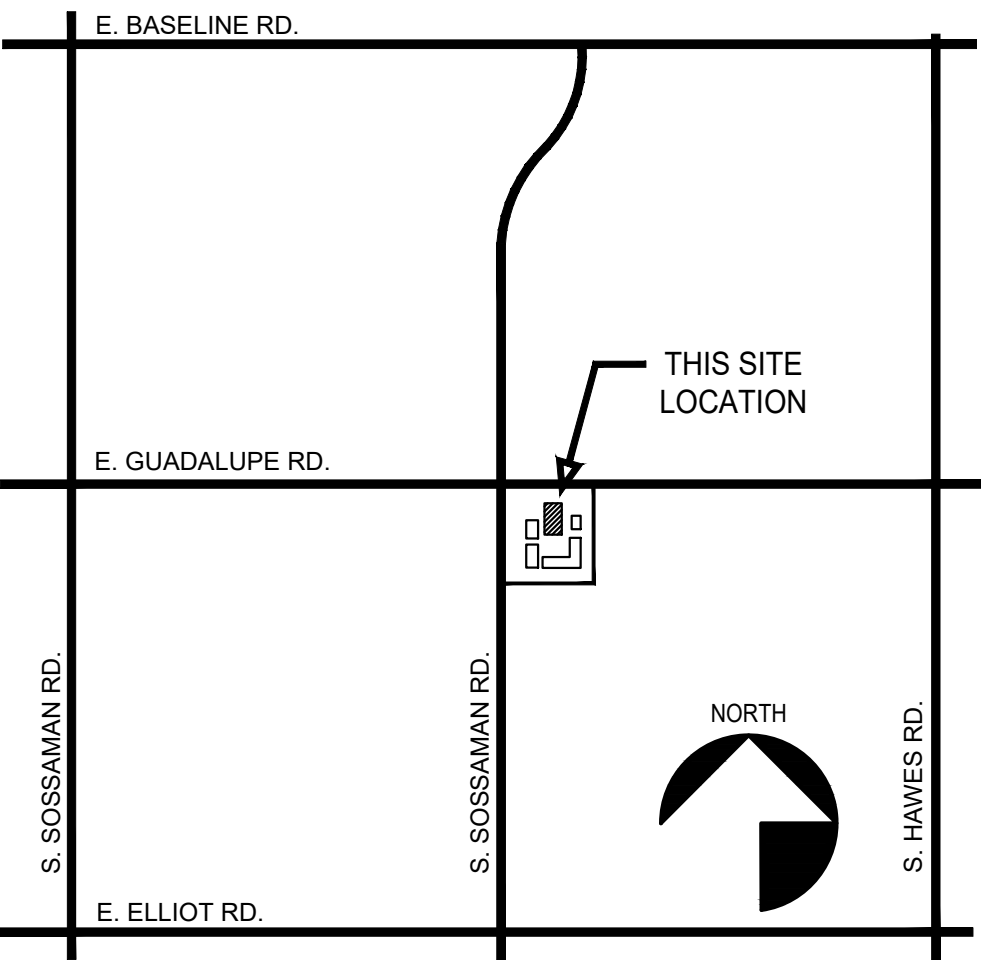
SCOPE OF WORK

THE PROPOSED PROJECT INCLUDES A NEW ONE-STORY RESTAURANT AND DRIVE-THRU FACILITY WITH WALK UP WINDOW FOR CARRY-OUT AND PICK UP SERVICES AND PATIO WITH SEATING. THERE WILL BE NO INTERIOR SEATING.

KEYED NOTES:

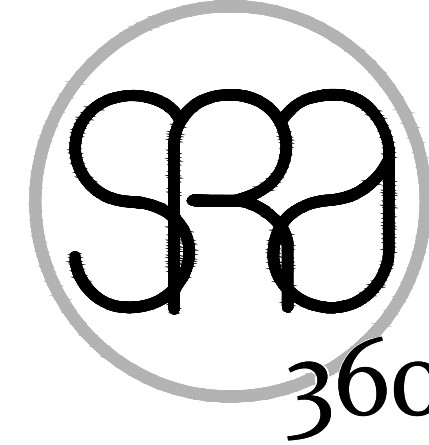
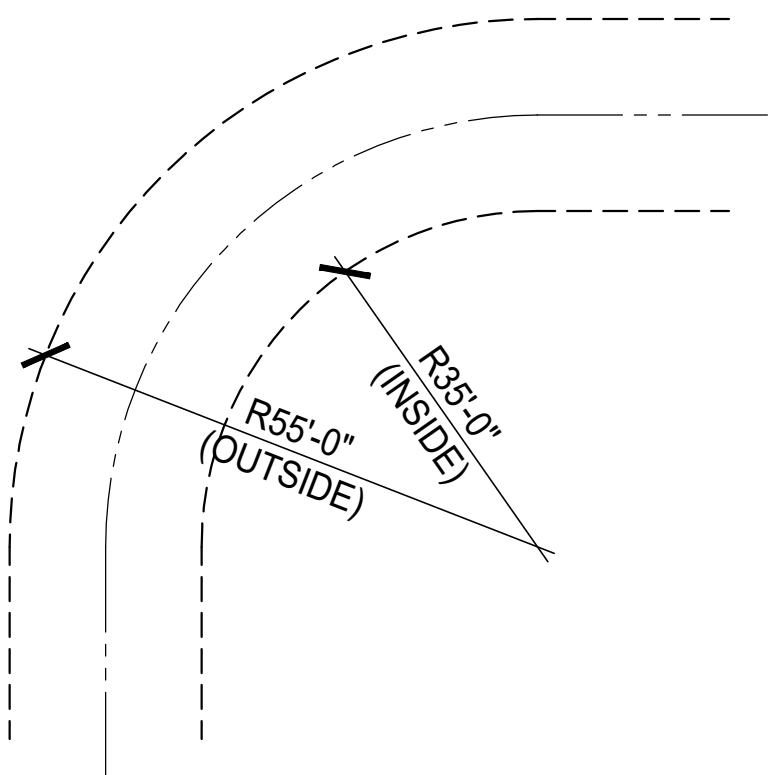
- 1 BUILDING FOOTPRINT
- 2 ROOF / CANOPY OVERHANG ABOVE
- 3 PROPERTY LINE
- 4 CONCRETE SIDEWALK, TYP.
- 5 CONCRETE CURB, TYP
- 6 CONCRETE SLAB AT DRIVE THRU PICK-UP WINDOW.
- 7 PATIO WITH SCORE LINES
- 8 VAN ACCESSIBLE PARKING SIGN - PER CITY REQUIREMENTS, TYP.
- 9 BIKE RACK PER CITY REQUIREMENTS
- 10 PROPOSED PARKING - PER CITY REQUIREMENTS, TYP.
- 11 VAN ACCESSIBLE PARKING STALL AND SYMBOL - PER CITY REQUIREMENTS, TYP.
- 12 ACCESSIBLE AISLE STRIPING ADJACENT TO PARKING
- 13 ACCESSIBLE RAMP - PER CITY REQUIREMENTS, TYP.
- 14 LANDSCAPE AREA
- 15 DRIVE-THRU ENTRY DIRECTIONAL SIGN
- 16 PAINTED TRAFFIC DIRECTION ARROWS
- 17 TRASH ENCLOSURE - PER CITY REQUIREMENTS, TYP.
- 18 BOLLARD
- 19 QUEUEING LANE TO MEET CITY REQUIREMENTS
- 20 MENU BOARD
- 21 LOCATION OF S.E.S.
- 22 TRANSFORMER LOCATION
- 23 EXISTING PARKING
- 24 EXISTING SITE LIGHTING
- 25 EXISTING ASPHALT PAVING
- 26 EXISTING DRIVEWAY ENTRANCE
- 27 EXISTING CONCRETE SIDEWALK
- 28 EXISTING CENTER I.D. SIGN
- 29 EXISTING DRAINAGE EASEMENT TO BE VACATED
- 30 EXISTING SITE WALL
- 31 EXISTING LANDSCAPE
- 32 EXISTING TRASH ENCLOSURES
- 33 EXISTING PAINTED STRIPING AT CROSS WALK
- 34 EXISTING SITE LIGHTING TO BE RELOCATED
- 35 RELOCATED SITE LIGHTING
- 36 40" HIGH SCREENWALL
- 37 40'-0" MIN. STACKING DISTANCE BETWEEN ORDER-PLACING SPEAKER AND ENTRY
- 38 100'-0" MIN. STACKING DISTANCE BETWEEN PICK-UP WINDOW AND ORDER-PLACING SPEAKER
- 39 PICK-UP WINDOW, REF. PLANS AND ELEVATIONS
- 40 CONCRETE CROSS WALK - COLOR "SEDONA RED", SAWCUT 2' x 2' CROSSED PATTERN, HEAVY BROOM FINISH
- 41 50'-0" CLEAR ZONE IN FRONT OF TRASH ENCLOSURES

VICINITY MAP:

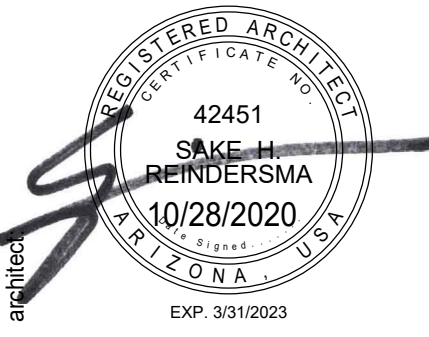


SITE LEGEND:

TRUCK TURN RADIUS



STEWART + REINDERSMA
ARCHITECTURE, PLLC
8145 E. Indian Bend Rd.
Scottsdale, Arizona 85250
480.515.5123
www.sra360.com



consultant:

contact:
PSAA CORP.
800 N. GILBERT RD. SUITE 100
PEORIA, ARIZONA 86902
Contact: Paul Okonski
T: (602) 623-1556

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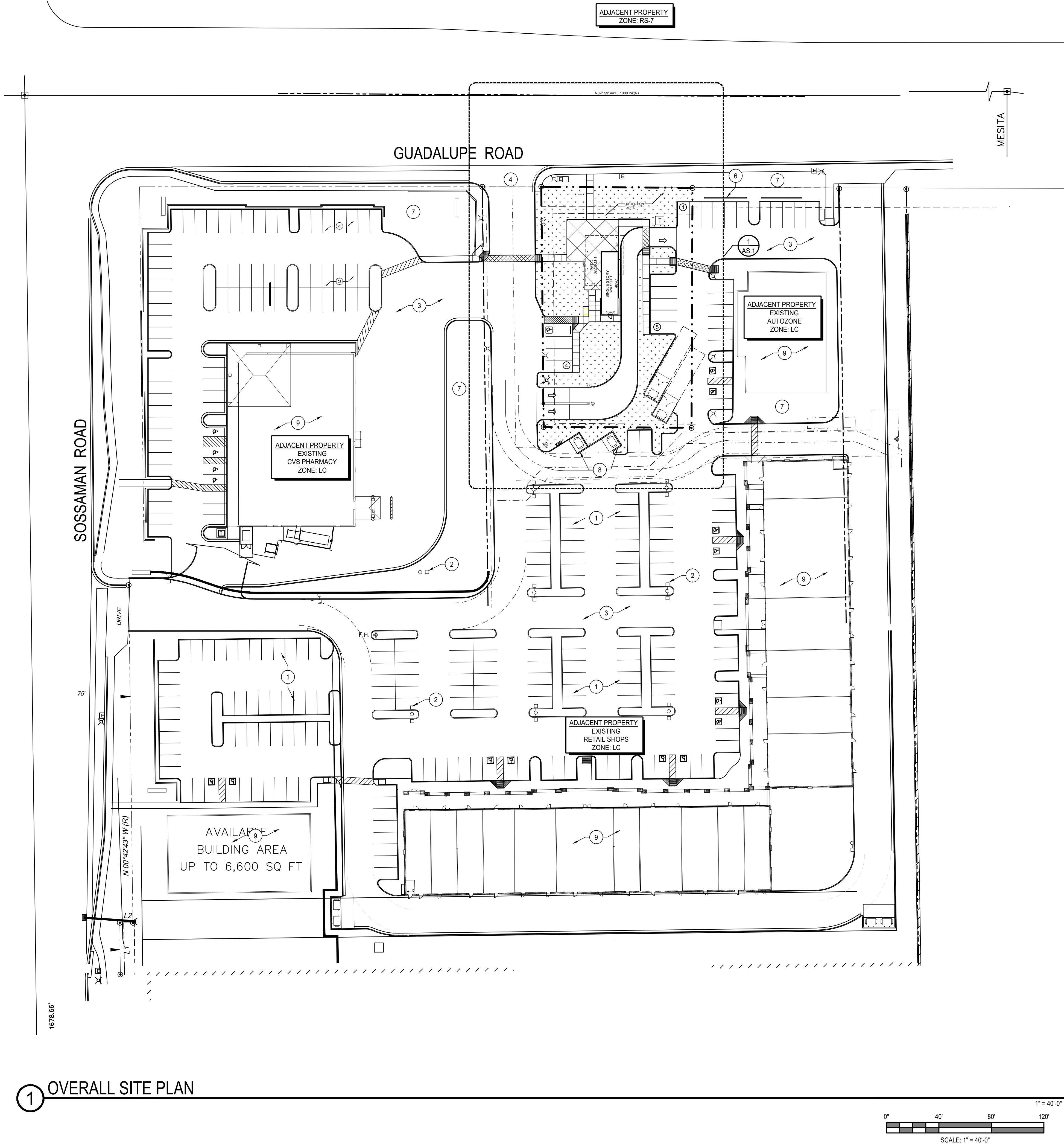
project:
**ZIGGI'S COFFEE
SHOPS AT SOSSAMAN**
7645 E. GUADALUPE ROAD
MESA, ARIZONA 85212

date:	10/28/20
issued for:	PRE-SUBMITTAL
revision no.:	date:
1	
2	
3	
4	
job no.:	20-044

sheet title:
ENLARGED SITE PLAN

sheet no.: v2

AS.1



1 OVERALL SITE PLAN

KEYED NOTES:

- 1 EXISTING PARKING
- 2 EXISTING SITE LIGHTING
- 3 EXISTING ASPHALT PAVING
- 4 EXISTING DRIVEWAY ENTRANCE
- 5 EXISTING CONCRETE SIDEWALK
- 6 EXISTING SITE WALL
- 7 EXISTING LANDSCAPE
- 8 EXISTING TRASH ENCLOSURES
- 9 EXISTING BUILDING STRUCTURES

NOTE:
EXISTING NOT IN CONTRACT
UNLESS NOTED OTHERWISE

SITE GENERAL NOTES:

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
3. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10 FEET FROM THE PROPERTY LINE TO 20 FEET ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3 FEET.
4. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ZERO FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE THE SITE.
5. ALL SERVICES AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACK-FLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. ASPHALTIC SURFACE PAVING - ALLOCATION PER CITY OF MESA REQUIREMENTS.
7. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
8. MAXIMUM NOISE LEVEL OF 55 DECIBELS (NORMAL SPEAKING VOICE) AT PROPERTY LINE).
9. SEE LANDSCAPE DRAWINGS FOR SITE LANDSCAPE PLANS, DIMENSIONS, TEXTURES, PATTERNS, AND SITE DETAILS.
10. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED, AND ACCEPTED PRIOR TO CONSTRUCTION.
11. VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
12. WALKWAYS ARE STANDARD GRAY CONCRETE (U.N.O.) W/ SALTED FINISH.
13. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACK-FLOW DEVICES AND ANY OTHER UTILITY EQUIPMENT, NOT ABLE TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
14. FIRE LANE MARKINGS ARE REQUIRED ON BOTH SIDES OF STREETS LESS 28' IN WIDTH, ON ONE SIDE OF STREET FOR WIDTHS GREATER THAN 28' AND LESS THAN 34' AND ARE NOT REQUIRED ON STREETS 34' OR WIDER. FPD 503.3, 503.2.1.

PROJECT SCOPE / DATA:

CURRENT ZONING:	LC
LAND AREA (GROSS):	370,024 S.F. (8.49 AC)
LAND AREA (NET):	361,335 S.F. (8.29 AC)
BLGD. AREA:	65,301 S.F.
% COVERED:	18%
PARKING REQUIRED:	216
PARKING PROVIDED:	284

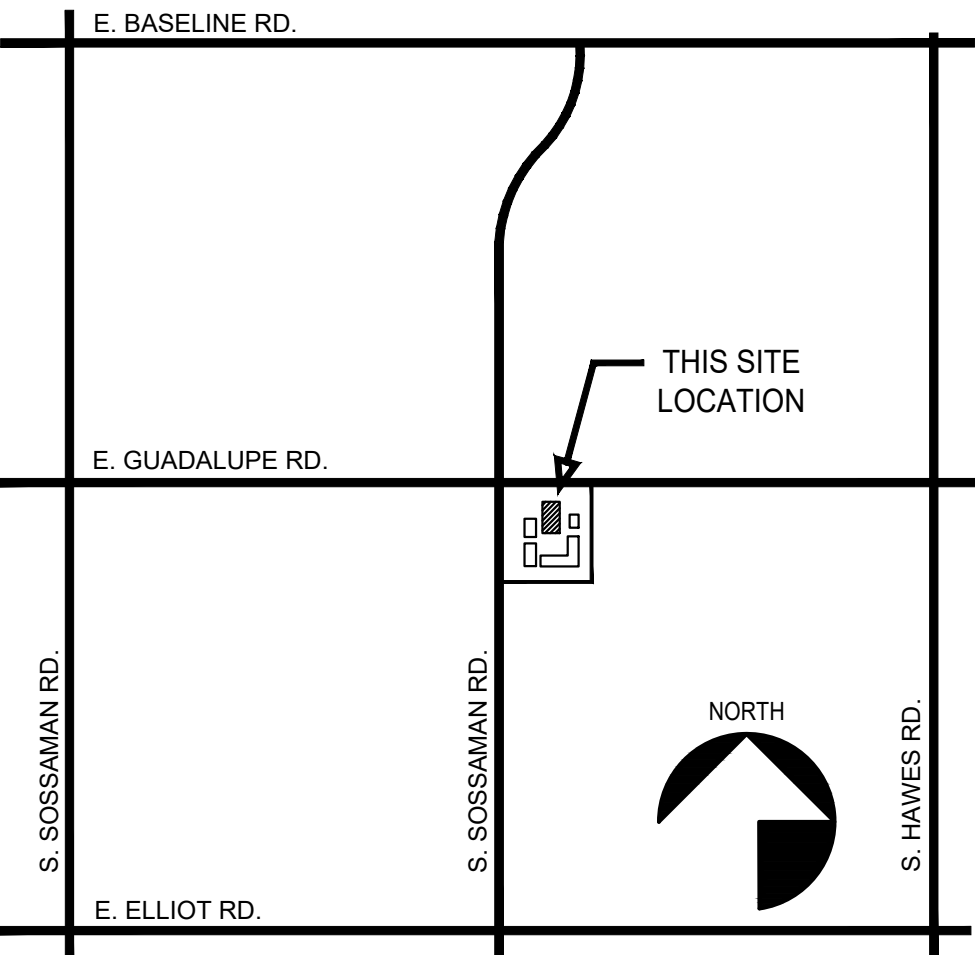
*REQUIRED PARKING CALCULATIONS WERE DETERMINED AS FOLLOWS

RETAIL: (EXISTING)	24,000 S.F. @ 1/375 = 64 S.F.
RESTAURANT/BAR: (EXISTING)	14,090 S.F. X 65% @ 1/75 = 122 SPACES
ZIGGIS COFFEE: (NEW)	1,246 S.F. x 65% @ 1/150 = 9 SPACES
DAY CARE: (EXISTING)	8,000 S.F. @ 1/375 = 21 SPACES
TOTAL:	= 216 SPACES

SCOPE OF WORK

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VICINITY MAP:



STEWART + REINDERSMA
ARCHITECTURE, PLLC

8145 E. Indian Bend Rd.
Scottsdale, Arizona 85250
480.515.5123
www.sra360.com

project:

contact:
PSAA CORP.
10000 W. WILLOW BLVD. SUITE 100
PHOENIX, ARIZONA 85042
Contact: Paul Okonowski
T: (602) 623-1556

consultant:

project:

date: 10/28/20

issued for: PRE-SUBMITTAL

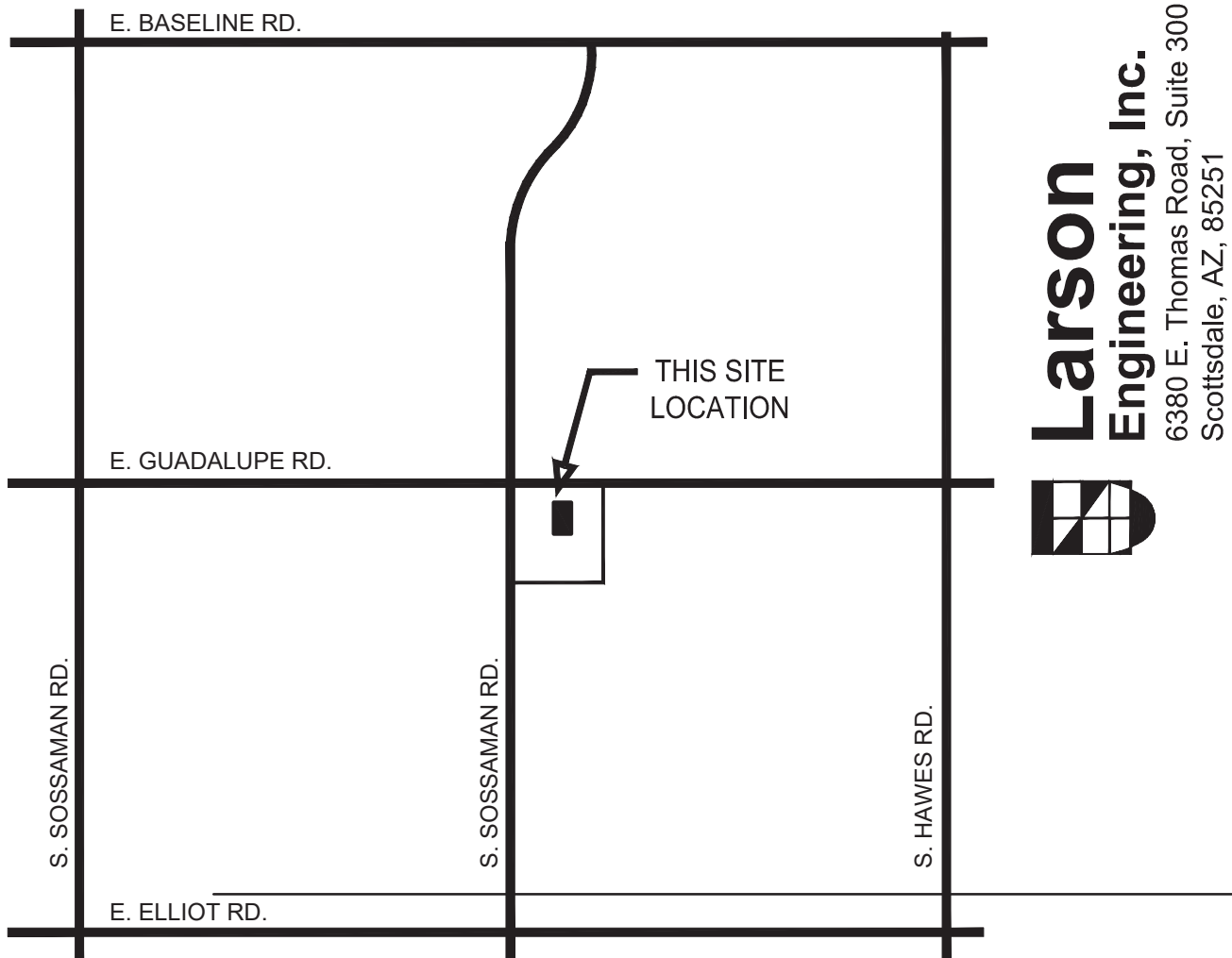
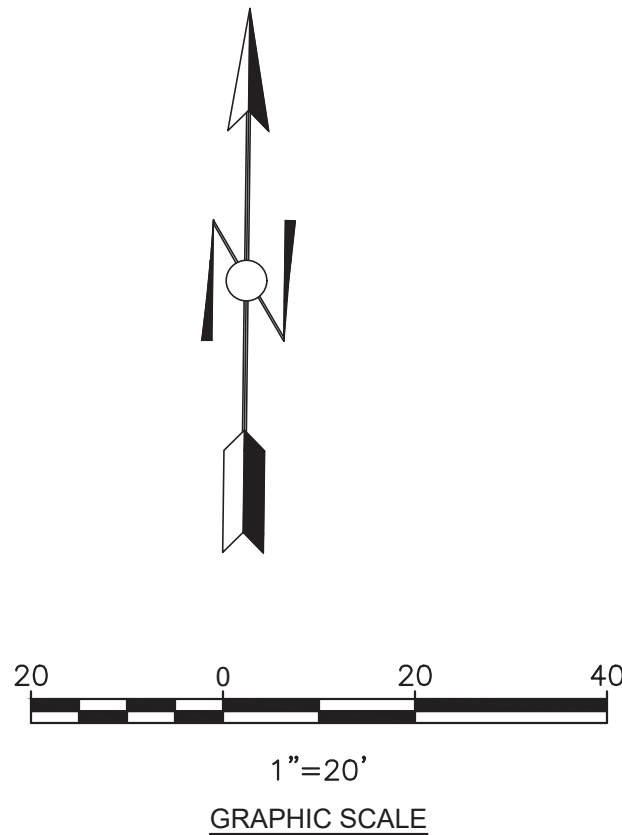
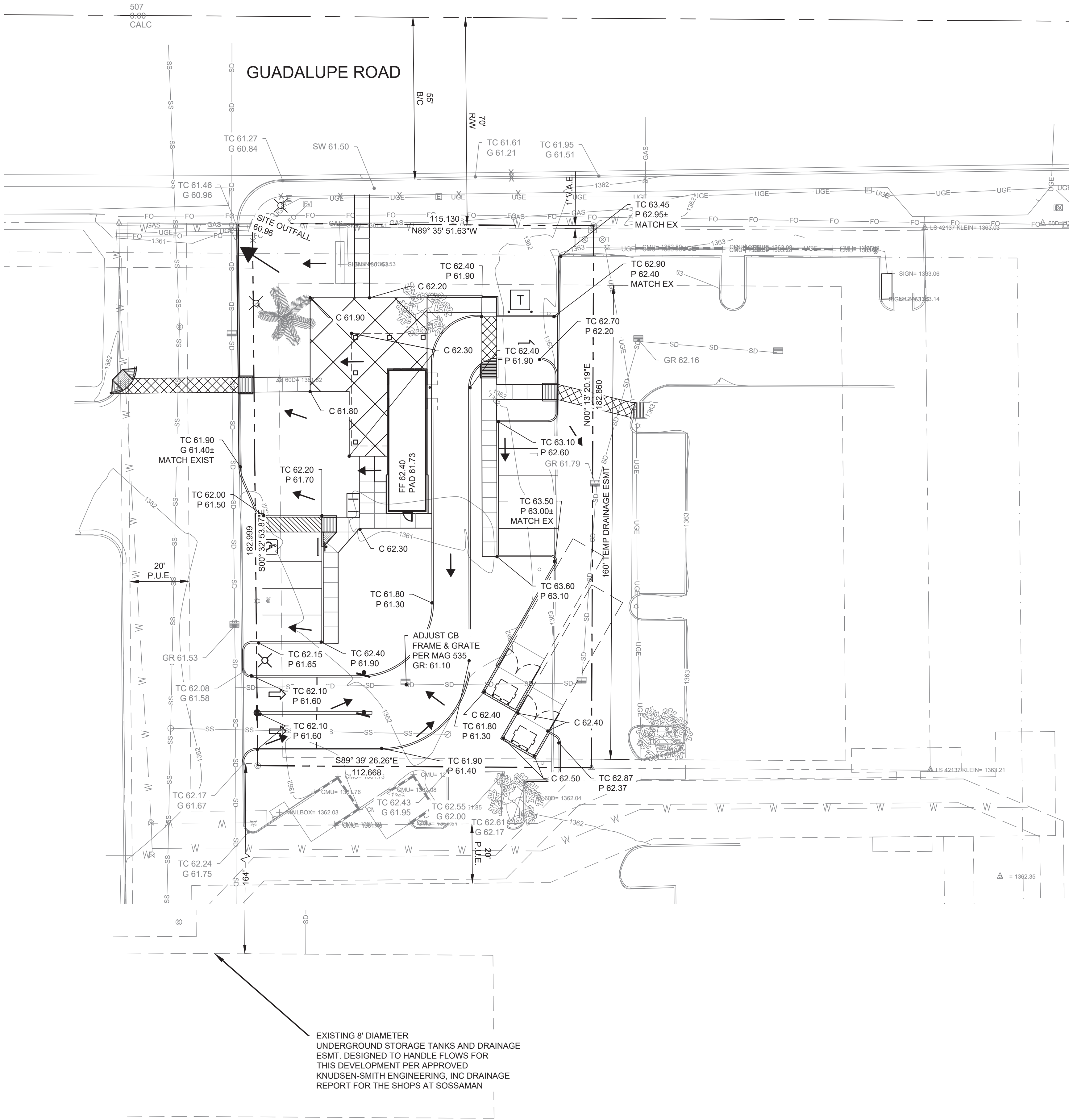
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job no.: 20-044

sheet title: OVERALL SITE PLAN

sheet no.: V1

AS.2



VICINITY MAP

PROJECT DATA:

PARCEL NUMBER:	304-04-816
EXISTING ZONING:	LC (LIMITED COMMERCIAL)
GROSS SITE AREA:	20,833 S.F. (0.48 ACRES)

DRAINAGE CALCULATIONS:

UNDERGROUND RETENTION FOR THIS DEVELOPMENT IS EXISTING PER THE APPROVED KNUDSEN-SMITH ENGINEERING INC DRAINAGE REPORT DATED JANUARY 7, 2002 FOR THE SHOPS AT SOSSAMAN. ASBULTS VERIFY UNDERGROUND RETENTION PROVIDED PER DESIGN FOR FULL IMPROVEMENTS OF THIS PAD

Larson Engineering, Inc.
6380 E. Thomas Road, Suite 300
Scottsdale, AZ 85251
480.212.4200
www.larsonengr.com
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STEWART + REINDERSMA
ARCHITECTURE, PLLC
8145 E. Indian Bend Rd.
Scottsdale, Arizona 85250
480.515.5123
www.sra360.com

architect:



consultant:

contact:
PSAA CORP.
1000 N. GILBERT RD.
PHOENIX, ARIZONA 85022
Contact: Paul Okonowski
T: (602) 923-1556

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project:
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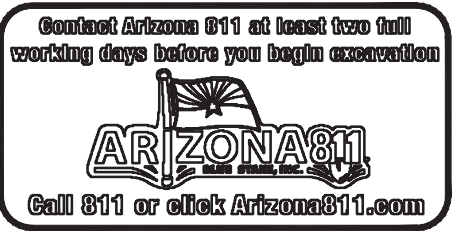
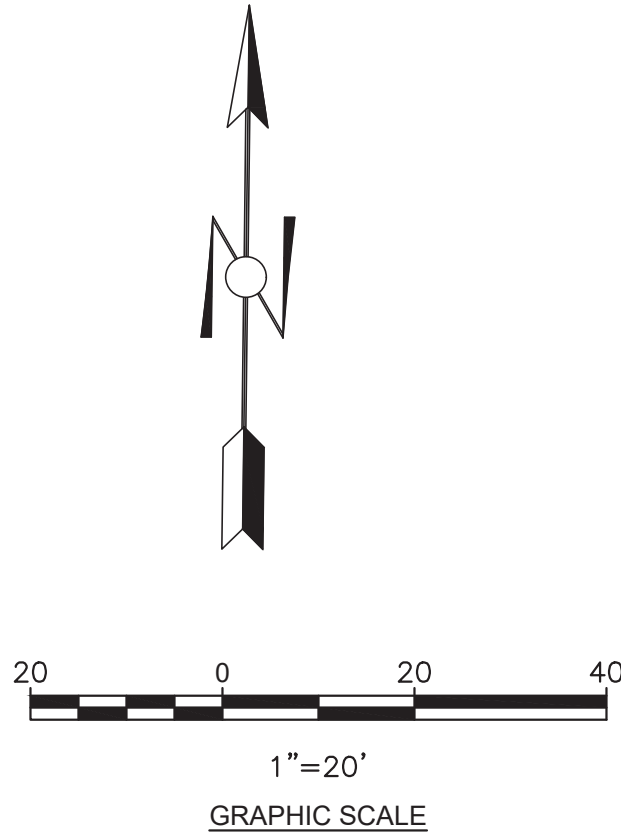
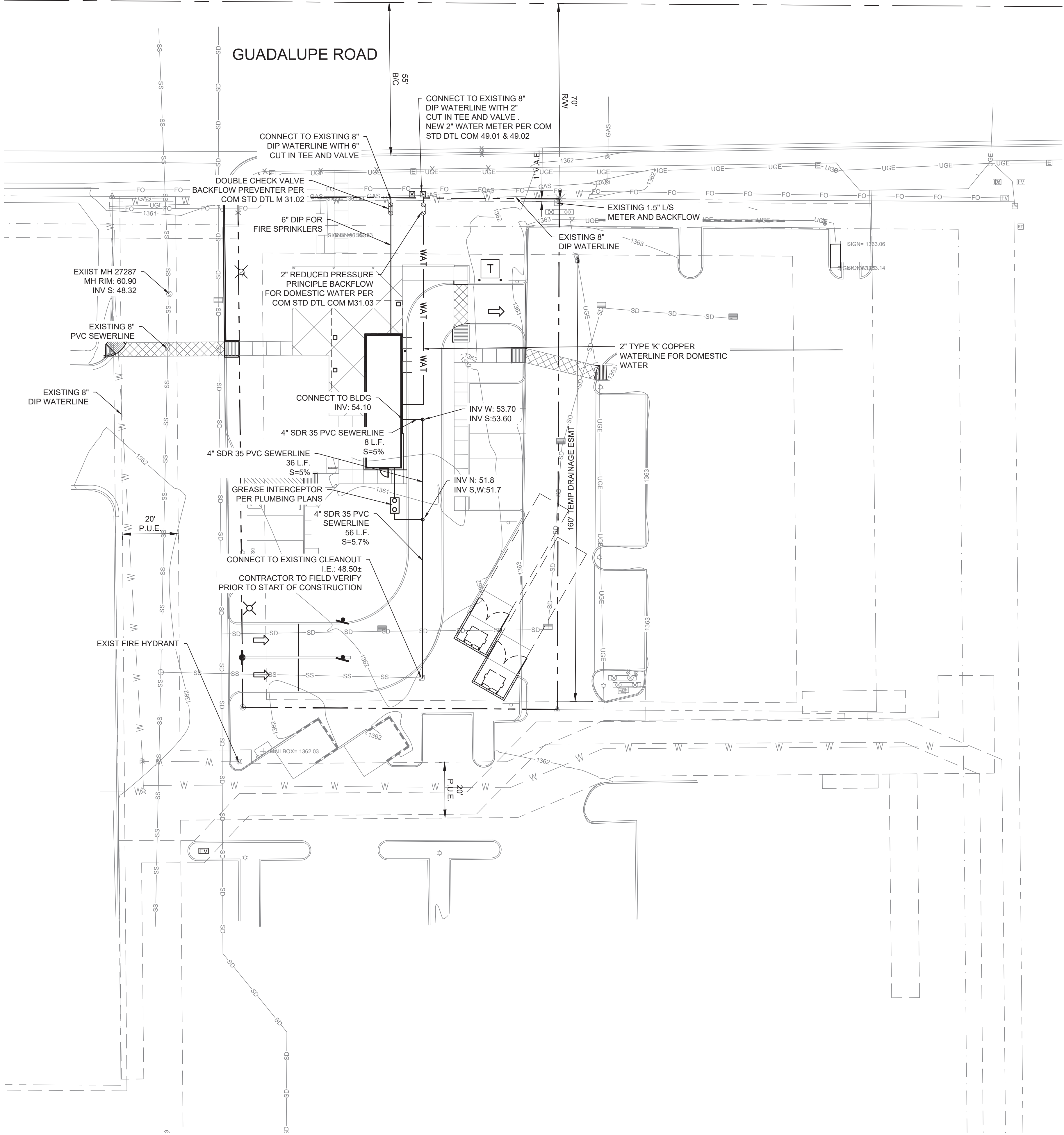
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issued for:		
PRE-SUBMITTAL		
revision no.:		date:
1	COMMENTS or Q.A. REVIEW	X/XX/XX
2	COMMENTS	X/XX/XX
3	COMMENTS	X/XX/XX
4	COMMENTS	X/XX/XX
job no.:		20-044

sheet title:
**PRELIMINARY
GRADING**

sheet no.:

C1





Larson Engineering, Inc.
6380 E. Thomas Road, Suite 300
Scottsdale, AZ 85251
480.212.4200
www.larsonengr.com
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STEWART + REINDERSMA ARCHITECTURE, PLLC
8145 E. Indian Bend Rd.
Scottsdale, Arizona 85250
480.515.5123
www.sra360.com

architect:



consultant:

contact:
PSAA CORP.
1500 N. GILBERT AVENUE
PHOENIX, ARIZONA 85032
Contact: Paul Okonski
T: (602) 923-1556

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date:

1	COMMENTS or Q.A. REVIEW	X/XX/XX
2	COMMENTS	X/XX/XX
3	COMMENTS	X/XX/XX
4	COMMENTS	X/XX/XX

job no.:

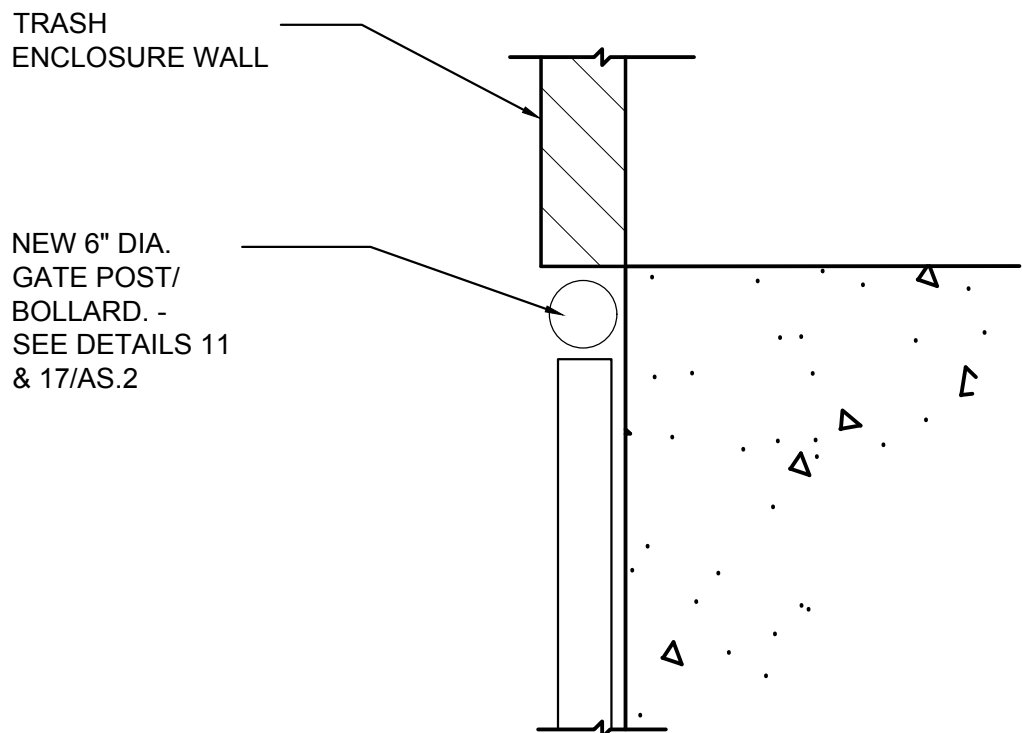
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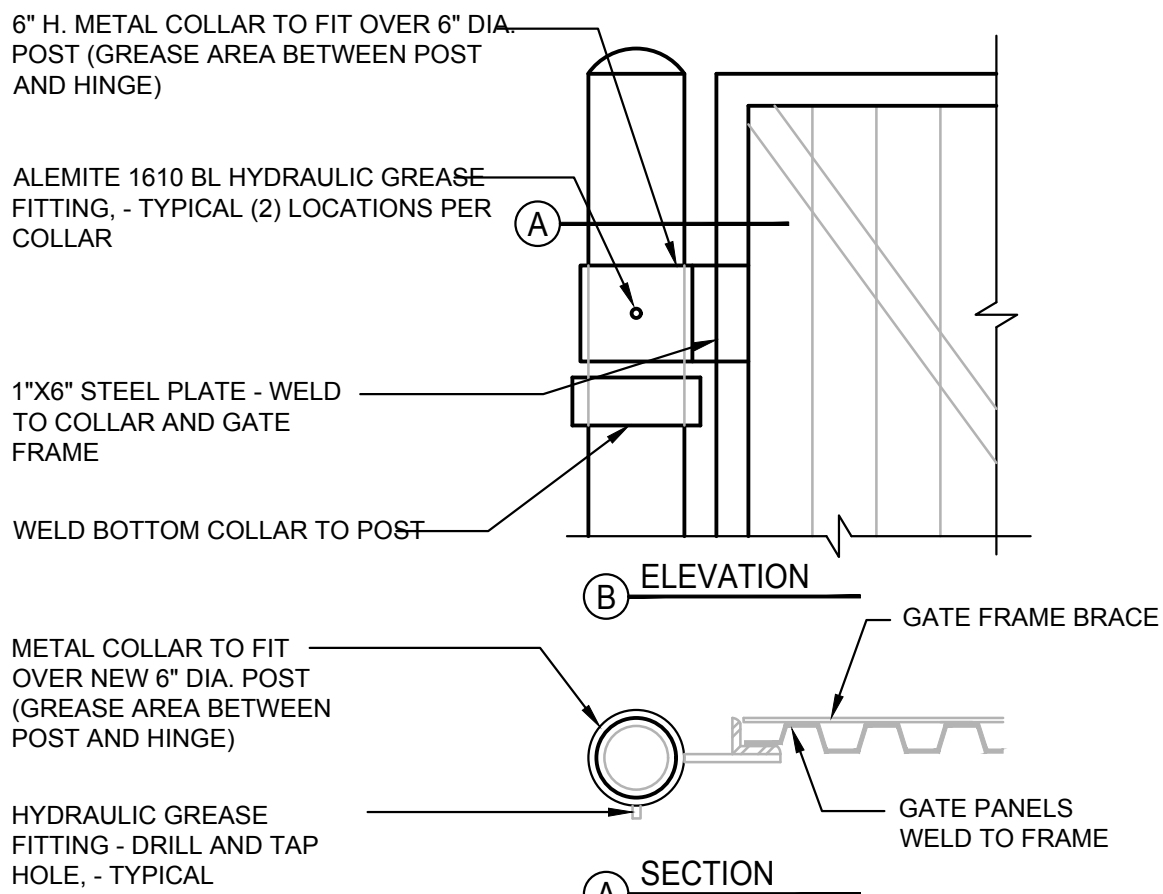
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UTILITY PLAN**

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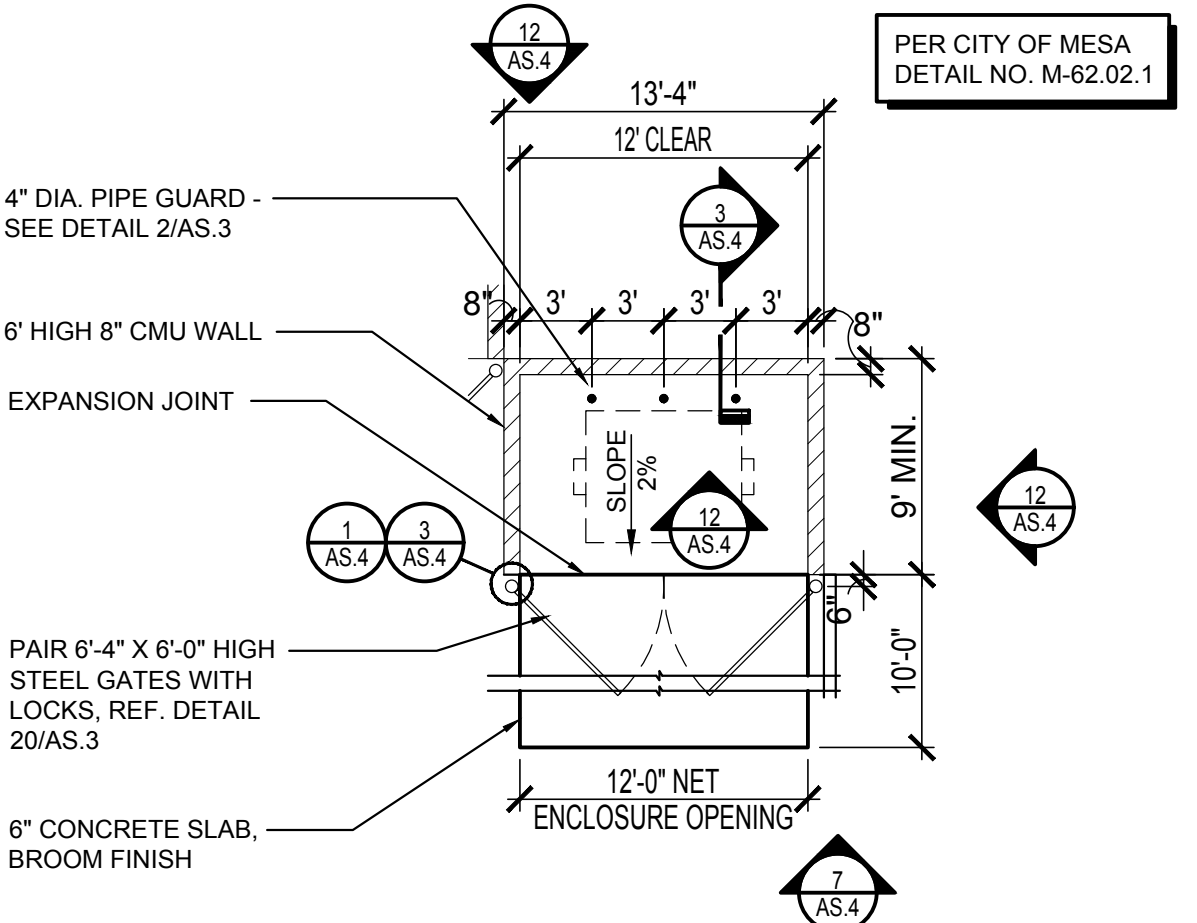
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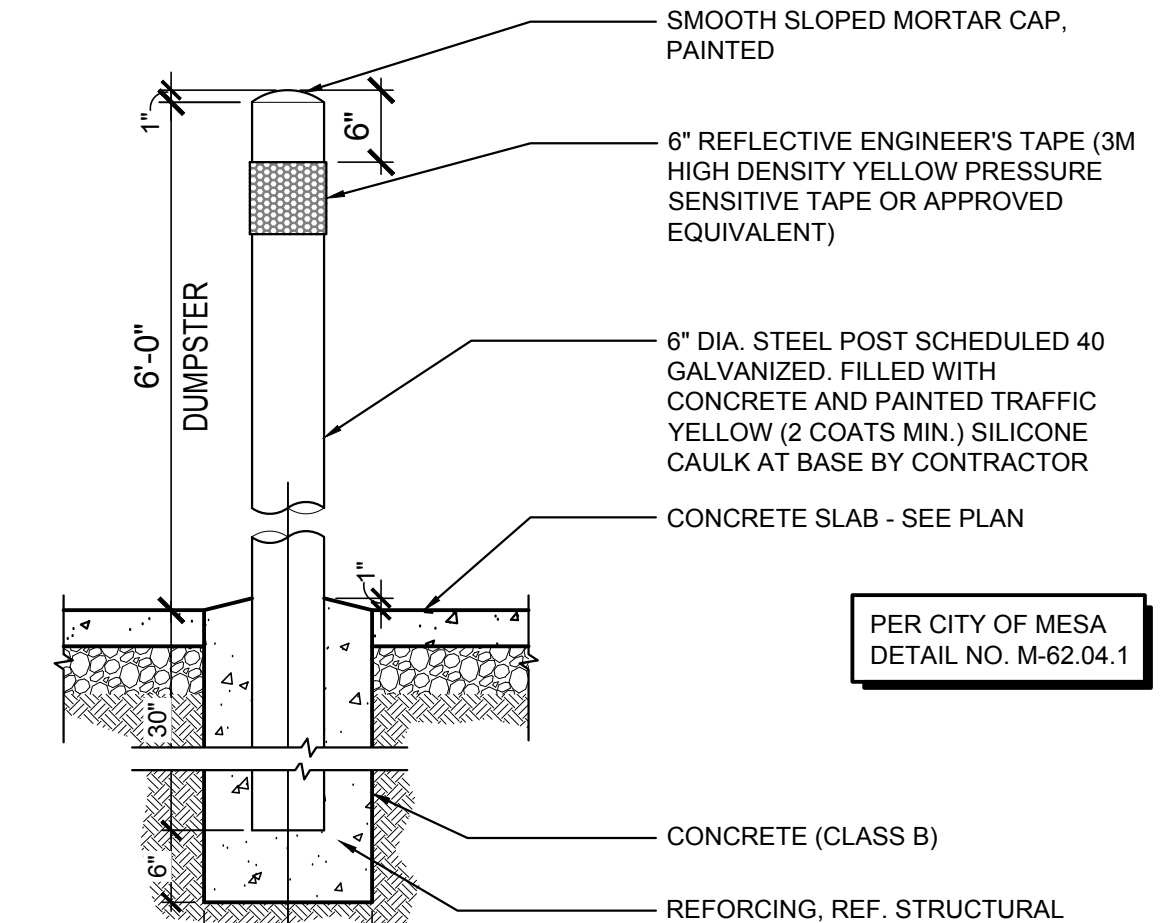
5 GATE POST DETAIL 1/2" = 1'-0"



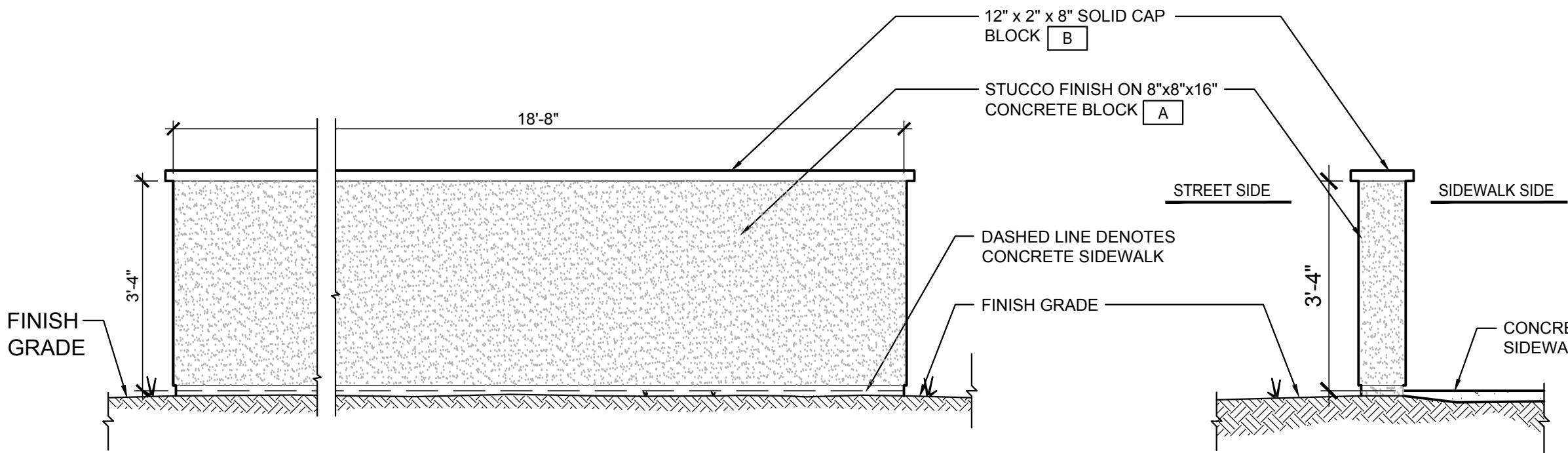
1 GATE HINGE @ TRASH 1/2" = 1'-0"



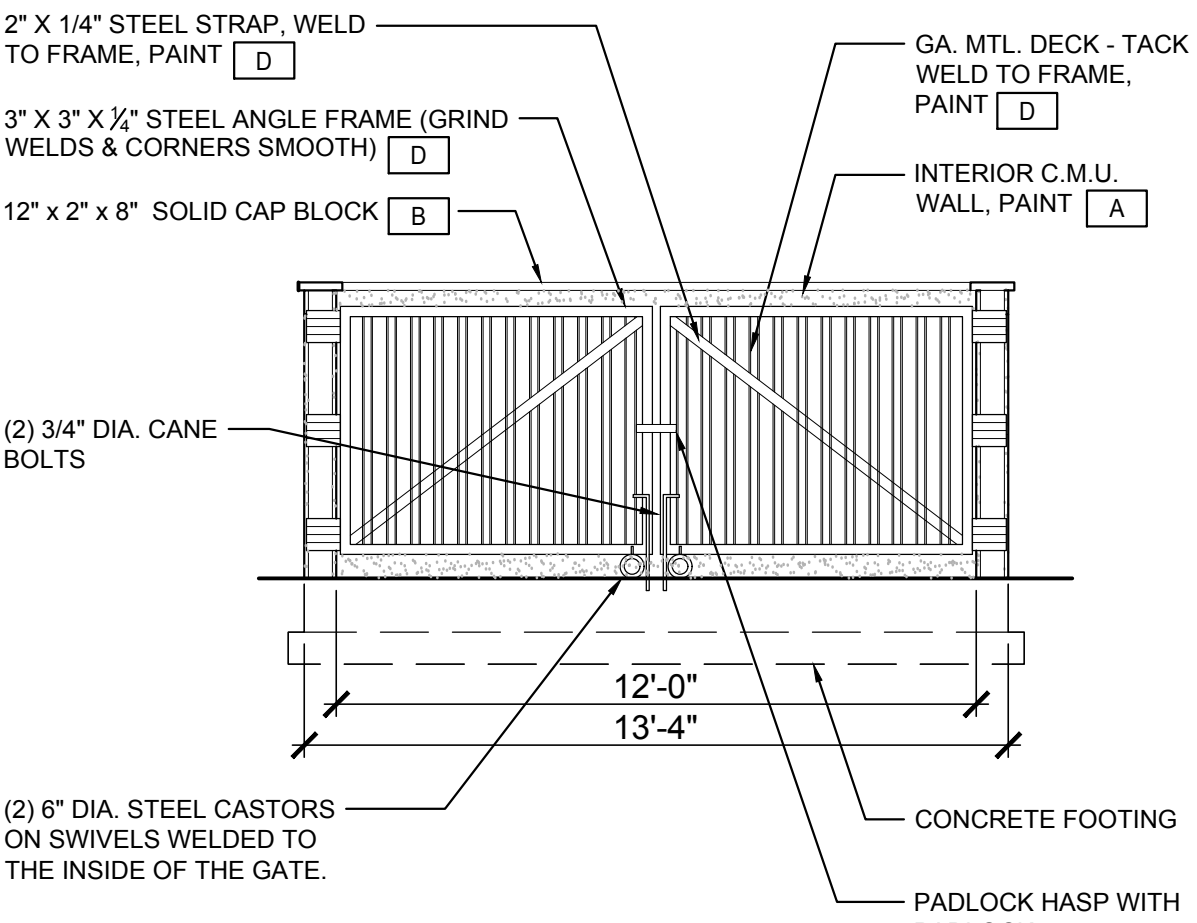
6 TRASH ENCLOSURE PLAN 1/8" = 1'-0"



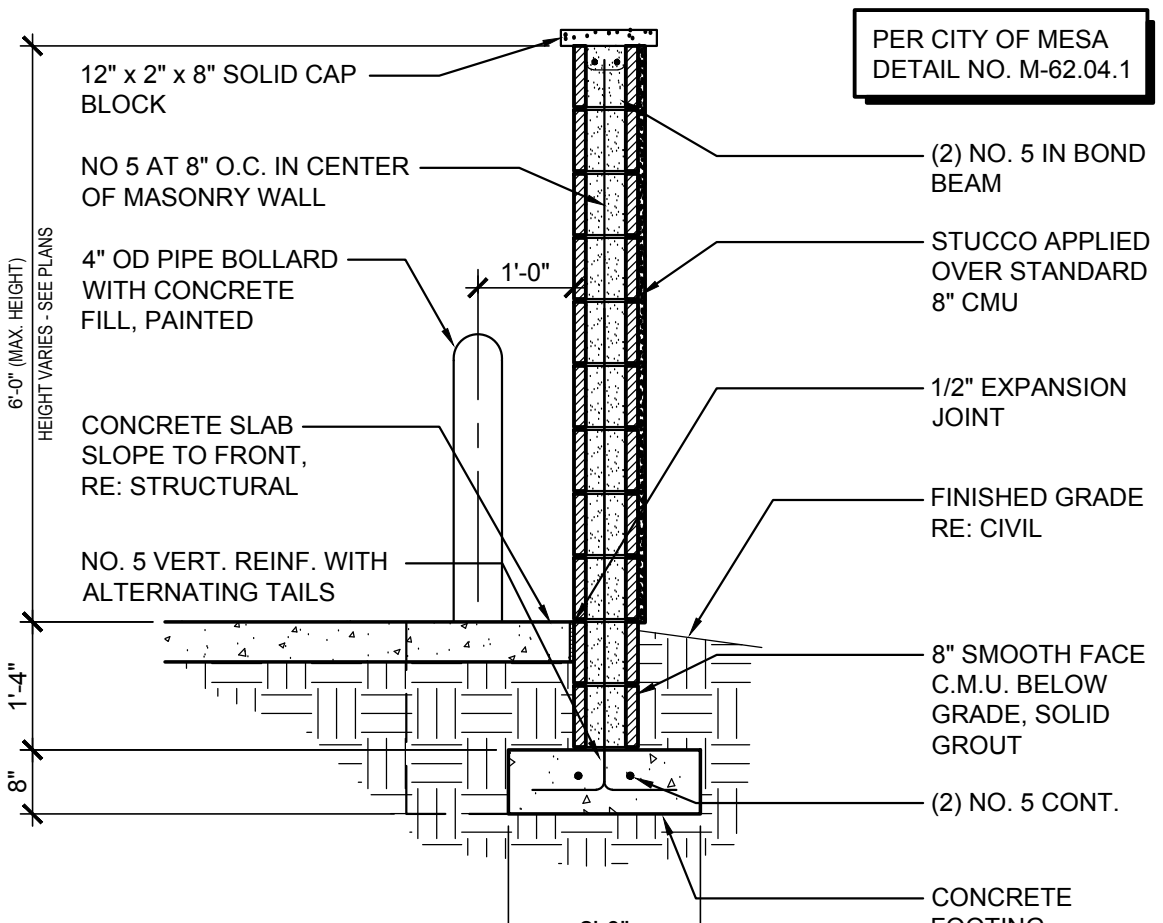
2 BOLLARD / SAFETY POST 3/4" = 1'-0"



15 CONCRETE SCREEN WALL ELEVATION 1/2" = 1'-0"

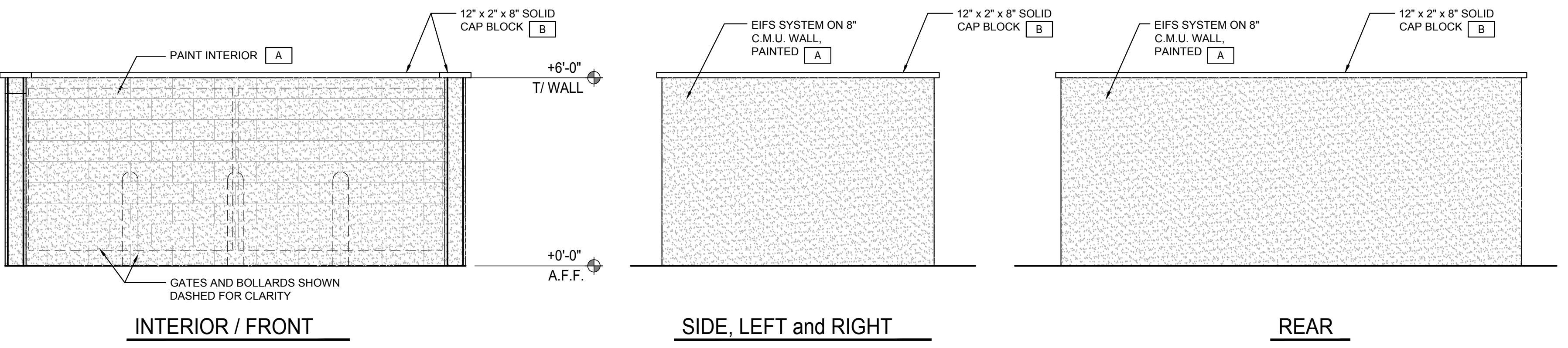


7 TRASH GATE ELEVATION N.T.S.

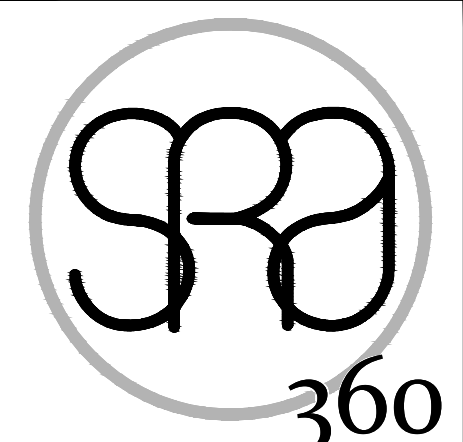


3 TRASH ENCLOSURE WALL 1/2" = 1'-0"

TRASH ENCLOSURE COLOR PALETTE		
MARK	COLOR	DESCRIPTION
A		SHERWIN WILLIAMS, SW 6418, "WOOL SKEIN" ON EIFS SYSTEM
B		PAINTED BLOCK CAP - SHERWIN WILLIAMS, SW 7522, "MEADOWLARK"
D		METAL - SHERWIN WILLIAMS, SW 9183, "DARK CLOVE"



12 TRASH ENCLOSURE ELEVATIONS NTS



STEWART + REINDERSMA
ARCHITECTURE, PLLC

8145 E. Indian Bend Rd.
Scottsdale, Arizona 85250
480.515.5123
www.sra360.com



REGISTERED ARCHITECT
42451
PAUL OKONSKI
10/28/2020
ARCHITECT
EXP. 3/31/2023

project:

**ZIGGI'S COFFEE
SHOPS AT SOSSAMAN**

7645 E. GUADALUPE ROAD
MESA, ARIZONA 85212

date: 10/28/20

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sheet no.: AS.4