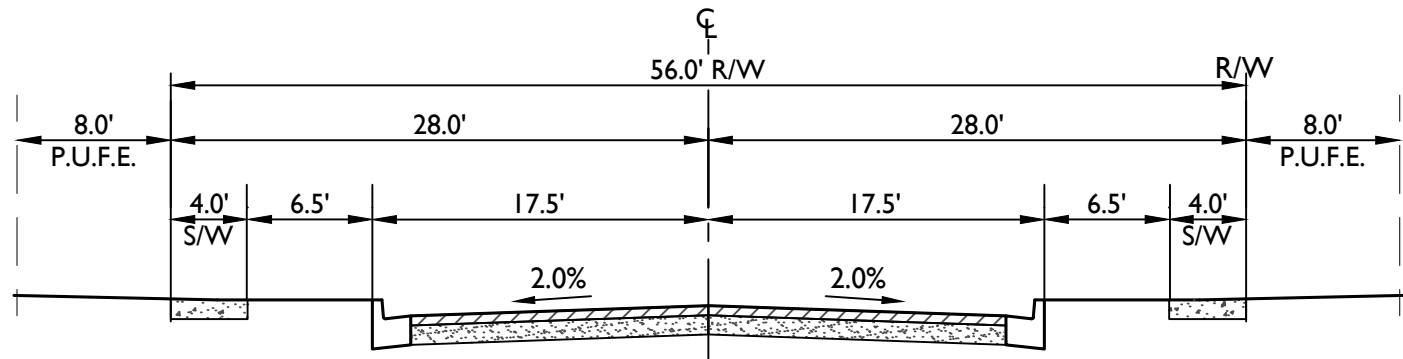
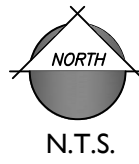


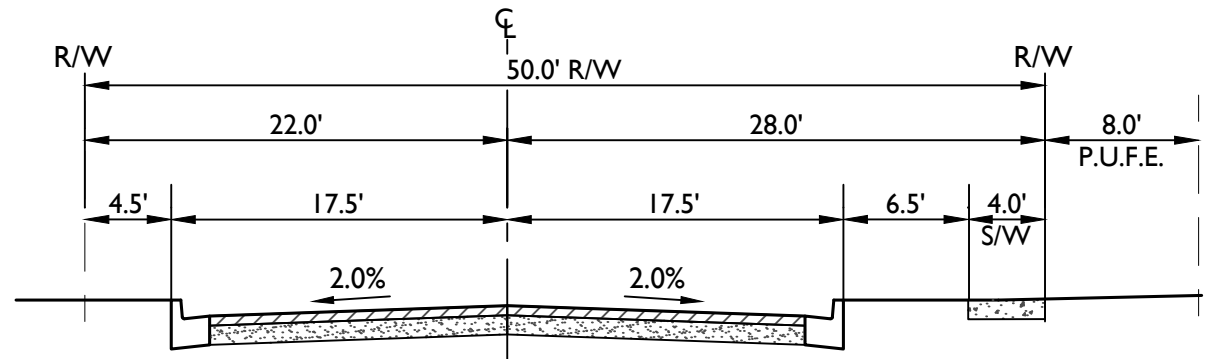
PRELIMINARY PLAT
FOR
DESERT PLACE AT MORRISON RANCH
RESIDENTIAL CORNER

A PORTION OF NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 7 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



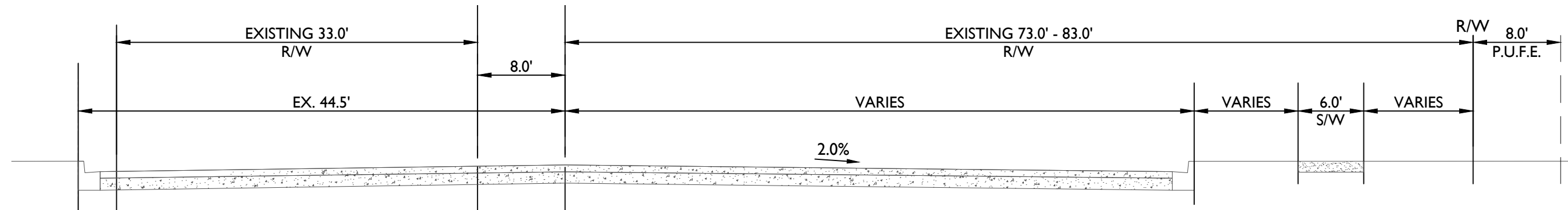
RESIDENTIAL LOCAL STREET

N.T.S.



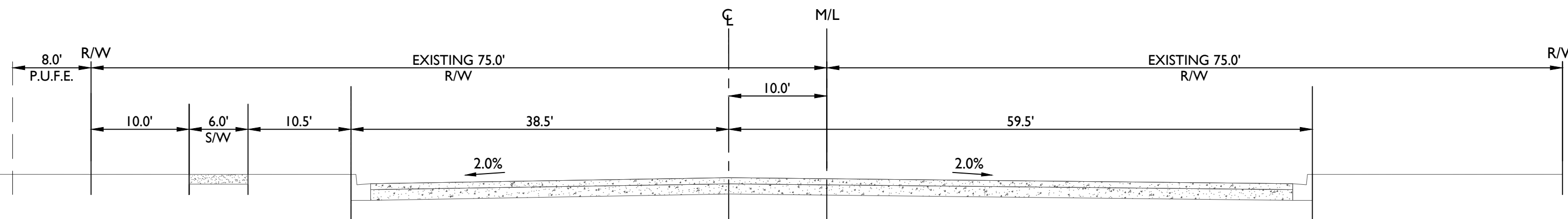
MODIFIED LOCAL STREET

N.T.S.



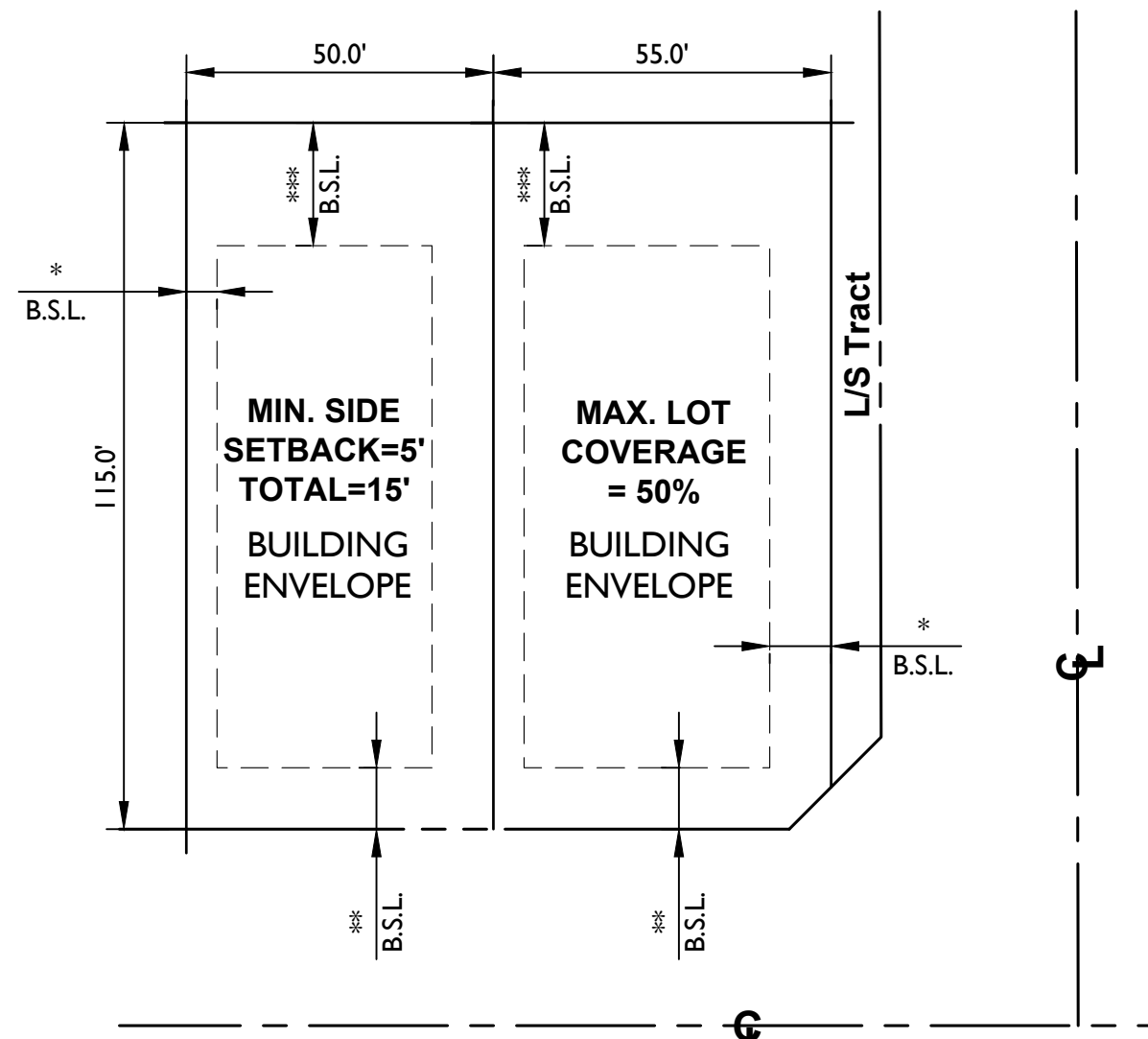
E. GUADALUPE ROAD (EXISTING) - LOOKING EAST

N.T.S.



E. SOSSAMAN ROAD (EXISTING) - LOOKING NORTH

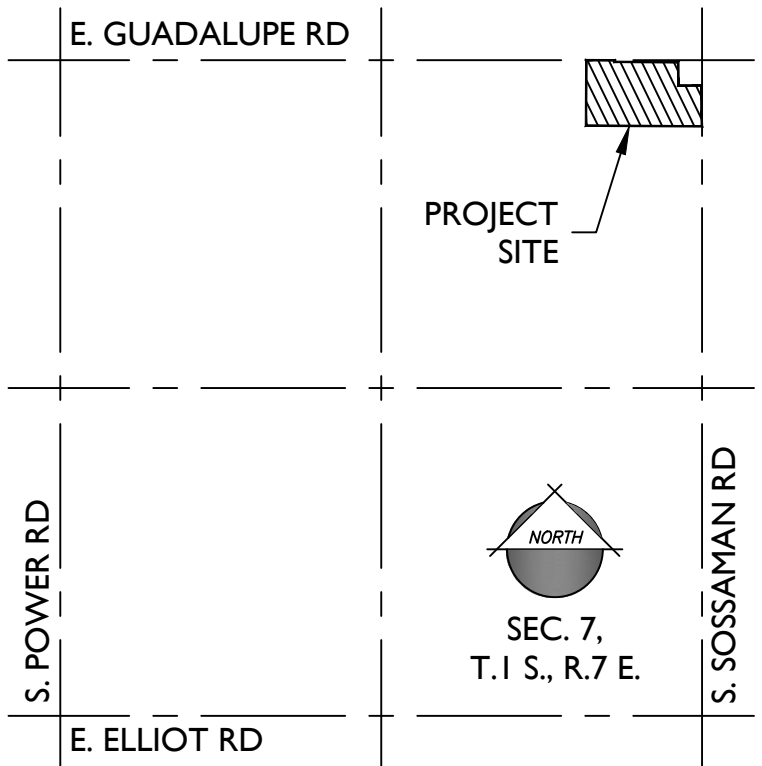
N.T.S.



RS-6
TYPICAL BUILDING SETBACKS

VICINITY MAP

N.T.S.



PROJECT TEAM

DEVELOPER:
PORCHLIGHT HOMES
2915 E. BASELINE RD., STE. 118
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MESA, AZ. 85201
TEL: (480)-503-2250
CONTACT: ERIC WINTERS, P.E.
eric.winters@epsgruppinc.com

PROJECT DATA

LOCATION ADDRESS	SWC OF GUADALUPE RD AND SOSSAMAN RD 7531 E GUADALUPE ROAD
A.P.N.	304-17-570
CURRENT LAND USE	VACANT / UNDEVELOPED
EXISTING GENERAL PLAN	NEIGHBORHOOD SUBURBAN
EXISTING ZONING	NC-PAD-DMP
PROPOSED ZONING	RS-6-PAD-DMP
GROSS AREA	± 8.76 ACRES
NET AREA	± 6.74 ACRES
OPEN SPACE	± 0.62 ACRES
LOT SIZE	50' x 115'
NO. OF LOTS	37
GROSS DENSITY	4.22 DU/AC
NET DENSITY	5.49 DU/AC

GENERAL NOTES

- THIS PLAN IS NOT A CONSTRUCTION DOCUMENT
- LOT DIMENSIONS ARE APPROXIMATE, FINAL LOT DIMENSIONS SHALL BE PER THE FINAL PLAT.
- ALL ROADS WILL BE CONSTRUCTED TO CITY OF MESA MINIMUM STANDARDS AS MODIFIED HEREIN.
- THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTANCE OF ALL LANDSCAPE TRACTS.
- THIS DEVELOPMENT WILL PROVIDE FOR INSTALLATION OF REQUIRED STREET LIGHTS.
- DRAINAGE CONCEPTS ARE SHOWN ON THE PRELIMINARY GRADING PLAN.

UTILITIES

WATER	CITY OF MESA
SEWER	CITY OF MESA
GAS	CITY OF MESA
ELECTRIC	SALT RIVER PROJECT
TELEPHONE	CENTURYLINK / COX
REFUSE	CITY OF MESA
CABLE TV	CENTURYLINK / COX

APPROVED BY PLANNING AND ZONING BOARD
JANUARY 22, 2020

* SIDEYARD SETBACKS:
SETBACKS MUST EQUAL AN AGGREGATE DISTANCE OF 15' WITH A MINIMUM OF 5' ON ONE SIDE. SETBACKS SHOWN ON LOTS ARE MINIMUM DISTANCES FROM PROPERTY LINES FOR BUILDING ENVELOPE BOUNDARIES & HOME CONSTRUCTION INCLUDING PATIOS & ACCESSORY STRUCTURES.

** FRONT YARD SETBACKS:
1. 20' MIN. SETBACK FROM PROPERTY LINE TO FACE OF GARAGE.
2. 10' MIN. SETBACK TO LIVABLE SPACE, PORCHES OR PORTE COCHERE.

*** REARYARD SETBACKS:
1. 15' MIN. SETBACK TO COVERED PATIO.
2. 20' MIN. SETBACK TO LIVABLE SPACE.

MAXIMUM LOT COVERAGE: 50%

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EPS GROUP

Desert Place at Morrison Ranch
Residential Corner
Mesa, Arizona

COVER SHEET

Project: 19-0240
Revisions:
SEPTEMBER 12, 2019 - 1ST SUBMITTAL
OCTOBER 21, 2019 - 2ND SUBMITTAL

Call us at least two full working days before you begin excavation.
ARIZONA
State of Arizona
11 Maricopa County (802063-1100)

Designer: JH
Drawn by: DCH

Registered Professional Engineer (PE)
CERIFICATE NO. 44744
ERIC D. WINTERS
Exp. 09-21-24

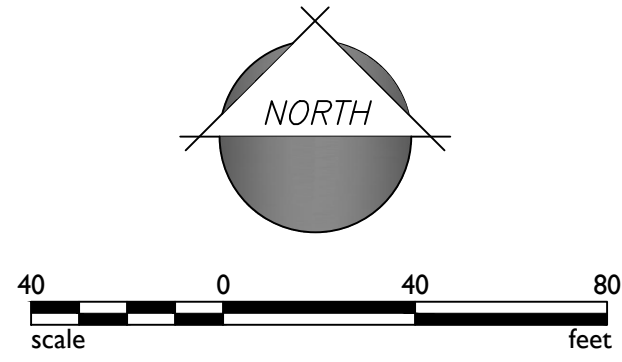
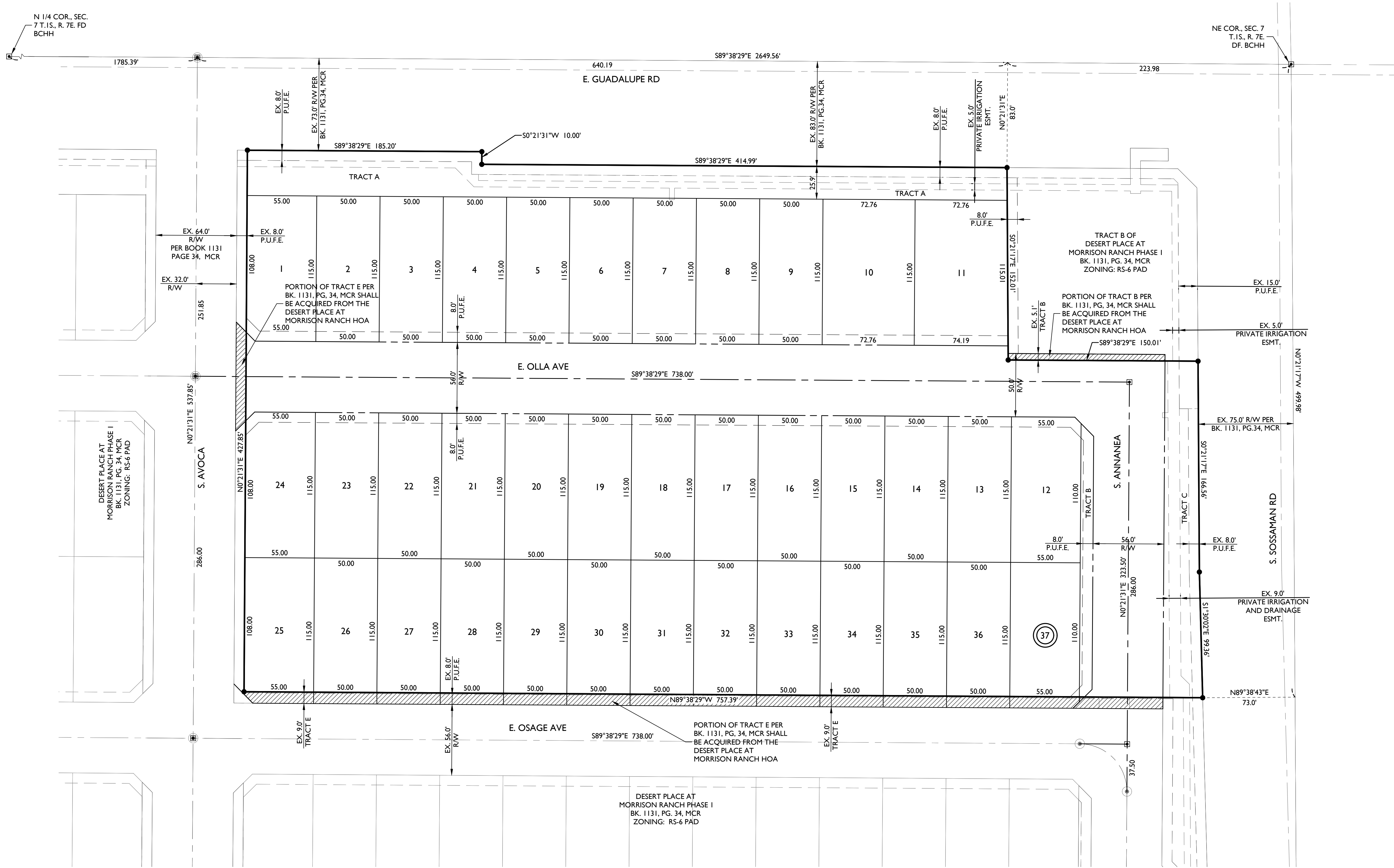
Job No.
19-0240

PP01

Sheet No.
1
of 2

Lot Table		Lot Table	
Lot #	Area	Lot #	Area
1	6300.50	21	5750.00
2	5750.00	22	5750.00
3	5750.00	23	5750.00
4	5750.00	24	6300.50
5	5750.00	25	6300.50
6	5750.00	26	5750.00
7	5750.00	27	5750.00
8	5750.00	28	5750.00
9	5750.00	29	5750.00
10	8366.92	30	5750.00
11	8449.22	31	5750.00
12	6312.50	32	5750.00
13	5750.00	33	5750.00
14	5750.00	34	5750.00
15	5750.00	35	5750.00
16	5750.00	36	5750.00
17	5750.00	37	6312.50
18	5750.00	TOTAL	
19	5750.00	220,842.64 SQ FT	
20	5750.00		

TRACT USE TABLE			
TRACT	USE	AREA (SF)	AREA (AC)
A	LANDSCAPE / OPEN SPACE	17374	0.399
B	LANDSCAPE / OPEN SPACE	2092	0.048
C	LANDSCAPE / OPEN SPACE	7476	0.172
TOTAL TRACT		26942	0.619



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EPS

GROUP

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Residential Corner
Mesa, Arizona

Project:

Revisions:

SEPTEMBER 12, 2019 - 1ST SUBMITTAL
OCTOBER 21, 2019 - 2ND SUBMITTAL

Call us at least two full working days
before your begin excavating.

ARIZONA

STATE

REGISTERED PROFESSIONAL ENGINEER

DESIGNED BY: JH
DRAWN BY: DCH

Job No.
19-0240

Sheet No.
2
of 2