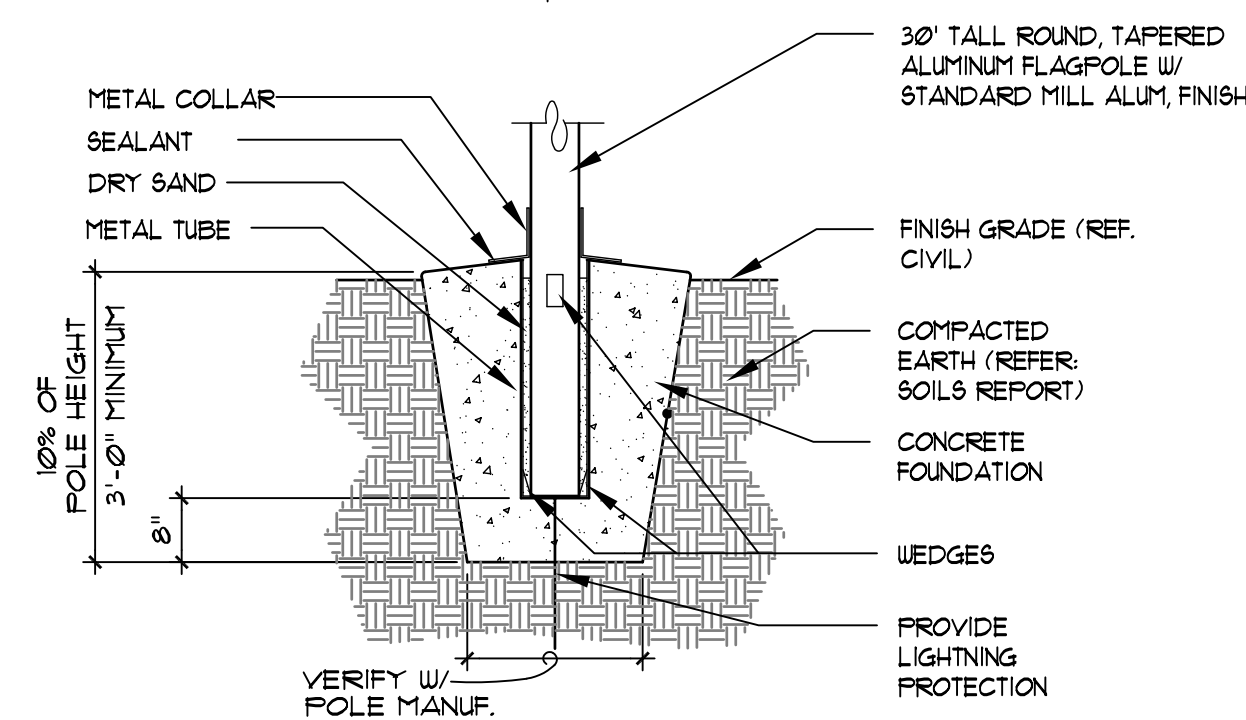
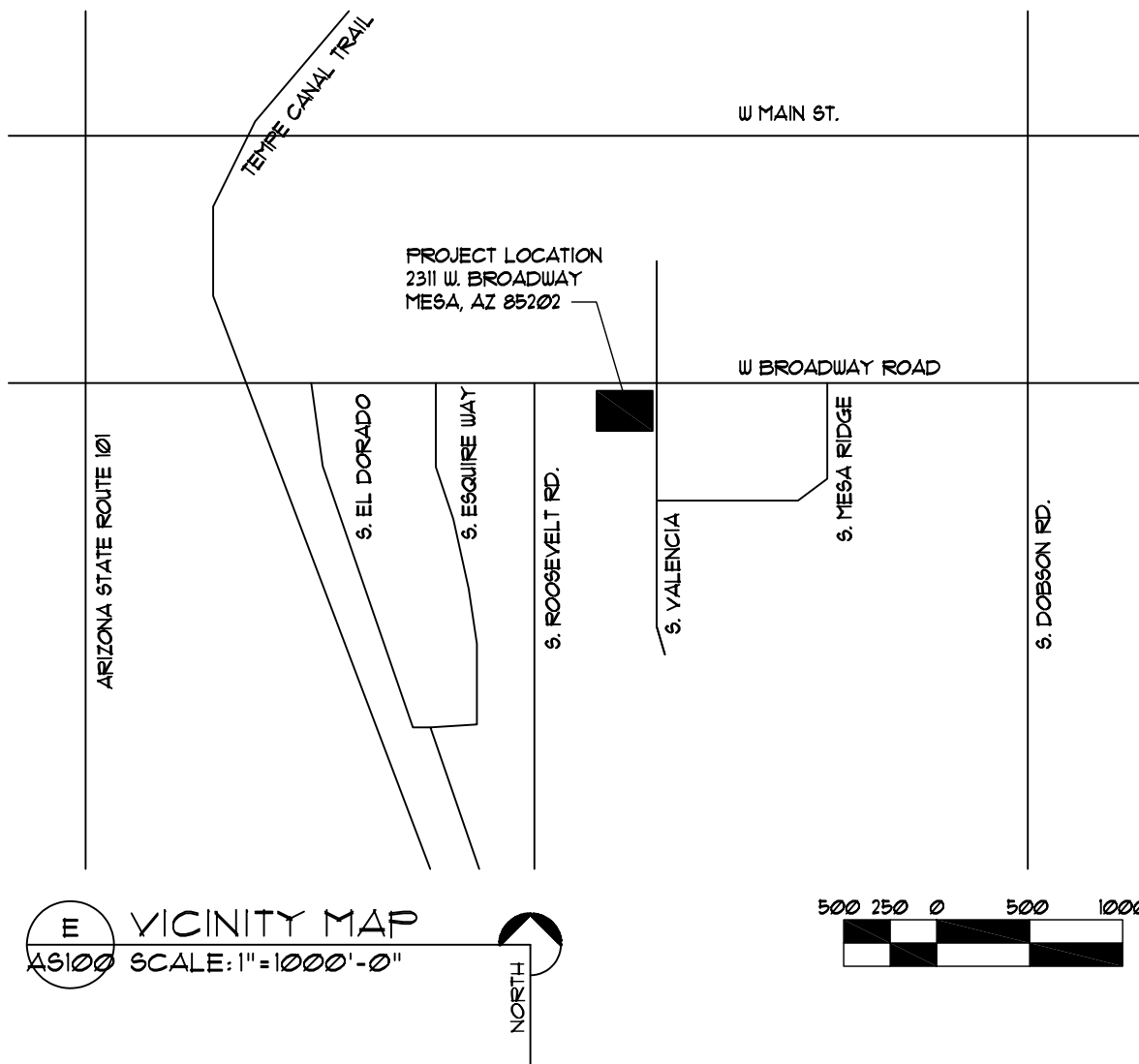
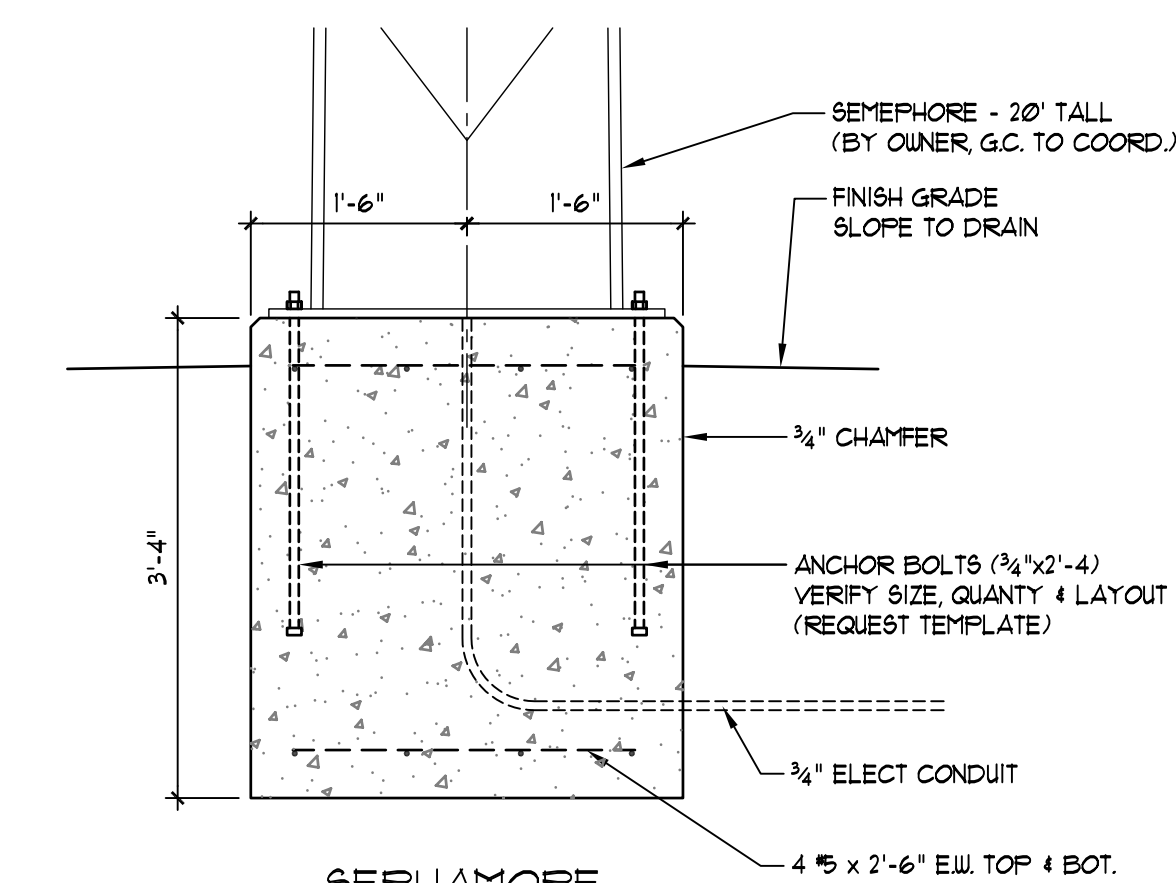
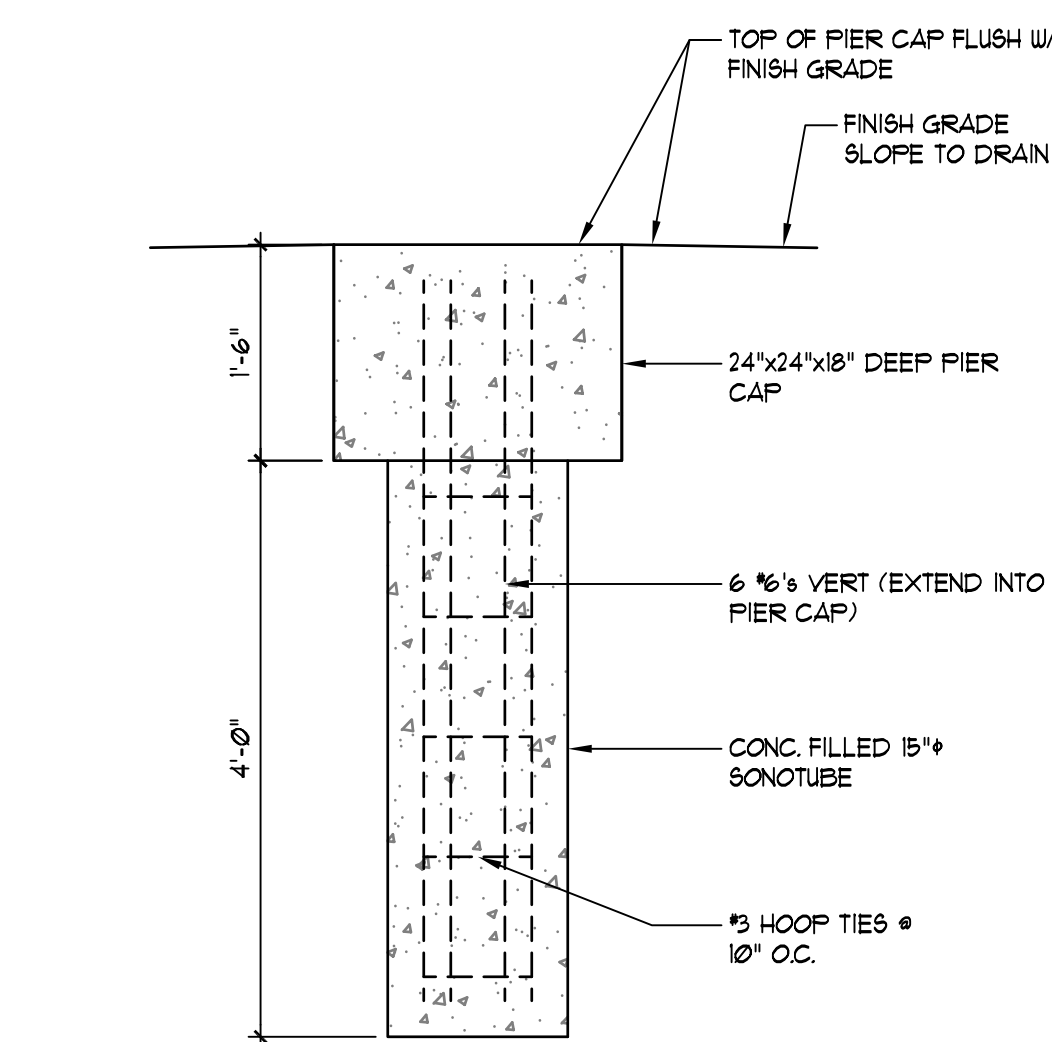




D FLAGPOLE & BASE
SCALE: 1/2" = 1'-0"



C SEMPHORE FOOTING DETAIL
SCALE: 3/4" = 1'-0"



NOTE:
G.C. SHALL COORD. W/ OWNER SUPPLIED RR. CROSSING ARM. PROVIDE ANCHORS AS REQUIRED.

B CROSSING ARM FOOTING DETAIL
SCALE: 3/4" = 1'-0"

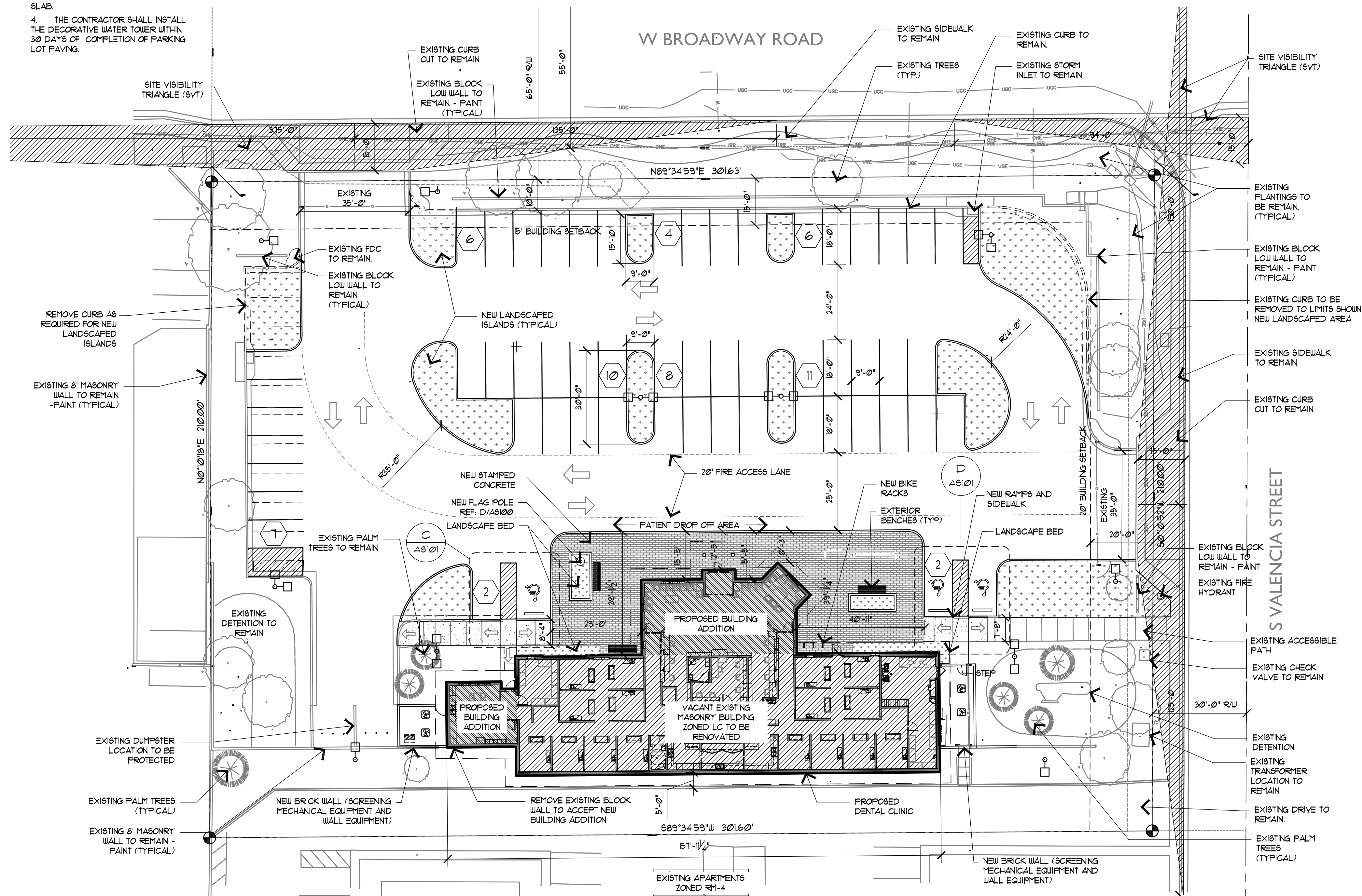
LEGEND	
	EXISTING LIGHT POLE
	LIGHT BROOM FINISHED CONCRETE (REF. CIVIL)
	INTEGRALLY COLORED STAMPED CONCRETE - RUNNING BOND PATTERN - BRICK RED (REF. CIVIL & NOTES)
	NEW LANDSCAPED AREA (REF. LANDSCAPE PLAN)
	EXISTING CONCRETE CURB OR SITE WALL
	NEW CONCRETE CURB
	EXISTING CONCRETE CURB TO BE REMOVED

NOTE 1: INTEGRALLY COLORED STAMPED CONCRETE SHALL BE REINFORCED W/ #6 @ 10" W/M OR #3 BARS @ 24" O.C.

NOTE 2: SEALANT SHALL BE INSTALLED @ ALL CONSTRUCTION JOINTS (TYPICAL)

GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING FULLY WITH THE EPA STORM WATER REGULATIONS AND POLLUTION PREVENTION PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL SIDEWALKS THAT ARE REMOVED OR DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL PARKING LOT PAVING WITHIN 30 DAYS OF COMPLETION OF THE BUILDING SLAB.
- THE CONTRACTOR SHALL INSTALL THE DECORATIVE WATER TOWER WITHIN 30 DAYS OF COMPLETION OF PARKING LOT PAVING.



A ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

SIGNAGE:

ALL SIGNAGE BY SEPARATE PERMIT AND WILL NOT BE REVIEWED THROUGH THE DESIGN REVIEW OR SITE PLAN REVIEW PROCESS. SIGNS MUST FOLLOW SIGN CODE (MZO ARTICLE 5)

REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE AND SHALL BE AN ALL-WEATHER DRIVING SURFACE GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (14,000 LBS/24,000 LBS PER AXLE) WHEN ROADS ARE WET. THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOB SITE WHERE ANY PERSON(S) SHALL BE WORKING FOR A MINIMUM OF FOUR (4) CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS" IN RED LETTERS, SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.

ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.

WATER SUPPLY FOR FIRE PROTECTION. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS. IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS ALWAYS AVAILABLE. WHEN THE WORK IS COMPLETE, DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE, AND THE VALVES ARE OPEN.

COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND: IFC CHAPTER 33 NFPA 741, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.

PROPOSED DENTAL DEPOT 2311 W. BROADWAY MESA, AZ 85202 *16 OPERATORIES

EXISTING AND NEW ZONING:	LC
GROSS SITE ACREAGE:	1.454 ACRES
EXISTING IMPERVIOUS TOTAL:	49,124 SQ. FT.
PROPOSED IMPERVIOUS TOTAL:	45,336 SQ. FT.
EXISTING BUILDING SQ. FT.:	5,321 SQ. FT.
BUILDING ADDITION SQ. FT.:	1,658 SQ. FT.
TOTAL BUILDING SQ. FT.:	6,985 SQ. FT.
EXISTING BUILDING HT.:	+/-18'-0"
PROPOSED BUILDING HT.:	+/-23'-0"
TOWER HT.:	+/-42'-6"
PARKING REQUIRED:	40 SPACES
PARKING PROVIDED:	56 SPACES

LEGAL DESCRIPTION:
TH PT NE4 SEC 30 DAF COM INTER MON LI DOBSON RD 4 BROADWAY RD TH W TO INT HL OF BROADWAY RD AND VALENCIA DR TH S 55F TH W 30F TO 4 FT 4 TPOB TH S 220F TH W 301.60F TH E 301.63F TO TPOB EX COM AT NE COR 6D SEC 30 TH W TO INT OF ML BROADWAY RD 4 VALENCIA DR TH S 55F TH W 30F TO TPOB TH S 10F TH W 301.63F TH N 10F TH E 301.63F TO TPOB P/F 01-0505348

DATE	DESCRIPTION

STAMP:



FITZGERALD ASSOCIATES
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OKLAHOMA CITY, OKLAHOMA 73118

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•DENTAL DEPOT• MESA, AZ

LOCATION:
2311 W BROADWAY
MESA, AZ

OWNER:
ASHMORE INVESTMENTS, LLC.
3104 NW 23RD STREET
OKLAHOMA CITY, OK 73107

JOB NUMBER: ---

DRAWN BY:
T.V.M.

CHECKED BY:

SHEET TITLE:

ARCHITECTURAL SITE PLAN

DATE:
9 September 2020

SHEET NUMBER:

AS100