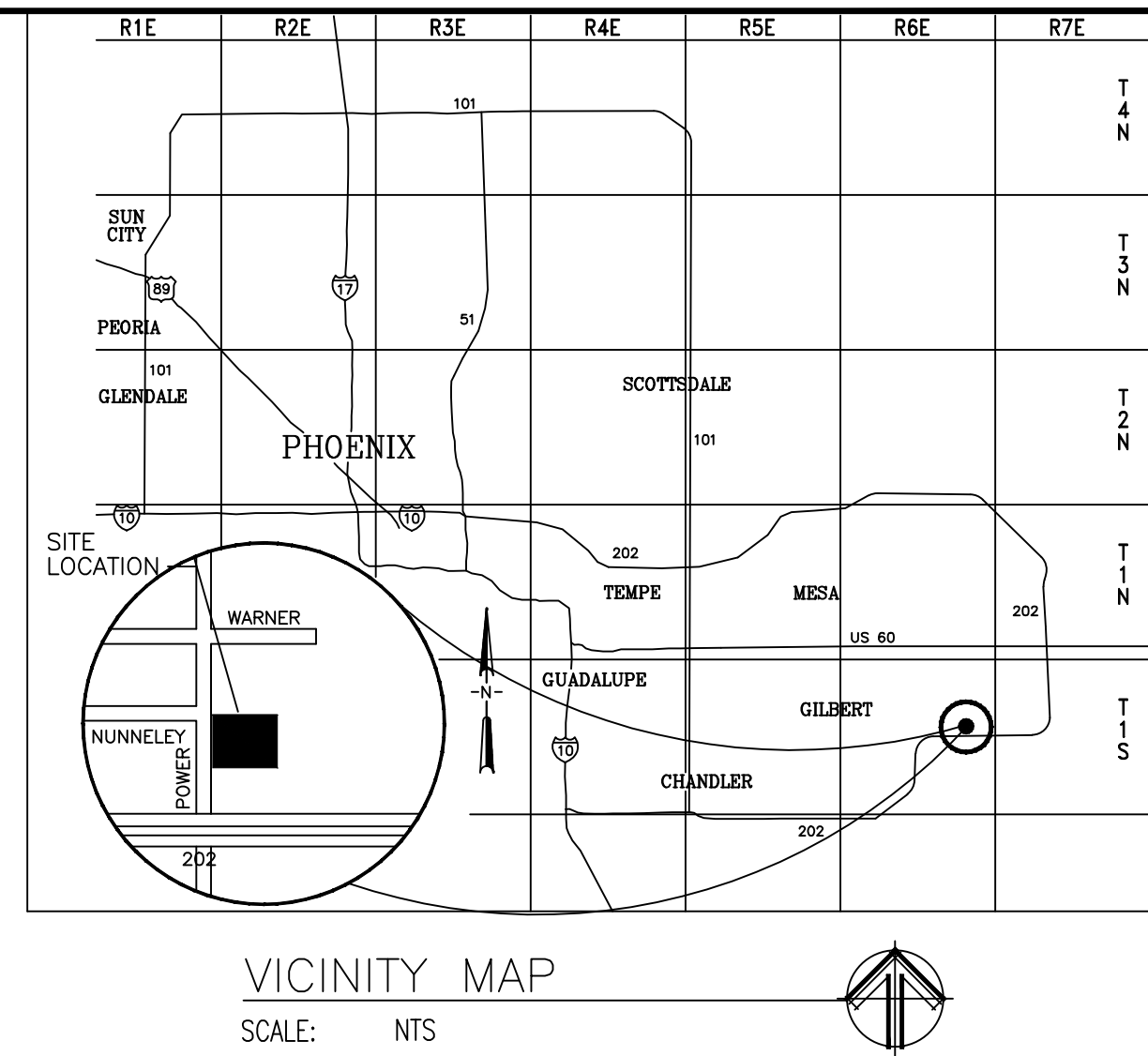


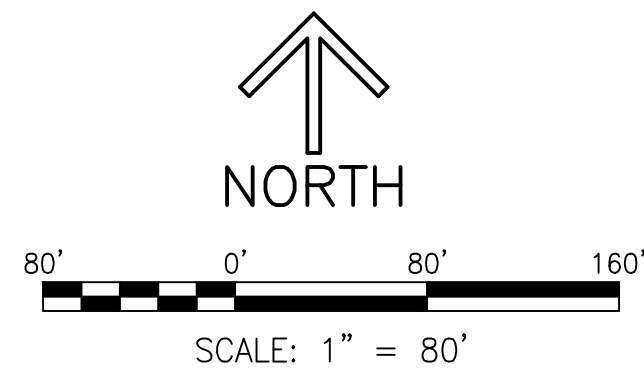
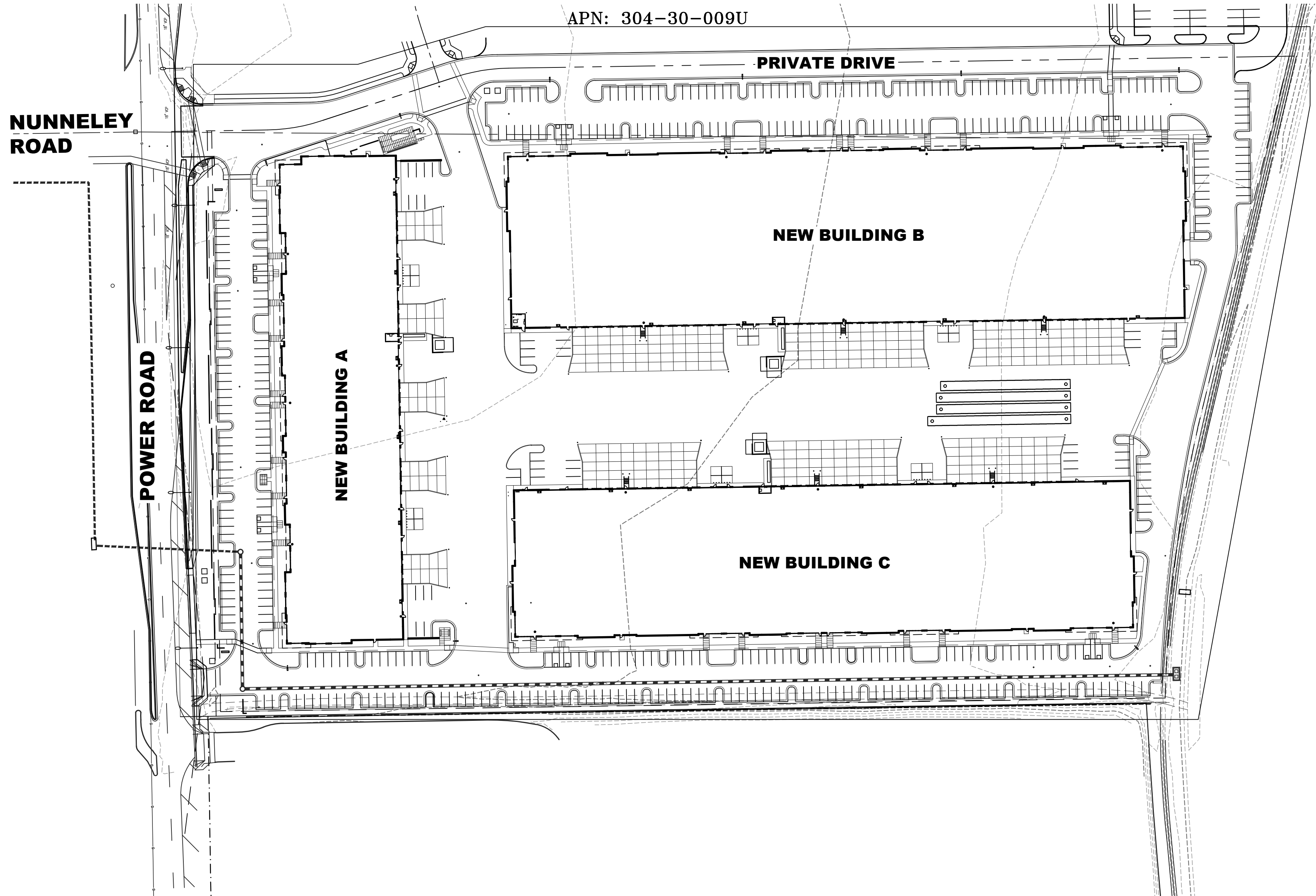
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PRELIMINARY CIVIL IMPROVEMENT PLAN
FOR
POWER 202 BUSINESS PARK
SEC OF SOUTH POWER ROAD & EAST NUNNELEY ROAD

SHEET INDEX	
C0.01	COVER SHEET
C0.02	PRELIMINARY GRADING & DRAINAGE PLAN
C0.03	PRELIMINARY GRADING & DRAINAGE PLAN



OWNER	
DEVELOPER	
DRAWN BY:	KCS
CHECKED BY:	NJC
DATE:	7/21/2020
SCALE:	1"=20'
PROJECT #:	70-20020
PURPOSE:	purpose



SITE AREA

GROSS AREA	=	811,320 S.F. - 18.63 ACRES
FULL VERSION AREA	=	794,970 S.F. - 18.25 ACRES
NET AREA	=	65' ROW LEGAL AREA

FLOOD INFO - FIRM DATA

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 04013C2760L DATED NOVEMBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED WITHIN A SHADED ZONE X, DESCRIBED AS: "0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE."

ELEVATION BENCHMARK

CITY OF MESA FLUSH BRASS CAP INTERSECTION OF BASELINE ROAD AND HORNE STREET.
ELEVATION = 1216.388 (NAVD88 DATUM)

RETENTION CALCULATIONS

ONSITE RETENTION IS REQUIRED AND PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT. THE ENTIRE PROPERTY IS DESIGNED TO CONVEY ALL FLOWS TO UNDERGROUND RETENTION, INCLUDING 1/2 OF PRIVATE ACCESS ROAD.

VOLUME REQUIRED:

Vreq = P*C*A/12	P=2.30 in.
RAINFALL	C=0.90
SURFACE COEFFICIENT,	A=853,374 SF
WATERSHED AREA	V= 147,201 CF
VOLUME req'd	

VOLUME PROVIDED:

WATERSHED #1	V= 10"φ AT 170 L.F.
WATERSHED #2	V= 10"φ AT 1,210 L.F.
WATERSHED #3	V= 10"φ AT 250 L.F.
WATERSHED #4	V= 10"φ AT 270 L.F.
STORMTECH MC-3500	

TOTAL VOLUME V= 10"φ AT 1,900 L.F.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED MESA, IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 3 INCH MARICOPA COUNTY HIGHWAY DEPARTMENT BRASS CAP IN HAND HOLE AT THE NORTHWEST CORNER OF SAID SECTION 19, FROM WHICH A 2 INCH ALUMINUM CAP ON REBAR AT THE NORTH QUARTER CORNER OF SAID SECTION 19 BEARS SOUTH 89 DEGREES 40 MINUTES 50 SECONDS EAST (BASIS OF BEARING), 2528.97 FEET;

THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF SECTION 19, SOUTH 0 DEGREES 54 MINUTES 54 SECONDS EAST, 1314.26 FEET;

THENCE NORTH 89 DEGREES 05 MINUTES 06 SECONDS EAST, 65.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUE NORTH 89 DEGREES 05 MINUTES 06 SECONDS EAST, 82.09 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWEST, HAVING A RADIUS OF 200.00 FEET;

THENCE NORTHEASTERLY 60.13 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 17 DEGREES 13 MINUTES 32 SECONDS;

THENCE NORTH 71 DEGREES 51 MINUTES 34 SECONDS EAST, 158.91 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEAST, HAVING A RADIUS OF 200.00 FEET;

THENCE NORTHEASTERLY 60.13 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 17 DEGREES 13 MINUTES 32 SECONDS;

THENCE NORTH 89 DEGREES 05 MINUTES 06 SECONDS EAST, 881.33 FEET, TO THE WESTERLY RIGHT OF WAY LINE OF THE ROOSEVELT WATER CONSERVATION DISTRICT (RWCD) MAIN CANAL;

THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE OF THE RWCD MAIN CANAL, SOUTH 13 DEGREES 16 MINUTES 35 SECONDS WEST, 455.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEAST, HAVING A RADIUS OF 1385.00 FEET;

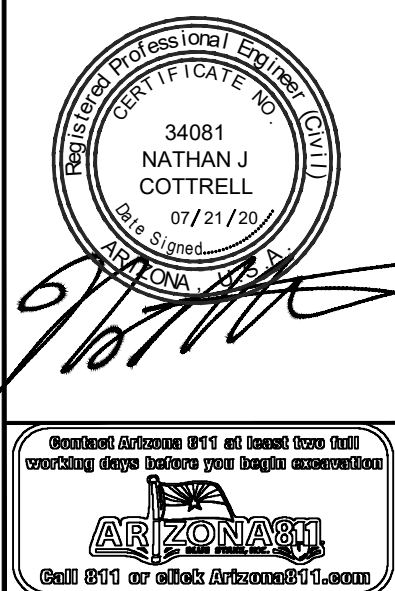
THENCE SOUTHWESTERLY 282.53 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 11 DEGREES 41 MINUTES 16 SECONDS;

THENCE ON A NON-TANGENT LINE SOUTH 89 DEGREES 07 MINUTES 41 SECONDS WEST, 1081.16 FEET;

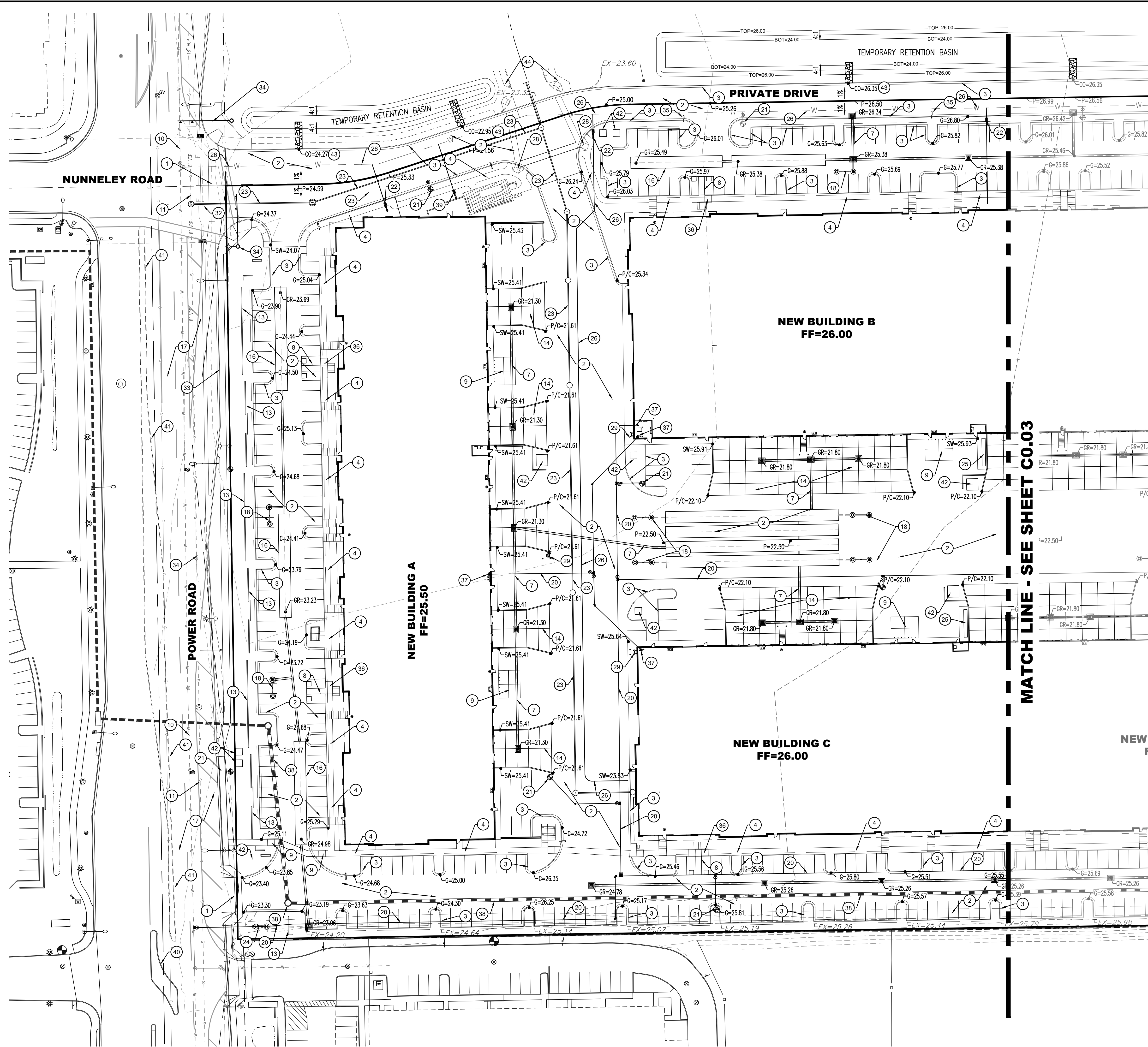
THENCE ALONG A LINE BEING PARALLEL TO, AND 65.00 FEET EASTERLY OF THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 19, NORTH 0 DEGREES 54 MINUTES 54 SECONDS WEST, 654.35 FEET TO THE TRUE POINT OF BEGINNING;

THE ABOVE DESCRIBED LAND CONTAINING 18.620 ACRES MORE OR LESS.

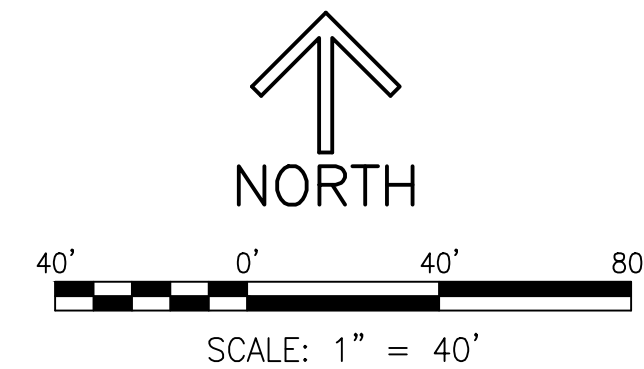
PRELIMINARY GRADING & DRAINAGE PLAN
FOR
POWER 202 BUSINESS PARK
SEC OF SOUTH POWER ROAD & EAST NUNNELEY ROAD
MESA, ARIZONA



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- CONSTRUCTION NOTES**
1. NEW DRIVEWAY APRON PER C.O.M. DET. M-42
 2. NEW ASPHALT PAVEMENT
 3. NEW 6" CONCRETE CURB
 4. NEW CONCRETE SIDEWALK
 5. NEW SURFACE GRADEBREAK
 6. NEW STORM DRAIN CATCH BASIN
 7. NEW H.D.P.E. STORM DRAIN PIPE
 8. 2% MAXIMUM SLOPE FOR ADA PARKING SPACES.
 9. NEW TRASH ENCLOSURE AREA
 10. EXISTING WATER LINE
 11. EXISTING SEWER LINE
 12. EXISTING FIRE HYDRANT
 13. NEW SCREEN WALL
 14. NEW CONCRETE TRUCKWELL
 15. STORM DRAIN MANHOLE
 16. UNDERGROUND STORAGE SYSTEM - 10" CMP'S
 17. EXISTING ASPHALT PAVEMENT
 18. NEW DUAL CHAMBER DRYWELL
 19. NEW DOMESTIC WATER LINE
 20. NEW FIRE LINE
 21. NEW FIRE HYDRANT
 22. NEW WATER METER WITH BACKFLOW DEVICE
 23. NEW PUBLIC SEWER LINE
 24. NEW FIRE LINE BACKFLOW DEVICE
 25. NEW ELECTRIC PEDESTAL
 26. NEW PUBLIC WATER LINE
 27. REPLACE EXISTING SIDEWALK SCUPPER WITH CATCH BASIN AND PIPE TO UNDERGROUND SYSTEM AS SHOWN.
 28. NEW ADA RAMP/RETURN PER MESA STANDARDS. 25' B/C RADIUS.
 29. NEW FDC LOCATION
 30. NEW VALLEY GUTTER
 31. NEW TO EXISTING PAVEMENT
 32. NEW SEWER LINE TO EXISTING SEWER SERVICE
 33. NEW RIGHT TURN (WB TO NB) DECEL LANE.
 34. RELOCATED TRAFFIC SIGNAL POLE
 35. NEW STREET LIGHT.
 36. NEW A.D.A. RAMP.
 37. NEW FIRE SPRINKLER RISER.
 38. RWCD IRRIGATION PIPE BY OTHERS
 39. NEW LANDSCAPING METER WITH BACKFLOW DEVICE
 40. EXISTING RAISED MEDIAN TO REMAIN.
 41. NEW RAISED MEDIAN TO BE COORDINATED WITH ADJACENT PROPERTY.
 42. NEW ELECTRIC EQUIPMENT BY OTHERS.
 43. NEW CURB OPENING AND RIPRAP SPILLWAY FOR DRAINAGE.
 44. FUTURE DEVELOPMENT.
 45. NEW ROLL CURB TO FLUSH PAVEMENT.
 46. NEW 10' WIDE CONCRETE DRIVEWAY ACCESS.
 47. NEW 10' WIDE GATE.



OWNER	
DEVELOPER	
DRAWN BY: KCS	NJC
CHECKED BY: NJC	7/21/2020
DATE: 7/21/2020	SCALE: 1"=20'
PROJECT #: 70-20020	PURPOSE: purpose

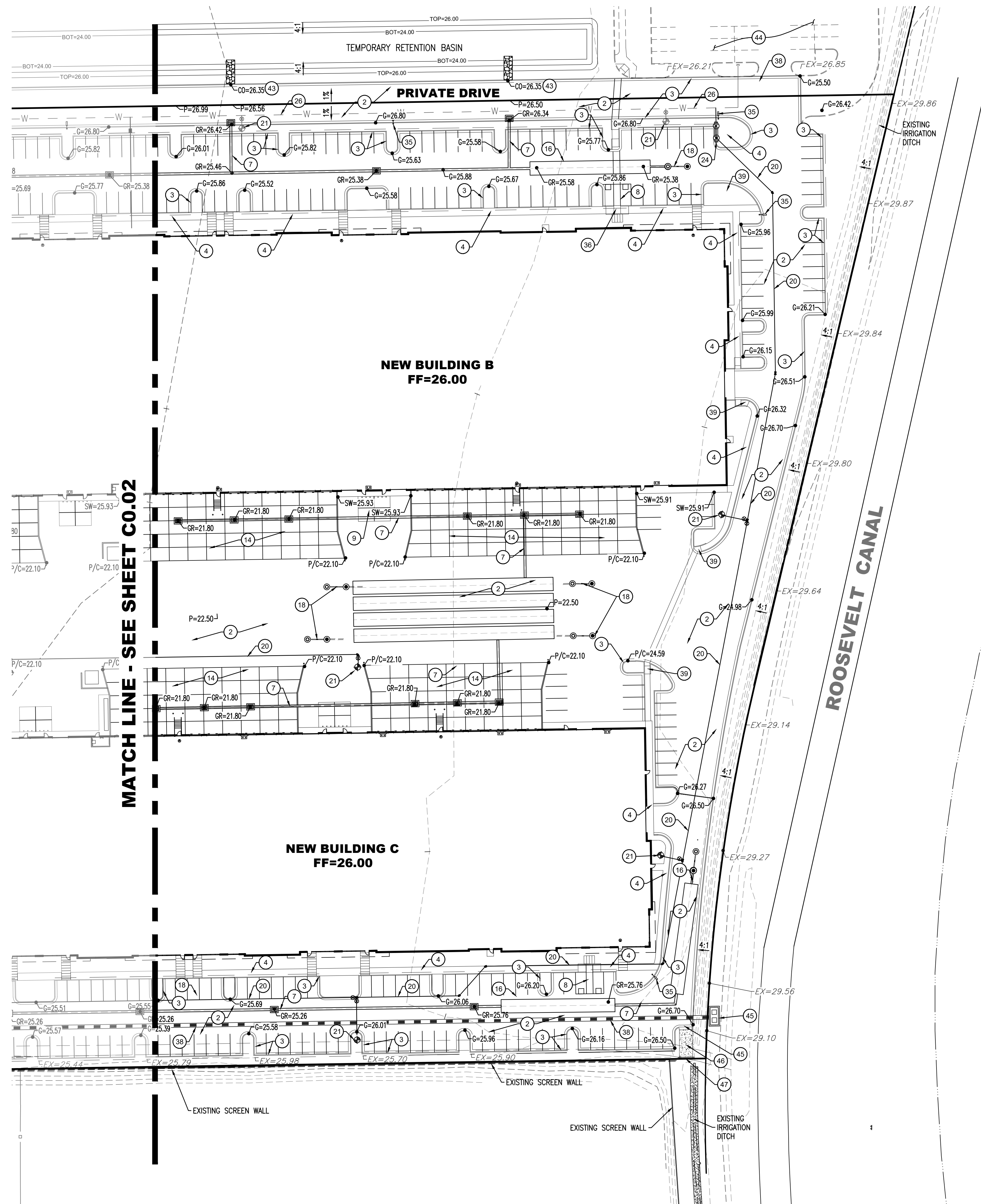
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SEC OF SOUTH POWER ROAD & EAST NUNNELEY ROAD
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KDS
ENGINEERING DESIGN & CONSTRUCTION SERVICES
12408 W. INDIAN SCHOOL RD., AVONDALE, AZ 85392
PHONE: 623.536.1993 FAX: 623.748.9008

PROFESSIONAL SEAL
NATHAN J. COTTELL
Professional Engineer
No. 12345
State of Arizona
Exp. 12/31/2021

SHEET 2 OF 8
C0.02

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CONSTRUCTION NOTES

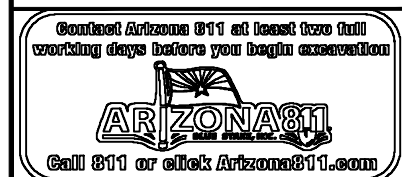
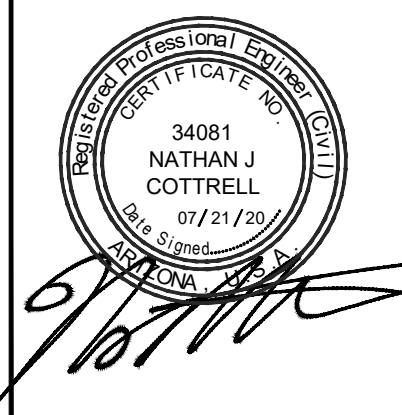
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48. NEW IRRIGATION CONTROL BOX (BY OTHERS).

OWNER

DEVELOPER

DRAWN BY: KCS
CHECKED BY: NUC
DATE: 7/21/2020
SCALE: 1"=20'
PROJECT #: 70-20020
PURPOSE:

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SHEET 3 OF 8

C0.03