

# Planning and Zoning Board



## *Study Session Minutes*

Mesa City Council Chambers – Lower Level, 57 East 1<sup>st</sup> Street

Date: March 26, 2025 Time: 3:00 p.m.

### **MEMBERS PRESENT:**

Benjamin Ayers  
Jeff Pitcher\*  
Troy Peterson  
Jamie Blakeman\*  
Chase Farnsworth

### **MEMBERS ABSENT**

Genessee Montes  
Jayson Carpenter

(\*Boardmembers and staff participated in the meeting through the use of telephonic and video conference equipment)

### **STAFF PRESENT:**

Mary Kopaskie-Brown  
Rachel Nettles  
Evan Balmer  
Mallory Ress  
Joshua Grandlienard  
Kwasi Abebrese  
Alexis Wagner

### **OTHERS PRESENT:**

#### **1 Call meeting to order.**

Chair Ayers excused Boardmember Montes and Boardmember Carpenter and declared a quorum present; the meeting was called to order at 3:01 pm.

#### **2 Review items on the agenda for the March 26, 2025, regular Planning and Zoning Board Hearing.**

**Staff Planner Joshua Grandlienard presented case ZON24-01019. See attached presentation.**

Chair Ayers recused himself from the case.

Staff provided clarifying information based on the Boardmembers' discussion.

**Staff Planner Kwasi Abebrese presented case ZON24-01022 and associated preliminary plat. See attached presentation.**

In response to Boardmember Peterson and Boardmember Farnsworth's questions, Principal Planner Evan Balmer explained that the surface would need to be dust-proof, typically asphalt



## MINUTES OF THE MARCH 26, 2025 PLANNING & ZONING STUDY SESSION

or concrete, though other alternatives could be considered. The applicant would need approval from the civil group to ensure the surface can handle the loads and will not deteriorate.

**Staff Planner Mallory Ress presented case ZON24-01079 and associated preliminary plat. See attached presentation.**

In response to Boardmember Peterson's question, Mr. Balmer explained that veterinary clinics, kennels, and similar establishments have additional requirements at the building permit stage, specifically regarding insulation and sound deadening in the building.

**Case ZON24-00548 was continued to a date uncertain.**

- 3 Planning Director Update:** The text amendment for manufactured home and RV subdivisions is being revised based on feedback from the Cultural and Community Development Committee, with clarifications on definitions like manufactured homes, RVs, and stick-built structures. The revised ordinance will be brought back to the Planning and Zoning Board for further review and a new recommendation to the council.

**4 Adjournment.**

Boardmember Farnsworth motioned to adjourn the study session. The motion was seconded by Boardmember Peterson.

The study session was adjourned at 3:37 pm.

**Vote (5-0; Boardmember Montes and Boardmember Carpenter, absent)**

Upon tabulation of vote, it showed:

AYES – Ayers, Pitcher, Peterson, Blakeman, Farnsworth

NAYS – None

Respectfully submitted,

---

Benjamin Ayers  
Planning and Zoning Board Chair

\*\*\*\*\*

**Note:** Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at [www.mesaaz.gov](http://www.mesaaz.gov)





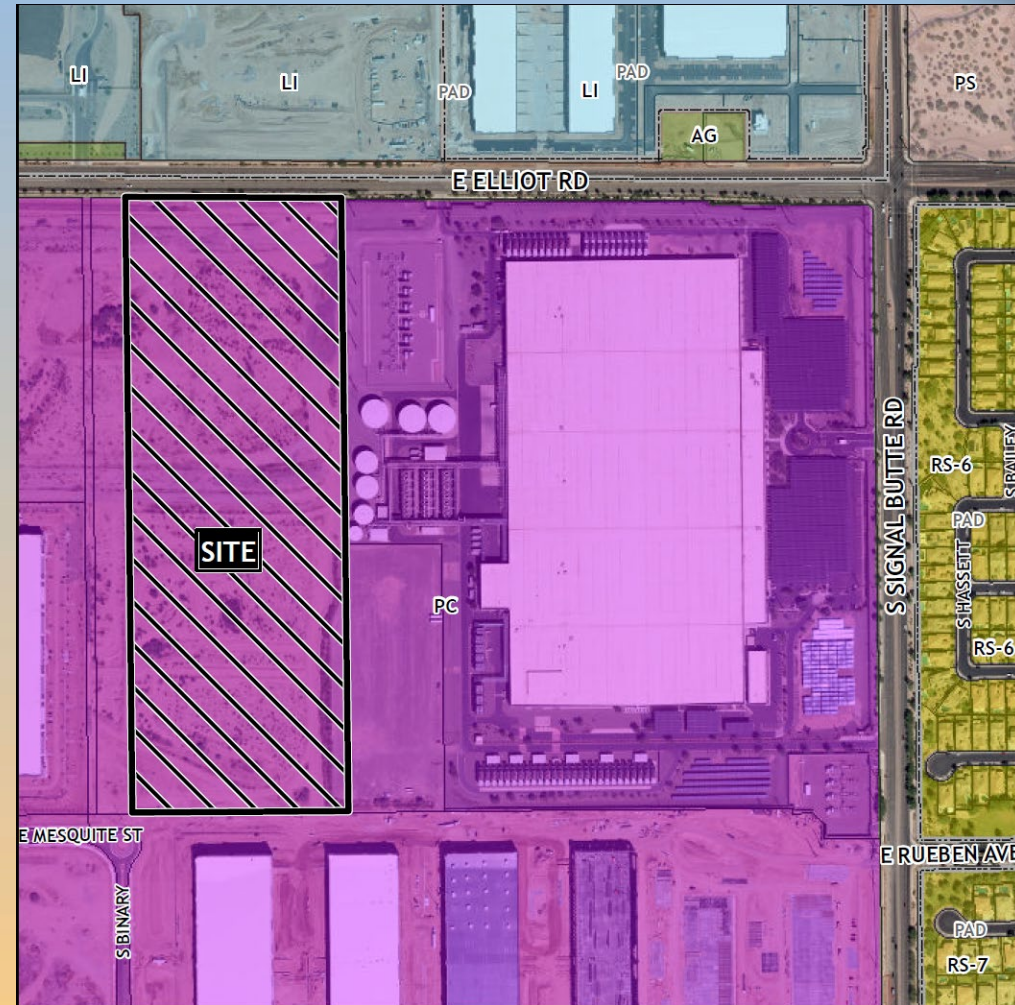
# ZON24-01019





# Location

- West of Signal Butte Road
- South of Elliot Road







# Site Photo



Looking south from Elliot Road





# Request

- Requesting the modification of stipulations for ZON24-00019







# Request

The applicant is requesting the following changes to Conditions of Approval No. 2 and 3 for Case No. ZON24-00019:

- Condition of Approval No. 2 states: “Prior to the issuance of any building permit, obtain final approval from the Eastmark Design Review Committee.”
  - The applicant is requesting to modify the condition to read “Prior to the issuance of any building permit, comply with the requirements of Mesa’s Design Review Process.”
- Condition of Approval No. 3 states: “Compliance with all requirements of the Eastmark Design Review Committee.”
  - The applicant is requesting the condition be removed in its entirety.





# Findings

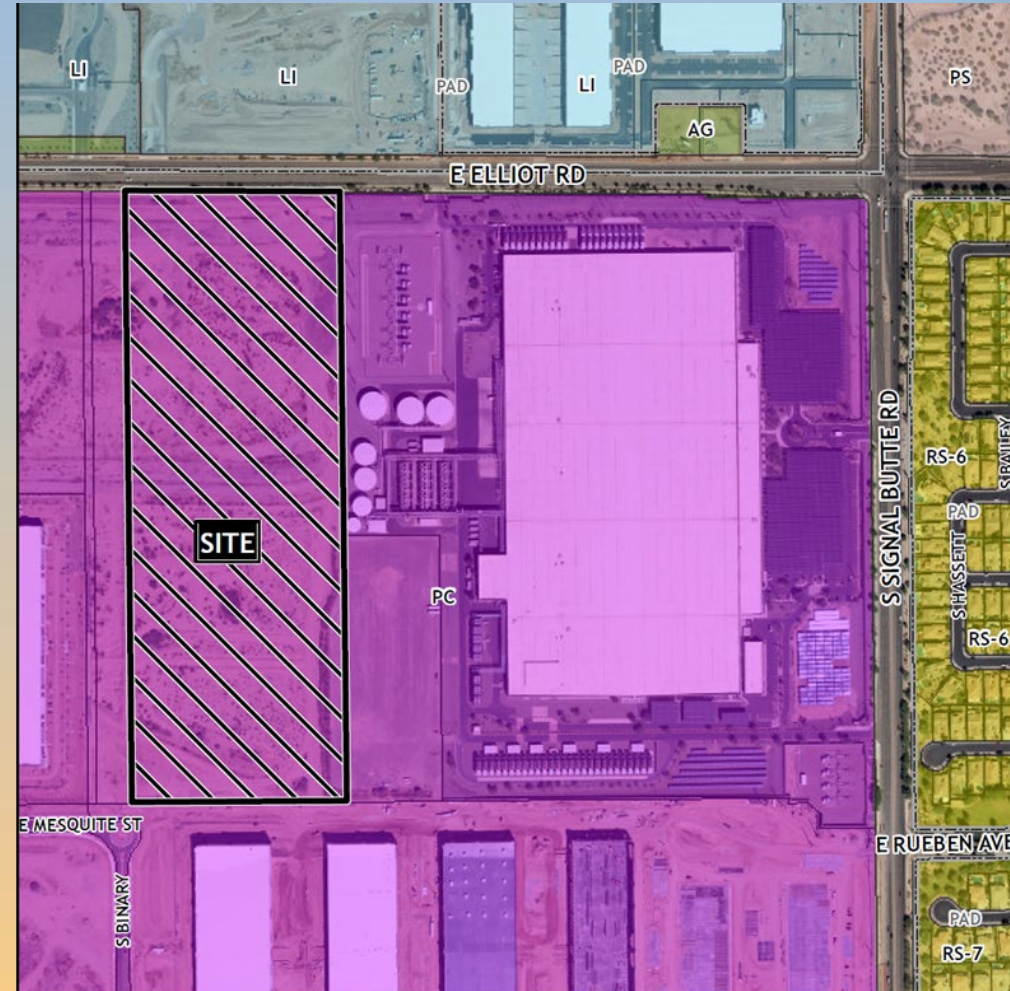
- ✓ Staff recommends the removal of Conditions of Approval No. 2 and 3 from case ZON24-00019.
- ✓ Staff also recommends adding a modified condition of approval that states: “Prior to the issuance of any building permit, complete an administrative design review with the City, and comply with the requirements of the administrative design review case.”





# Zoning

- Planned Community
- Indoor warehousing and storage are allowed by right within the PC zone within LUG-C
- Special Use Permit for a Parking Reduction



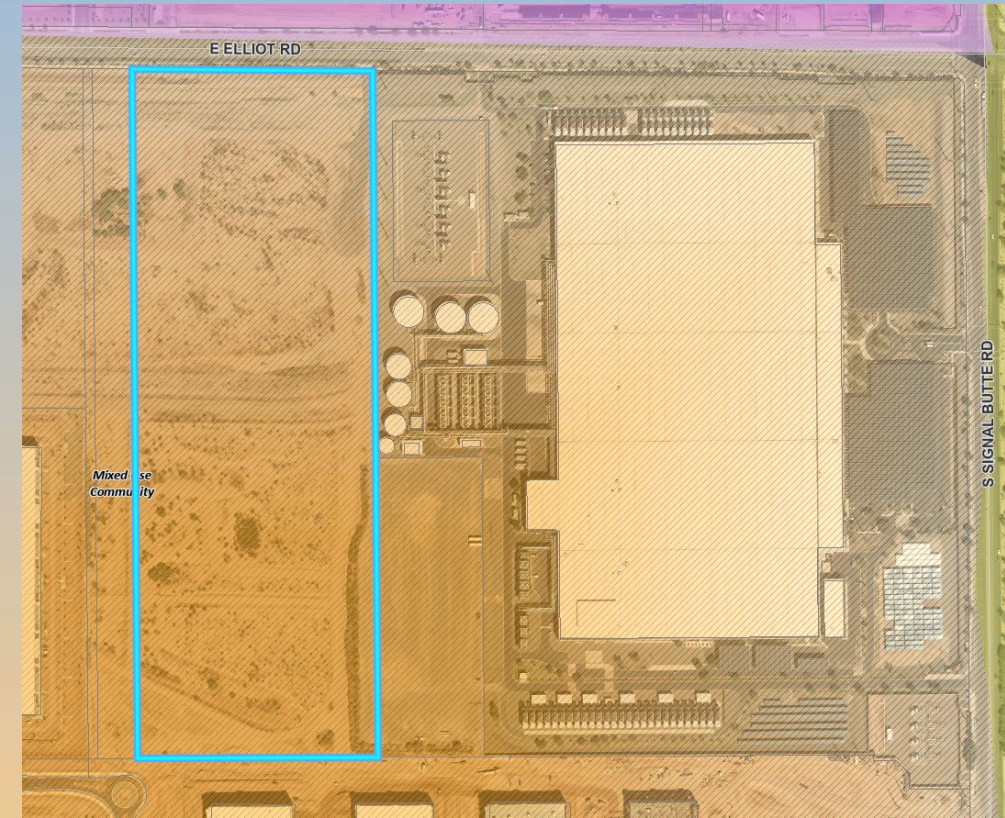




# General Plan

## Mixed Use Community

- Contain a mix of employment, office, retail, medical, ..., and residential uses to provide a complete community with a sense of place.
- Planned Community is a primary zoning District

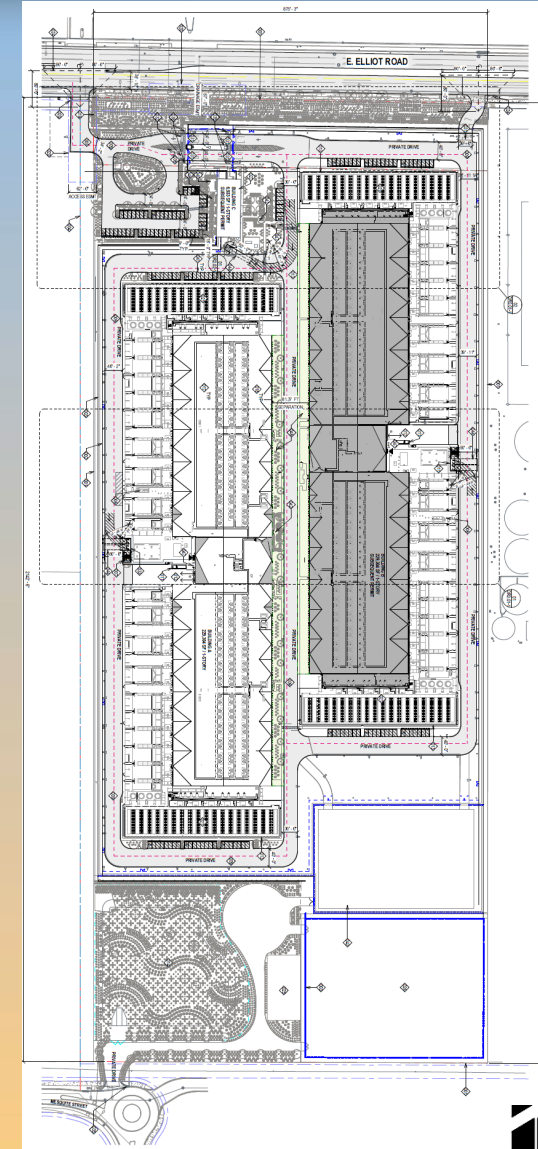






# Site Plan

- 2 separate Data Center structures proposed
- One Security Building at northern entrance of the site
- Vehicular access to the site is provided from Elliot Road
- 152 parking spaces provided

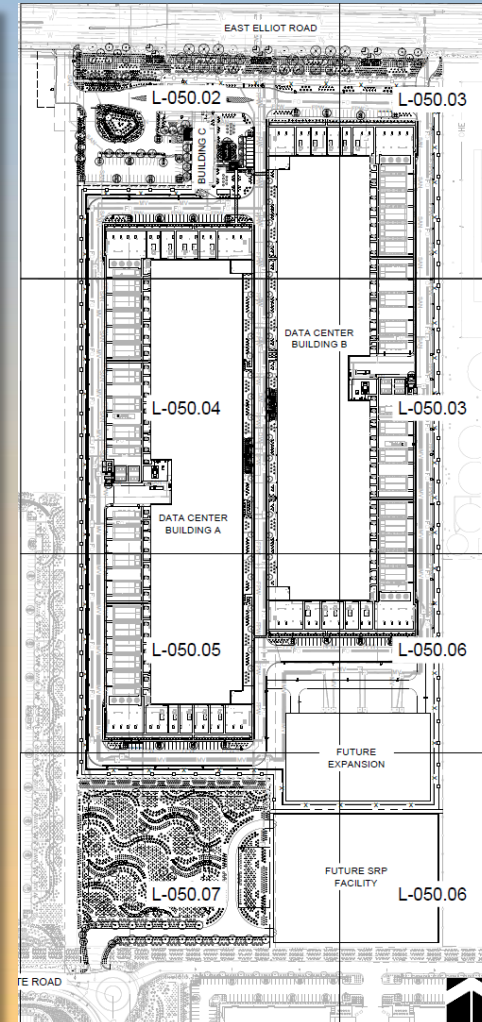






# Landscape Plan

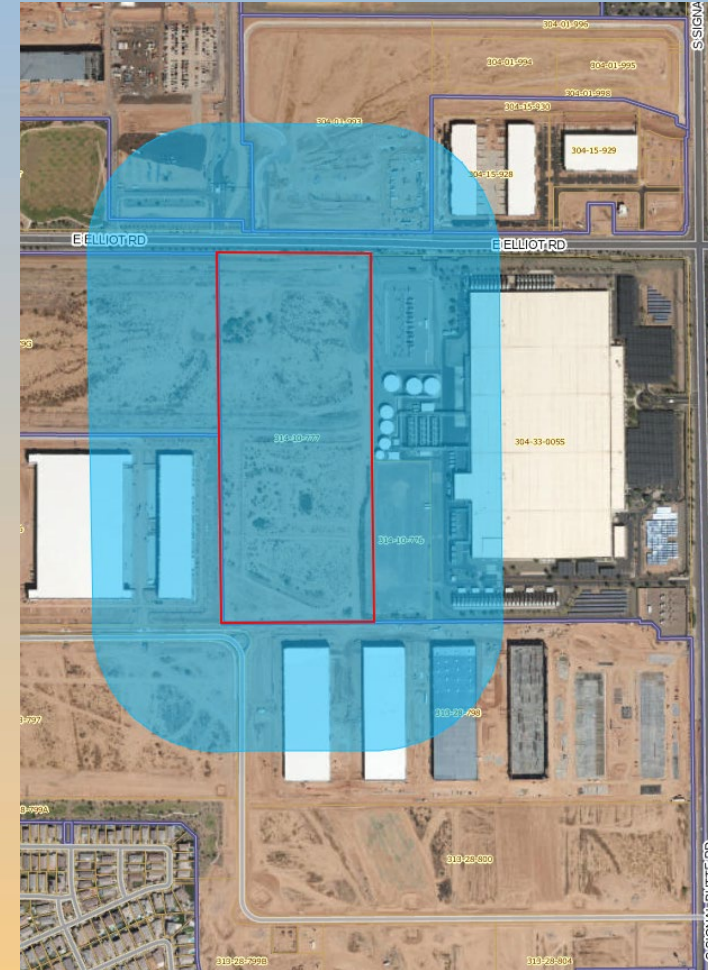
PLANTING LEGEND			
TREES			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Existing Tree	Size Varies	-	
Species Vary			
Acacia aneura	24" Box Min., 6' Ht. Min., 2" Sp. Min., 1" Cal. Min.	16	
Mulga	36" Box Min., 7' Ht. Min., 4" Sp. Min., 2" Cal. Min.	3	
Chilopsis linearis 'Lopur'	24" Box Min., 5' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.	14	
Desert Diva Desert Willow	24" Box Min., 5' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.	11	
Olneya tesota	3" Sp. Min., 1.5" Cal. Min.	37	
Ironwood	24" Box Min., 6' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.	36	
Parsonsia 'Desert Museum'	24" Box Min., 7' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.	8	
Desert Museum Palo Verde	36" Box Min., 9' Ht. Min., 4" Sp. Min., 2" Cal. Min.	40	
Pistacia x 'Red Push'	24" Box Min., 5' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.	32	
Red Push Pistache	3" Sp. Min., 1.5" Cal. Min.		
Prosopis glandulosa 'AZT'	24" Box Min., 4' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.		
Thornless Honey Mesquite	24" Box Min., 4' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.		
Sophora secundiflorum	24" Box Min., 4' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.		
Texas Mountain Laurel	24" Box Min., 4' Ht. Min., 3" Sp. Min., 1.5" Cal. Min.		
SHRUBS			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Anisacanthus thurberi	5 Gal.	135	
Desert Honeysuckle	5 Gal.	461	
Bougainvillea 'Torch Glow'	5 Gal.	16	
Torch Glow Bougainvillea	5 Gal.	134	
Callistemon 'Little John'	5 Gal.	378	
Little John Bottlebrush	5 Gal.	125	
Dodonea viscosa	5 Gal.	388	
'Green Hopseed Bush	5 Gal.		
Eremophila hygrophana	5 Gal.		
Bluebells	5 Gal.		
Ruellia peninsularis	5 Gal.		
Desert Ruellia	5 Gal.		
Tecoma stans 'Gold Star'	5 Gal.		
Yellow Bells	5 Gal.		
ACCENTS			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Agave weberi	5 Gal.	76	
Weber's Agave	5 Gal.	335	
Bouteloua gracilis 'Blonde Ambition'	5 Gal.	104	
Blonde Ambition Grass	5 Gal.	322	
Dasyliro wheeleri	5 Gal.	1,185	
Desert Spoon	5 Gal.	879	
Hesperaloe funifera	5 Gal.	97	
Giant Yucca	5 Gal.	14	
Muhlenbergia capillaris 'Regal Mist'	5 Gal.		
Regal Mist Grass	5 Gal.		
Muhlenbergia rigida 'Nashville'	5 Gal.		
Nashville Muhly	6 Pad Min.		
Opuntia rufida	3' Ht. Min.		
Blind Prickly Pear Cactus	3' Ht. Min.		
Pachycereus marginatus	3' Ht. Min.		
Mexican Fencepost	3' Ht. Min.		
GROUNDCOVERS			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Eremophila glabra 'Mingenew Gold'	1 Gal.	535	
'Outback Sunrise Emu	1 Gal.	89	
Lantana camara 'New Gold'	1 Gal.	847	
New Gold Lantana	1 Gal.	1,435	
Lantana montevidensis	1 Gal.		
Purple Trailing Lantana	1 Gal.		
Rosmarinus officinalis 'Prostratus'	1 Gal.		
Trailing Rosemary	1 Gal.		
MATERIALS			
DESCRIPTION	QTY		
Decomposed Granite	695,820 SF		
3" Minus, Carmel, 2" Depth Min.			
Rip Rap	180 SF		
1" x 3", 3" Depth Min.			
Crash-Rated Site Boulder	147		
Carmel, 5 Ton Boulder			







- Notified property owners within 750 ft., HOAs, and registered neighborhoods
- Staff has not been contacted by interested parties







# ZON24-01022

## Atlas Mesa Eastmark





# Request

- Site Plan Review
- Preliminary Plat
- To allow for an Industrial development

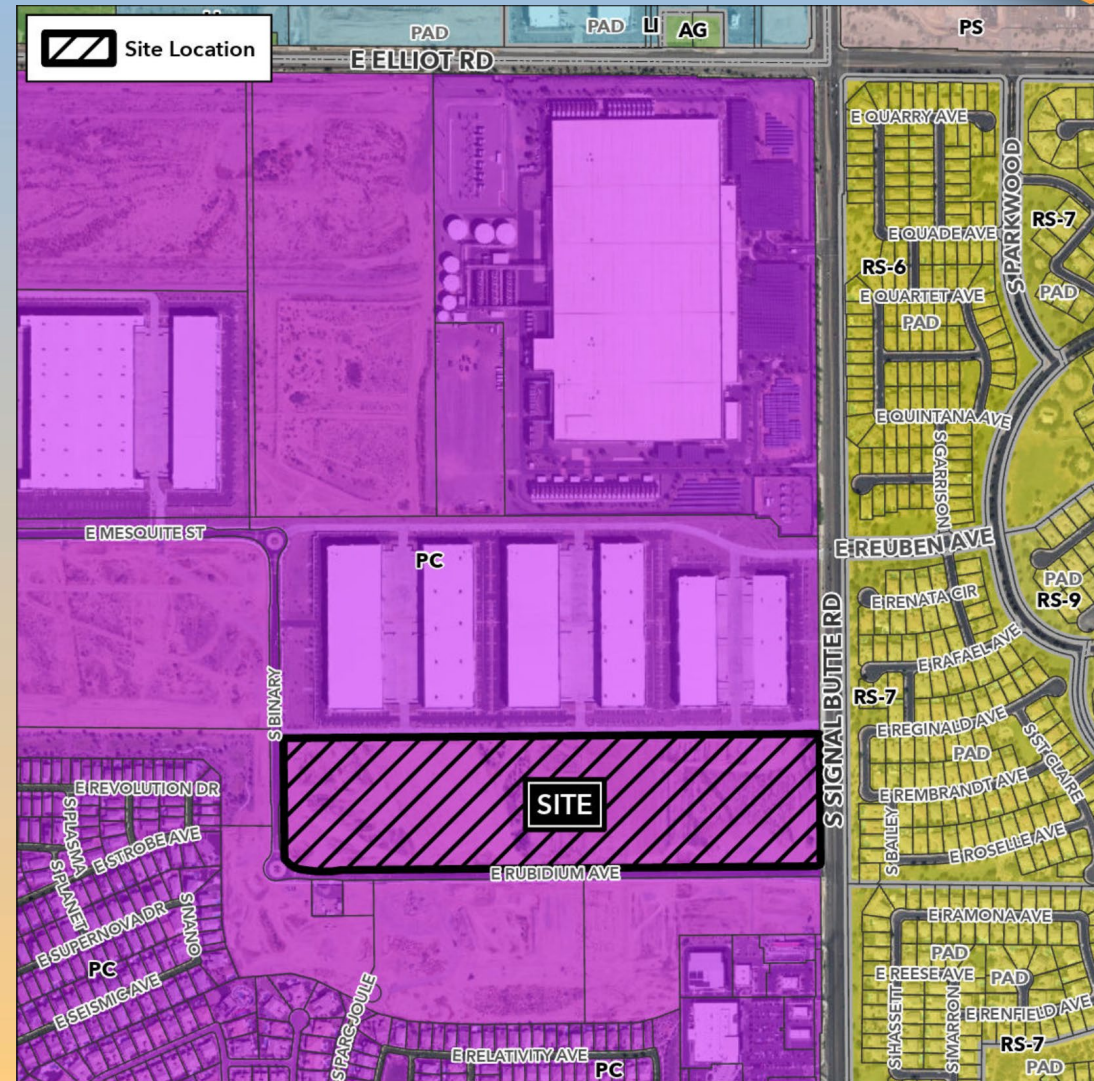






# Location

- West side of Signal Butte Road
- South side of Elliot Road
- Within Eastmark Development Unit 6 North







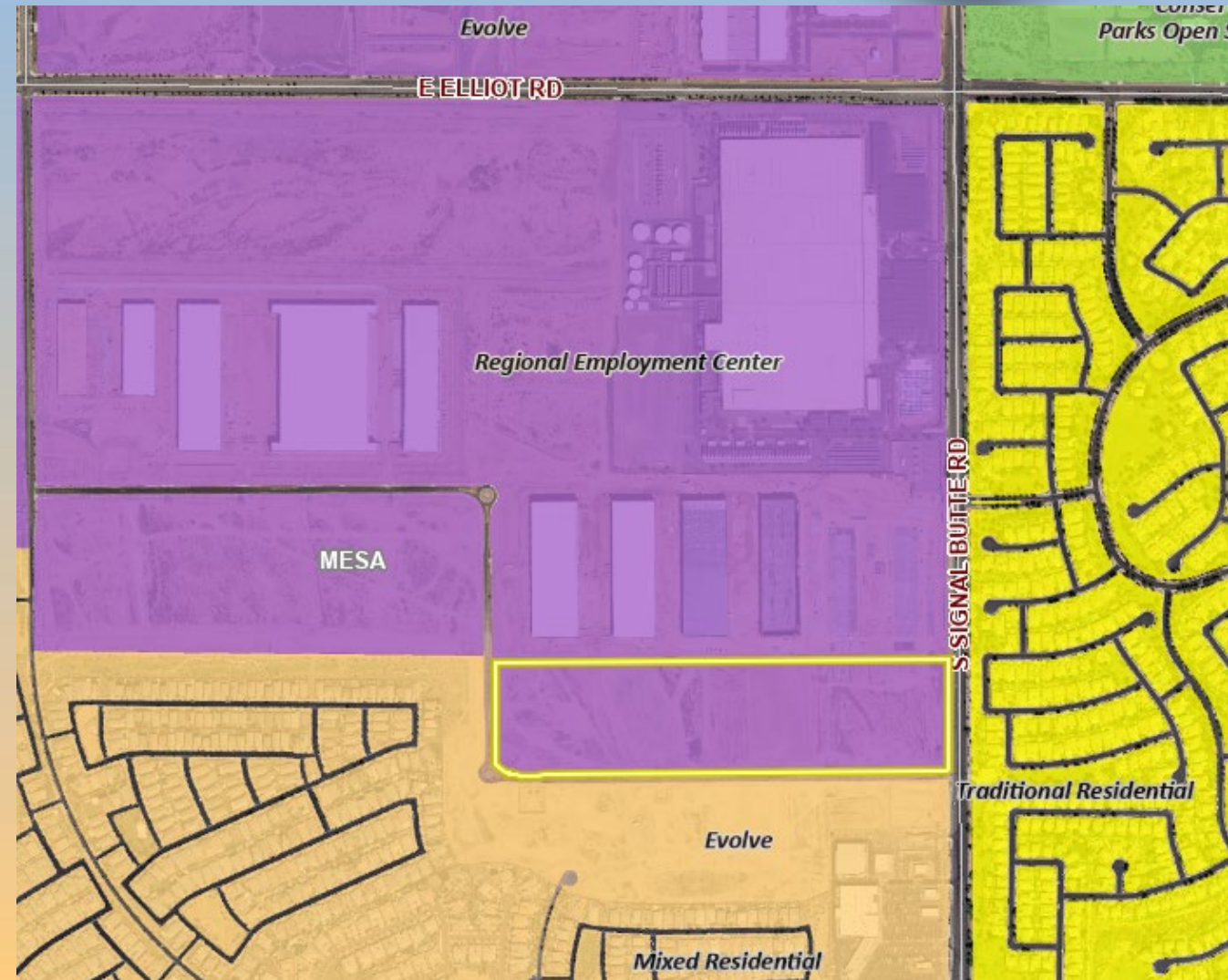
# General Plan

## Regional Employment Center – Evolve

- Wide range of employment opportunities
- Light industrial uses are a principal land use

## Mesa Gateway Strategic Development Plan

- Located within the Mixed-Use Community District











# Site Photo



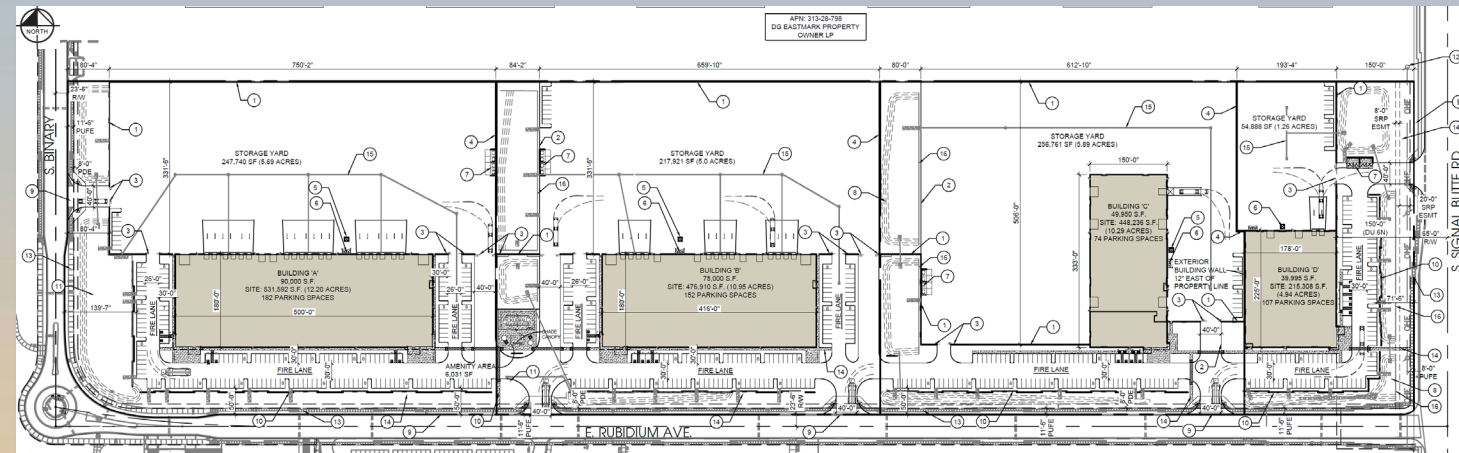
Looking west from Signal Butte Road





# Site Plan

- Three shell industrial buildings and an automobile service facility
- Range from 39,995 to 90,000 square feet
- All four buildings will include outdoor storage areas
- Vehicular access to the site is provided from Signal Butte Road and Rubidium Avenue
- 537 parking spaces required; 541 spaces proposed

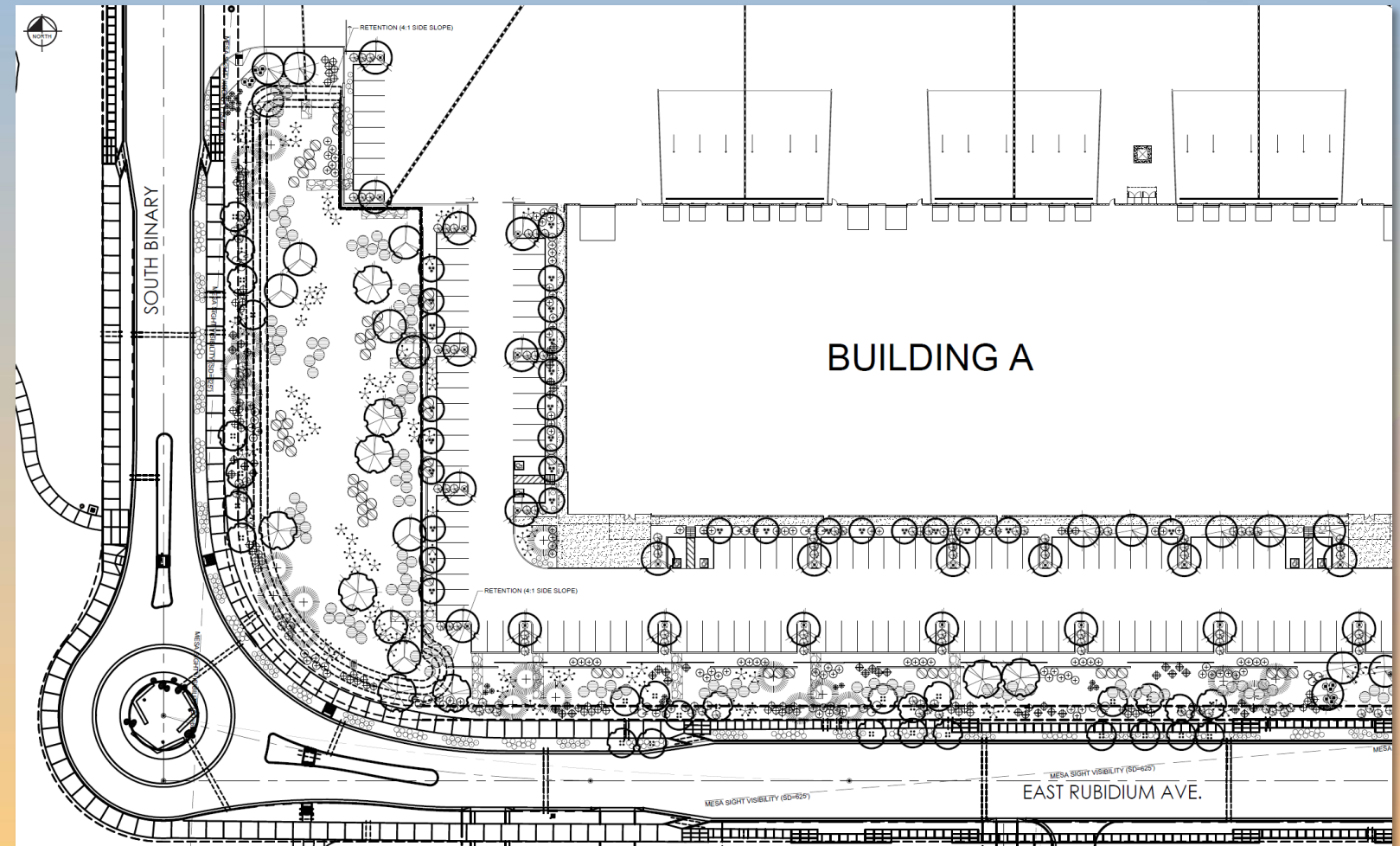






# Landscape Plan

LANDSCAPE LEGEND	
TREES	
	CERCIDIUM FLORIDUM BLUE PALO VERDE 24" BOX
	PISTACIA X 'RED-PUSH' RED PUSH PISTACHE 36" BOX
	QUERCUS VIRGINIANA LIVE OAK 24" BOX
	ACACIA ANEURA MULGA (SRP/APS APPROVED) 24" BOX
	CAESALPINIA CACALACO 'SMOOTHIE' CASCALOTE 36" BOX
	OLNEYA TESOTA IRONWOOD 36" BOX
LARGE SHRUBS	
	TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON
	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON
MEDIUM SHRUBS	
	EREMOPHILA MACULATA VALENTINE EMU BUSH 5 GALLON
	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' 5 GALLON
	TECOMA 'BELLS OF FIRE' BELLS OF FIRE 5 GALLON

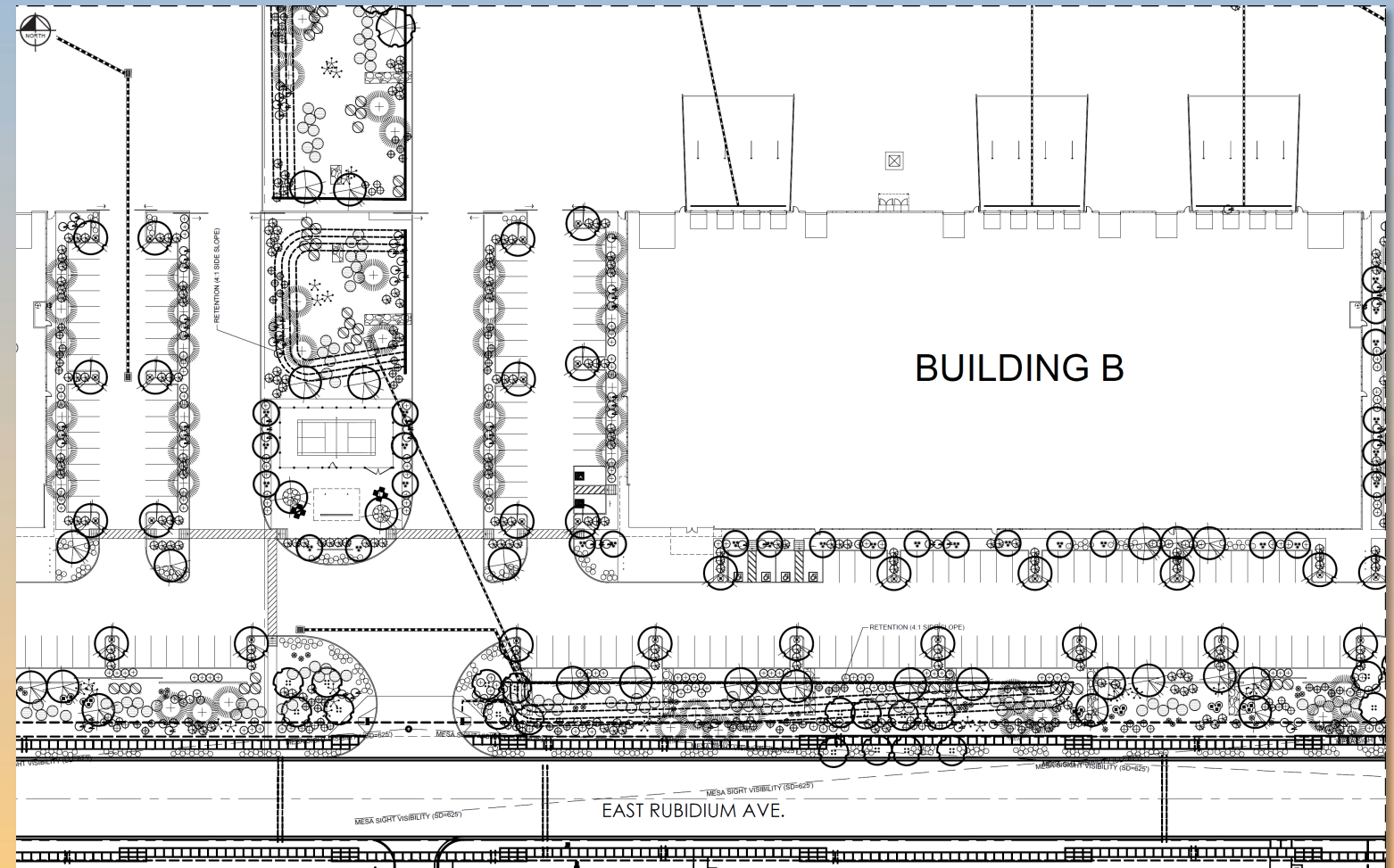






# Landscape Plan

LANDSCAPE LEGEND	
TREES	
	CERCIDIUM FLORIDUM BLUE PALO VERDE 24" BOX
	PISTACIA X 'RED-PUSH' RED PUSH PISTACHE 36" BOX
	QUERCUS VIRGINIANA LIVE OAK 24" BOX
	ACACIA ANEURA MULGA (SRP/APS APPROVED) 24" BOX
	CAESALPINIA CACALACO 'SMOOTHIE' CASCALOTE 36" BOX
	OLNEYA TESOTA IRONWOOD 36" BOX
LARGE SHRUBS	
	TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON
	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON
MEDIUM SHRUBS	
	EREMOPHILA MACULATA VALENTINE EMU BUSH 5 GALLON
	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' 5 GALLON
	TECOMA 'BELLS OF FIRE' BELLS OF FIRE 5 GALLON







# Rendering







# Rendering







# Rendering







# Rendering

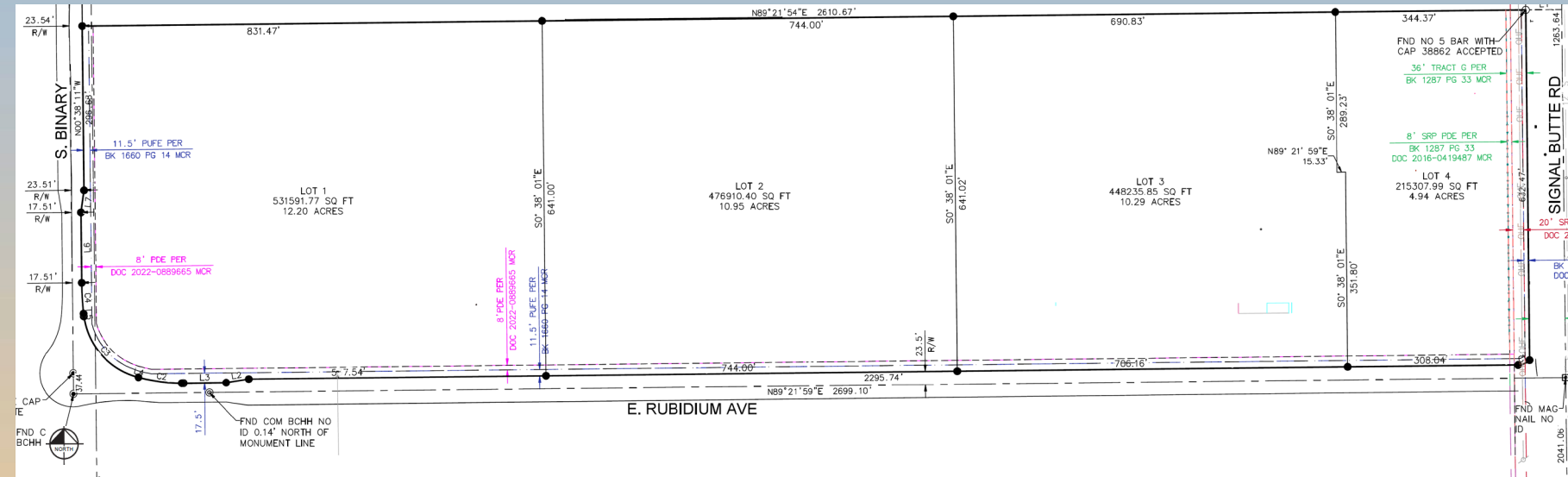






# Preliminary Plat

- 38 acres in size
- 4 proposed lots

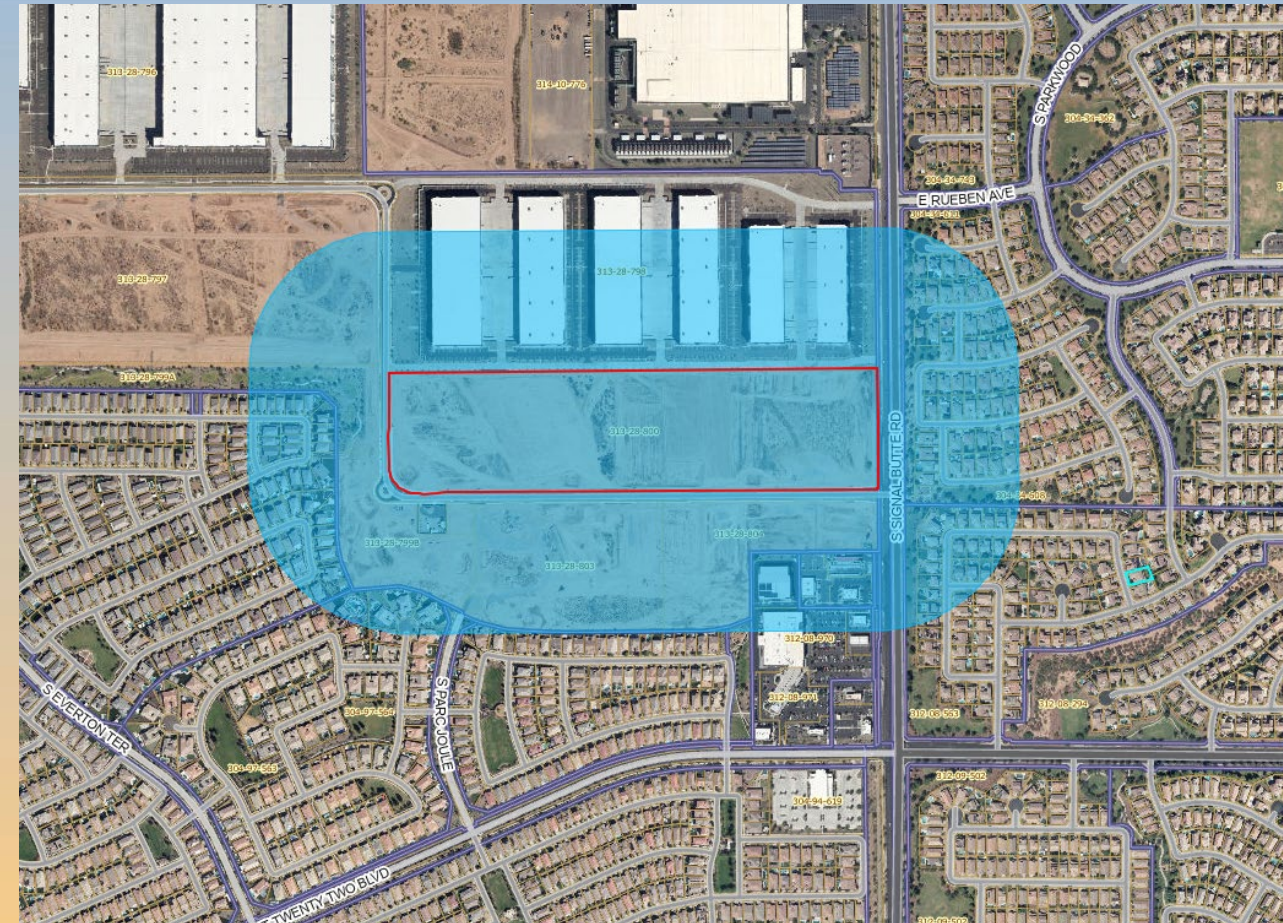






# Citizen Participation

- Notified property owners within 750 feet, HOAs and registered neighborhoods
- No comments received from neighboring property owners







# Findings

- ✓ Complies with the 2050 Mesa General Plan
- ✓ Complies with the Gateway Strategic Development Plan
- ✓ Meets the review criteria in Section 6.1 of the Eastmark Community Plan for Site Plan Review
- ✓ Complies with Mesa Subdivision Regulations Section 9-6-2

***Staff recommends Approval with Conditions***





# ZON24-01079

## Get Air Sports Mesa

Mallory Ress, Senior Planner

March 26, 2025





# Request

- Site Plan Review
- Special Use Permit for height increase
- To allow a Small-Scale Commercial Recreation facility with attached commercial uses

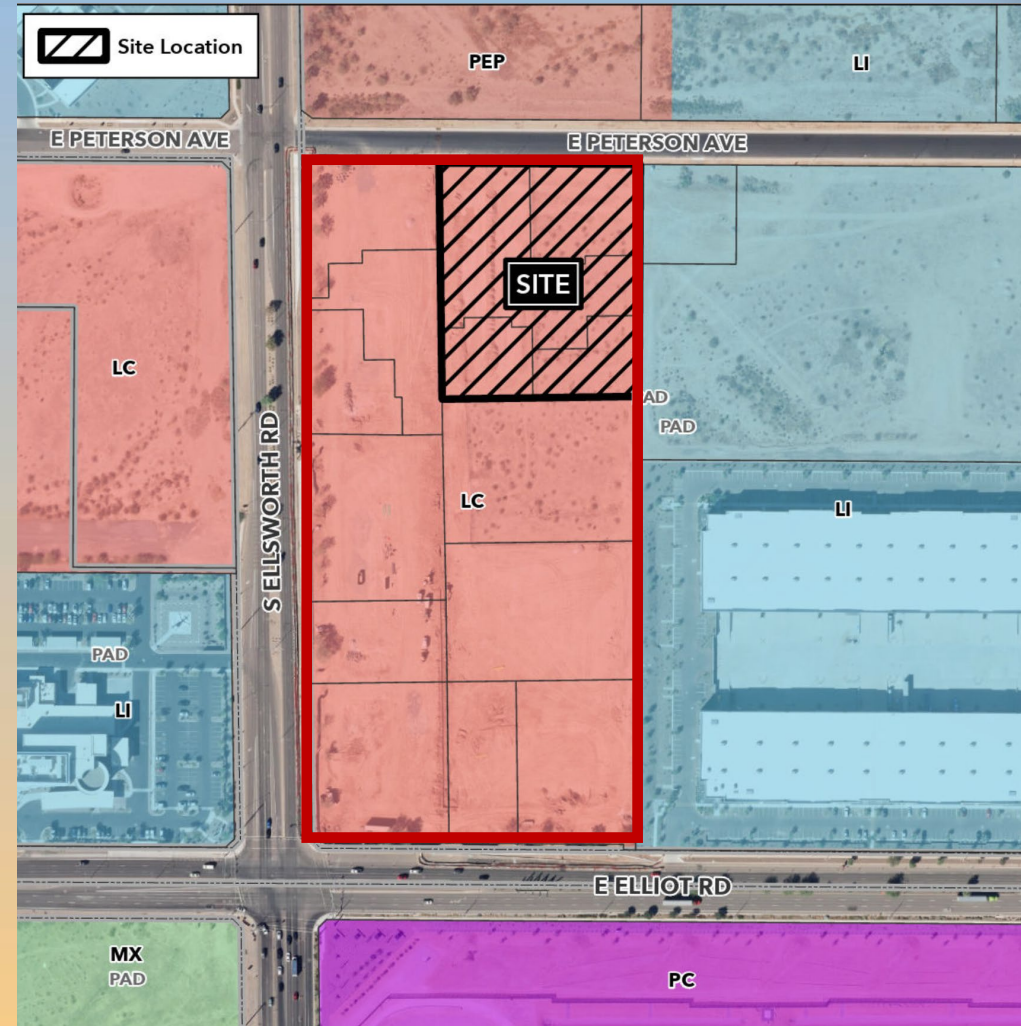






# Location

- East side of Ellsworth Road
- North side of Elliot Road

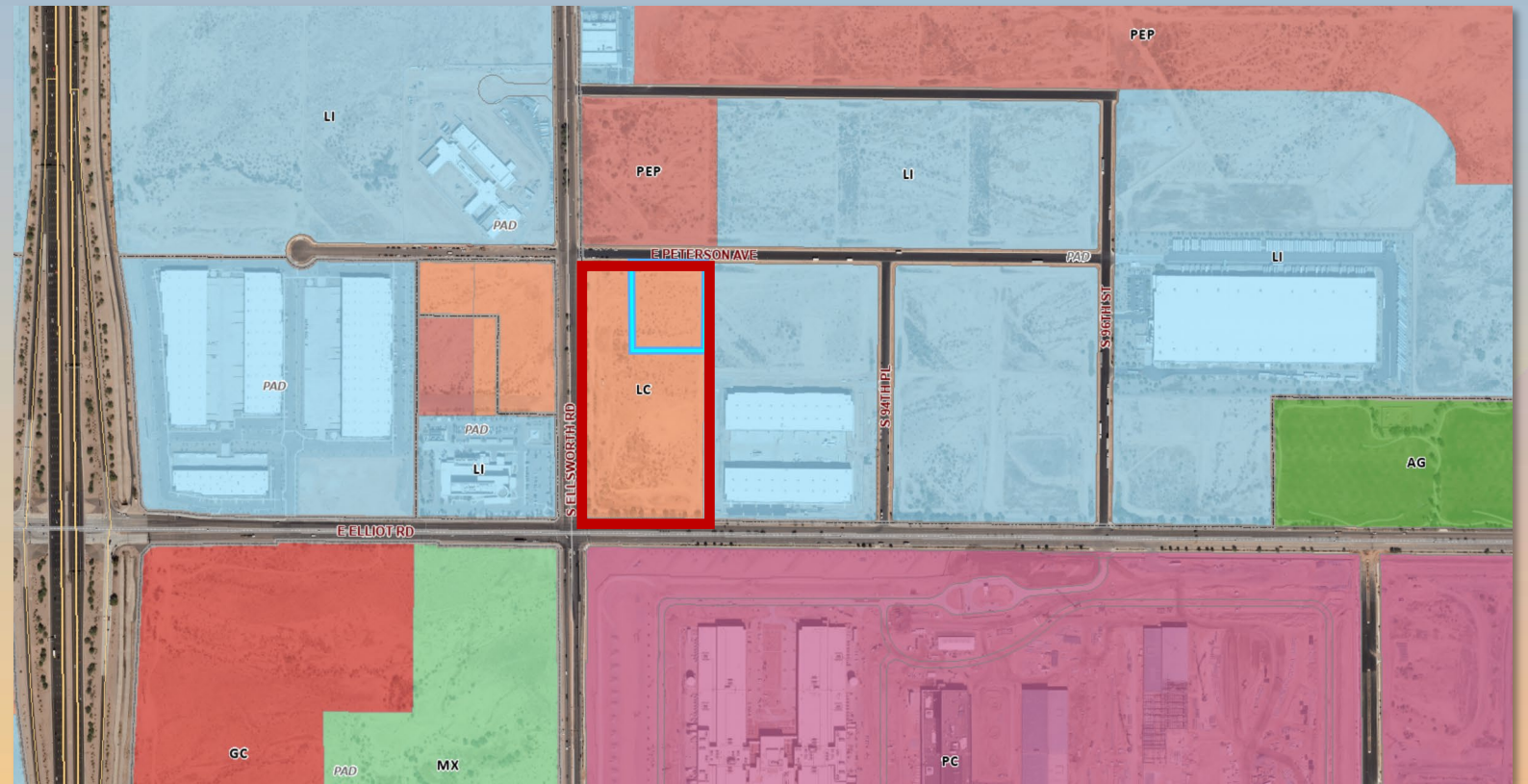






# Zoning

- LC-PAD
- Uses are permitted

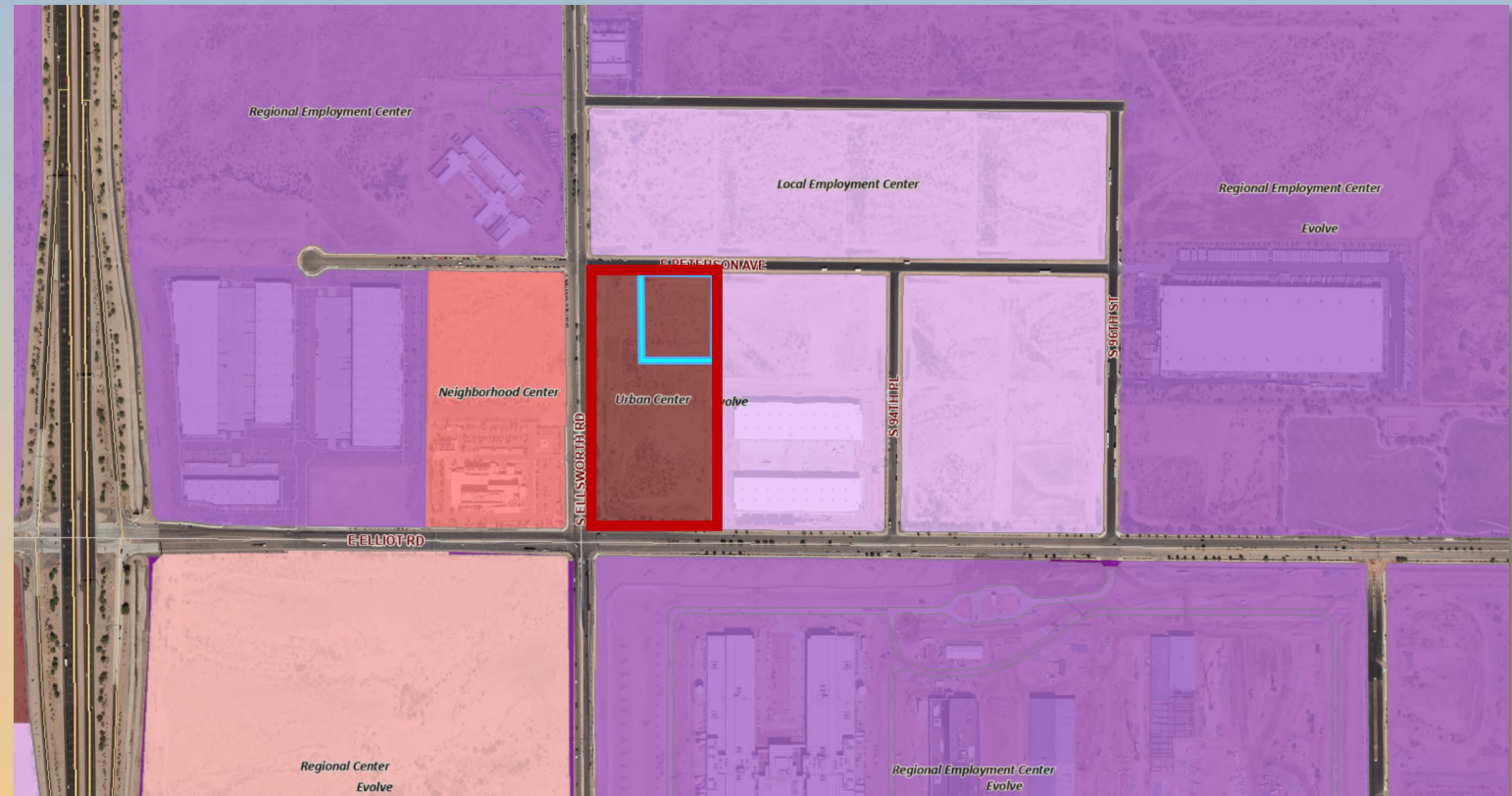






# General Plan

- Urban Center - Evolve
- Mixed use area where people live, work and play
- Retail, personal service, eating and drinking establishments, entertainment and recreation







# Site Photo



Looking north towards the site from Elliot Road





# Site Photo

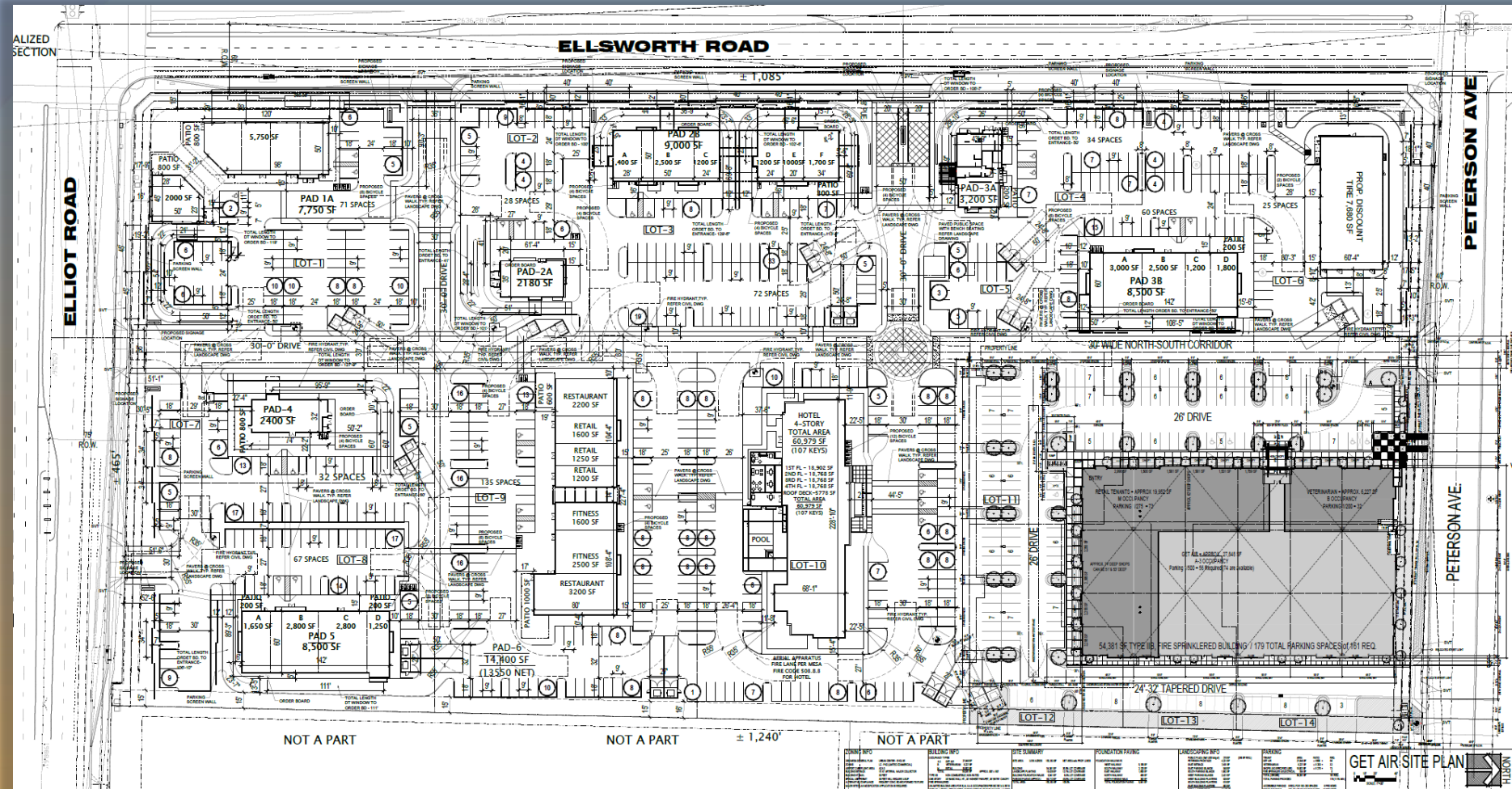


Looking south towards the site from Peterson Avenue





# Site Plan

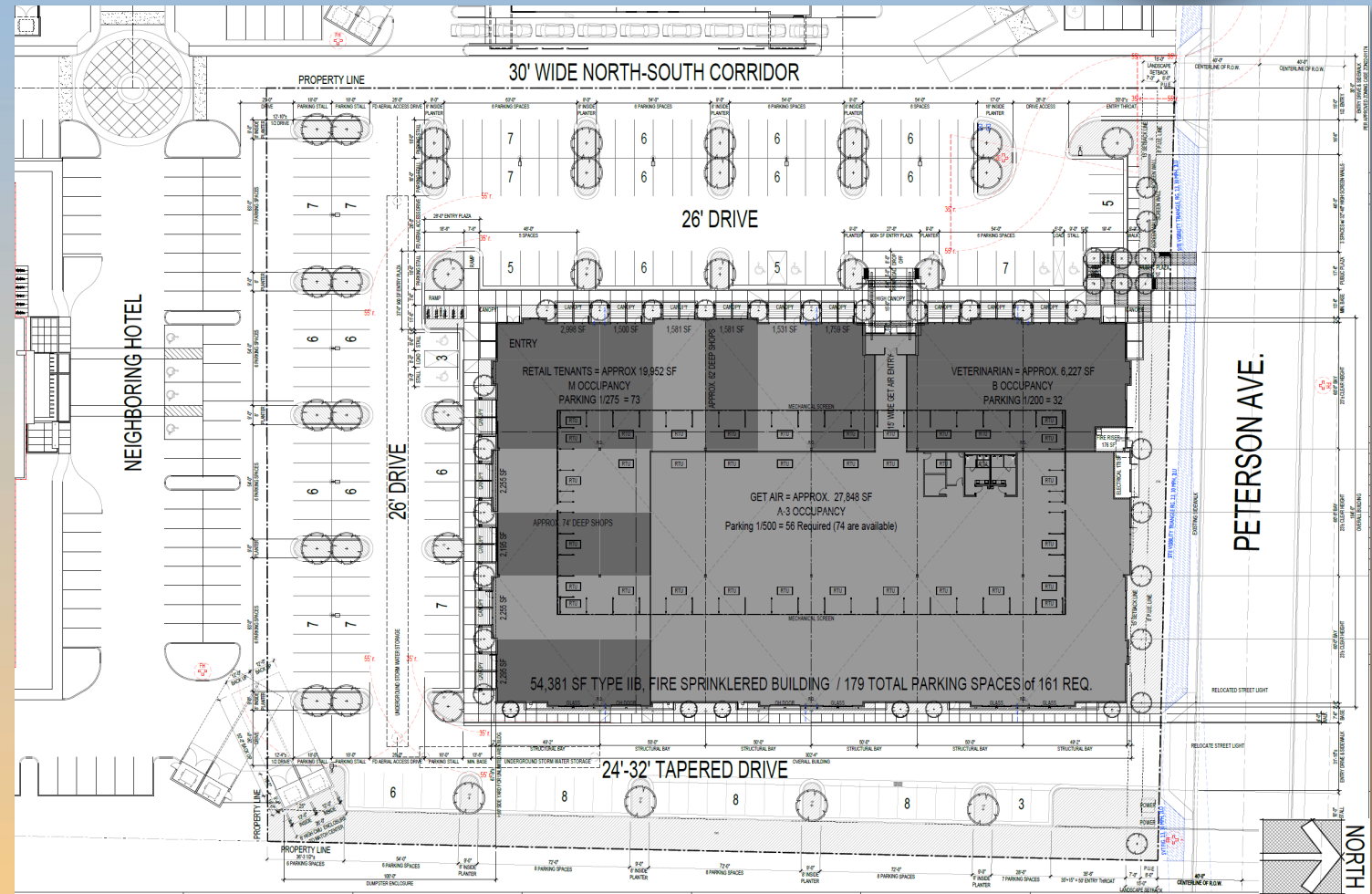






# Site Plan

- 54,400 sq. ft. building
- Public building entries at the west and south building facades
- Primary vehicular access from Peterson Avenue
- 161 parking spaces required; 179 parking spaces proposed

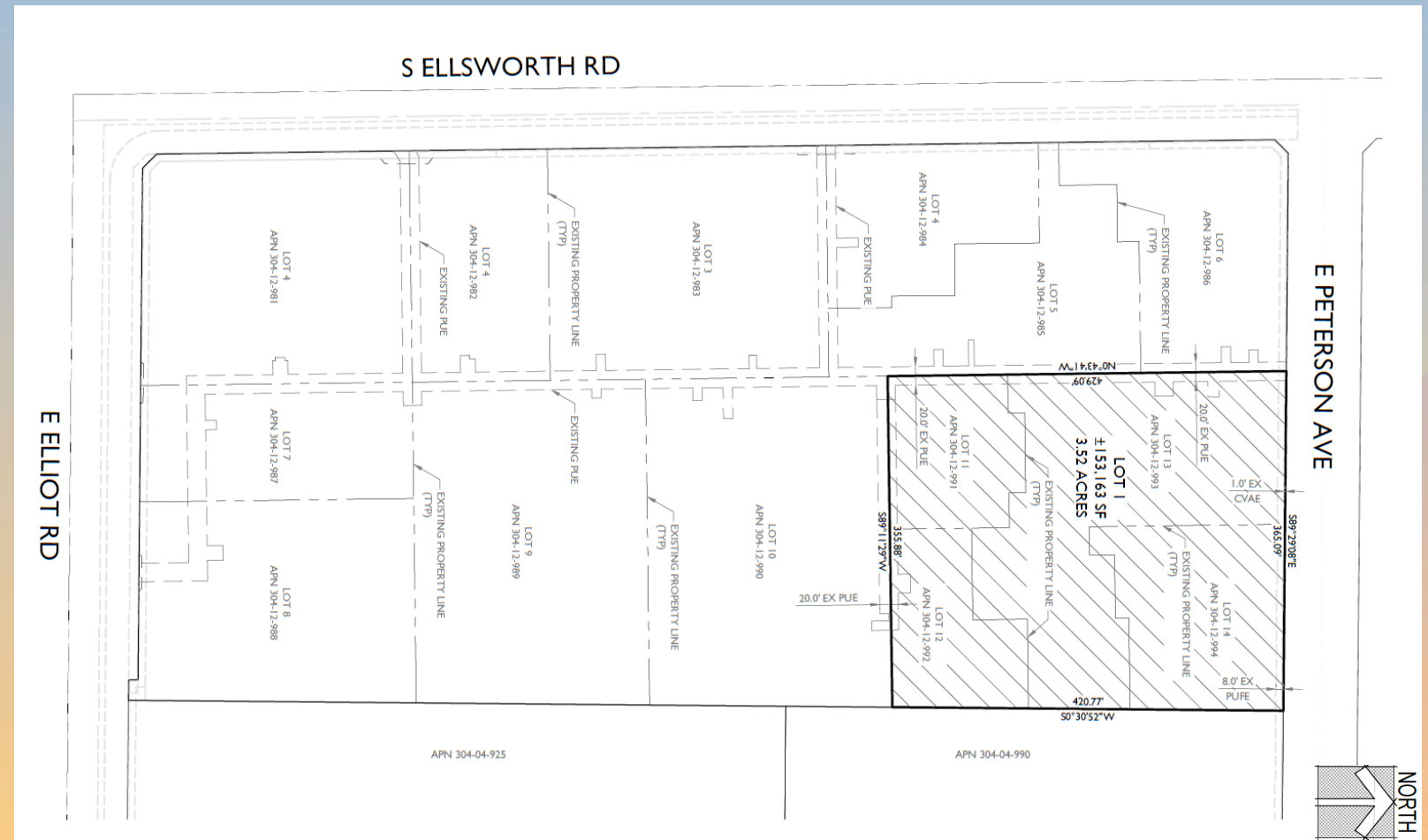






# Preliminary Plat

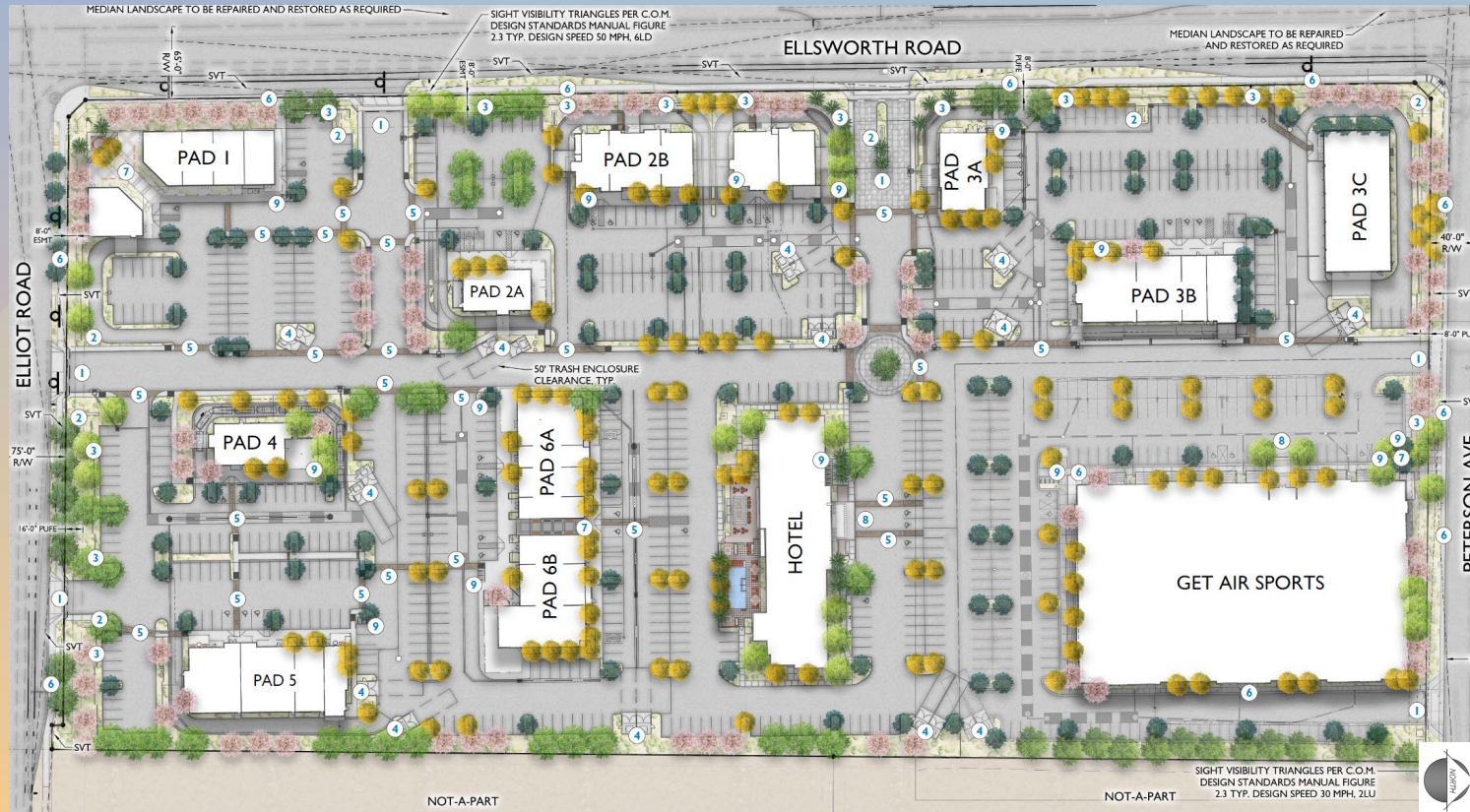
- Replat of the Elliot Retail plat
- Combine Lots 11, 12, 13 and 14 to create a single lot for the Proposed Project




























# Landscape Plan




## PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
<b>TREES</b>				
	<i>Acacia aneura</i>	Mulga	24" Box	110
	<i>Caesalpinia cocalaco</i>	Cascalote 'Smoothie'	36" Box	142
	<i>Chitalpa tashkentensis</i>	Chitalpa	24" Box	82
	<i>Olneya tesota</i>	Ironwood	24" Box	16
	<i>Parkinsonia praecox</i>	Palo Brea	24" Box	30
	<i>Phoenix dactylifera</i>	Date Palm	18" Height	10
	<i>Prosopis hybrid 'Phoenix'</i>	Thornless Mesquite	24" Box	47


SHRUBS/ACCENTS	COMMON NAME	SIZE	QTY
	Century Plant	5 Gal	55
	Smooth Agave	5 Gal	208
	Blue Elf Aloe	5 Gal	398
	Desert Milkweed	5 Gal	47
	Woolly Butterfly Bush	5 Gal	65
	Desert Spoon	5 Gal	113
	Hop Bush	5 Gal	27
	Gopher Plant	5 Gal	152
	Giant Hesperaloe	5 Gal	39
	Brakelights Red Yucca	5 Gal	158
	Chuparosa	5 Gal	61
	Mexican Honeysuckle	5 Gal	135
	Rio Bravo Sage	5 Gal	170
	Cimarron Sage	5 Gal	52
	Purple Muhly	5 Gal	121
	'Autumn Glow' Muhly	5 Gal	319
	Deer Grass	5 Gal	345
	Lady's Slipper	5 Gal	148
	Coral Fountain	5 Gal	42

SHRUBS/ACCENTS	COMMON NAME	SIZE	QTY
	Desert Ruella	5 Gal	71
	Compact Jojoba	5 Gal	101
	Orange Jubilee	5 Gal	4
	Yellow Bells	5 Gal	27

GROUNDCOVERS	COMMON NAME	SIZE	QTY
	Bush Morning Glory	1 Gal	35
	'Outback Sunrise'	1 Gal	36
	Dallas Red Lantana	1 Gal	108
	Trailing Purple Lantana	1 Gal	245
	New Gold Lantana	1 Gal	475

VINES	COMMON NAME	SIZE	QTY	
	<i>Grewia occidentalis</i>	Lavender Star Flower Vine	5 Gal	33

## MATERIALS











	Decomposed Granite Vith Planting	Table Mesa Brown 2" Depth Min.	142,213 S.F.
---	----------------------------------	-----------------------------------	--------------






# Landscape Plan

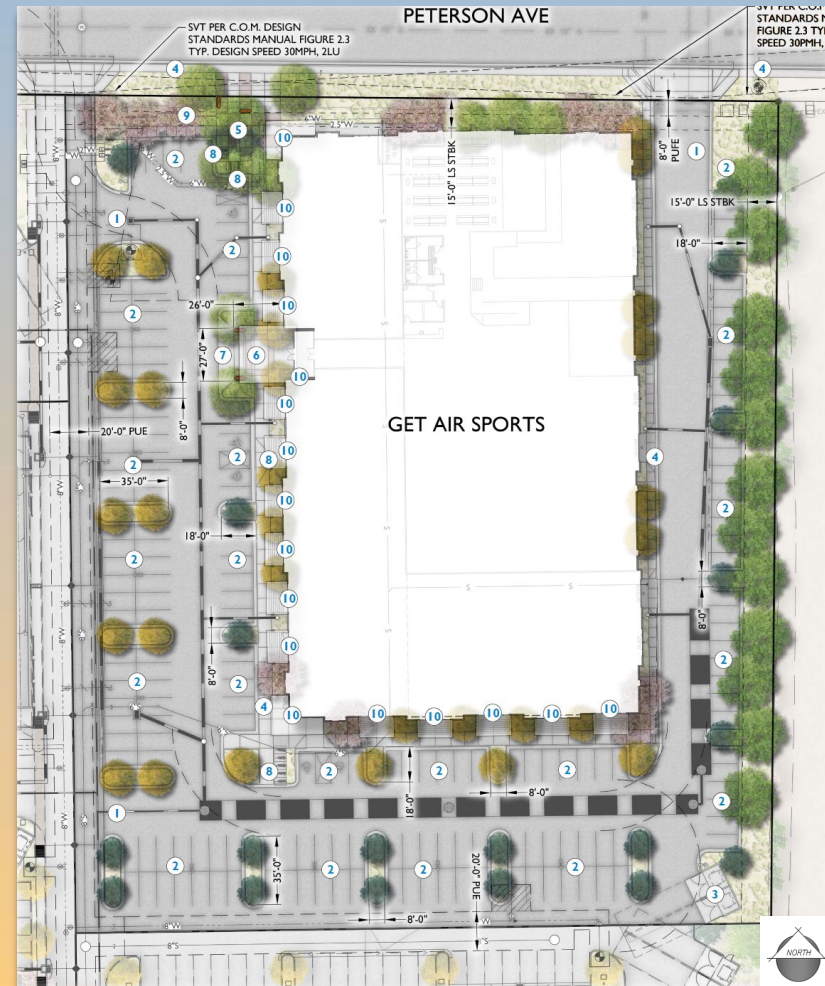
## PLANT LEGEND

SYMBOL	SCIENTIFIC NAME			
TREES	COMMON NAME	MATURE CANOPY	SIZE	QTY
	Acacia aneura	15' dia.	24" Box	21
	Mulga			
	Caesalpinia cacalaco	18' dia.	24" Box	30
	Casalote 'Smoothie'			
	Chitalpa tashkentensis	25' dia.	36" Box	11
	Chitalpa			
	Parkinsonia praecox	25' dia.	36" Box	12
	Palo Brea			
	Prosopis hybrid 'Phoenix'	30' dia.	24" Box	13
	Thornless Mesquite			

SHRUBS/ACCENTS	COMMON NAME	SIZE
Agave desmettiana	Smooth Agave	5 Gal
Aloe hybrid 'Blue Elf'	Blue Elf Aloe	5 Gal
Dasylium wheeleri	Desert Spoon	5 Gal
Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca	5 Gal
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage	5 Gal
Muhlenbergia rigida 'Nashville'	Purple Muhly	5 Gal
Muhlenbergia lindheimeri 'Autumn Glow'	Autumn Glow Muhly	5 Gal
Muhlenbergia rigens	Deer Grass	5 Gal
Pedilanthus macrocarpus	Lady's Slipper	5 Gal
Russelia equisetiformis	Coral Fountain	5 Gal
Simmondsia chinensis 'Vista'	Compact Jojoba	5 Gal

GROUNDCOVERS	COMMON NAME	SIZE
Convolvulus cneorum	Bush Morning Glory	1 Gal
Eremophila prostrata 'Outback Sunrise'	Outback Sunrise	1 Gal
Lantana x 'New Gold'	New Gold Lantana	1 Gal

MATERIALS	SIZE	QTY
 "AZ Brown" Decomposed Granite or Equal	1/2" Screened 2" Depth Min.	22,372 S.F.







# Special Use Permit

## Section 11-70-5(E): Special Use Permit Required Findings



#1 Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plans and/or policies;



#2 The location, size, design, and operating characteristics of the proposed project are consistent with the purpose of the district where it is located and conform with the General Plan and any other applicable plans and/or policies;



#3 The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, the greater neighborhood, or the general welfare of the City; and



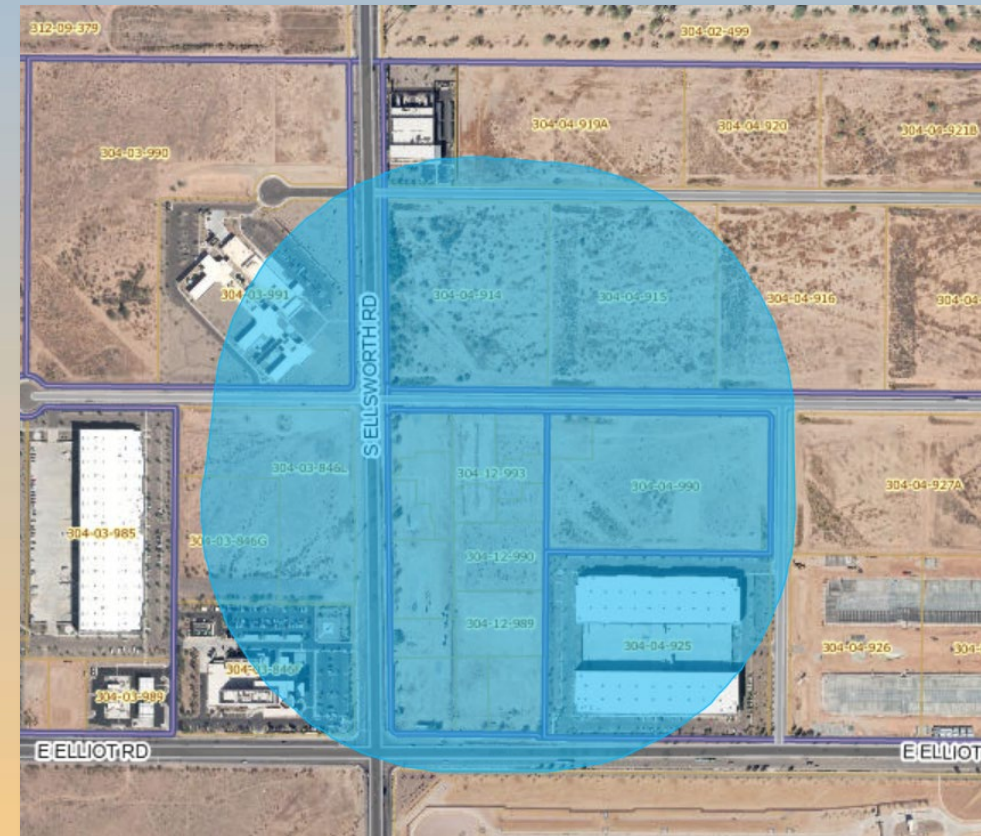
#4 Adequate public services, public facilities and public infrastructure are available to serve the proposed project





# Citizen Participation

- Notified property owners within 1000 feet, HOAs and registered neighborhoods
- One comment in support from adjacent hotel representative







# Findings

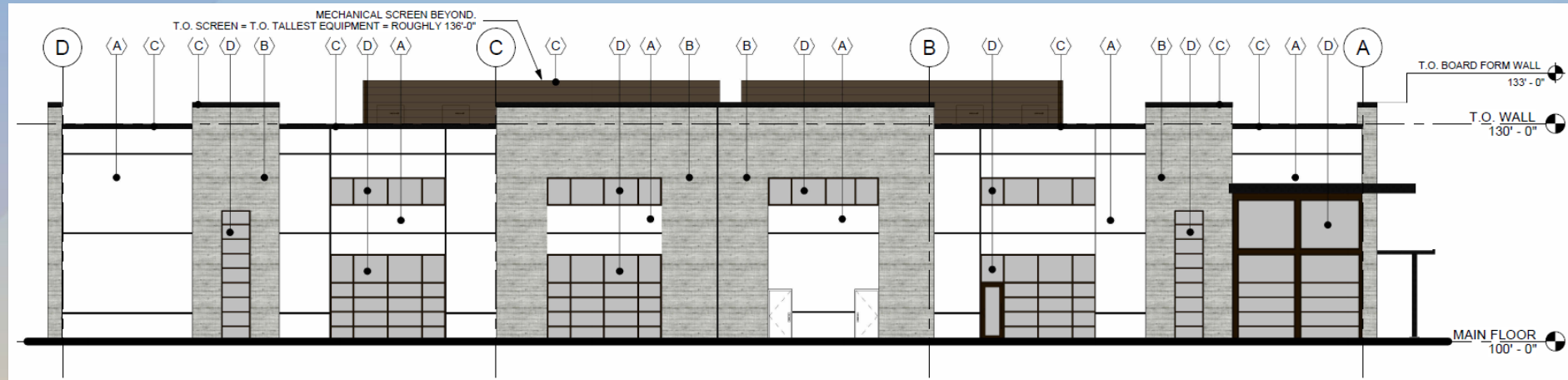
- ✓ Complies with the 2050 Mesa General Plan
- ✓ Criteria in Chapters 69 and 70 for Site Plan Review and Special Use Permit are met

***Staff recommends Approval with Conditions***

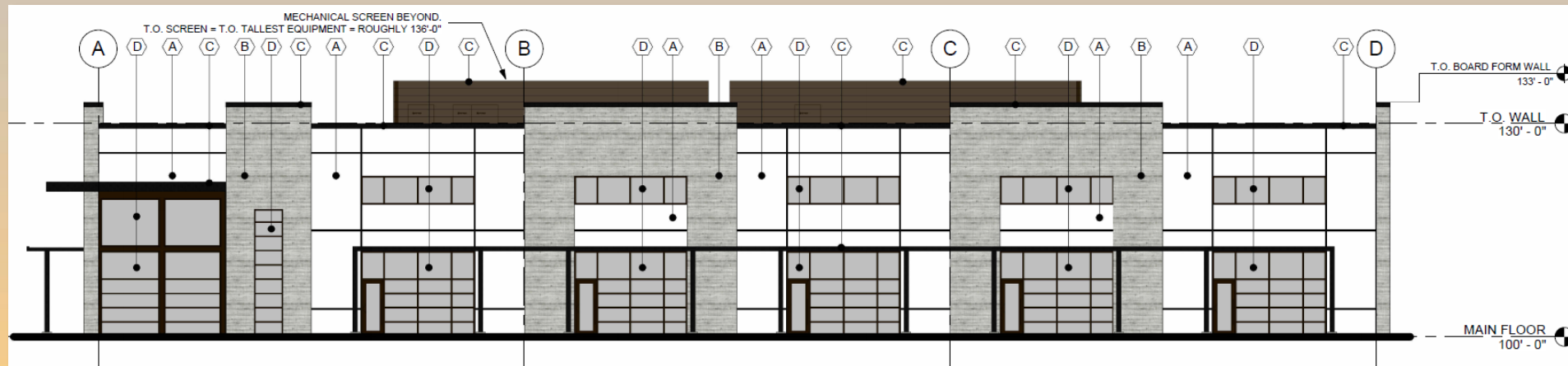




# Elevations



North Elevation

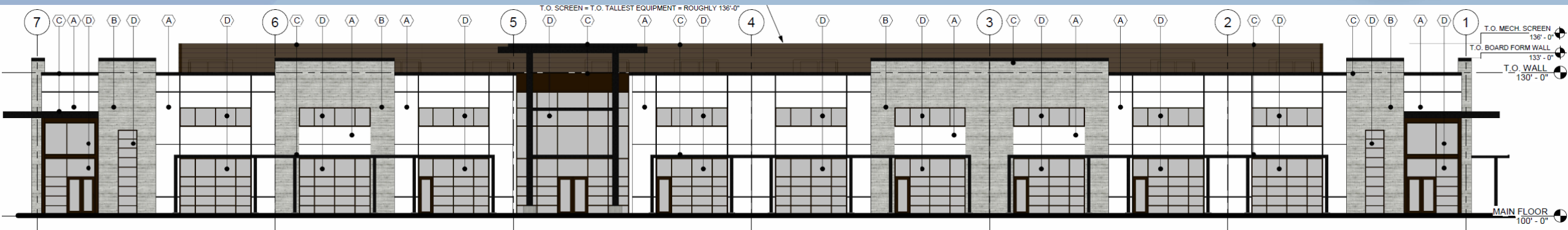


South Elevation

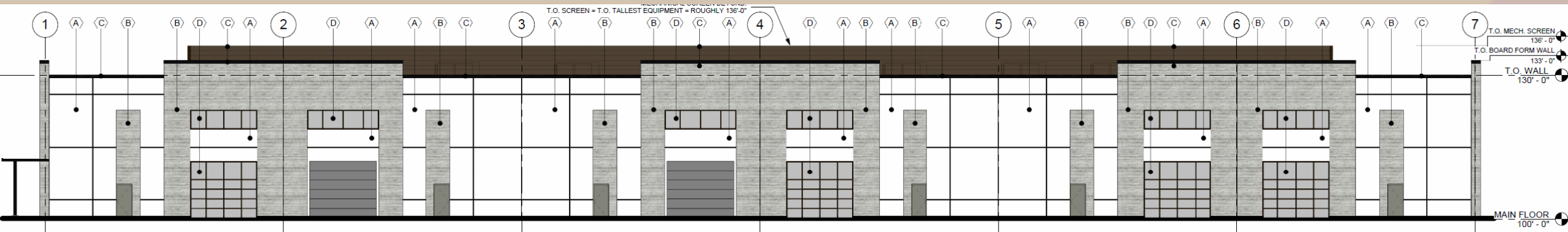




# Elevations



West Elevation



East Elevation





# Rendering







# Rendering







S ELEVATION GET AIR MESA, AZ



SE CORNER GET AIR MESA, AZ



BIRD'S EYE VIEW GET AIR MESA, AZ



NE CORNER GET AIR MESA, AZ

