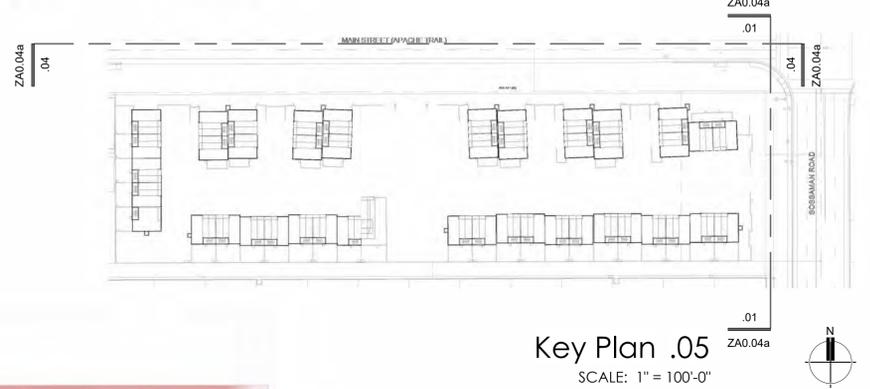
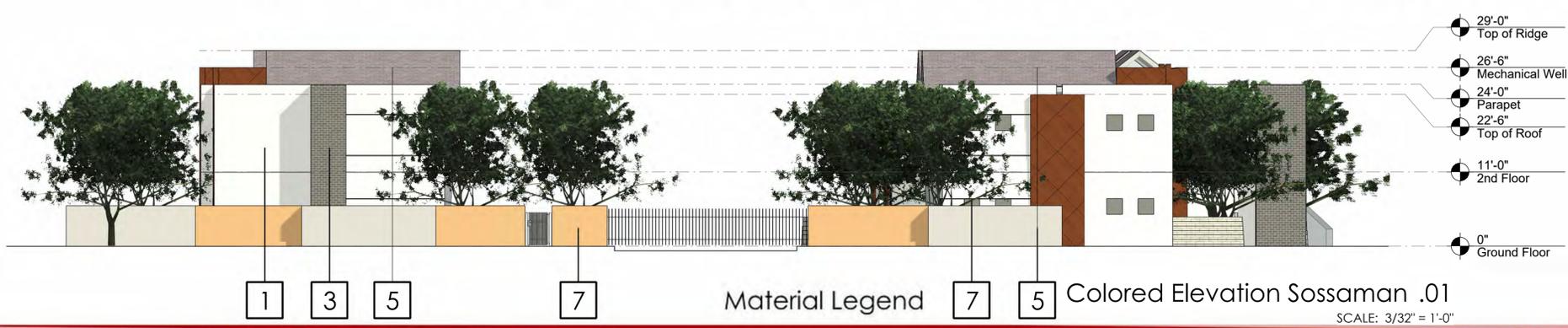
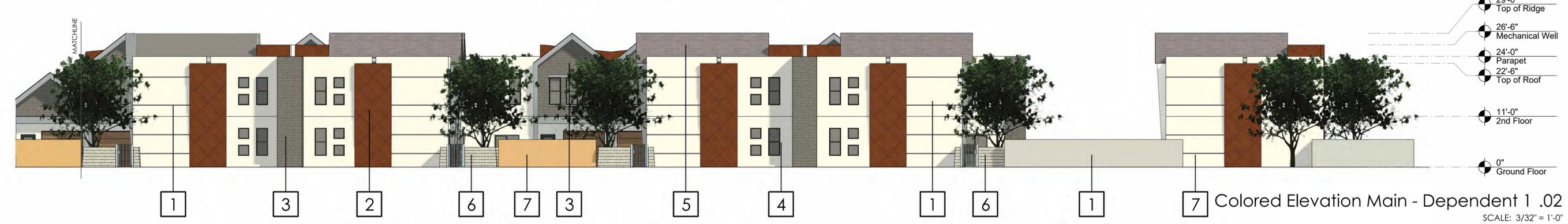


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# COLORED ELEVATIONS

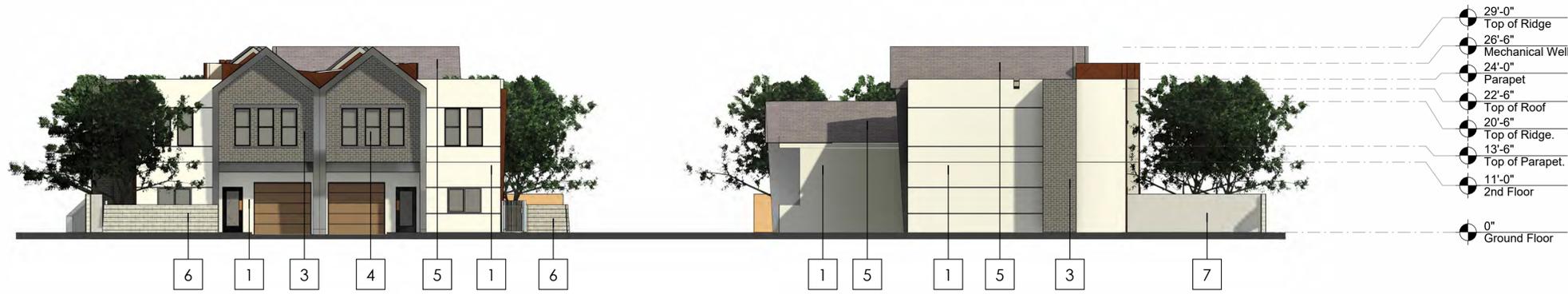
MAIN 45 ZONING  
APN: 218-18-001K & 218-18-001J



PRESENCE  
DESIGN  
Phoenix, AZ

Drawn: cdk Checked: cdk SITE PLAN/ ZONING REQUEST  
November 27 2024 PD 2408.09 **ZA0.04a**

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Interior Site West Elevation .04

SCALE: 3/32" = 1'-0"



Interior Site East Elevation .03

SCALE: 3/32" = 1'-0"



Partial Interior Site South Elevation .02

SCALE: 3/32" = 1'-0"

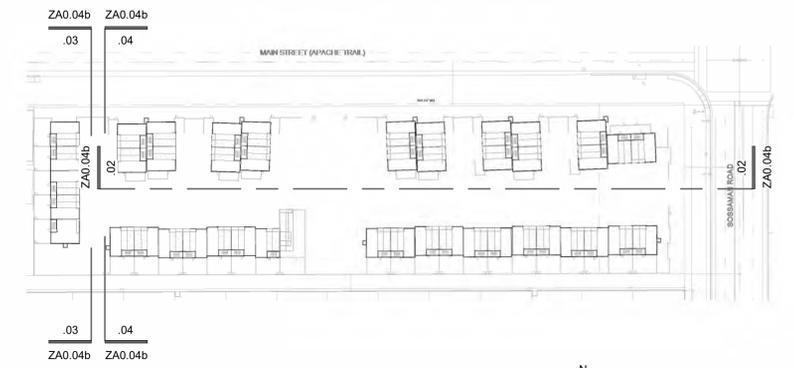


Partial Interior Site South Elevation .01

SCALE: 3/32" = 1'-0"

Material Legend

7	6	5	4	3	2	1
Site Walls: Lace Stucco Finish - SW 6650 Marquis Orange	Patio Site Walls: 4x8x16 CMU Block - 1/2 Batter Block w/ Raked Joints with White Splitface Cap Block	Roofs: Eagle Roofing concrete tile. Profile: Bel Air Color: 4595 Dark Charcoal	Windows: Solarban Vitro Glass - Solar Gray or sim	Building Walls: Carbon Black Velour Face Brick - Running Bond	Building Walls: Hardie Panel Vertical Siding 4x8 - Painted WITH/ Metal Effects: Rust Activator with Satin Clear Coat	Building Walls: Santa Barbara Finish Stucco - SW 7570 Egret White



Key Plan .05

SCALE: 1" = 100'-0"

## COLORED ELEVATIONS

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



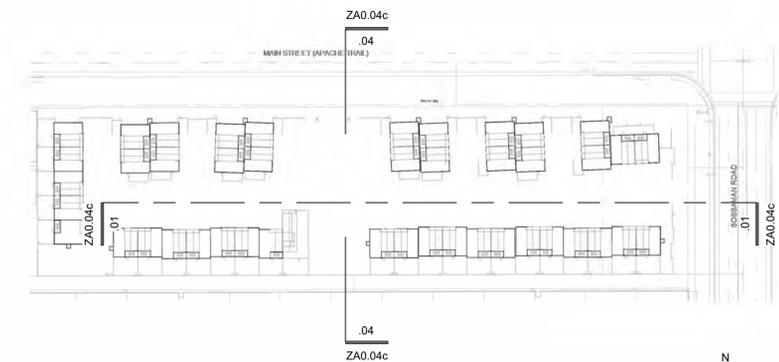
PRESENCE  
DESIGN  
Phoenix, AZ

Drawn: ftb Checked: cdk SITE PLAN/ ZONING REQUEST PD 2408.09 ZAO.04b  
November 27 2024

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Interior Site West Elevation .04  
SCALE: 3/32" = 1'-0"



Key Plan .05  
SCALE: 1" = 100'-0"



Interior Site Partial North Elevation .03  
SCALE: 3/32" = 1'-0"



Interior Site Partial North Elevation .02  
SCALE: 3/32" = 1'-0"



Interior Site Partial North Elevation .01  
SCALE: 3/32" = 1'-0"

Material Legend

7	6	5	4	3	2	1
Site Walls: Lace Stucco Finish - SW 6650 Marquis Orange	Patio Site Walls: 4x8x16 CMU Block - 1/2 Batter Block w/ Raked Joints with White Splittface Cap Block	Roofs: Eagle Roofing concrete tile. Profile: Bel Air Color: 4595 Dark Charcoal	Windows: Solarban Vitro Glass - Solar Gray or sim	Building Walls: Carbon Black Velour Face Brick - Running Bond	Building Walls: Hardie Panel Vertical Siding 4x8 - Painted WITH/ Metal Effects Rust Activator with Satin Clear Coat	Building Walls: Santa Barbara Finish Stucco - SW 7570 Egret White

COLORED ELEVATIONS

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



PRESENCE  
DESIGN

Drawn: ftb Checked: edk SITE PLAN/ ZONING REQUEST PD 2408.09  
November 27 2024

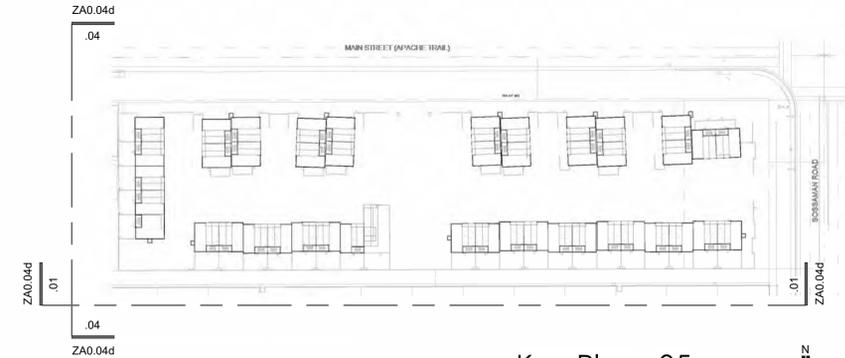
ZA0.04c

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West Side Elevation .04

SCALE: 3/32" = 1'-0"



Key Plan .05

SCALE: 1" = 100'-0"



Partial Alley Side South Elevation .03

SCALE: 3/32" = 1'-0"



Partial Alley Side South Elevation .02

SCALE: 3/32" = 1'-0"



Partial Alley Side South Elevation .01

SCALE: 3/32" = 1'-0"

Material Legend

7	6	5	4	3	2	1
Site Walls: Lace Stucco Finish - SW 6650 Marquis Orange	Patio Site Walls: 4x8x16 CMU Block - 1/2 Batter Block w/ Raked Joints with White Splitface Cap Block	Roofs: Eagle Roofing concrete tile. Profile: Bel Air Color: 4595 Dark Charcoal Cap Block	Windows: Solarban Vitro Glass - Solar Gray or sim	Building Walls: Carbon Black Velour Face Brick - Running Bond	Building Walls: Hardie Panel Vertical Siding 4x8 - Painted WITH/ Metal Effects Rust Activator with Satin Clear Coat	Building Walls: Santa Barbara Finish Stucco - SW 7570 Egret White

COLORED ELEVATIONS

MAIN 45 ZONING  
APN: 218-18-001K & 218-18-001J



PRESENCE  
DESIGN  
Phoenix, AZ

Drawn: ftb Checked: cdk SITE PLAN/ ZONING REQUEST  
November 27 2024 PD 2408.09 ZAO.04d

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# RENDERINGS

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J

PRESENCE  
DESIGN  
Phoenix, AZ



Expires 6.30.2027

Author

Checker

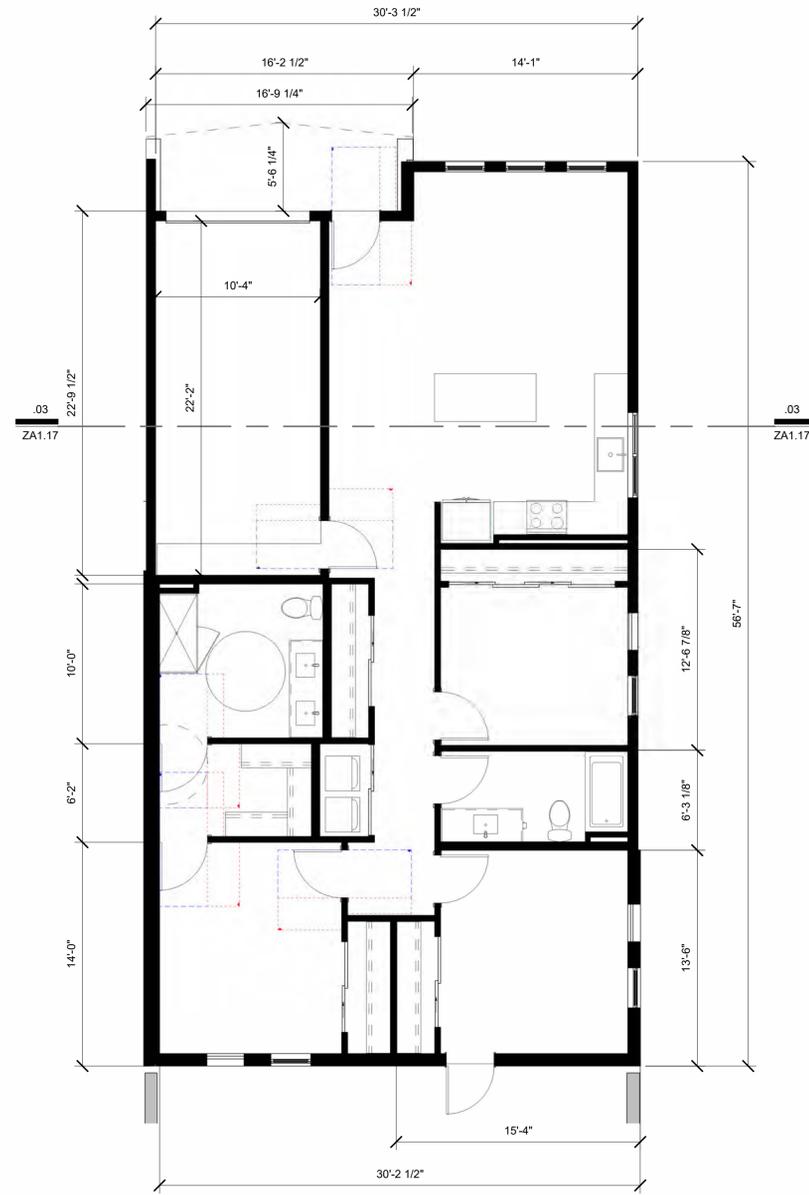
SITE PLAN/ ZONING REQUEST

November 27 2024

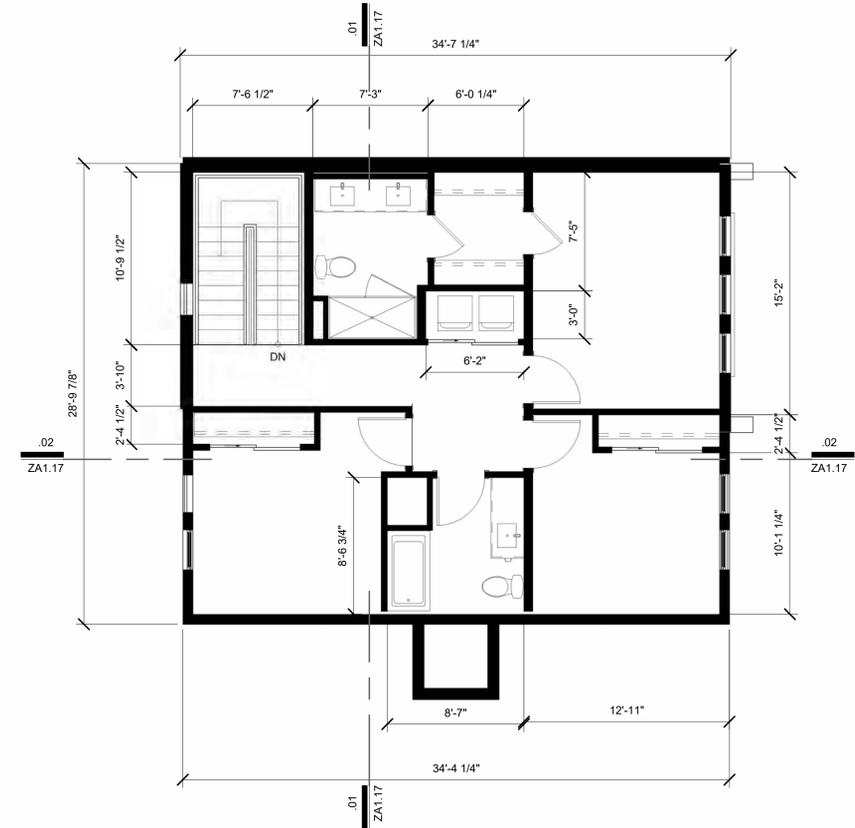
PD 2408.09

ZA1.18

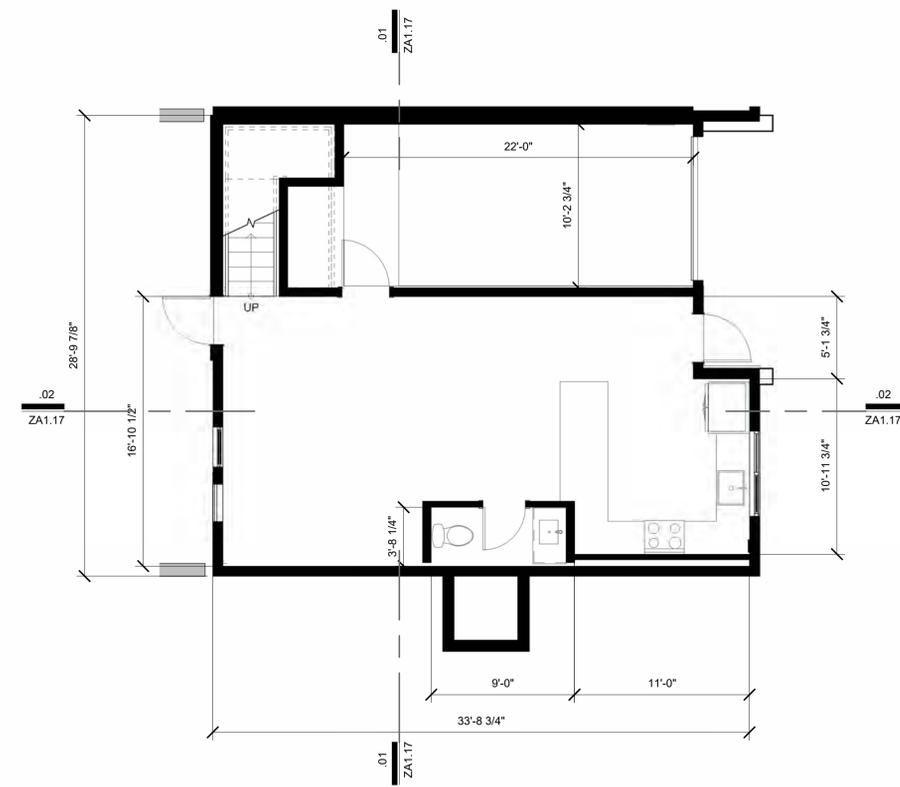
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Ground Floor ANSI A Unit Plan .03  
SCALE: 3/16" = 1'-0"



2nd Floor 3B2.5B Unit Plan .02  
SCALE: 3/16" = 1'-0"



Ground Floor 3B2.5B Unit Plan .01  
SCALE: 3/16" = 1'-0"

# UNIT TYPE '1' & '2' PLANS

MAIN 45 ZONING  
APN: 218-18-001K & 218-18-001J

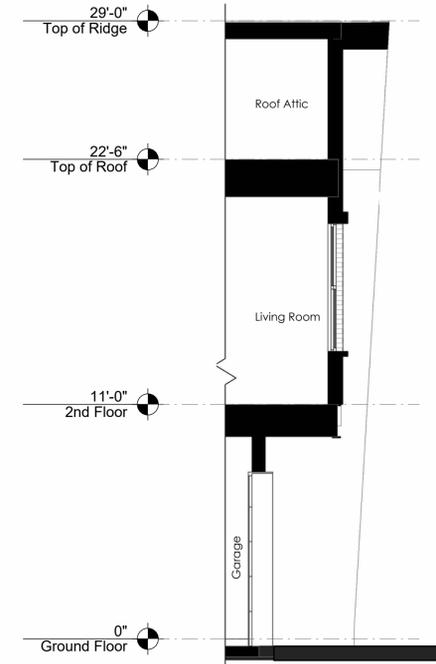


PRESENCE DESIGN  
Phoenix, AZ

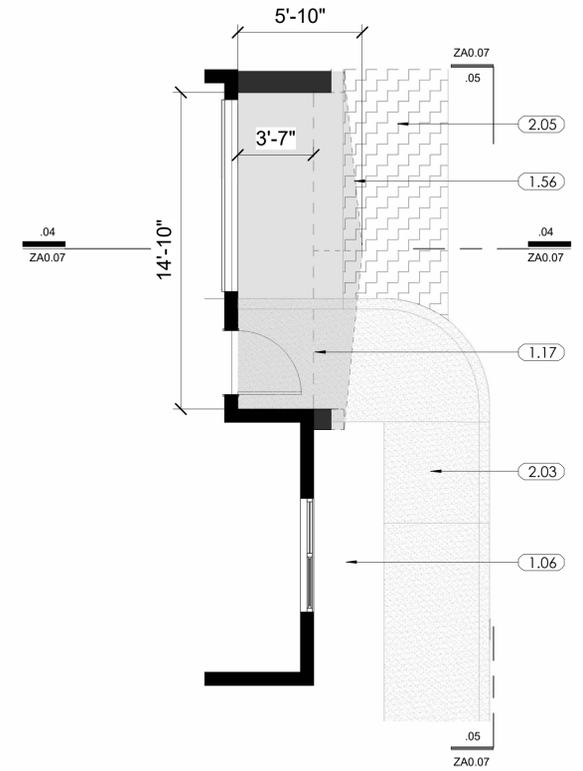
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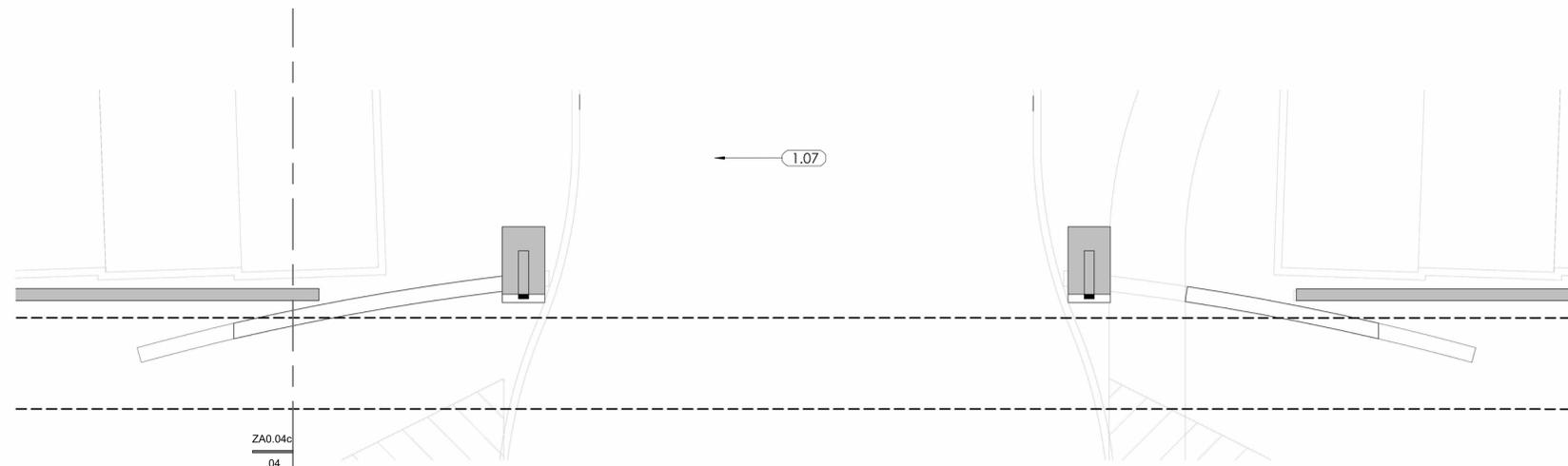
3B2.5B Unit Entry+ Patio Elevation .05  
SCALE: 1/4" = 1'-0"



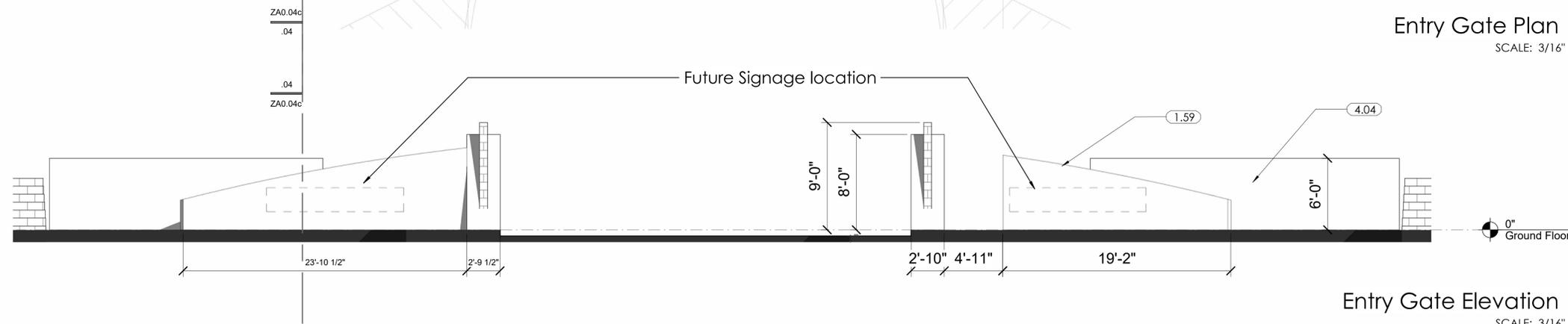
3B2.5B Unit Entry Section .04  
SCALE: 1/4" = 1'-0"



3B2.5B Unit Entry & Patio .03  
SCALE: 1/4" = 1'-0"



Entry Gate Plan .02  
SCALE: 3/16" = 1'-0"



Entry Gate Elevation .01  
SCALE: 3/16" = 1'-0"

**Keynote**

- 1.06 LANDSCAPE AREA, TYPICAL.
- 1.07 30'-0" NEW DRIVEWAY. (PER CITY MESA COM STND DTL M-42-30').
- 1.17 2ND FLOOR ABOVE TYPICAL.
- 1.56 ROOF OVERHANG ABOVE.
- 1.59 ENTRY FEATURE AND SIGNAGE. (SEE .01 & .02/ZA0.07)
- 2.03 5'-0" CONCRETE SIDEWALK ACCESSIBLE TRAVEL PATH TO PUBLIC WAY.
- 2.05 RAISED CONCRETE CROSSWALK TO BE STAMPED CONCRETE OR PAVERS TYPICAL. (SEE LANDSCAPE DRAWINGS)
- 4.04 SITE WALL (SEE DETAIL .09/ZA0.02)

**ENLARGED PLANS**

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



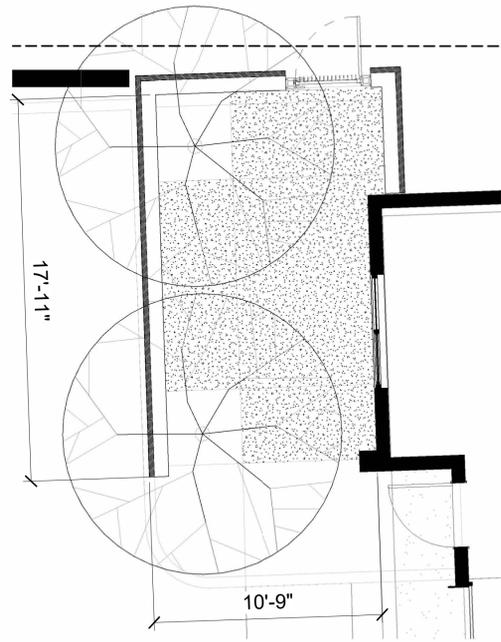
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Drawn: ftb Checked: cdk SITE PLAN/ ZONING REQUEST PD 2408.09 November 27 2024

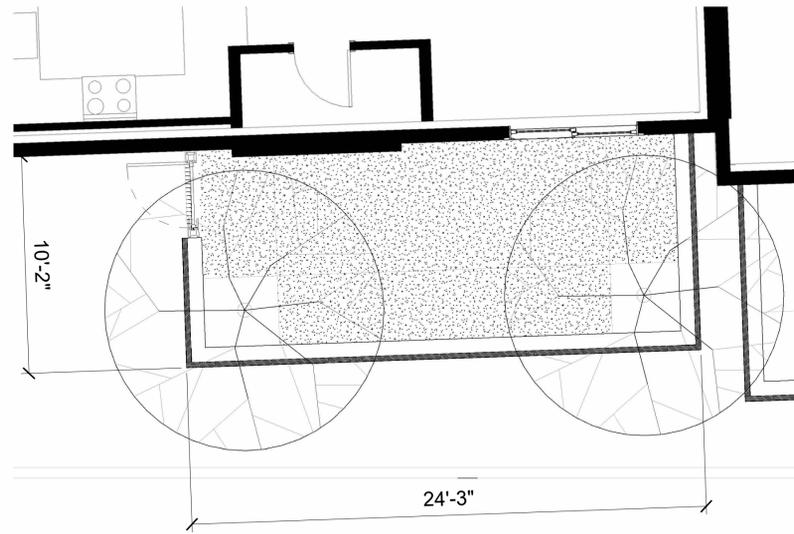
PRESENCE DESIGN  
Phoenix, AZ

**ZA0.07**

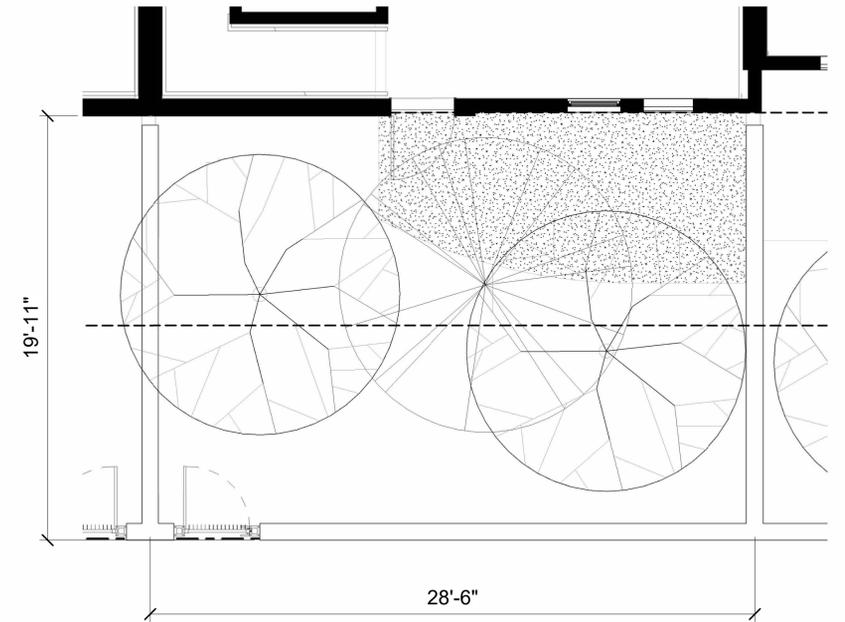
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Private Open Space Typ.3 .03  
SCALE: 1/4" = 1'-0"



Private Open Space Typ. 2 .02  
SCALE: 1/4" = 1'-0"



Private Open Space Typ.1 .01  
SCALE: 1/4" = 1'-0"

## TYPICAL PATIO PLANS

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J

PRESENCE  
DESIGN  
Phoenix, AZ



Expires 6.30.2027

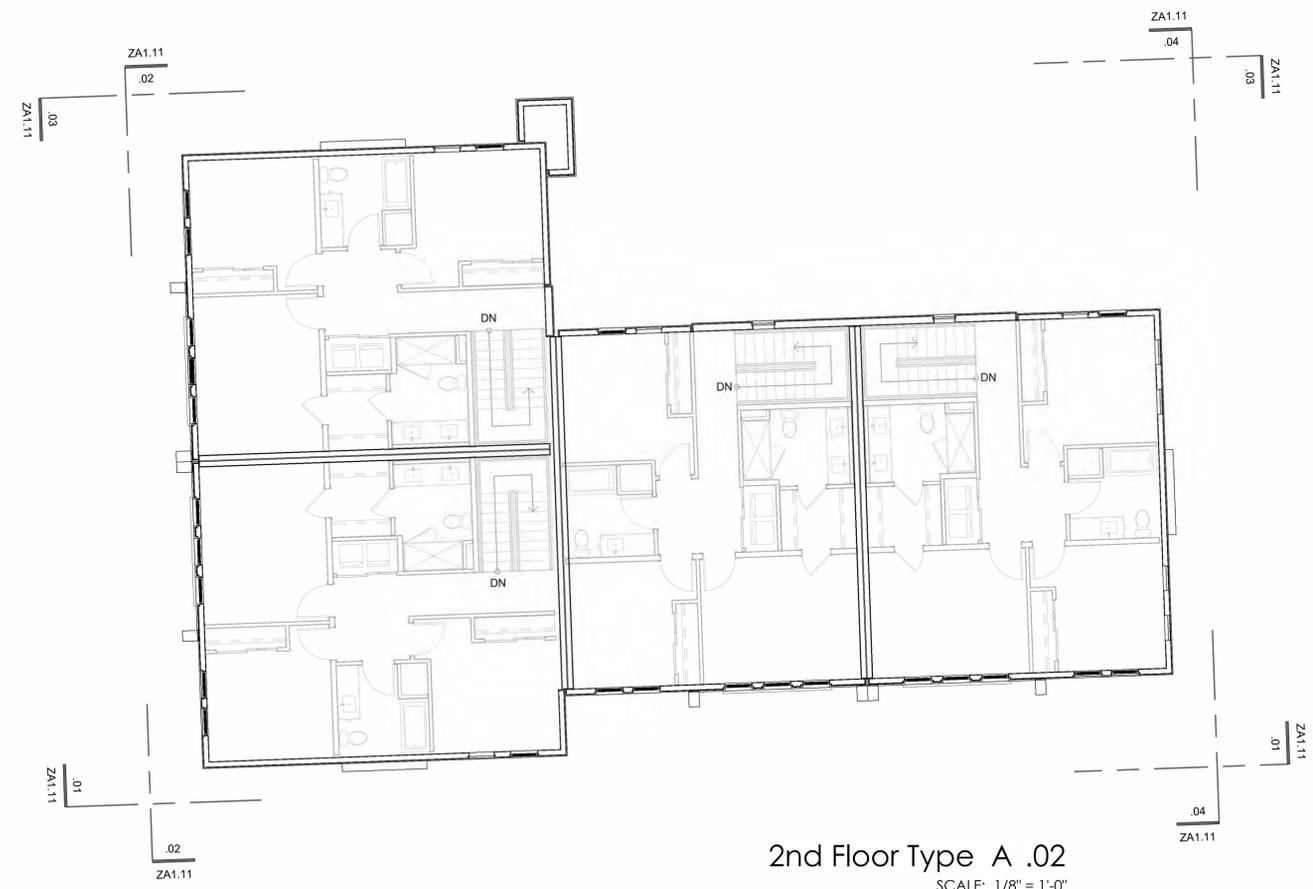
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November 27 2024 PD 2408.09

ZA0.08

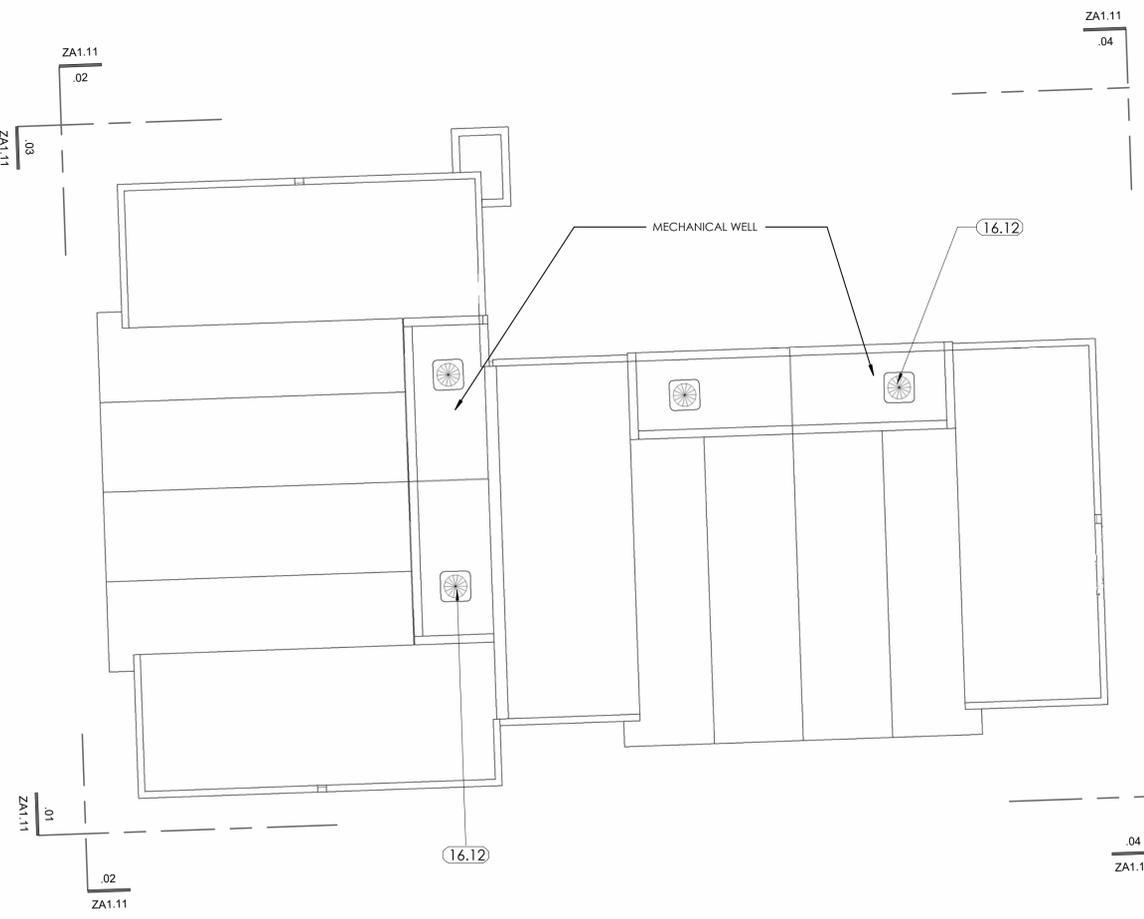
### SPECIAL NOTE

1. ALL PATIOS TO BE 50% SHADED WITH NATURAL TREE CANOPY.
2. ALL PRIVATE OPEN SPACE TO HAVE DIRECT ACCESS TO A HABITABLE ROOM.

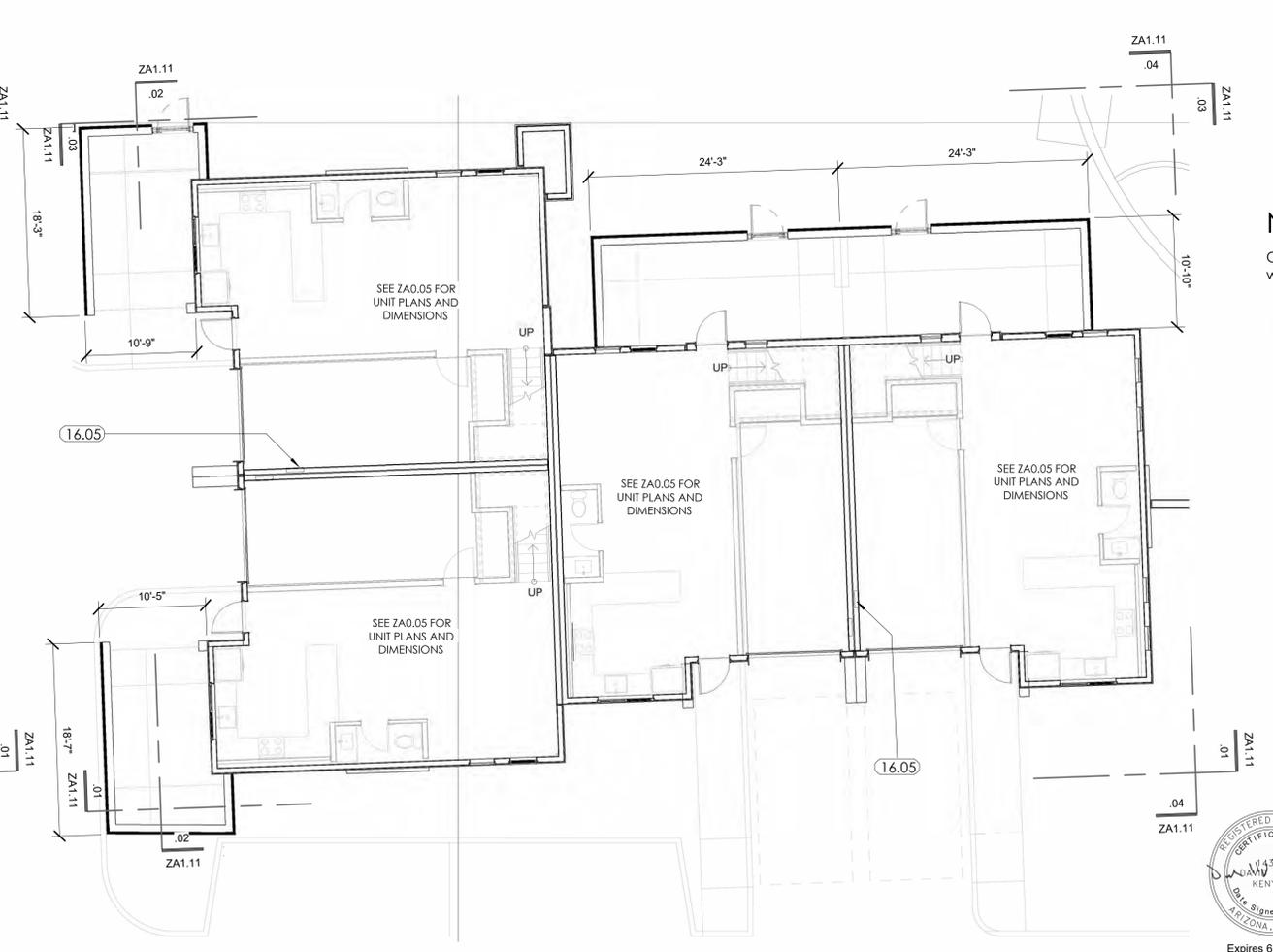
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2nd Floor Type A .02  
SCALE: 1/8" = 1'-0"



Roof Plan Bldg. Type 'A' .03  
SCALE: 1/8" = 1'-0"



1st floor Bldg Type A .01  
SCALE: 1/8" = 1'-0"

**Note:**  
Condensing units to be shielded on all four sides with parapet, 3'-0" high mechanical well provided.

- Keynote**
- 16.05 FLUSH-MOUNTED ELECTRICAL PANEL BOX. (SEE FLOOR PLAN SHEETS.)
  - 16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

# FLOOR PLANS 'A'

MAIN 45 ZONING  
APN: 218-18-001K & 218-18-001J

PRESENCE DESIGN  
Phoenix, AZ

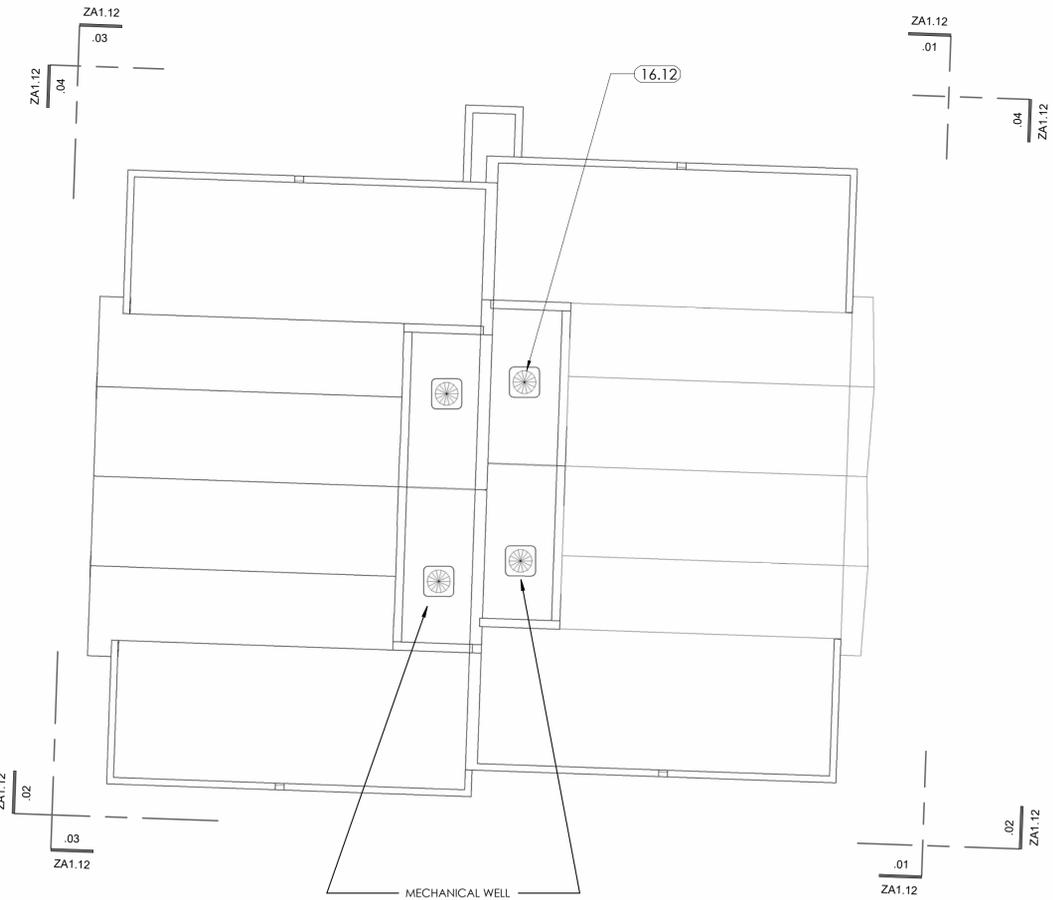


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November 27 2024

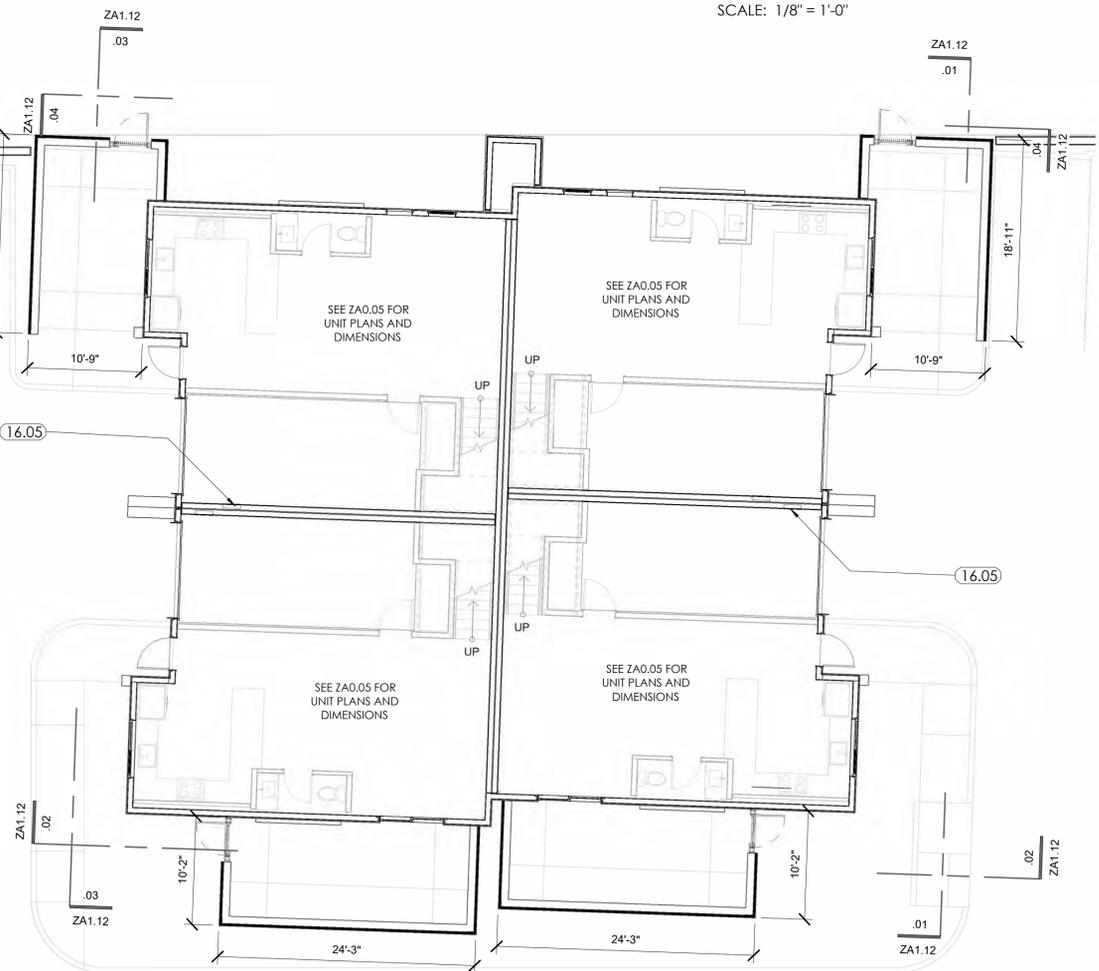
ZA1.01



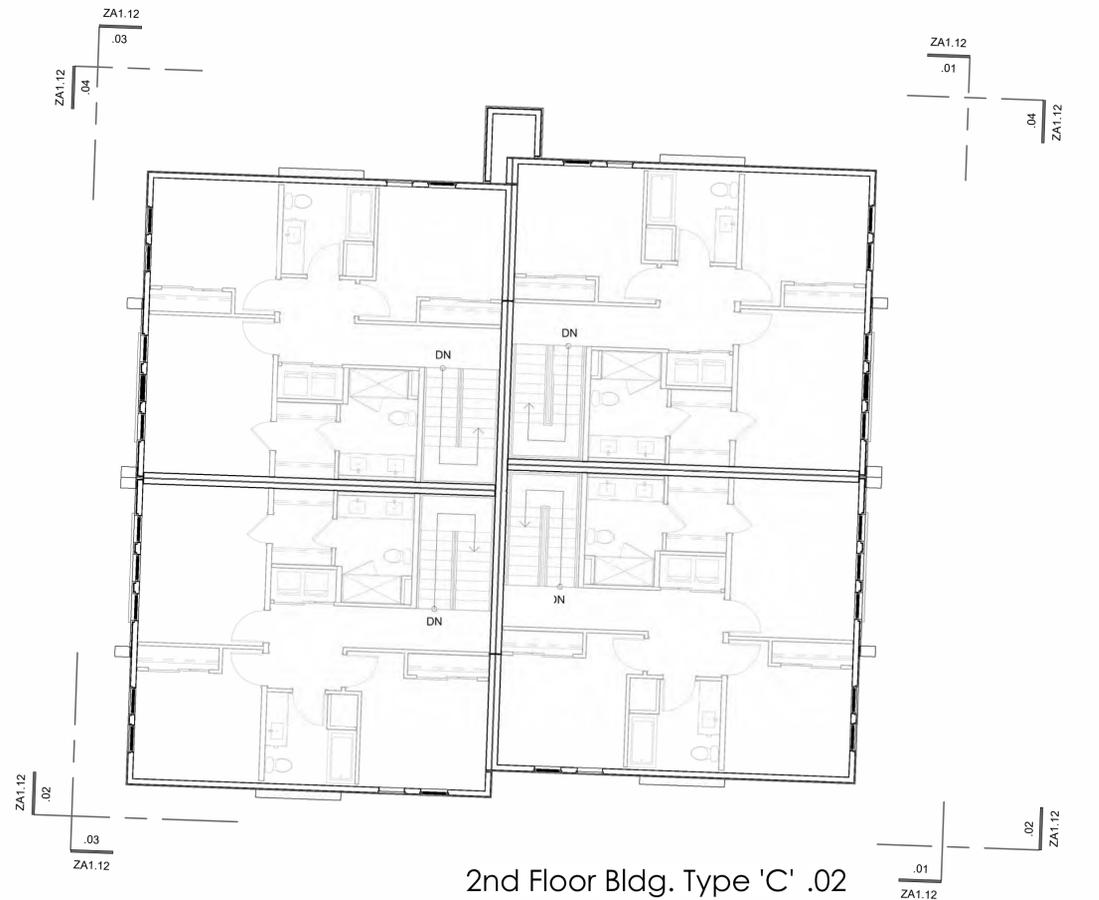
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Roof Plan Bldg. Type 'C' .03  
SCALE: 1/8" = 1'-0"



1st floor Bldg. Type 'C' .01  
SCALE: 1/8" = 1'-0"



2nd Floor Bldg. Type 'C' .02  
SCALE: 1/8" = 1'-0"

**Note:**

Condensing units to be shielded on all four sides with parapet, 3'-0" high mechanical well provided.

**Keynote**

- 16.05 FLUSH-MOUNTED ELECTRICAL PANEL BOX. (SEE FLOOR PLAN SHEETS.)
- 16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

**FLOOR PLANS 'C'**

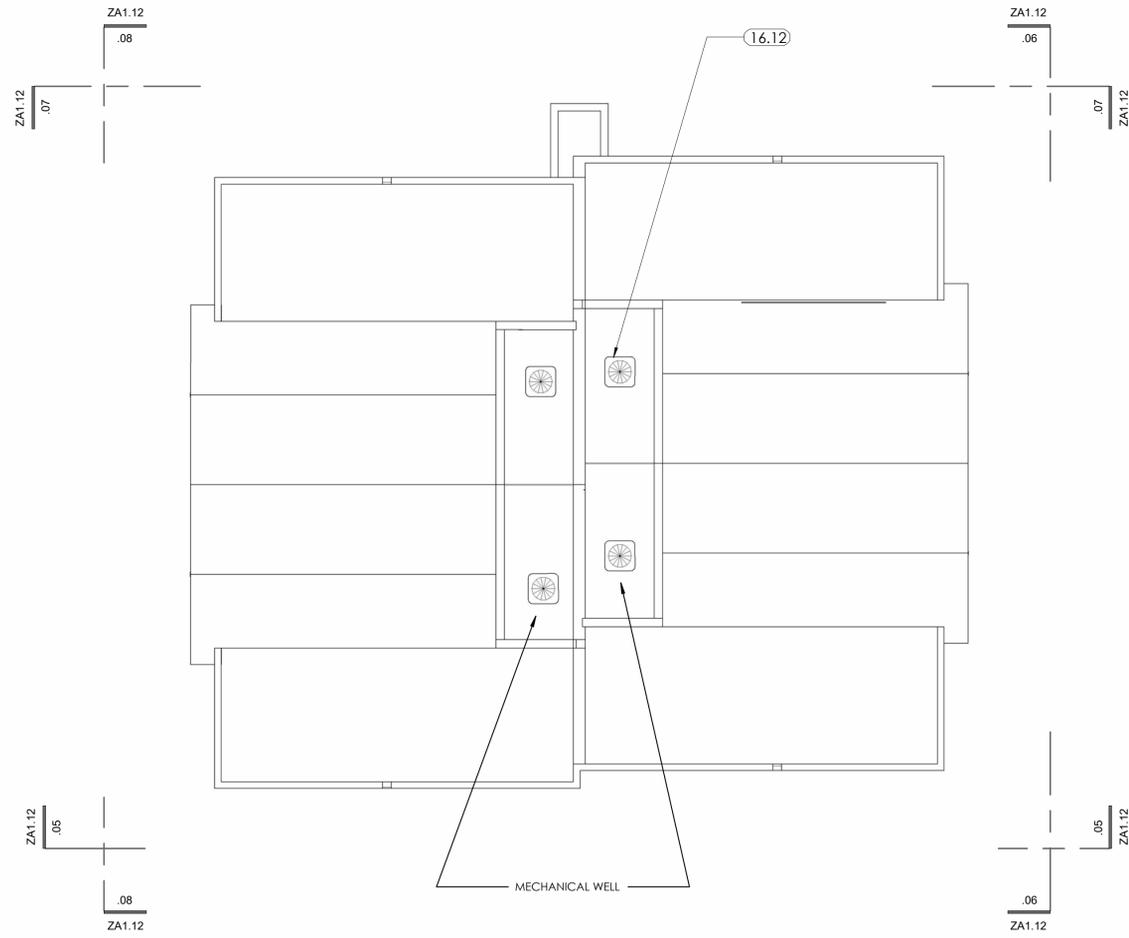
MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J

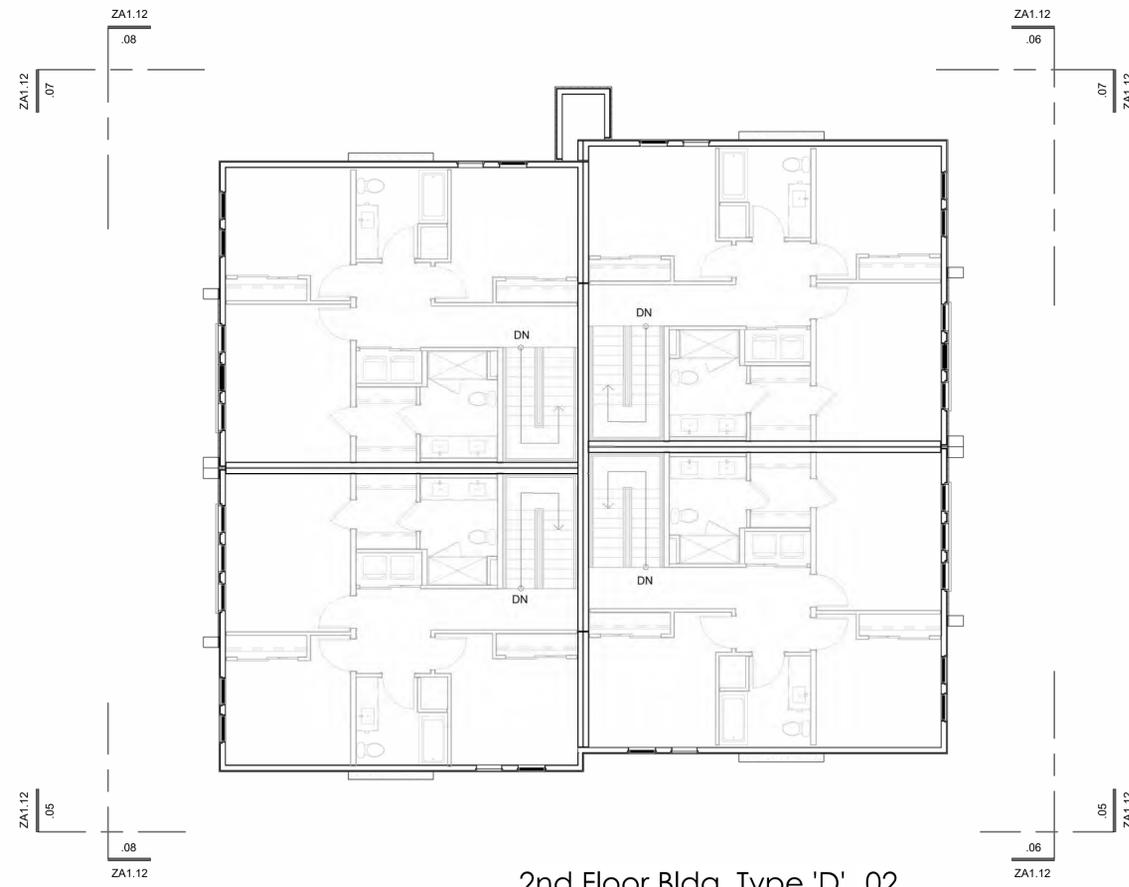


**PRESENCE DESIGN**  
Phoenix, AZ

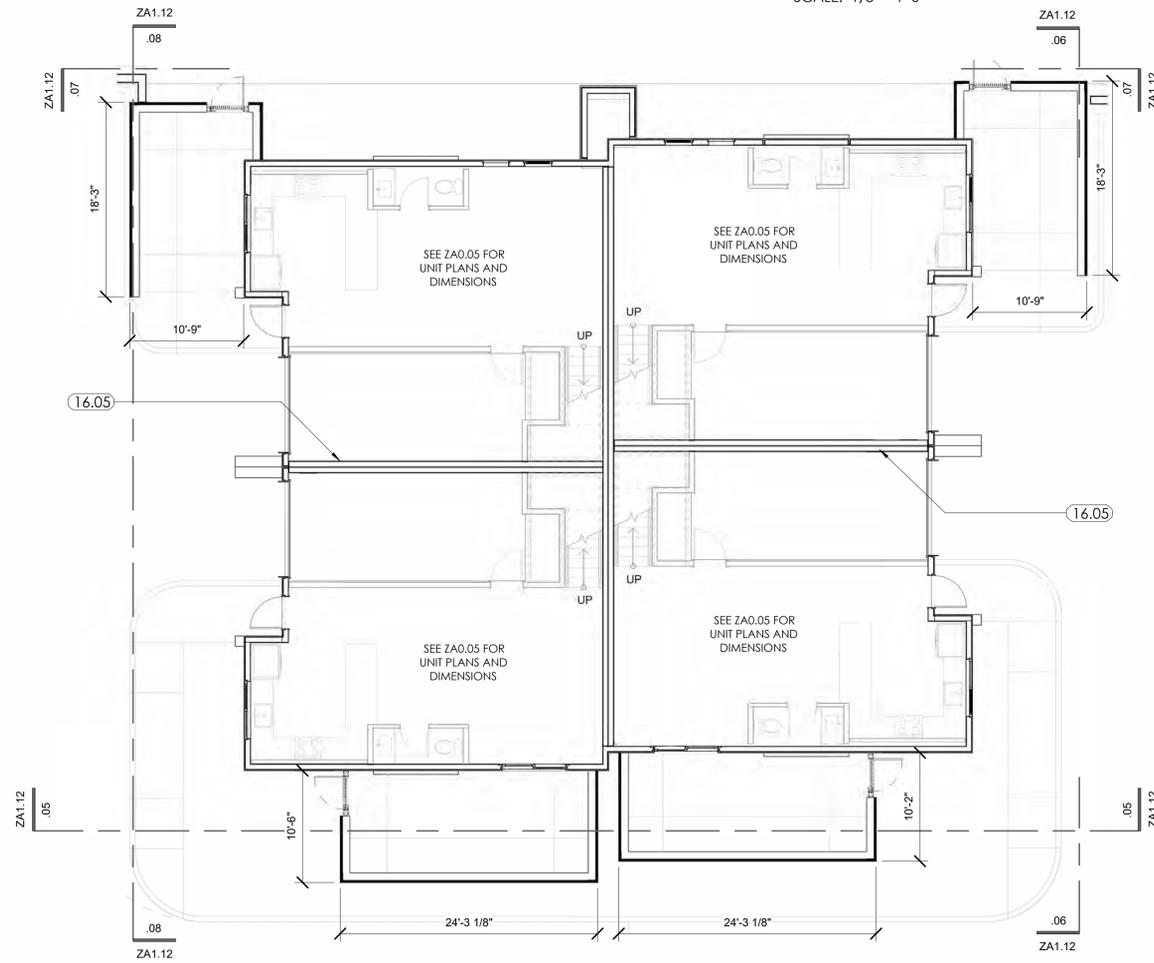
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Roof Plan Bldg. Type 'D' .03  
SCALE: 1/8" = 1'-0"



2nd Floor Bldg. Type 'D' .02  
SCALE: 1/8" = 1'-0"



1st floor Bldg. Type 'D' .01  
SCALE: 1/8" = 1'-0"

**Note:**

Condensing units to be shielded on all four sides with parapet, 3'-0" high mechanical well provided.

**Keynote**

- 16.05 FLUSH-MOUNTED ELECTRICAL PANEL BOX. (SEE FLOOR PLAN SHEETS.)
- 16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

**FLOOR PLANS 'D'**

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



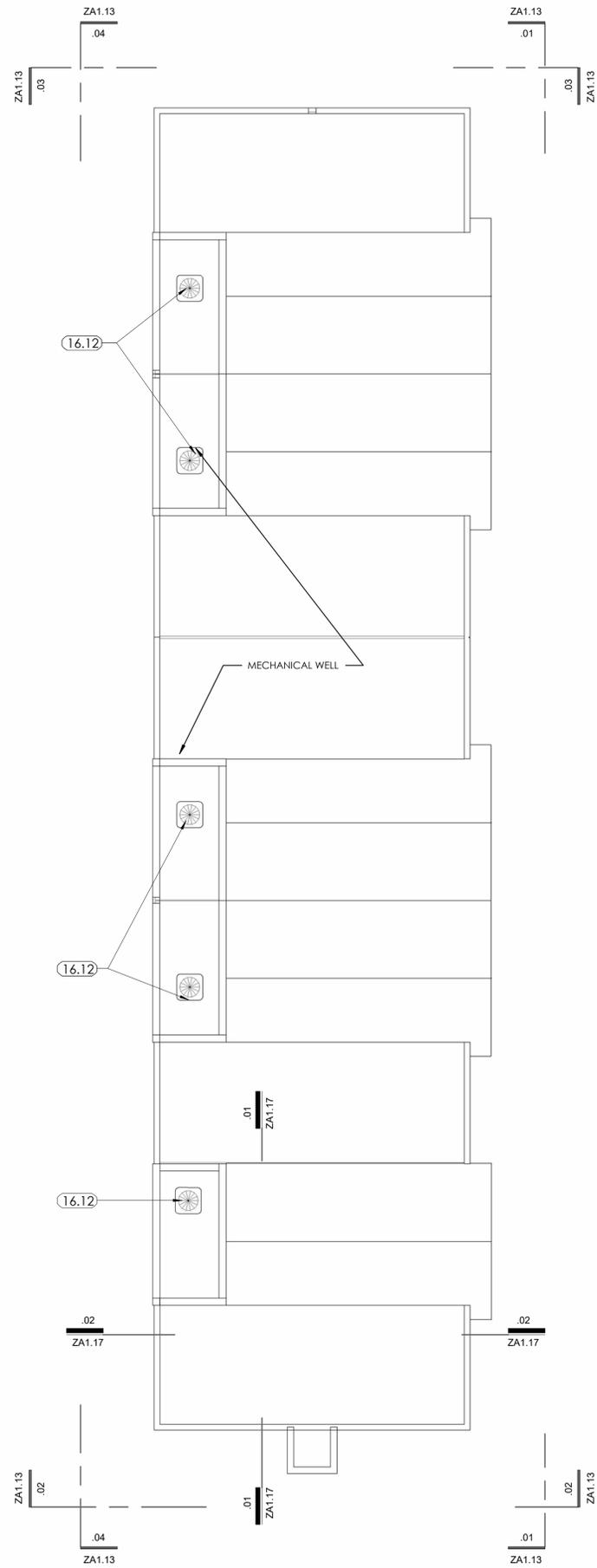
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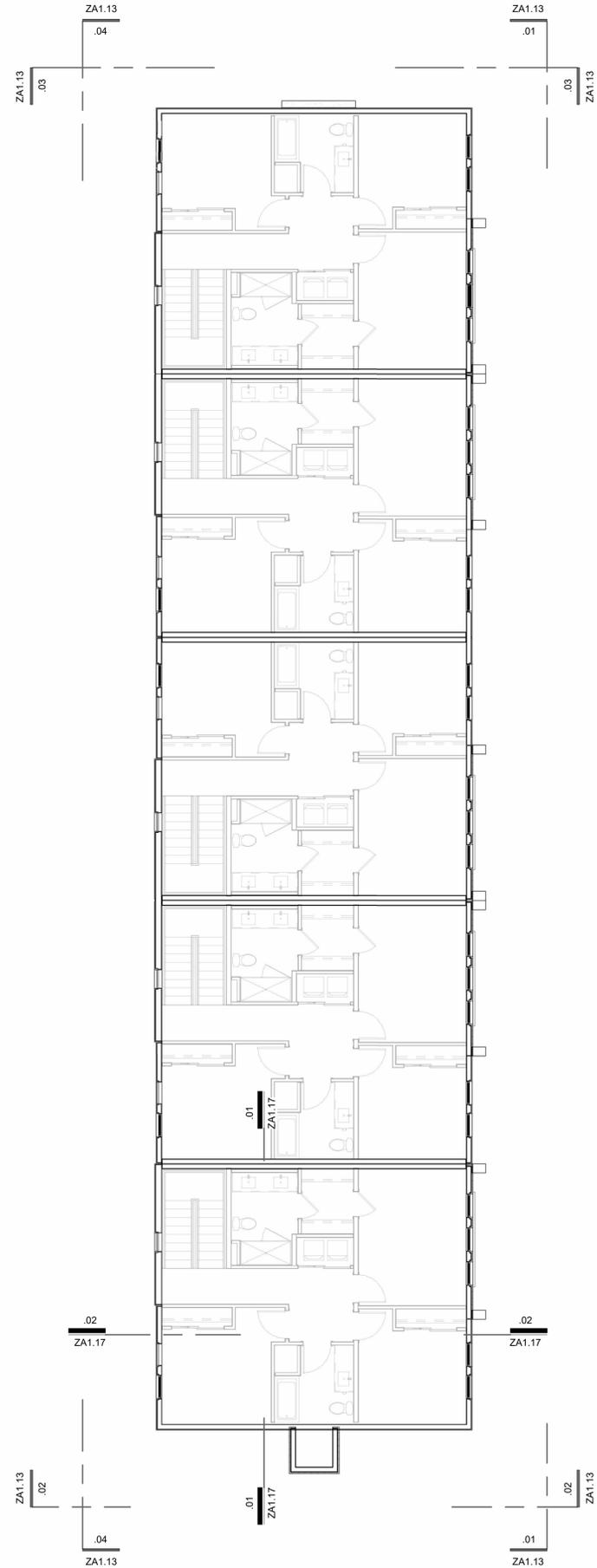
**ZA1.04**

PRESENCE DESIGN  
Phoenix, AZ

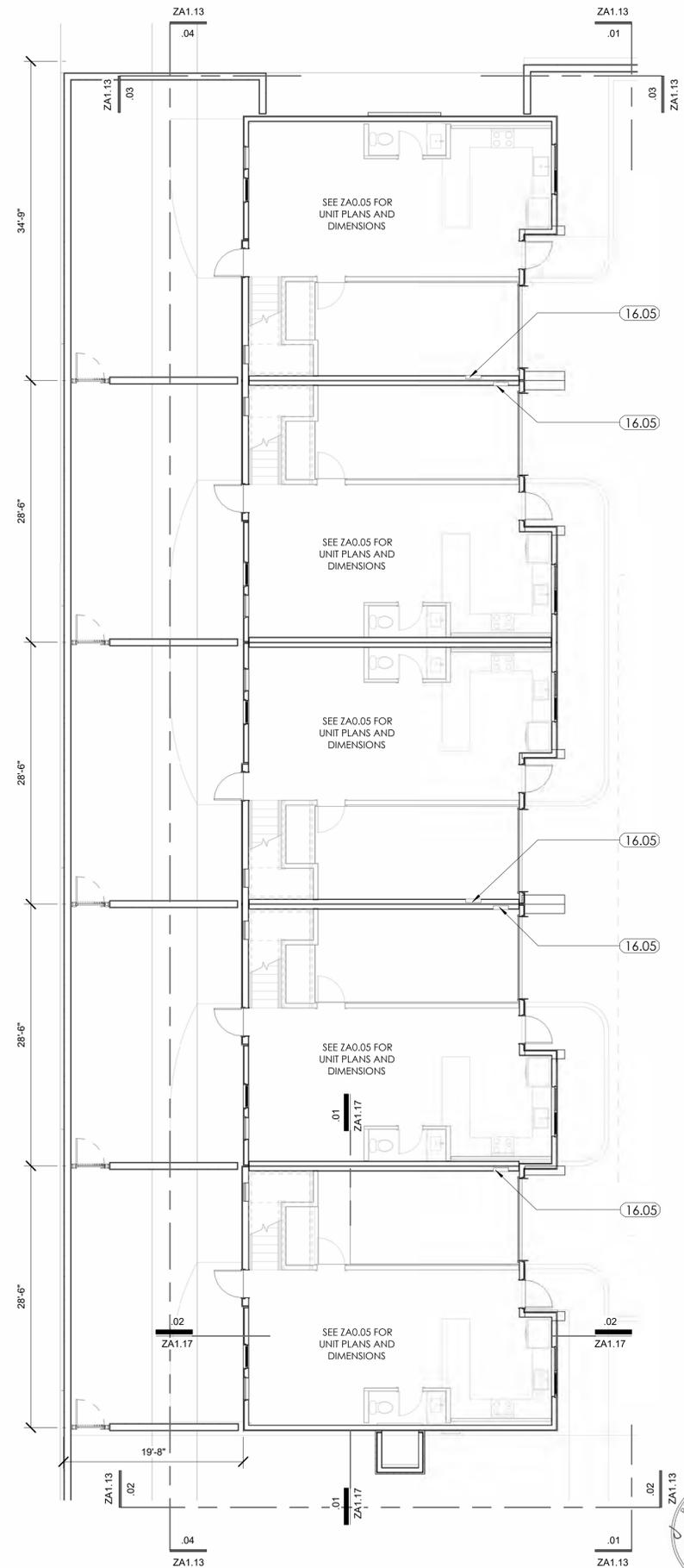
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Roof Plan Bldg. Type 'E' .03  
SCALE: 1/8" = 1'-0"



2nd Floor Bldg. Type 'E' .02  
SCALE: 1/8" = 1'-0"



1st Floor Bldg. Type 'E' .01  
SCALE: 1/8" = 1'-0"

**Note:**  
Condensing units to be shielded on all four sides with parapet, 3'-0" high mechanical well provided.

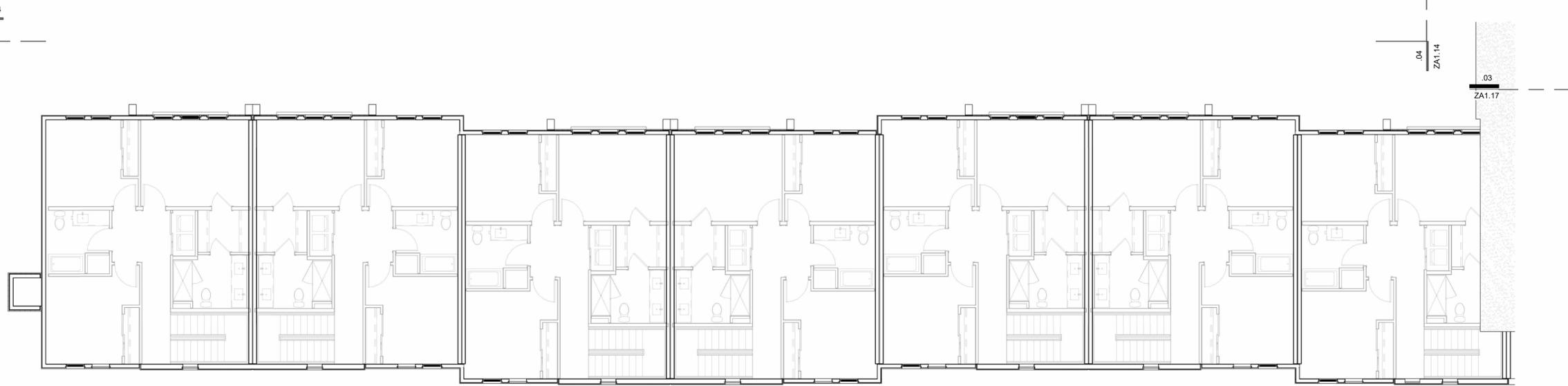
- Keynote**
- 16.05 FLUSH-MOUNTED ELECTRICAL PANEL BOX. (SEE FLOOR PLAN SHEETS.)
  - 16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

# FLOOR PLANS 'E'

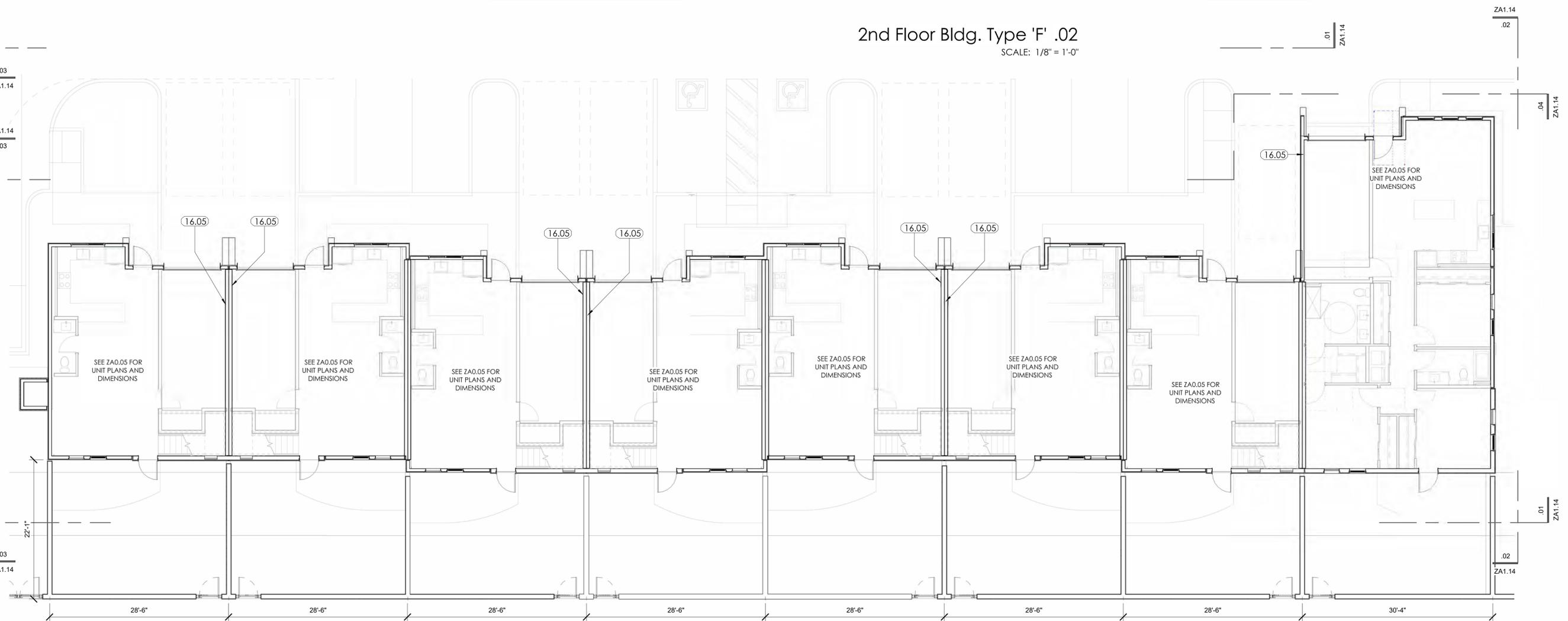
MAIN 45 ZONING  
APN: 218-18-001K & 218-18-001J



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2nd Floor Bldg. Type 'F' .02  
SCALE: 1/8" = 1'-0"



1st Floor Bldg. Type 'F' .01  
SCALE: 1/8" = 1'-0"

FLOOR PLANS 'F'

Note:

Condensing units to be shielded on all four sides with parapet.

Building Type 'F' Total Material Percentage Proportion

Material	Area (Sqft)	(%)
HARDY	2,785	19.7
BRICK	1,544	10.9
STUCCO	7,060	50.0
GLASS	1,334	9.4
DOOR	330	1.2
METAL	184	1.3
PUNCH WINDOW	302	2.1
GARAGEDOOR	584	4.1
TOTAL	14,123	100

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



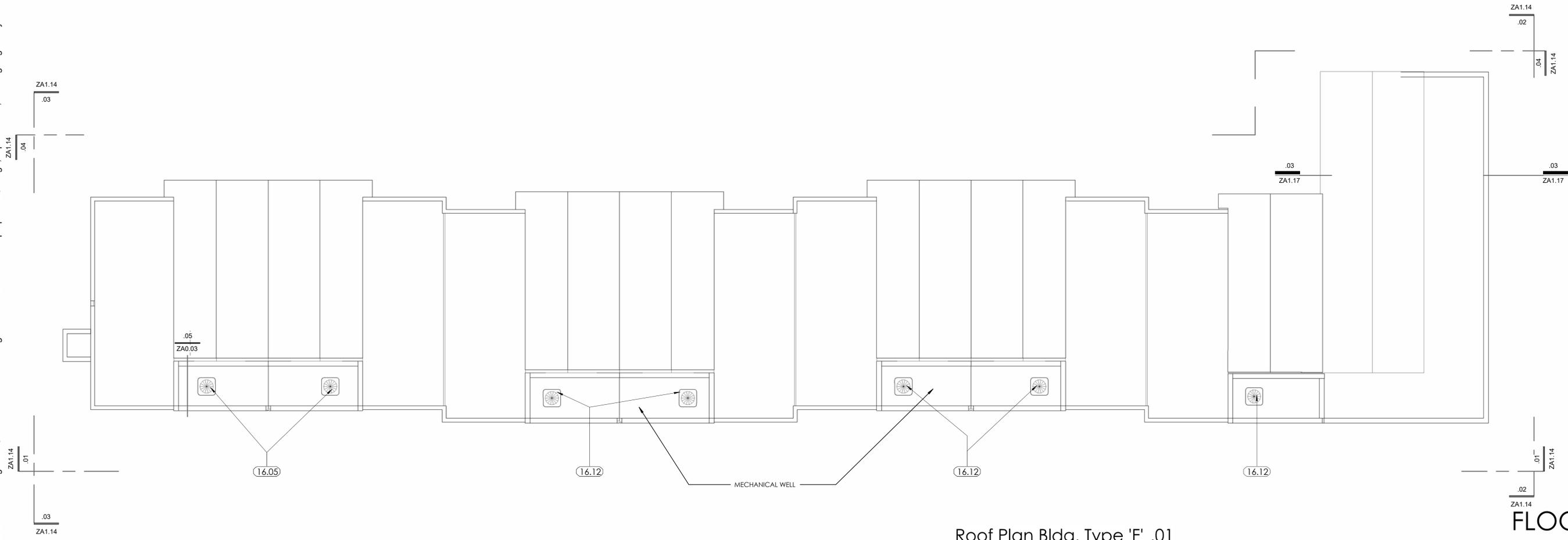
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ZA1.06

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Phoenix, AZ

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Roof Plan Bldg. Type 'F' .01  
 SCALE: 1/8" = 1'-0"

FLOOR PLANS 'F'

MAIN 45 ZONING  
 APN: 218-18-001K & 218-18-001J

PRESENCE  
 DESIGN  
 Phoenix, AZ

Note:

Condensing units to be shielded on all four sides with parapet, 3'-0" high mechanical well provided.

Keynote

- 16.05 FLUSH-MOUNTED ELECTRICAL PANEL BOX. (SEE FLOOR PLAN SHEETS.)
- 16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

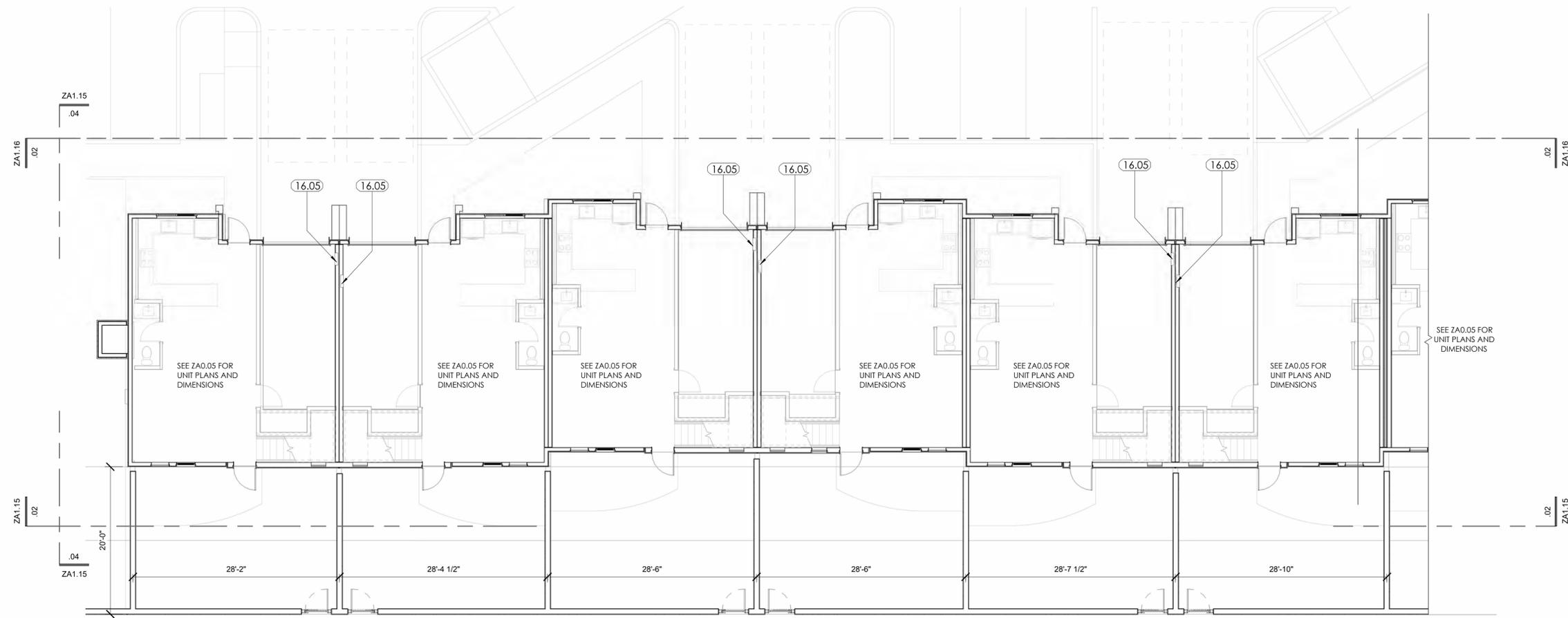


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 November 27 2024 PD 2408.09

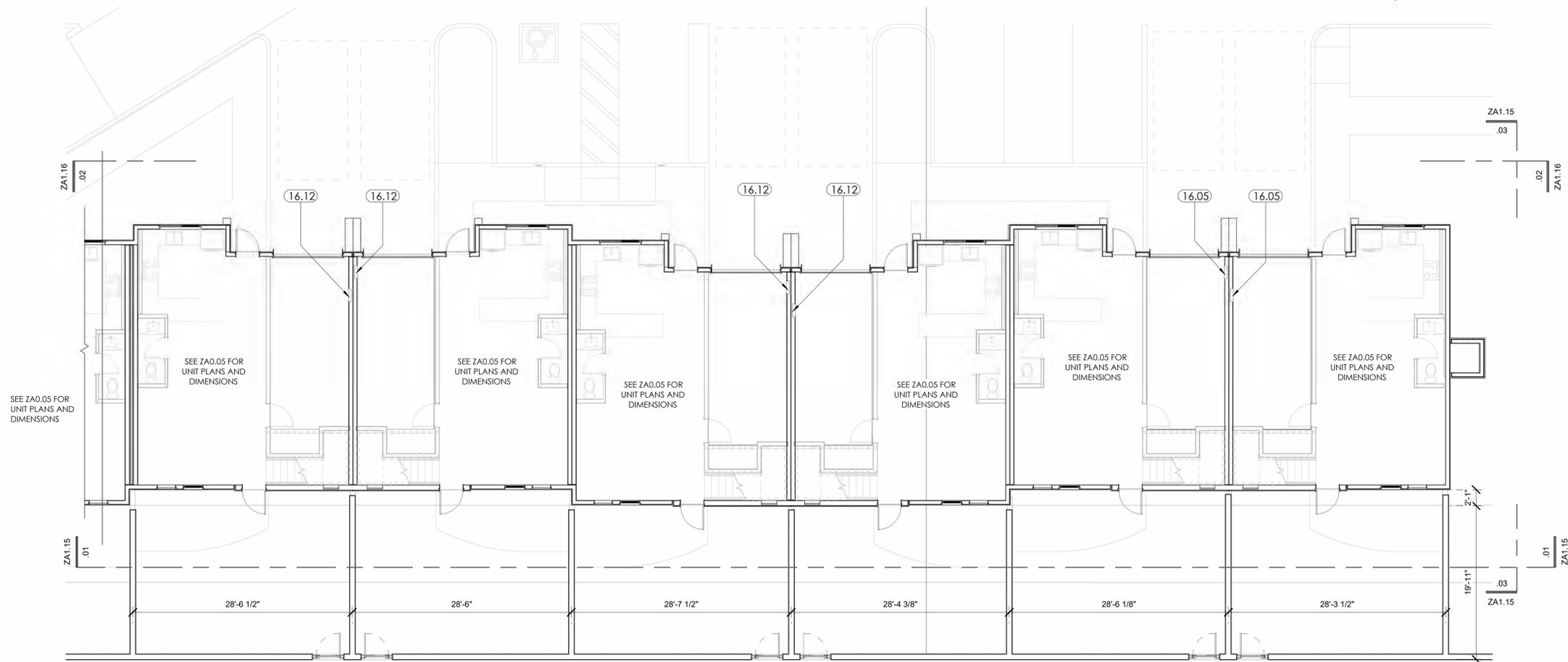
ZA1.07

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1st Floor Bldg. Type 'G' .02

SCALE: 1/8" = 1'-0"



1st Floor Bldg. Type 'G' .01

SCALE: 1/8" = 1'-0"

**Note:**

Condensing units to be shielded on all four sides with parapet, 3'-0" high mechanical well provided.

**Keynote**

- 16.05 FLUSH-MOUNTED ELECTRICAL PANEL BOX. (SEE FLOOR PLAN SHEETS.)
- 16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

**FLOOR PLANS 'G'**

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



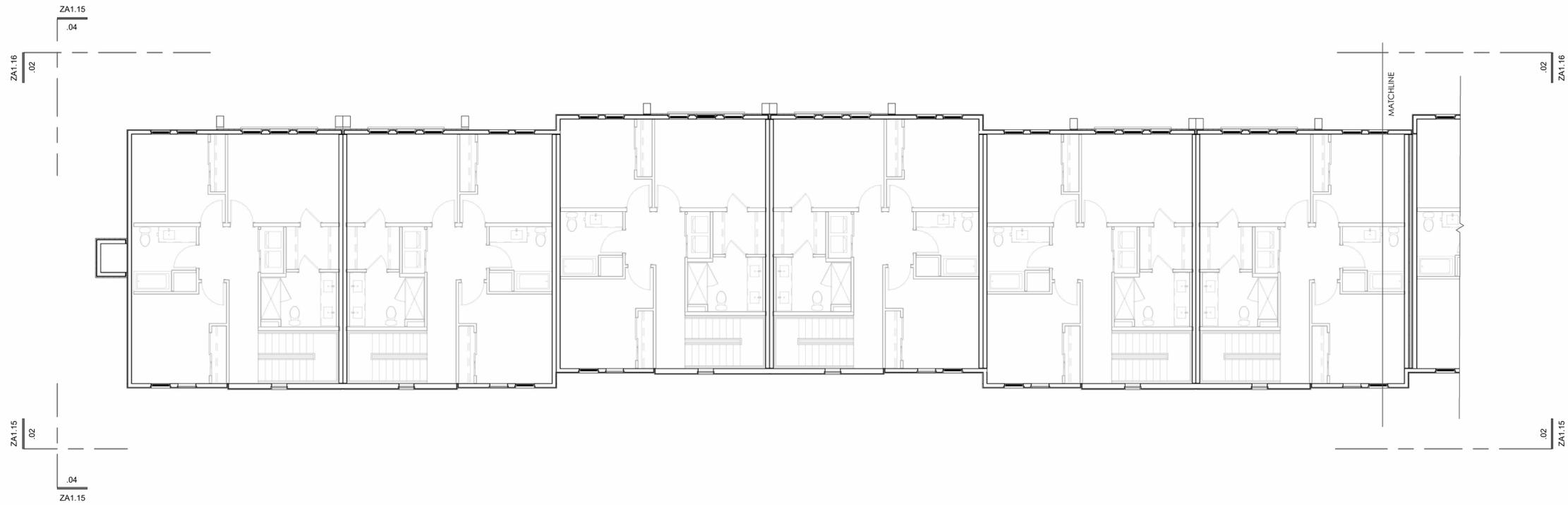
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**PRESENCE DESIGN**  
Phoenix, AZ

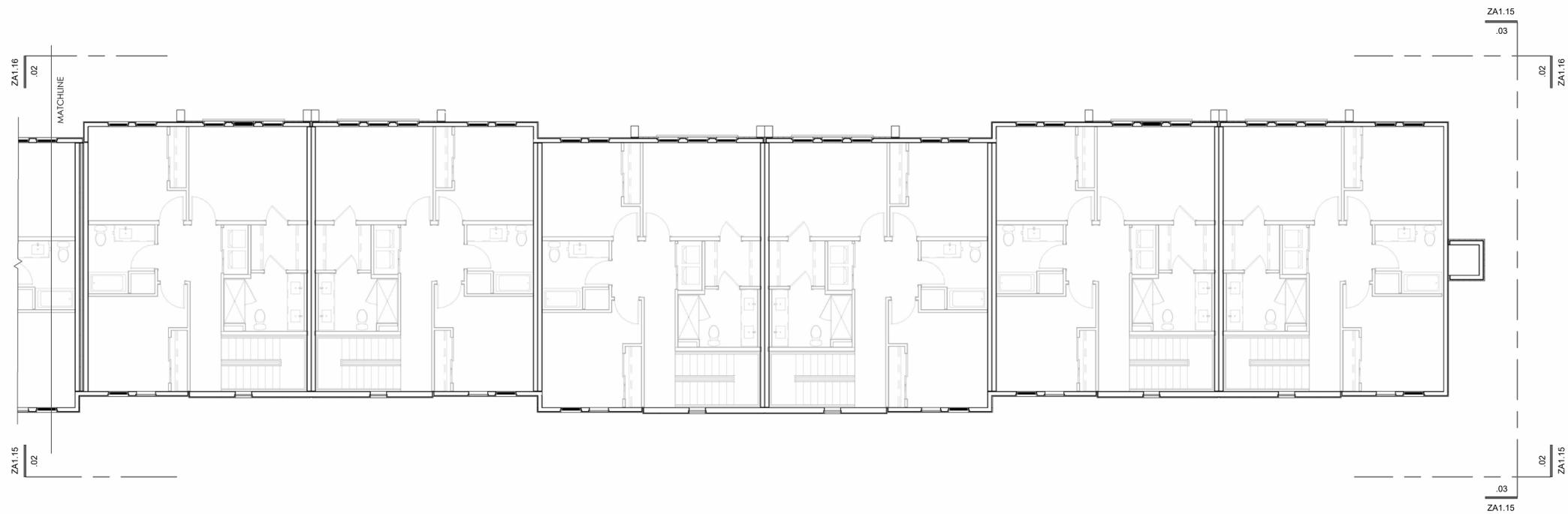
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November 27 2024

**ZA1.08**

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Partial 2nd Floor Bldg. Type 'G' .02  
SCALE: 1/8" = 1'-0"



2nd Floor Bldg. Type 'G' .01  
SCALE: 1/8" = 1'-0"

# FLOOR PLANS 'G'

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J

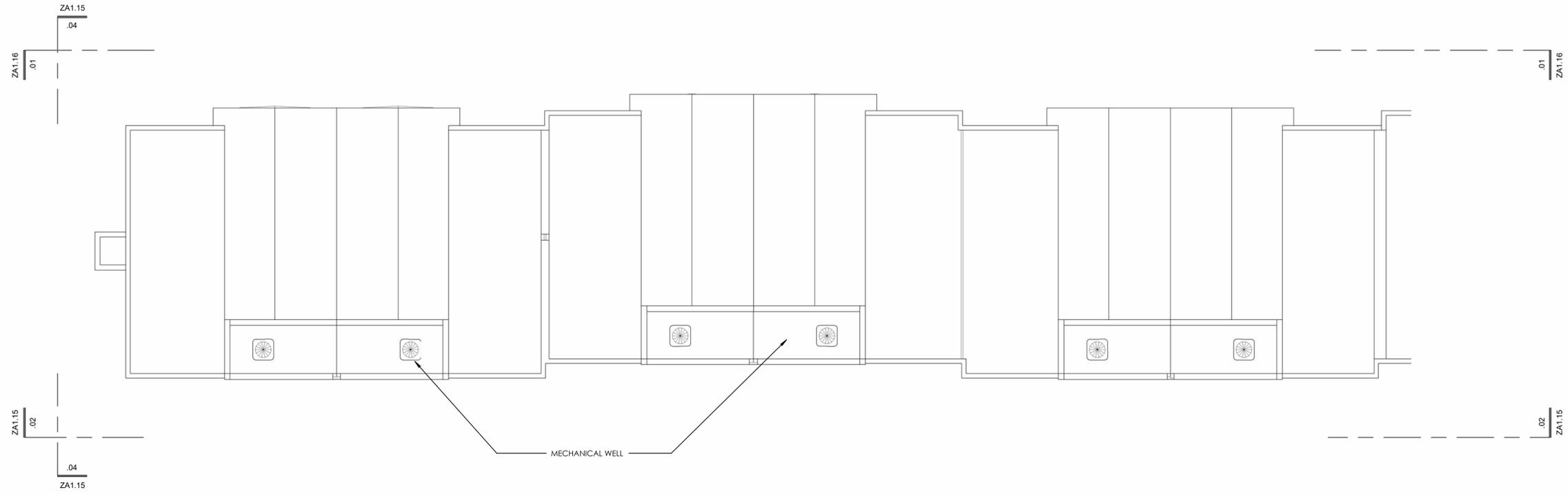


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Drawn: ftb Checked: cdk SITE PLAN/ ZONING REQUEST  
November 27 2024 PD 2408.09

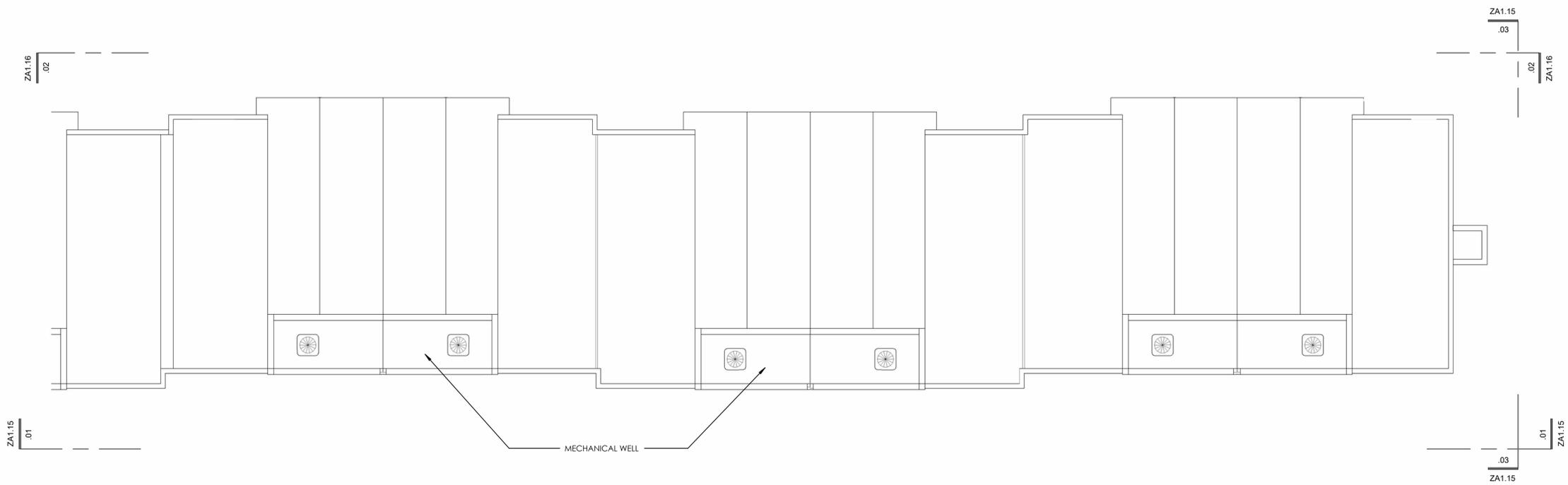
ZA1.09

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Roof Plan Bldg. Type 'G' - Dependent 2 .02  
SCALE: 1/8" = 1'-0"

**Note:**  
Condensing units to be shielded on all four sides with parapet.



Roof Plan Bldg. Type 'G' - Dependent 1 .01  
SCALE: 1/8" = 1'-0"

**FLOOR PLANS 'G'**

**MAIN 45 ZONING**  
APN: 218-18-001K & 218-18-001J

**PRESENCE DESIGN**  
Phoenix, AZ

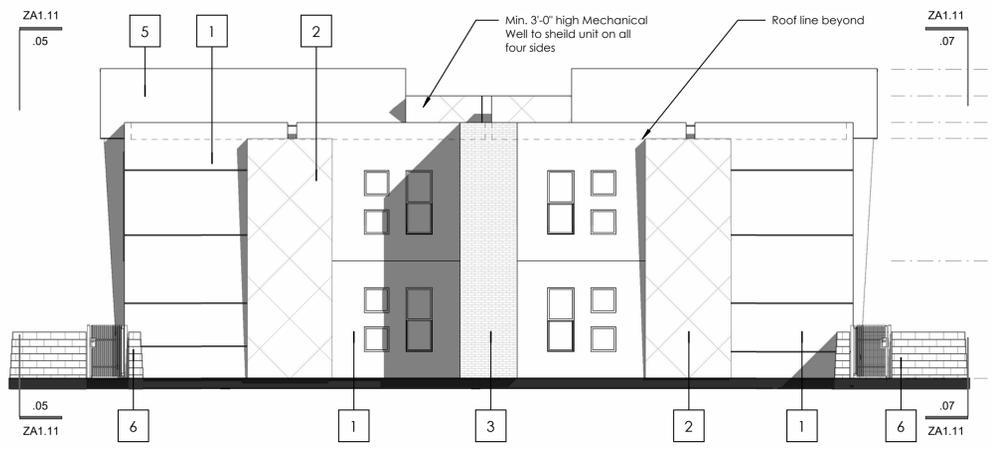


Expires 6.30.2027

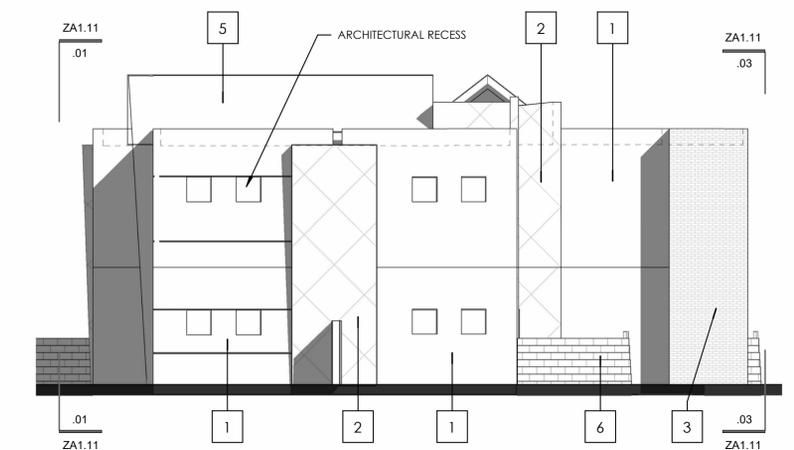
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November 27 2024 PD 2408.09

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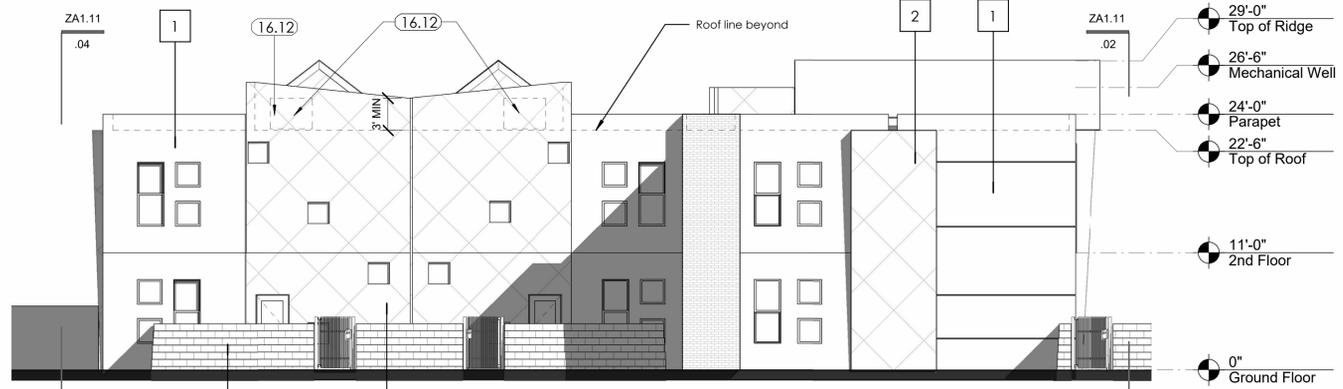
Building Type 'B' North Elevations .08  
SCALE: 1/8" = 1'-0"



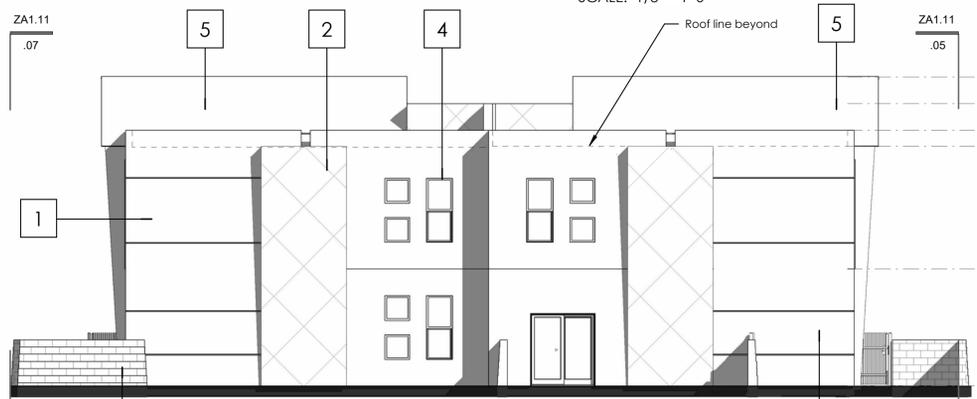
Building Type 'A' East Elevation .04  
SCALE: 1/8" = 1'-0"



Building Type 'B' West Elevation .07  
SCALE: 1/8" = 1'-0"



Building Type 'A' North Elevation .03  
SCALE: 1/8" = 1'-0"



Building Type 'B' South Elevation .06  
SCALE: 1/8" = 1'-0"



Building Type 'A' West Elevation .02  
SCALE: 1/8" = 1'-0"



Building Type 'B' East Elevation .05  
SCALE: 1/8" = 1'-0"



Building Type 'A' South Elevation .01  
SCALE: 1/8" = 1'-0"

### Finish Schedule

1. Santa Barbara Finish Stucco- SW 7570 Erget White
2. Hardie Panel Vertical Siding 4x8 Painted with metal effects rust activator
3. Carbon black Velour Face Brick-Running Bond
4. Solarban Vitro Glass- Solar Gray or Sim
5. Eagle Roofing Concrete Tile- Bel Air Color 4595 Dark Charcoal
6. 4x8x16 CMU Block- 1/2 Batter Block W/Raked joints with White Splitface Cap Block
7. Local Stucco Finish- SW 6650 Marquis Orange

### Keynote

16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

### Building 'A' Material per Elevation

Material	Area (Sqft) (%)			
	NORTH	SOUTH	WEST	EAST
HARDY BRICK	180 (6.7%)	180 (6.9%)	130 (6.5%)	180 (10.0%)
STUCCO	1213 (45%)	1314 (50.5%)	708 (35.3%)	1075 (60.0%)
CONCRETE TILES	309 (11.6%)	309 (11.9%)	309 (15.4%)	309 (17.3%)
GLASS	154 (5.7%)	238 (9.1%)	192 (9.6%)	-
DOOR	44 (1.6%)	44 (1.7%)	44 (2.2%)	-
METAL	-	46 (1.7%)	46 (2.3%)	-
PUNCH WINDOW	43 (1.6%)	-	-	43 (2.4%)
GARAGE DOOR	-	146 (5.6%)	146 (7.3%)	-
<b>TOTAL</b>	<b>2668</b>	<b>2597</b>	<b>2003</b>	<b>1787</b>

### Building 'B' Material per Elevation

Material	Area (Sqft) (%)			
	NORTH	SOUTH	WEST	EAST
HARDY BRICK	360 (14%)	360 (15%)	42 (2.5%)	28 (1.6%)
STUCCO	1287 (52%)	1287 (53.4%)	810 (47.4%)	810 (46.5%)
CONCRETE TILES	618 (25%)	618 (25.6%)	-	-
GLASS	103 (4.1%)	103 (4.3%)	192 (11.2%)	192 (11.0%)
DOOR	-	42 (1.7%)	44 (2.5%)	44 (2.5%)
METAL	-	-	46 (2.7%)	46 (2.6%)
PUNCH WINDOW	-	-	-	-
GARAGE DOOR	-	-	146 (8.5%)	146 (9.9%)
<b>TOTAL</b>	<b>2498</b>	<b>2410</b>	<b>1708</b>	<b>1741</b>

## ELEVATIONS TYPE 'A' & 'B'

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



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Phoenix, AZ

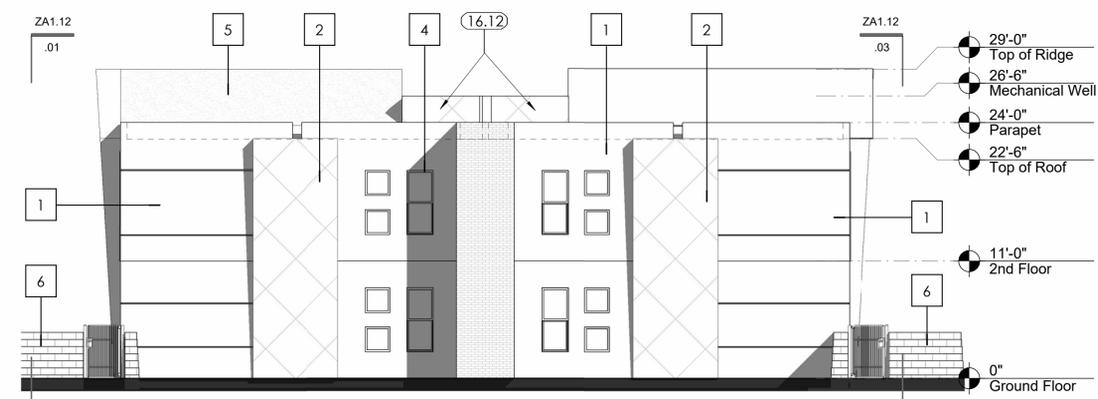
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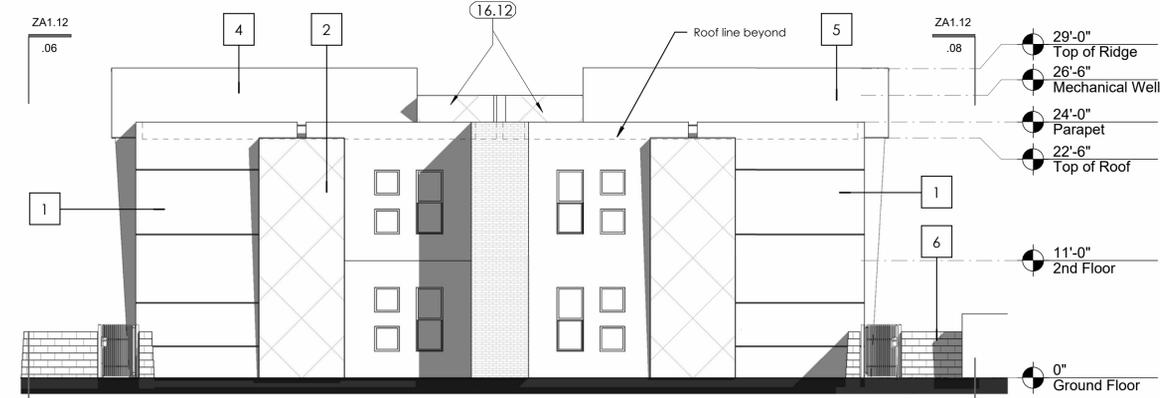
Building Type 'D' West Elevation .08

SCALE: 1/8" = 1'-0"



Building Type 'C' North Elevation .04

SCALE: 1/8" = 1'-0"



Building Type 'D' North Elevation .07

SCALE: 1/8" = 1'-0"



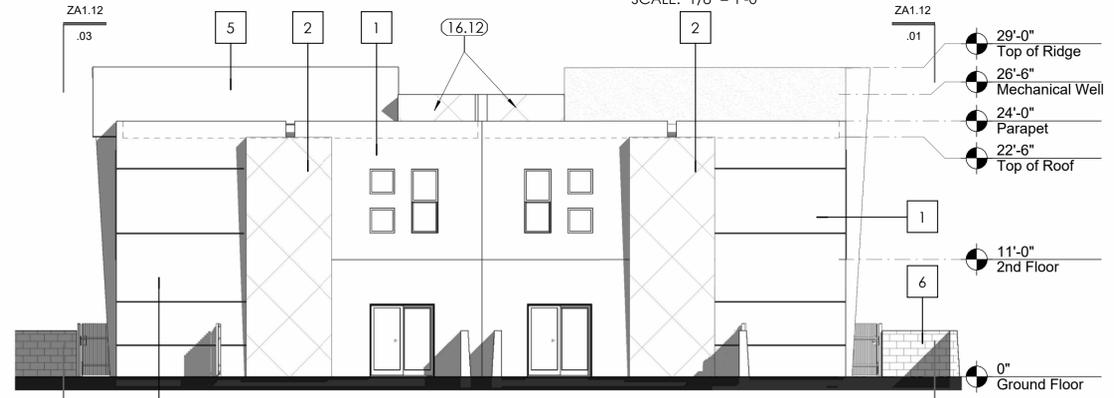
Building Type 'C' West Elevation .03

SCALE: 1/8" = 1'-0"



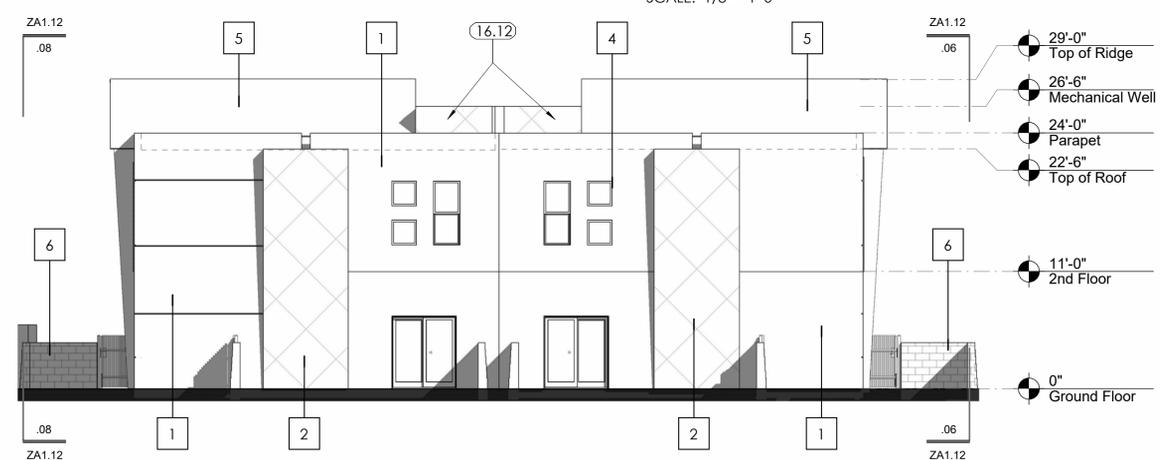
Building Type 'D' East Elevation .06

SCALE: 1/8" = 1'-0"



Building Type 'C' South Elevation .02

SCALE: 1/8" = 1'-0"



Building Type 'D' South Elevation .05

SCALE: 1/8" = 1'-0"



Building Type 'C' East Elevation .01

SCALE: 1/8" = 1'-0"

### Finish Schedule

1. Santa Barbara Finish Stucco- SW 7570 Erget White
2. Hardie Panel Vertical Siding 4x8 Painted with metal effects rust activator
3. Carbon black Velour Face Brick-Running Bond
4. Solarban Vitro Glass- Solar Gray or Sim
5. Eagle Roofing Concrete Tile- Bel Air Color 4595 Dark Charcoal
6. 4x8x16 CMU Block- 1/2 Batter Block W/Raked joints with White Splitface Cap Block
7. Local Stucco Finish- SW 6650 Marquis Orange

### Keynote

16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

### Building 'C' Material per Elevation

Material	Area (Sqft) (%)			
	NORTH	SOUTH	WEST	EAST
HARDY	360 (14%)	360 (14.7%)	42 (2.4%)	28 (1.6%)
BRICK	130 (5.2%)	-	428 (24.7%)	475 (26.9%)
STUCCO	1287 (52%)	1203 (49.0%)	810 (46.8%)	810 (46.0%)
CONCRETE TILES	618 (24.7%)	618 (25.2%)	23 (1.3%)	23 (1.3%)
GLASS	103 (4.1%)	187 (7.6%)	192 (11.0%)	192 (10.8%)
DOOR	-	84 (3.4%)	44 (2.5%)	44 (2.5%)
METAL	-	-	46 (2.6%)	46 (2.6%)
PUNCH WINDOW	-	-	-	-
GARAGE DOOR	-	-	146 (8.4%)	146 (8.3%)
<b>TOTAL</b>	<b>2498</b>	<b>2452</b>	<b>1731</b>	<b>1764</b>

### Building 'D' Material per Elevation

Material	Area (Sqft) (%)			
	NORTH	SOUTH	WEST	EAST
HARDY	360 (14%)	360 (14.7%)	42 (2.4%)	28 (1.6%)
BRICK	130 (5.2%)	-	475 (26.7%)	428 (26.9%)
STUCCO	1287 (52%)	1203 (49.0%)	810 (45.5%)	810 (46.0%)
CONCRETE TILES	618 (24.7%)	618 (25.2%)	23 (1.3%)	23 (1.3%)
GLASS	103 (4.1%)	187 (7.6%)	192 (11.0%)	192 (11.2%)
DOOR	-	84 (3.4%)	44 (2.5%)	44 (2.5%)
METAL	-	-	46 (2.6%)	46 (2.6%)
PUNCH WINDOW	-	-	-	-
GARAGE DOOR	-	-	146 (8.4%)	146 (8.5%)
<b>TOTAL</b>	<b>2498</b>	<b>2452</b>	<b>1778</b>	<b>1717</b>

## ELEVATIONS TYPE 'C' & 'D'

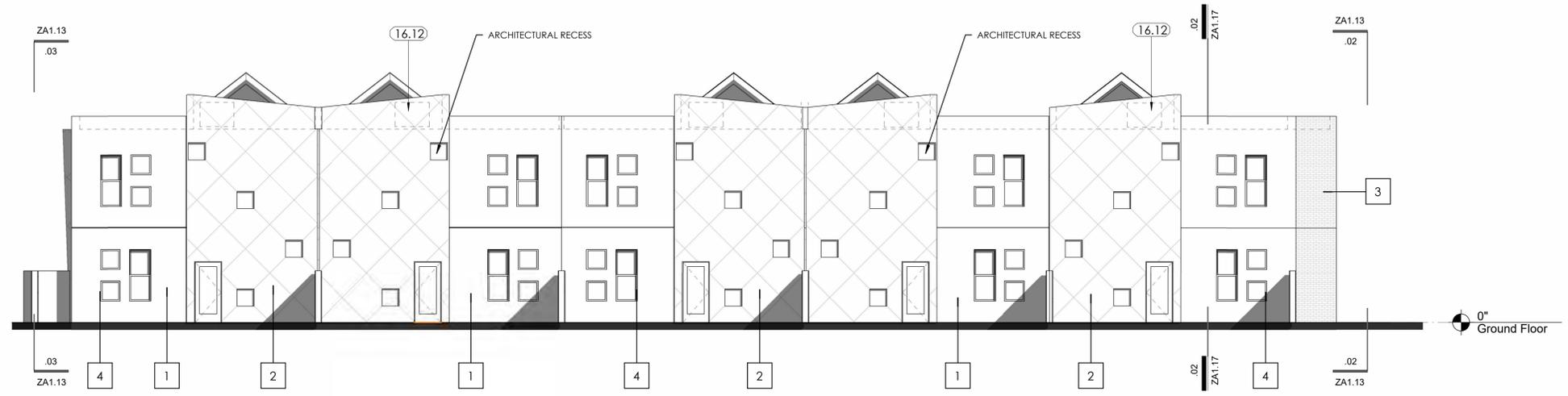
MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J

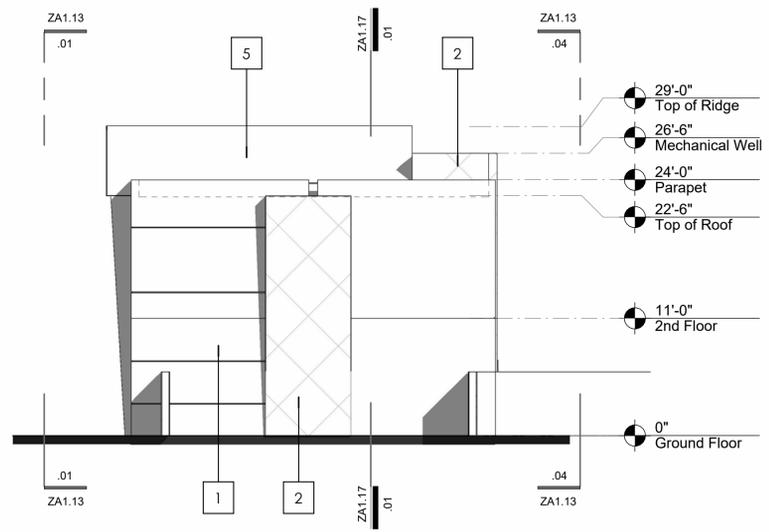


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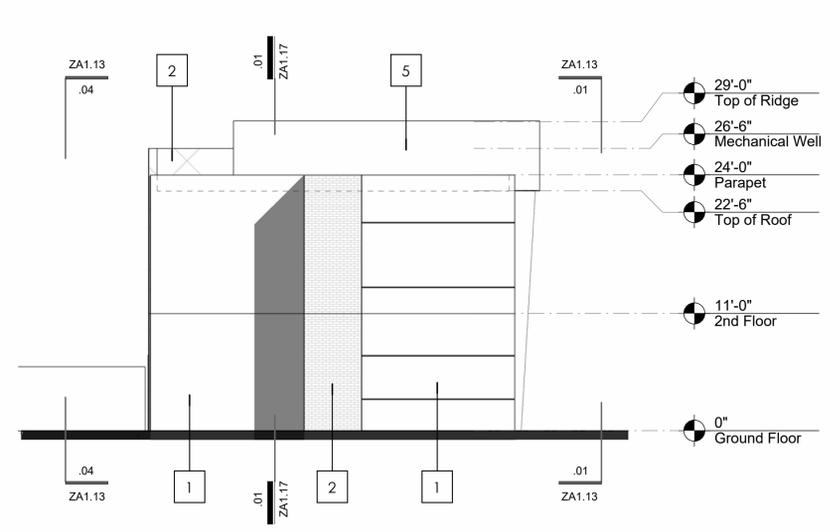
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Building Type 'E' West Elevation .04  
SCALE: 1/8" = 1'-0"



Building Type 'E' North Elevation .03  
SCALE: 1/8" = 1'-0"



Building Type 'E' South Elevation .02  
SCALE: 1/8" = 1'-0"



Building Type 'E' East Elevation .01  
SCALE: 1/8" = 1'-0"

Finish Schedule

1. Santa Barbara Finish Stucco- SW 7570 Erget White
2. Hardie Panel Vertical Siding 4x8 Painted with metal effects rust activator
3. Carbon black Velour Face Brick-Running Bond
4. Solarban Vitro Glass- Solar Gray or Sim
5. Eagle Roofing Concrete Tile- Bel Air Color 4595 Dark Charcoal
6. 4x8x16 CMU Block- 1/2 Batter Block W/Raked joints with White Splifface Cap Block
7. Local Stucco Finish- SW 6650 Marquis Orange

Keynote

16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

Building 'E' Material per Elevation

Material	NORTH	Area (Sqt) (%)		
		SOUTH	WEST	EAST
HARDY	203 (17.8%)	28 (2.4%)	58 (1.2%)	1765 (48.0%)
BRICK	-	130 (11.5%)	912 (18.5%)	113 (3.0%)
STUCCO	606 (53.2%)	664 (58.7%)	2849 (58.0%)	1320 (3.6%)
CONCRETE TILES	309 (27.1%)	309 (27.3%)	-	-
GLASS	-	-	501 (10.2%)	258 (7.0%)
DOOR	-	-	110 (2.2%)	110 (3.0%)
METAL	-	-	115 (2.3%)	-
PUNCH WINDOW	21 (1.8%)	-	-	108 (2.9%)
GARAGE DOOR	-	-	365 (7.4%)	-
<b>TOTAL</b>	<b>1132</b>	<b>1131</b>	<b>4910</b>	<b>3674</b>

ELEVATIONS BLDG. TYPE 'E'

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J

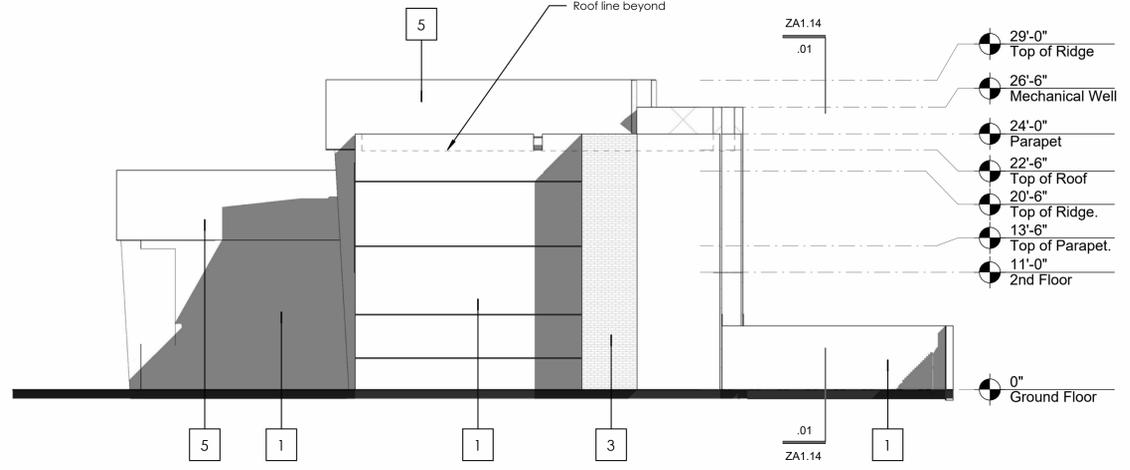


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PHOENIX, AZ

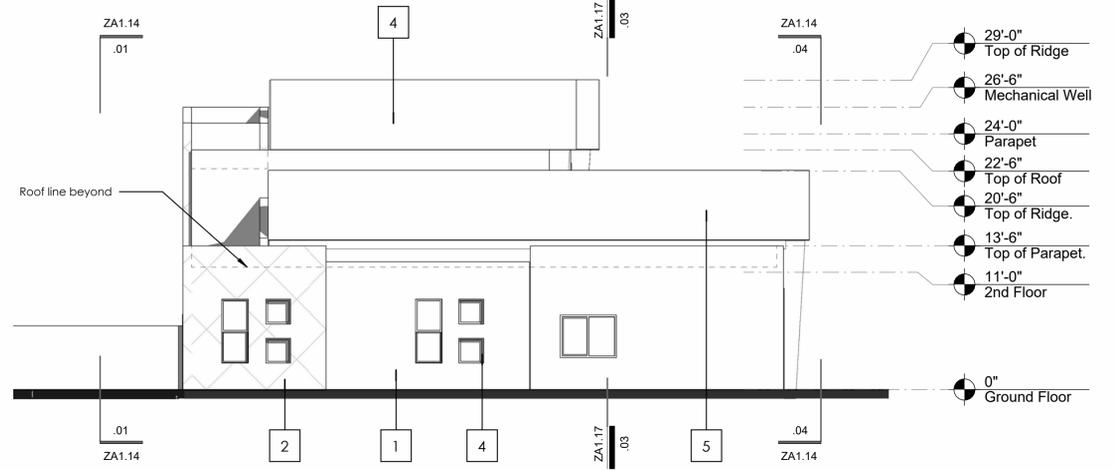
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Building Type 'F' North Elevation .04  
SCALE: 1/8" = 1'-0"



Building Type 'F' West Elevation .03  
SCALE: 1/8" = 1'-0"



Building Type 'F' East Elevation .02  
SCALE: 1/8" = 1'-0"



Building Type 'F' South Elevation .01  
SCALE: 1/8" = 1'-0"

**Finish Scheduel**

- 1. Santa Barbara Finish Stucco- SW 7570 Erget White
- 2. Hardie Panel Vertical Siding 4x8 Painted with metal effects rust activator
- 3. Carbon black Velour Face Brick-Running Bond
- 4. Solarban Vitro Glass- Solar Gray or Sim
- 5. Eagle Roofing Concrete Tile- Bel Air Color 4595 Dark Charcoal
- 6. 4x8x16 CMU Block- 1/2 Batter Block W/Raked joints with White Splifface Cap Block
- 7. Local Stucco Finish- SW 6650 Marquis Orange

**Keynote**

16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

**Building 'F' Material per Elevation**

Material	Area (Saft) (Percentage)			
	NORTH	SOUTH	EAST	WEST
HARDY	-	2605 (61.1%)	-	145 (6.4%)
BRICK	1308 (19.0%)	-	108 (8.9%)	128 (5.6%)
STUCCO	3893 (56.5%)	664 (15.6%)	718 (59.7%)	962 (42.6%)
CONCRETE TILES	-	-	309 (25.7%)	1019 (45.2%)
GLASS	724 (10.5%)	538 (12.6%)	66.6 (5.5%)	-
DOOR	176 (2.6%)	154 (3.6%)	-	-
METAL	184 (2.5%)	-	-	-
PUNCH WINDOW	-	302 (7.0%)	-	-
GARAGE DOOR	584 (8.5%)	-	-	-
<b>TOTAL</b>	<b>6862</b>	<b>4263</b>	<b>1202</b>	<b>2254</b>

**ELEVATIONS BLDG. TYPE 'F'**

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J

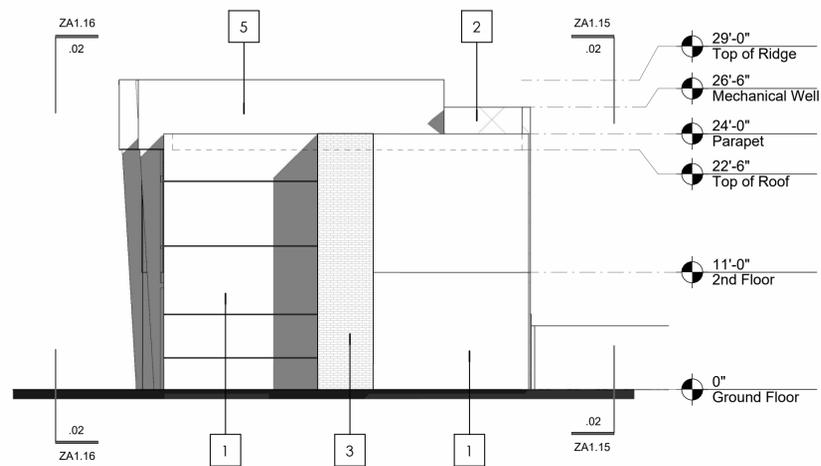


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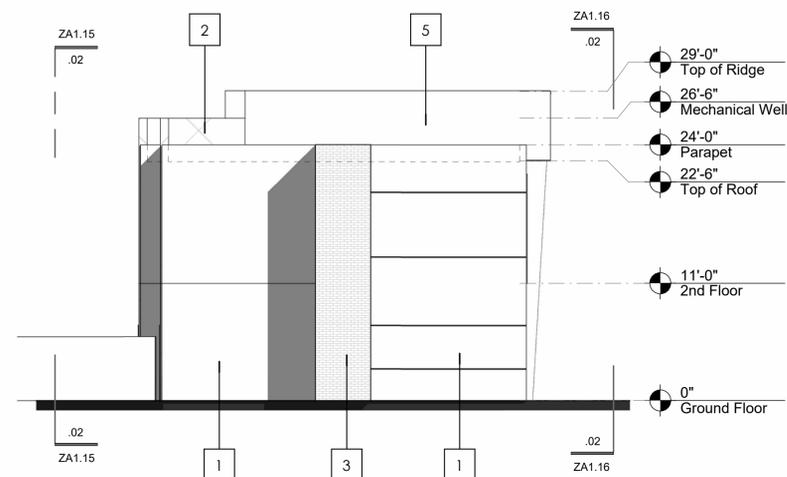
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Building Type 'G' West Elevation .04  
SCALE: 1/8" = 1'-0"



Building Type 'G' East Elevation .03  
SCALE: 1/8" = 1'-0"



Building Type 'G' Partial South Elevation - B .02  
SCALE: 1/8" = 1'-0"



Building Type 'G' Partial South Elevation - A .01  
SCALE: 1/8" = 1'-0"

### Finish Schedule

1. Santa Barbara Finish Stucco- SW 7570 Erget White
2. Hardie Panel Vertical Siding 4x8 Painted with metal effects rust activator
3. Carbon black Velour Face Brick-Running Bond
4. Solarban Vitro Glass- Solar Gray or Sim
5. Eagle Roofing Concrete Tile- Bel Air Color 4595 Dark Charcoal
6. 4x8x16 CMU Block- 1/2 Batter Block W/Raked joints with White Splitface Cap Block
7. Local Stucco Finish- SW 6650 Marquis Orange

### Keynote

16.12 ROOFTOP MECHANICAL EQUIPMENT 3'-0" HIGH, VISIBILITY TO BE SHIELDED ON ALL SIDES BY PARAPETS/MECHANICAL WELL. SEE DETAIL .05/ZA0.03.

### Building 'G' Material per Elevation

Material	Area (Sqft) (Percentage)			
	SOUTH	NORTH	EAST	WEST
HARDY	4236 (32.6%)	-	28 (2.4%)	23 (2.0%)
BRICK	216 (1.6%)	1136 (14.0%)	130 (1.2%)	180 (16.1%)
STUCCO	3156 (24.3%)	4370 (54.1%)	664 (58.7%)	606 (54.2%)
CONCRETE TILES	-	-	309 (27.3%)	309 (27.6%)
GLASS	619 (4.7%)	1152 (14.2%)	-	-
DOOR	264 (2.0%)	264 (3.2%)	-	-
METAL	-	276 (3.4%)	-	-
PUNCH WINDOW	259 (2.0%)	-	-	-
GARAGE DOOR	-	876 (10.8%)	-	-
<b>TOTAL</b>	<b>12,986</b>	<b>8074</b>	<b>1131</b>	<b>1118</b>

## ELEVATIONS BLDG. TYPE 'G'

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



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ZA1.15

### Finish Schedule

1. Santa Barbara Finish Stucco- SW 7570 Erget White
2. Hardie Panel Vertical Siding 4x8 Painted with metal effects rust activator
3. Carbon black Velour Face Brick-Running Bond
4. Solarban Vitro Glass- Solar Gray or Sim
5. Eagle Roofing Concrete Tile- Bel Air Color 4595 Dark Charcoal
6. 4x8x16 CMU Block- 1/2 Batter Block W/Raked joints with White Splifface Cap Block
7. Local Stucco Finish- SW 6650 Marquis Orange



Building Type 'G' Partial North Elevation B .02  
SCALE: 1/8" = 1'-0"



Building Type 'G' Partial North Elevation A .01  
SCALE: 1/8" = 1'-0"

### Keynote

### Building 'G' Material per Elevation

Material	Area (Sft) (Percentage)			
	SOUTH	NORTH	EAST	WEST
HARDY	4236 (32.6%)	-	28 (2.4%)	23 (2.0%)
BRICK	216 (1.6%)	1136 (14.0%)	130 (1.2%)	180 (16.1%)
STUCCO	3156 (24.3%)	4370 (54.1%)	664 (58.7%)	606 (54.2%)
CONCRETE TILES	-	-	309 (27.3%)	309 (27.6%)
GLASS	619 (4.7%)	1152 (14.2%)	-	-
DOOR	264 (2.0%)	264 (3.2%)	-	-
METAL	-	276 (3.4%)	-	-
PUNCH WINDOW	259 (2.0%)	-	-	-
GARAGE DOOR	-	876 (10.8%)	-	-
<b>TOTAL</b>	<b>12,986</b>	<b>8074</b>	<b>1131</b>	<b>1118</b>

### ELEVATION BLDG. TYPE 'G'

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



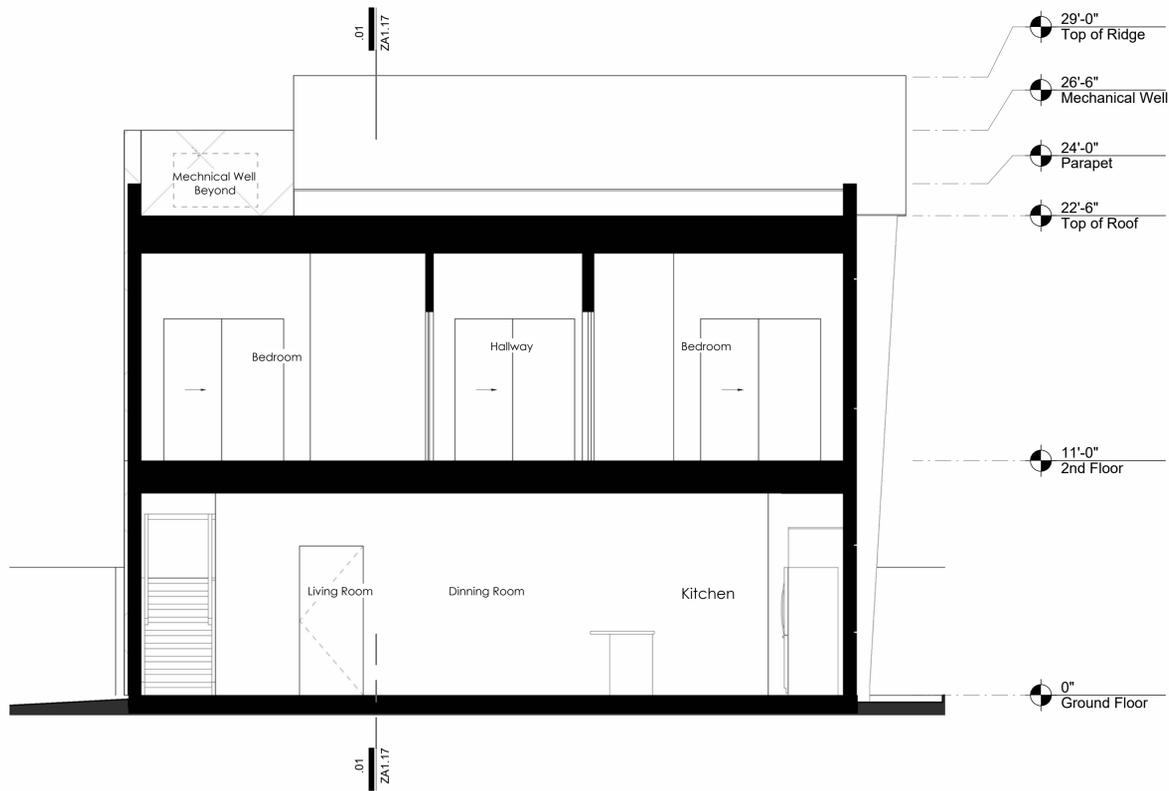
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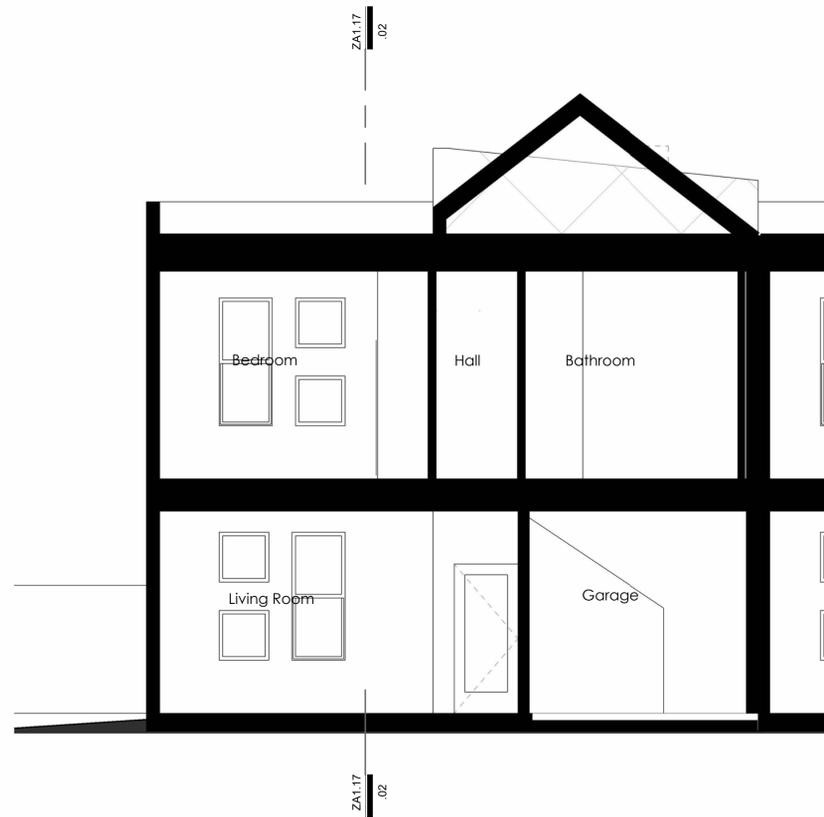
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Unit Section C-C .03  
SCALE: 1/4" = 1'-0"



Unit Section B-B .02  
SCALE: 1/4" = 1'-0"



Unit Section A-A .01  
SCALE: 1/4" = 1'-0"

TYPICAL SECTIONS

MAIN 45 ZONING

APN: 218-18-001K & 218-18-001J



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Phoenix, AZ

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ZA1.17