

Citizen Participation Plan

Gateway East

Date: September 19, 2022

Overview: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, public agencies, schools and interested persons of an upcoming application. The site is located at the SWC East Ray Road and South Ellsworth Road. We have filed an application for rezoning approval for 273-acres for a mixed-use development, including industrial, office, manufacturing, retail, and hospitality uses on the Site. This outreach plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Kaelee Wilson – Planner
6750 E Camelback Road, Suite 100
Scottsdale, Arizona 85251
505-328-6606
kmw@berryriddell.com

Pre-Submittal Meeting: The pre-submittal meeting with the City of Mesa planning staff was held on February 8, 2022.

Action Plan: To provide effective citizen participation in conjunction with the application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. The following individuals are included in the notice area for this request:
 - Property owners within 1,000 feet of the site
 - All registered neighborhood and homeowner associations within one mile of the project
2. All persons included in the notice area will receive a letter describing the project and inviting them to attend a neighborhood meeting to be held virtually through Zoom.
 - The applicant will document the names of all attendees, if possible.
 - A presentation will be made at the neighborhood meeting and attendees will be invited to ask questions and provide comments. Notes will be taken throughout to ensure any comments and questions are documented.
3. Throughout the process, the applicant will be available to interested parties to answer any questions. Any correspondence or telephone calls will be documented.

Schedule: Pre-submittal meeting – February 8, 2022
1st Submittal – September 19, 2022
Neighborhood Meeting – October 24, 2022
Submittal of Citizen Participation Report – TBD
Planning and Zoning Board Hearing – TBD

Citizen Participation Report

Gateway East

Date: March 7, 2023

Overview: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, public agencies, schools and interested persons of an upcoming application. The site is located at the SWC East Ray Road and South Ellsworth Road. We have filed an application for rezoning approval for 273-acres for a mixed-use development, including industrial, office, manufacturing, retail, and hospitality uses on the Site. This outreach plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Kaelee Palmer – Planner
6750 E Camelback Road, Suite 100
Scottsdale, Arizona 85251
505-328-6606
kmp@berryriddell.com

Pre-Submittal Meeting: The pre-submittal meeting with the City of Mesa planning staff was held on February 8, 2022.

Neighborhood Meeting: The neighborhood meeting was held virtually via Zoom on October 24, 2022.

Correspondence and Telephone Calls:

1. 1st letters for neighborhood meetings were mailed to property owners within 1,000 feet and registered neighborhood associations and HOAs on October 10, 2022. See attached list and example of materials mailed.
2. The neighborhood meeting was held virtually on October 24, 2022. One business owner neighbor attended the meeting to listen.
3. Meeting notices were brought to the City of Mesa on March 6, 2023, to property owners within 1,000 feet and registered neighborhood associations and HOAs. A total of 30 persons were notified.
4. Two public hearing signs were posted on the property on March 6, 2023.

Results:

There were 30 persons on the contact list as of the date of this Citizen Participation Report (see attached). One business neighbor attended our neighborhood meeting. At the time of writing this report, we have not been contacted by anyone else from the public.

Dear Neighbor,

We have applied for a rezone from Light Industrial with a Planned Area Development Overlay (LI-PAD) to Light Industrial with a Planned Area Development Overlay (LI-PAD), Council Use Permit; and Special Use Permit for the property located within the 5300 to 6200 blocks of South Ellsworth Road (west side) and within the 8200 to 8800 blocks of East Ray Road. This request is for development of commercial and industrial development. The case number assigned to this project is **ZON22-01008**.

This letter is being sent to all property owners within 1,000 feet and Neighborhood Associations and HOAs within ½ mile of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site aerial. If you have any questions regarding this proposal or would like a full copy of the PAD, please call me at (505) 328-6606 or e-mail me at kmp@berryriddell.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on **March 22, 2023** in the City Council Chambers located at 57 East First Street. The meeting will begin at **4:00 p.m.** You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099** or **877-853-5247** (toll free) using meeting ID **530 123 2921** and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour** prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247** (toll free) using meeting ID **530 123 2921** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Cassidy Welch of their Planning Division staff. She can be reached at 480-644-2591 or Cassidy.Welch@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

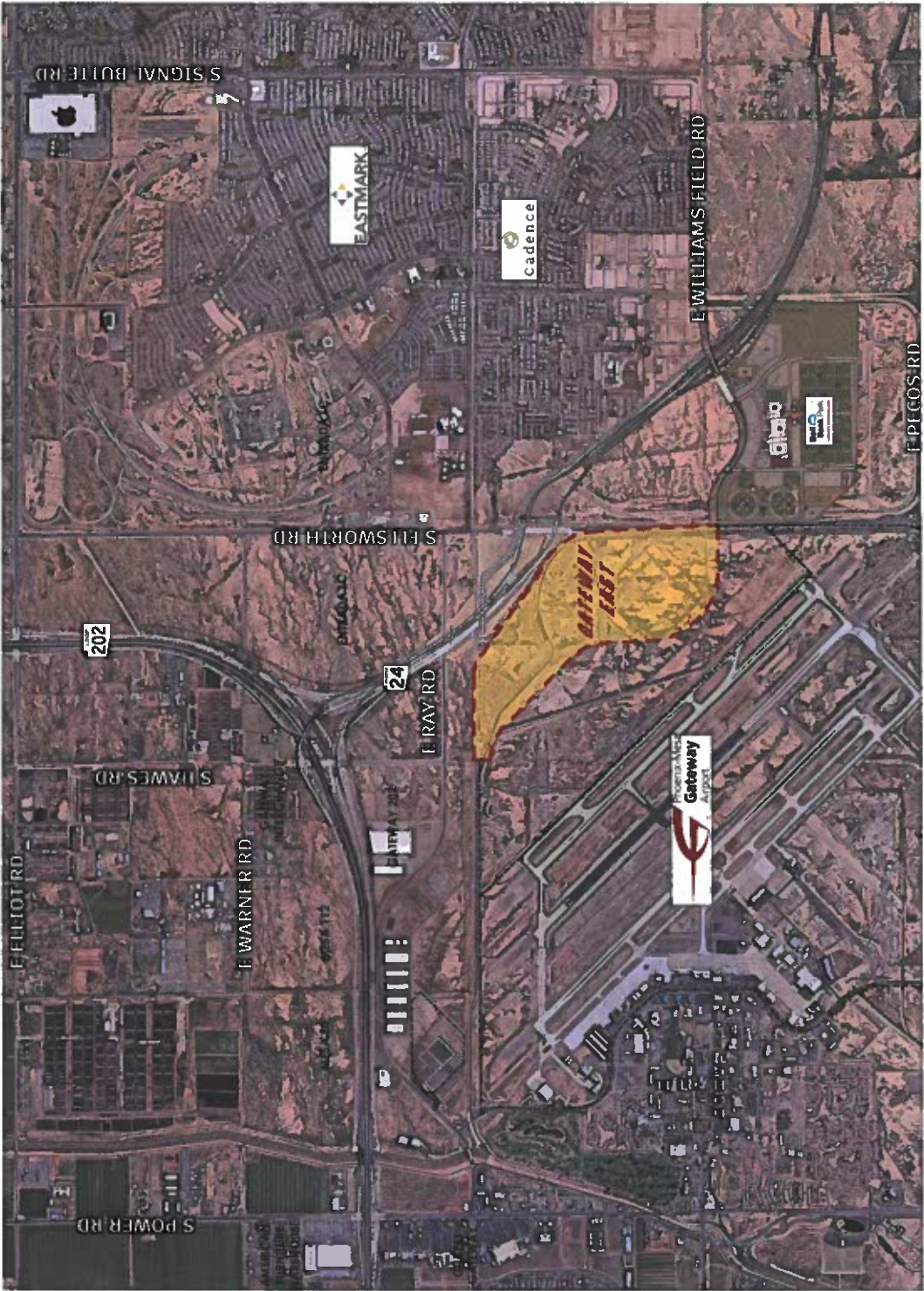
Wendy Riddell

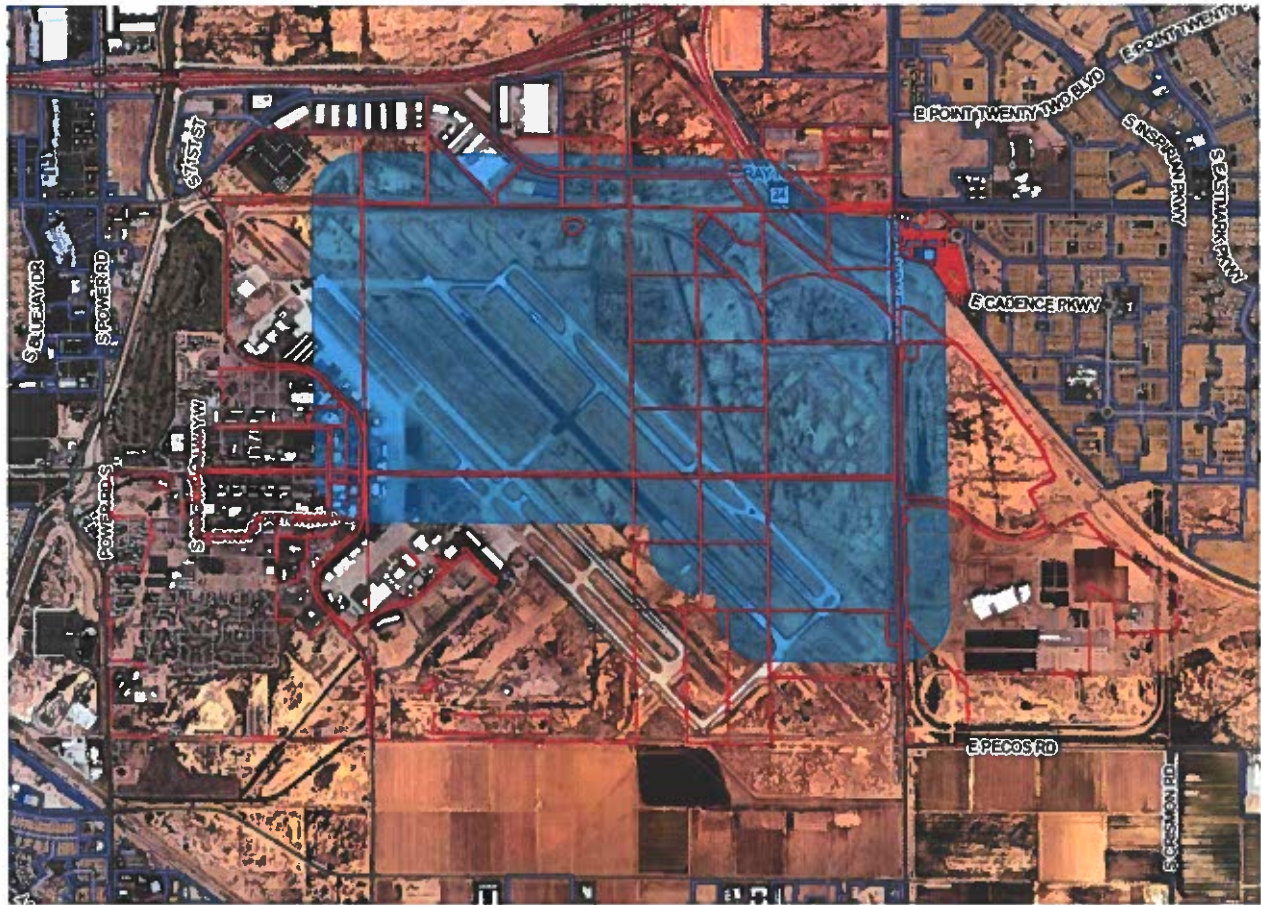
Berry Riddell, LLC



II. SITE PLAN DESIGN GUIDELINES

2.1 CONTEXT SITE AERIAL





PHOENIX-MESA GATEWAY AIRPORT
AUTHORITY
600 S POWER RD BLDG 41
MESA AZ 852065219

MESA AIRPORT GROWTH PROPERTIES
LLC
9920 S RURAL RD SUITE 108-16
TEMPE AZ 85284

C1418 LANDING 202 LLC/SHERMAN
STREET LANDING 202 LLC
1900 AVENUE OF THE STARS STE 320
LOS ANGELES CA 90067

LANDING 3 INDUSTRIAL LLC
7501 WISCONSIN AVE STE 1300W
BETHESDA MD 20814

LANDING 4 INDUSTRIAL LLC
7501 WISCONSIN AVE STE 1300 W
BETHESDA MD 20814

MESA CITY OF
PO BOX 1466
MESA AZ 85211

MESA HAWES LP
8095 OTHELLO AVE
SAN DIEGO CA 92111

GRUPO AZTEX LTD LTD
13215 BEE CAVE PARKS B-135
AUSTIN TX 78738

CITY OF MESA
PO BOX 1466
MESA AZ 852111466

MESA GATEWAY OWNER PH2 LLC
3900 E CAMELBACK RD UNIT 100
PHOENIX AZ 85018

SALT RIVER PROJECT AGRIC IMP &
POWER DIS
PO BOX 52025
PHOENIX AZ 85072

ARIZONA DEPARTMENT OF
TRANSPORTATION
205 S 17TH AVE MAIL DROP 612E
PHOENIX AZ 85007

PHOENIX MESA GATEWAY AIRPORT
AUTHORITY
5835 S SOSSAMAN RD
MESA AZ 85212

WILLIAMS GATEWAY AIRPORT
AUTHORITY
5835 S SOSSAMAN RD
MESA AZ 85212

ARIZONA BOARD OF REGENTS
1125 N VINE AVE STE 103
TUCSON AZ 85721

MARICOPA COUNTY COMMUNITY
COLLEGE DISTRICT
2411 W 14TH ST
TEMPE AZ 85281

CADENCE HOA
17700 N PACESETTER WAY STE 100
SCOTTSDALE AZ 85255

PACIFIC PROVING LLC
2801 E. CAMELBACK ROAD STE 450
PHOENIX AZ 85016

MESA BA LAND LLC
2801 E CAMELBACK RD STE 450
PHOENIX AZ 85016

QUIKTRIP CORPORATION
PO BOX 3475
TULSA OK 741013475

RIVER RIDGE LLC
1230 BENNETT LN
CALISTOGA CA 94515

TTRG MESA RAY ELLSWORTH AZ LLC
111 MONUMENT CIR STE 1600
INDIANAPOLIS IN 46204

ELLSWORTH KRATIMA LLC/CECA
HOLDINGS LLC
13811 N TATUM BLVD
PHOENIX AZ 85032

MCDONALDS REAL ESTATE COMPANY
PO BOX 182571
COLUMBUS OH 43218

STR FUND XXIV LLC
3600 BIRCH ST STE 130
NEWPORT BEACH CA 92660

STORE CAPITAL ACQUISITIONS LLC
8377 E HARTFORD DR SUITE 100
SCOTTSDALE AZ 85255

PHOENIX CHILDRENS HOSPITAL INC
1919 E THOMAS RD
PHOENIX AZ 85006

ELLSWORTH & CADENCE LLC
2350 S GILBERT RD
CHANDLER AZ 85286

CADENCE MFP135 LAND GROUP LLC
1242 E JACKSON ST
PHOENIX AZ 85034

EASTMARK COMMUNITY ALLIANCE INC.
SUZANNE WALDEN-WELLS
10100 E RAY ROAD
MESA AZ 85212



PHOENIX-MESA GATEWAY AIRPORT AUTHORITY
5835 SOUTH SOSSAMAN ROAD
MESA, ARIZONA 85212-6014

PHONE (480) 988 7600
FAX (480) 988 2315

November 21, 2022

Cassidy Welch
City of Mesa, Planning Department
P.O. Box 1466
Mesa, AZ 85211

Dear Cassidy,

The Phoenix-Mesa Gateway Airport Authority ("Authority") has reviewed The Boyer Company's "Mesa Gateway East Planned Area Development Overlay" submittal. Please accept this letter as a demonstration of the Authority's support for the submittal.

Sincerely,

J. Brian O'Neill, A.A.E.
Executive Director / CEO

April 12, 2023

Dr. Nana Appiah
Development Services Director
City of Mesa
55 N Center St
Mesa, AZ 85201

Re: GatewayEast PAD - ZON22-01008

Dear Dr. Appiah:

Please accept this letter of support for the proposed 273-acre GatewayEast development at Phoenix Mesa Gateway Airport. The City of Mesa Office of Economic Development worked closely with the Airport Authority in early 2021 as they began the effort to select a master developer for the site. After an extensive evaluation and interview process, the Boyer Company was selected as the successful proposer due to their vision for the site, proven capacity for complex projects and reputation for attracting high-quality companies. In June 2022, the Phoenix Mesa Gateway Airport Authority Board unanimously approved a Master Development Agreement and Master Lease Agreement with the Boyer Company for a forty-year term.

The proposed mixed-use development, which is intended to include industrial, office, manufacturing, retail, restaurants, and hospitality, not only aligns with the airport master plan, but it also provides Mesa the opportunity to continue to attract high quality, high value employment users. Our team is eager to promote this modern business park, with its proximity to the Airport, Arizona State University, Chandler Gilbert Community College, and world class infrastructure, to companies around the world. The PAD provides the necessary flexibility to quickly respond to the needs of users and enhances the site's overall competitiveness.

We believe the Boyer Company is committed to delivering a quality product while simultaneously building an exceptional master planned development that maximizes the potential of the Phoenix Mesa Gateway Airport and helps Mesa achieve its job creation goals. For these reasons, we offer our support.

If we can provide additional information, please do not hesitate to contact me at 480.644.3561, or William.Jabjiniak@MesaAZ.gov. Additionally, my deputy director, Lori Collins, can be reached at 480.227.4556, or by email at Lori.Collins@MesaAZ.gov. We are excited to welcome this development into our community and look forward to our future partnership.

Sincerely,



William J. Jabjiniak
Economic Development Director

GATEWAY EAST



Phoenix-Mesa
Gateway
Airport

SEPTEMBER 19, 2022
REV. NOVEMBER 21, 2022
REV. JANUARY 19, 2023
REV. MAY 04, 2023

PAD

PLANNED AREA DEVELOPMENT



PROPERTY OWNER

PHOENIX-MESA GATEWAY AIRPORT AUTHORITY
5835 South Sossaman Road
Mesa, Arizona 85212
Phone: 480-988-7662
Contact: Shea Joachim
Email: SJoachim@gatewayairport.com



LAND USE ATTORNEY

BERRY RIDDELL, LLC
6750 E. Camelback Rd, #100
Scottsdale, AZ 85251
Phone: 480.385.2727
Contact: Wendy Riddell
Email: WR@berryriddell.com



LANDSCAPE ARCHITECT

GREEY PICKETT
7144 E Stetson Dr, #205
Scottsdale, AZ 85251
Phone: 480.609.0009
Contact: Richard Gehrke
Email: RGehrke@greepickett.com



DEVELOPER

THE BOYER COMPANY
101 S 200 East, Suite 200
Salt Lake City, UT 84111
Phone: 801.366.8029
Contact: Matt Jensen
Email: MJensen@boyercompany.com



ARCHITECT & PLANNER

BUTLER DESIGN GROUP, INC
5013 E Washington, #100
Phoenix, AZ 85034
Phone: 602.957.1800
Contact: Korey Wilkes
Email: KWilkes@butlerdesigngroup.com



CIVIL ENGINEER

DIBBLE
7878 North 16th Street #300
Phoenix, AZ 85020
Phone: 480.757.7876
Contact: Kent Norcross
Email: Kent.norcross@dibblecorp.com

GATEWAY EAST PAD

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PAD - Zoning Standards

1. INTRODUCTION

The purpose of this request is to seek rezoning from Light Industrial within the Williams Gateway Airport Development Master Plan Overlay (“LI PAD”) to Light Industrial and establish the Gateway East Planned Area Development Overlay with multiple Council Use Permits (“LI PAD CUP”) on an approximate 273-acre site located at the southwest corner of South Ellsworth Road and East Ray Road (the “Site”), as shown in the Site Location aerial below. The Site is defined by the legal description provided with the PAD. We are seeking to rezone to LI PAD CUP to replace the Williams Gateway Airport Development Master Plan for this portion of the Development Master Plan to allow a mixed-use development, including industrial, office, manufacturing, retail, and hospitality uses on the Site.

1A. SITE LOCATION

The Site is located at the southwest corner of East Ray Road and South Ellsworth Road in the City of Mesa (the “City”). The Site is located just east of the Phoenix- Mesa Gateway Airport. As envisioned by the Phoenix- Mesa Gateway Airport Masterplan, a future terminal will

be located adjacent to our Site. The adjacency of the future terminal is a critical component in the land planning of the Gateway East PAD. The intent of the PAD is to be a regulatory document with the flexibility to allow for long-term master planning based on the needs of the community, which results in private sector development growth in the critical Mesa submarket.

1B. EXISTING CONDITIONS

The Site is presently undeveloped, vacant land currently owned by the Phoenix-Mesa Gateway Airport Authority and being leased to the Boyer Company. The Site is located approximately 1,200 feet northeast of the Phoenix-Mesa Gateway Airport. The Site is also located near the Eastmark and Cadence neighborhoods and the Apple Data Center, as shown below. The surrounding zoning is as follows:

Site: The Site is presently zoned Light Industrial with Williams Gateway Airport Development Master Plan Overlay (LI PAD).

North: To the north of the Site is vacant, undeveloped land zoned Planned Employment Park (PEP), Limited Commercial (LC), and Agriculture (AG).

Northeast: To the northeast is the SR-24, zoned Light Industrial (LI).

East: To the east is undeveloped, vacant land in the jurisdiction of unincorporated Maricopa County, zoned Light Industrial (IND-2).

South: To the south is the Phoenix-Mesa Gateway airport, zoned Light Industrial with Williams Gateway Airport Development Master Plan Overlay (LI PAD).

Southwest: To the southwest is the Phoenix-Mesa Gateway airport, zoned Light

Industrial with Williams Gateway Airport Development Master Plan Overlay (LI PAD).

West: To the west is the Phoenix-Mesa Gateway airport, zoned Light Industrial with Williams Gateway Airport Development Master Plan Overlay (LI PAD).



1 C. HISTORICAL BACKGROUND

The Site was originally located in the jurisdiction of Maricopa County (the “County”). On February 6th, 1985, Ordinance 1907 went into effect, annexing the Site into the City of Mesa (the “City”). On June 2nd, 1986, Case Number Z86-058 was approved, rezoning the Site from the County’s Light Industrial (IND-2) zoning district to the City’s historical PF and M-1 (today’s Light Industrial zoning) zoning district in order to establish the City’s zoning designations on the Site. On May 7, 1996, the Board of Adjustment approved a Special Use Permit under Case Number BA96-018, which instituted a Comprehensive Sign Plan for the Site. Later that year, on May 20th, 1996, City Council voted to approve zoning Case Number Z96-023 to rezone the Site from the previous PF and M-1 districts to M-1 with Williams Gateway Development Master Plan (DMP) Overlay. Finally, on May 7, 2007, pursuant to Case Number Z07-014, City Council approved an Amendment to the Williams Gateway Airport DMP which modified the conditions of the original approval and altered the Williams Gateway Airport DMP map. The zoning under Case Number Z07-014, is the zoning on the Site today.

2. CONFORMANCE WITH THE GENERAL PLAN

The City of Mesa 2040 General Plan (the “General Plan”) establishes land uses and patterns which will allow the City to grow and develop in a synergistic manner in the future. The General Plan outlines policies which will help achieve the City’s long term planning goals. The Site is designated as Specialty- Airport on the City of Mesa 2040 General Plan Land Use Map. The intent of the Specialty- Airport designation is to promote development that supports the airport use. The proposed development offers a mix of industrial, office, retail, restaurants, and hospitality uses which will further the vision of the Specialty- Airport land use classification.

3. CONFORMANCE WITH THE MESA GATEWAY STRATEGIC DEVELOPMENT PLAN

The Mesa Gateway Strategic Development Plan (“MGSDP”) was adopted in 2008 to account for the rapidly developing area surrounding the Phoenix-Mesa Gateway airport. The MGSDP covers a 32 square mile footprint in order to plan expansion of the Arizona State University Polytechnic Campus to the west of the Site and support redevelopment of the previous Proving Grounds, which closed in 2009.

The Site is located within the “Airport/ Campus” District of the MGSDP. The intent of that district is:

“This district refers to the area encompassing the ASU Polytechnic/ Chandler-Gilbert Community College Campus, the Phoenix-Mesa Gateway Airport, and the area immediately outside the airport’s future main terminal. It is envisioned as a mixed use district centered around educational opportunities, research and development functions, and airport related uses that support the traveling public. Uses on the airport will relate to the uses across the airport boundary. Development in this area will be high-intensity and pedestrian-oriented. Its pedestrian friendliness will distinguish this district from more typical airport-adjacent developments. The transitional area or boundary of this quadrant will predominantly be high intensity employment uses that integrate well with the on-airport uses. Uses in this area will also address the needs of travelers and visitors and provide a smooth transition from the airport into the rest of the community. High density residential uses can be integrated within a mixed-use development, when appropriate. This area will be a hub of visitor activity and create the first and last impression visitors have of the community. It must provide a very high-quality image.”

Below is a summary of the goals listed within the Mesa Gateway Strategic Development Plan within the Airport/ Campus district and how our PAD furthers each goal:

Goal 1: Maximize Potential of Phoenix-Mesa Gateway Airport

The Site is located directly adjacent to the Phoenix-Mesa Gateway Airport and the future eastern terminal expansion. The proposed PAD restricts land uses that could jeopardize airport functionally. Further, this PAD promotes the development of employment land uses needed to support the airport operations.

Goal 2: Job Creation

The proposed land use mix provides opportunities for high quality employment uses. In addition to the employment uses permitted within the PAD, it is envisioned to have the supporting services needed for a thriving employment center, such as hotels and retail development.

Goal 3: Connectivity - Transportation/Transit

Connectivity and ease of vehicular and pedestrian flow is crucial for the Gateway East PAD. The proposed Vehicular Circulation Plan depicts the extension of “Gateway Boulevard”, which connects

Ray Road to the north with Ellsworth Road to the east establishing two major points of entry to the Gateway East Development and future airport terminal. Future secondary local streets create network of vehicular transportation to serve all future development. In addition to vehicular connectivity, all streets will be lined with detached tree- shaded walkways to facilitate pedestrian movement throughout the master-development. Additionally, a Multi-Use path is proposed, just outside the eastern and northern boundaries of the Site on City of Mesa property as an amenity to future employees of the Site and surrounding properties. It is our hope to work with the City of Mesa to bring this trail to fruition in this specific location. In addition to the trail, multiple open space areas with amenities are envisioned throughout the Site area to further enhance the pedestrian experience.

Goal 4: Sustainable Development

The intent of this PAD is to promote a development that is walkable with integrated open space nodes. The vision of the Site is a mixed-use development where pedestrians can safely walk between uses, without the need to drive. By providing safe sidewalks, a multi-use path and ample landscaping, this PAD is providing standards to promote a walkable development.

PAD Justification

A PAD overlay district is being requested to allow for flexibility in the development for the 273-acre Mesa Gateway East site while ensuring high-quality development. In doing so, the PAD provides:

- A. *Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use;*

As shown in the Pedestrian Circulation Plan, the PAD proposes multiple open space areas evenly dispersed through the development.

- B. *Options for the design and use of private or public streets;*

The PAD provides unique cross sections for both Primary and Secondary streets.

- C. *Preservation of significant aspects of the natural character of the land;*
- D. *Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development;*

The Design Guidelines proposed ensure high quality development with unique and thoughtful site design.

- E. *Sustainable property owners' associations;*
- F. *Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions; and*

There will be a private association established.

- G. *Single or multiple land use activities organized in a comprehensive manner, and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.*

The proposed PAD takes into context the surrounding uses, such as the airport, and identified standards to ensure a synergistic development environment.

4. PERMITTED USES

All land uses shall comply with Chapter 7 of the Mesa Zoning Ordinance, the Light Industrial Zoning District and the Phoenix Mesa Gateway Airport Land Use Compatibility Plan, unless otherwise modified through Development Agreement. If a conflict occurs between the Zoning Ordinance, the Phoenix Mesa Gateway Airport Land Use

Compatibility Plan and the Gateway East PAD, the Development Agreement shall prevail.

4A. COUNCIL USE PERMIT USES

Hotels and Motels

As described in Table 11-7-2, hotels require a Council Use Permit (CUP) if located within the AOA-2. The Site is envisioned to develop as a mixed-use development that promotes uses that support the airport and future employment uses. Given the proximity of the Gateway East PAD to the Phoenix-Mesa Gateway Airport and additional employment uses, hotels are a needed land use to ensure a vibrant and successful land use mix.

The requested CUP conforms to the following criteria found in Sections 11-70-6-D of the Mesa Zoning Ordinance:

- 1. **Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;**

This area of Mesa is included within the Mesa Gateway Strategic Development Plan, which encourages development of employment uses. In addition, Mesa Gateway East is located adjacent to the Phoenix-Mesa Gateway Airport. As such, the Site is designated as Specialty-Airport of the Mesa General Plan map.

Employment uses and the airport both demand hotel development to serve patrons.

2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;

As previously mentioned, the Site is located in an employment hub and adjacent to an airport. The allowance of hotels furthers the vision of General Plan and the Mesa Gateway Strategic Development Plan.

3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City; and

The development of hotels will not be detrimental to the surrounding properties.

4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project

Adequate public services, facilities and infrastructure are available to serve the proposed hotel use.

This PAD proposes a maximum of 10 hotels to be located within the Site boundaries, with the following conditions:

- 1. These hotels will be subject to the height limitations prescribed in the height zone, as shown on the height exhibit included within the PAD, in which they are proposed.
- 2. Clustering of hotels should be encouraged to promote a hotel park environment.

Large Commercial Development

As defined by the Mesa Zoning Ordinance, Large Commercial Development is any commercial development that exceeds 25,000 square feet or 4 or more buildings that exceed 25,000 square feet. It is important to note that this square footage limitation does not apply to hotels. Commercial development is an important land use to support all the surrounding employment uses and the growing airport.

The requested CUP conforms to the following criteria found in Sections 11-70-6-D of the Mesa Zoning Ordinance:

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;

Mesa Gateway East is envisioned as a regional hub for employment uses, hospitality, retail and restaurants. To create an all-inclusive development, allowances for retail and restaurant users needs to be established. The creation of a mixed-use development furthers both the vision of the General Plan and the Mesa Gateway Strategic Development Plan.

2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;

The Site is over 270 acres with an estimated build out of 40 years. The granting of the Council Use Permit for large commercial development will allow for supporting retail and restaurant uses to be developed, which will further support surrounding employment uses and the airport.

3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City;

The development of large commercial development will not be detrimental to the surrounding properties.

4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

Adequate public services, facilities and infrastructure are available to serve the proposed commercial development.

4B. SPECIAL USE PERMIT USES

Service Station, with ancillary retail

Service Stations will be a needed amenity for the future employees and airport patrons within Mesa Gateway East. The maximum number of service stations will be solidified through the associated Development Agreement.

The requested SUP conforms to the following criteria found in Sections 11-70-5-E of the Mesa Zoning Ordinance. All Service Stations will comply with Section 11-31-25 of the Mesa Zoning Ordinance, unless otherwise modified by this PAD or associated Development Agreement:

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;

The Service Station use is consistent with the General Plan designation of Specialty- Airport.

2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;

Service stations play an important supporting role in a master plan development. The retail component serves as an amenity to patrons in the area to grab quick refreshments. The service station component adds convenience for rental car uses with a nearby refueling location.

3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City; and

The development of a service station will not be detrimental to the surrounding properties.

4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

Adequate public services, facilities and infrastructure are available to serve any service stations.

Heliport

Given the Site's adjacency to the airport, Gateway East is a prime location for large companies, especially aviation users. It is critical to remain competitive and innovative within the entitlements so that we can respond to the changing market trends and technology. It is a possibility that a large company would like to have a heliport on their development site for efficiency.

The requested SUP conforms to the following criteria found in Sections 11-70-5-E of the Mesa Zoning Ordinance:

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;

A heliport is consistent with the General Plan designation of Airport- Specialty.

2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;

Allowing a heliport use adjacent to the airport is consistent with the surrounding area and applicable policies.

3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City; and

The proposed use of a heliport will not be detrimental to adjacent to properties.

4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

Adequate public services, facilities and infrastructure are available to serve helistops.

4C. OTHER USES

Outdoor Storage

Outdoor Storage may be located in any side and rear yard and shall not be visible from Gateway Boulevard. All outdoor storage shall be screened by an 8-foot CMU wall. Any outdoor storage will be located outside of the required landscape setback.

5. DEVELOPMENT STANDARDS

The following standards shall apply to all developments located within the Gateway East PAD. The development standards shall apply to development site boundaries (as defined by each individual site plan) as property will be subdivided via lease lines. If the PAD is silent on any standard, the Mesa Zoning Ordinance shall apply.

Setbacks

Since the development areas within the Gateway East PAD are being defined by lease lines, all setbacks shall be taken from lease lines as defined by each site plan. All perimeter setbacks shall comply with the setback exhibit as provided within the PAD. If there is a conflict between the setback exhibit and the setback standards table below, the setback table shall prevail.

Development Standards	MZO Required	PAD Proposed
<u>Maximum Building Height</u> – <i>MZO Table 11-7-3</i>	40 feet	165 feet in Zone A and 90 feet in Zone B (As shown on the Maximum Building Height Exhibit 5.A)
<u>Minimum Setback along Property Lines or Building and Parking Areas</u> – <i>MZO Table 11-7-3</i> - Front and Street-Facing Side -Interior Side and Rear: Adj. to AG, RS, RSL, RM, Commercial and PEP districts	Arterial Street: 15 feet Major or Midsection Collector: 20 feet Industrial/Commercial Collector: 20 feet Local Street: 20 feet Freeways: 30 feet for buildings, 15 feet for parking structures 1 foot of setback for each foot of building height with minimum 20 feet setback	Gateway Boulevard: 20 feet Secondary Street: 20 feet Main Entry Segments: 30 feet (as defined on Exhibit 5.B) Minimum 15 feet
<u>Perimeter Landscape Yard</u> – <i>MZO Table 11-7-3</i> -Width	Arterial Street: 15 feet Major or Midsection Collector: 20 feet Industrial/Commercial Collector: 20 feet Local Street: 20 feet Freeways: 30 feet for buildings, 15 feet for parking structures	Gateway Boulevard: 20 feet Secondary Street: 20 feet Main Entry Segments: 30 feet

	Street-facing setbacks shall be landscaped in accordance with Section 11-33-3(A)	Street-facing setbacks shall be landscaped in accordance with Section 11-33-3(A)
<u>Minimum Landscape Yards</u> – <i>MZO Section 11-33-3(B)(2)</i> - <u>Non-single residence uses adjacent to non-single residence</u>	Width. 15 feet Landscaped according to Section 11-33- 3(B)(2)(b)-(f)	Width. 0 feet Landscaping not required
<u>Averaging Depth of Foundation Base</u> – <i>MZO Section 11-33-5(A)(3)</i>	The designated depth of the foundation base may be less than the minimum required depth required by Section 11-33-5(A)(1-2) provided it adheres to all other requirements of Section 11-33- 5(A)(3)(a-c)	The designated depth of the foundation base may be less than the minimum required depth required by Section 11-33-5(A)(1-2) and may be further reduced beyond the requirements of Section 11-33- 5(A)(3)(a-c) to meet life safety requirements if a conflict exists between Fire Code and Zoning Ordinance standards

<p><u>Outdoor Storage –</u></p> <p><i>MZO Section 11-30-7</i></p> <p>- Permitted Location (General Commercial and Light Industrial)</p>	<p>Not permitted in front or street-facing side yards. Permitted in interior side and rear yards, or outside of required yards, subject to the standards of this Section [Section 11-30-7]</p>	<p>Not permitted in front yards. Permitted in street facing side yards interior side and rear yards, or outside of required yards, subject to Section 11-30-7(B)(1-2)</p>
<p>-Screening and Setbacks</p>	<p>A setback shall be provided for material stored outdoors at the ratio of 1:1 from all lot lines equal to total height of stored material above required screen wall 8 feet</p>	<p>No setback is required for material stored outdoors</p>
<p><u>Truck Docks, Loading and Service Areas –</u></p> <p><i>MZO Section 11-30-13</i></p> <p>-Location on Lot</p>	<p>Must be located at the rear or side of buildings, rather than facing a street.</p>	<p>Must be located at the rear or side of buildings, and may not be readily visible from Gateway Boulevard or Ellsworth Road</p>
<p>-Screening</p>	<p>Docks, loading and service areas shall be screened from public view</p>	<p>Docks, loading and service areas shall be screened from Gateway Boulevard or Ellsworth Road</p>

<p><u>Screening of Mechanical Equipment –</u></p> <p><i>MZO Section 11-30-9(A)</i></p> <p><u>-Ground-Mounted Equipment</u></p>	<p>Ground-mounted equipment facing a street or not otherwise separated from the street by intervening building(s) shall be screened to a height of at least 12 inches above the equipment.</p> <p>Screening devices shall consist of decorative walls and/or berms (2:1 maximum slope) with supplemental plant materials including trees, shrubs, and screen walls that are 3 feet in height or lower, vegetative materials may be substituted for 50 percent of the screening devices.</p>	<p>Screening of the ground mounted electrical equipment facing a street may be adjusted as necessary to comply with the utility provider’s access and design requirements</p>
<p><u>-Exterior wall equipment</u></p>	<p>Wall-mounted equipment, including but not limited to electrical meters, electrical distribution cabinets, service entry section (SES), fire sprinkler equipment and similar valves and cabinets that face a street, or public parking and are not recessed and/or separated from the street by intervening building(s) shall be screened.</p>	<p>Downspouts must be internally located and screened on building facades adjacent to streets. Downspouts located on building facades not adjacent to streets may be externally located as long as they are coordinated with other façade elements and appropriately finished to compliment the façade design</p>

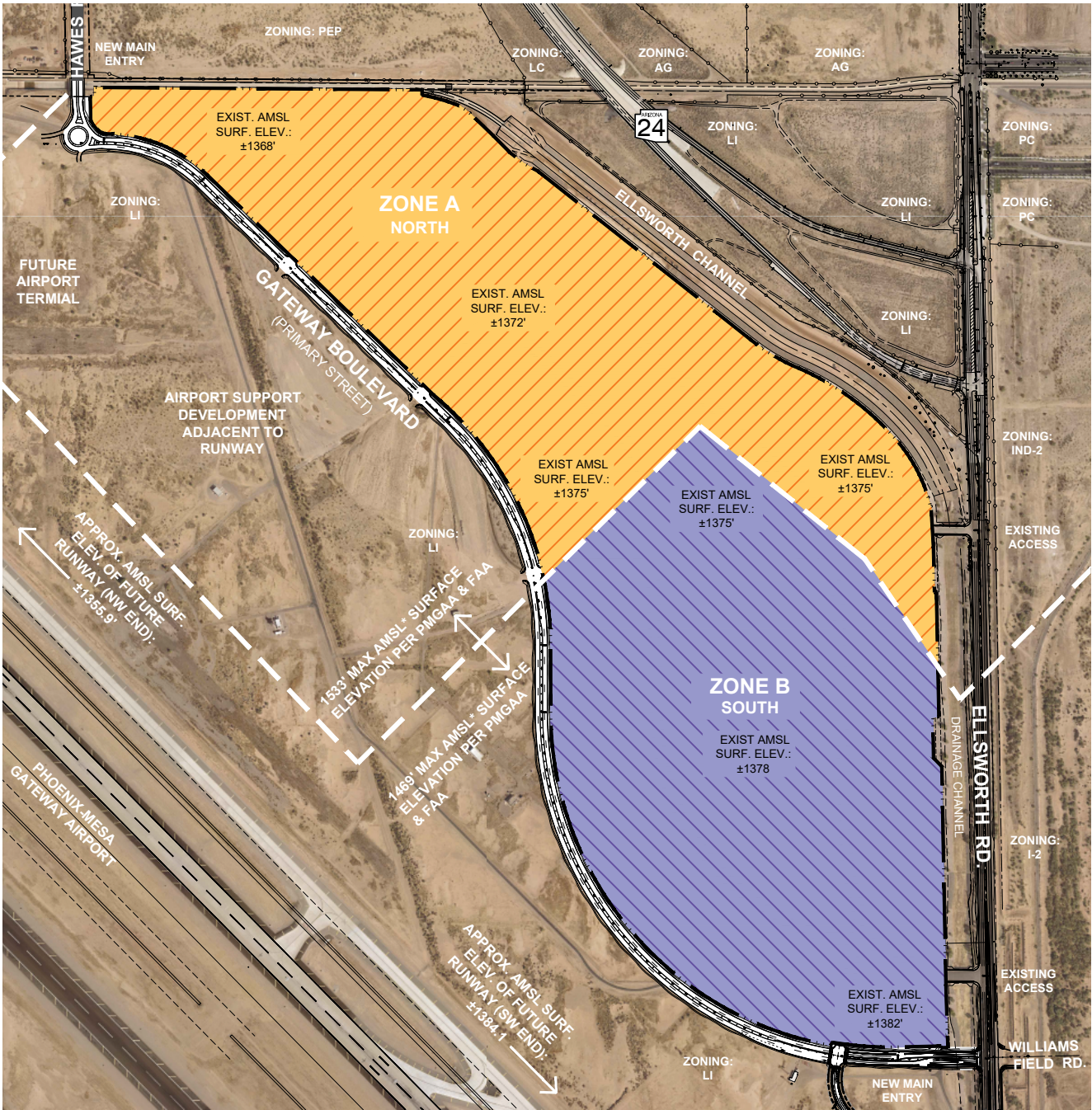
	<p>Screening devices shall incorporate elements of the building design, e.g., shape, color, texture, and material.</p> <p>Vegetative materials may be substituted for up to 50 percent of the screening devices when used in conjunction with screen walls that are 3 feet in height or lower.</p>	
<p><u>Required Parking Spaces by Use –</u> <i>MZO Table 11-32-3.A</i></p> <p>- Industrial</p>	1 space per 600 square feet of gross floor area	<p>Buildings less than 250,000 square feet: 1 space per 675 square feet of gross floor area</p> <p>Buildings that are 250,000 up to 500,000 square feet: 1 space per 1,000 square feet of gross floor area</p> <p>Buildings over 500,000 square feet: 1 space per 2,000 square feet of gross floor area</p>
<p><u>Setback of Cross Drive Aisles – MZO Section 11-32-4(A)</u></p>	Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 ft from the property line abutting the street	<p>Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 30 ft from the property line abutting the street</p>

<p><u>Parking Lot Layout – MZO Section 11-32-4(G)(2)</u></p>	<p>No more than 200 parking spaces shall be allowed together in one group or cluster</p> <p>In office-use and industrial projects, a minimum 25 percent of the required parking spaces shall be provided within 200 feet of the building served, with the balance of the required parking within 400 feet</p> <p>Drive aisle intersections are to be perpendicular to each other</p>	<p>No more than 300 parking spaces shall be allowed together in one group or cluster</p> <p>In office-use and industrial projects, a minimum 25 percent of the required parking spaces shall be provided within 200 feet of the building served, with the balance of the required parking within 500 feet</p> <p>Drive aisle intersections may not be perpendicular to each other</p>
<p><u>Pedestrian Access – MZO Section 11-32-4(G)(3)</u></p>	Where a pedestrian sidewalk crosses a vehicle lane, the pedestrian sidewalk shall be raised a minimum of 3-inches above the vehicle lane and made distinct by use of textured paving and contrasting color	<p>Where a pedestrian sidewalk crosses a vehicle lane, the pedestrian walkways shall be made distinct by use of textured paving and contrasting color</p>



<u>Maximum Parking Spaces –</u> MZO Section 11-32-3(C)	The number of parking spaces provided by any development in surface parking lots shall not exceed 125% of the minimum required spaces	There shall be no maximum to the number of parking spaces provided by any development
<u>Size of Parking Spaces and Maneuvering Aisles – MZO Section 11- 32-2(H)(1)</u> <u>Standard Parking Spaces</u>	The minimum basic dimension for standard parking spaces is 9 feet by 18 feet	The minimum basic dimension of a parking stall is 9 feet by 18 feet. Where applicable, the 18-foot dimension is inclusive of a 2-foot overhang over the adjacent sidewalk or landscape area
<u>Heliports – MZO Table 11-7-2</u> Footnote 14	Heliports in Employment Districts shall be set a minimum of 2 full stories above the natural grade, unless associated with a hospital.	Heliports may be located at the natural grade (aka ground level)

<u>Drive-thru Facilities –</u> MZO Section 11-31-18(D)	Drive-thru lanes shall not be located parallel to arterial roadways. Where physical site conditions prevent such configuration, Provide 40-inch-high screen walls adjacent to the public right-of- way	Drive-thru lanes shall not be located parallel to Gateway Boulevard but may be located parallel to Ellsworth Road. Where physical site conditions prevent such configuration, Provide 40-inch-high screen walls adjacent to the public right-of-way
<u>Site Planning and Design Standards –</u> MZO Section 11-7-3(B)(1)-(5)	Per MZO Section 11-7-3(B)	Per the Gateway East Design Guidelines

EXHIBIT 5.A MAXIMUM BUILDING HEIGHT



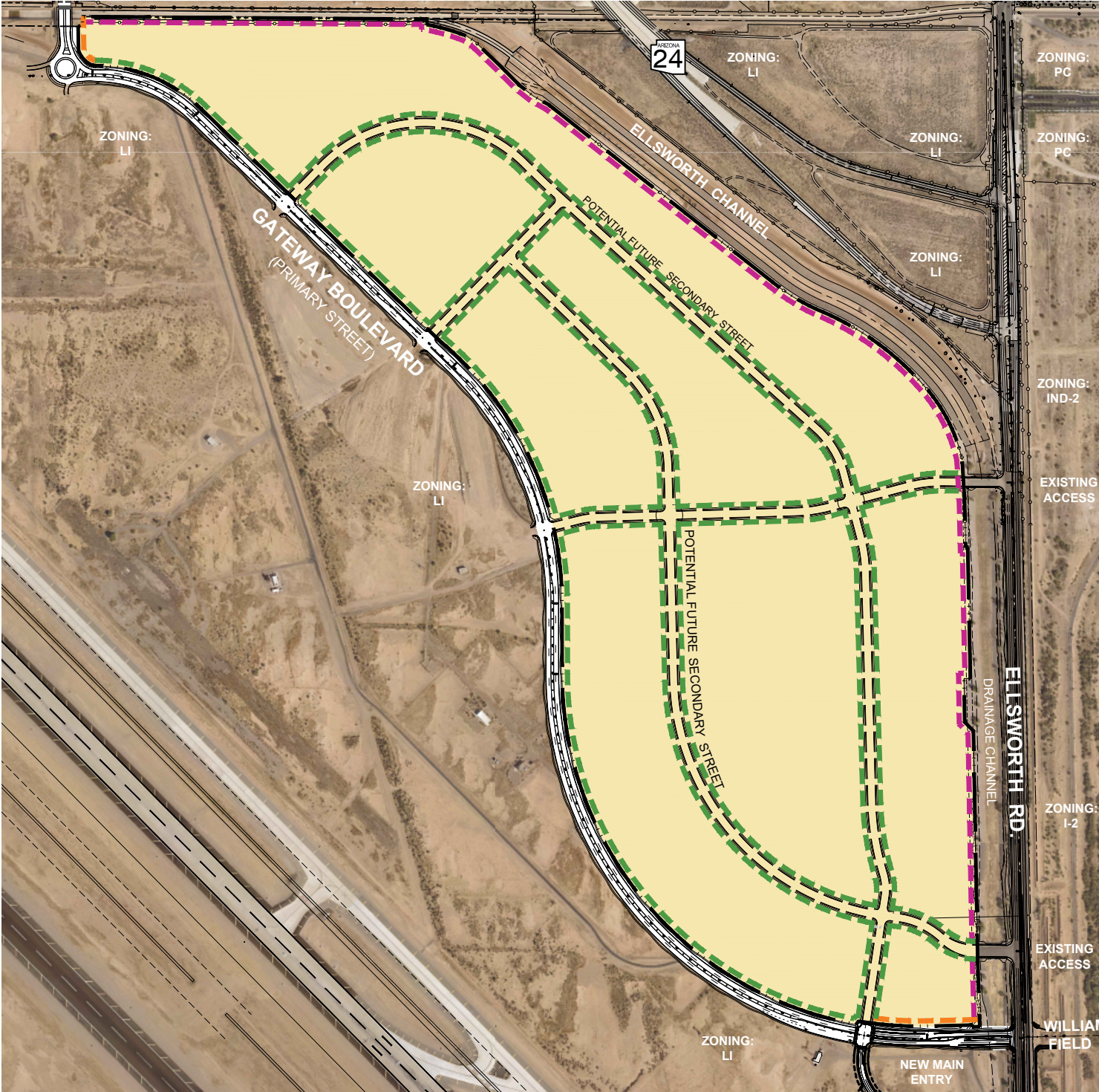
LEGEND:

	Zone A (155'-165')*		Zone B (85'-90')*
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*Notes:

1. All surface elevations are referenced in feet Above Mean Sea Level (AMSL - NAVD88) and are approximate and will need to be verified by Land Surveyor
2. Max building heights include all roof-mounted equipment & appurtenances
3. Allowable height in Zone A North is 155' - 165' and in Zone B South 85' - 90'. All heights shall be measured in accordance with definitions established by the City of Mesa Zoning Ordinance. Such heights include up to 10' of height for mechanical screens or other appurtenances above the top of parapet. If no such elements rise higher than the proposed building parapets, such parapets may achieve the maximum height allowed. In no case shall the maximum height of any building element exceed that allowed by the current maximum height elevation established and approved by Phoenix-Mesa Gateway Airport. It is the responsibility of all applicants to verify current airport height limits applicable to their specific site location. The required FAA filings and approvals of height shall be approved prior to Design Review approvals and submittals of Permit Drawings. Should such maximum heights be modified by future airport studies, the allowable building heights shall be adjusted, either up or down, as required without modification to the PAD'
4. Maximum height shall not exceed 150 feet above the Airport's Field Elevation of 1384' AMSL

EXHIBIT 5.B PERIMETER & STREET SETBACKS



- LEGEND:**
- 15' Setback
 - 20' Setback
 - 30' Setback

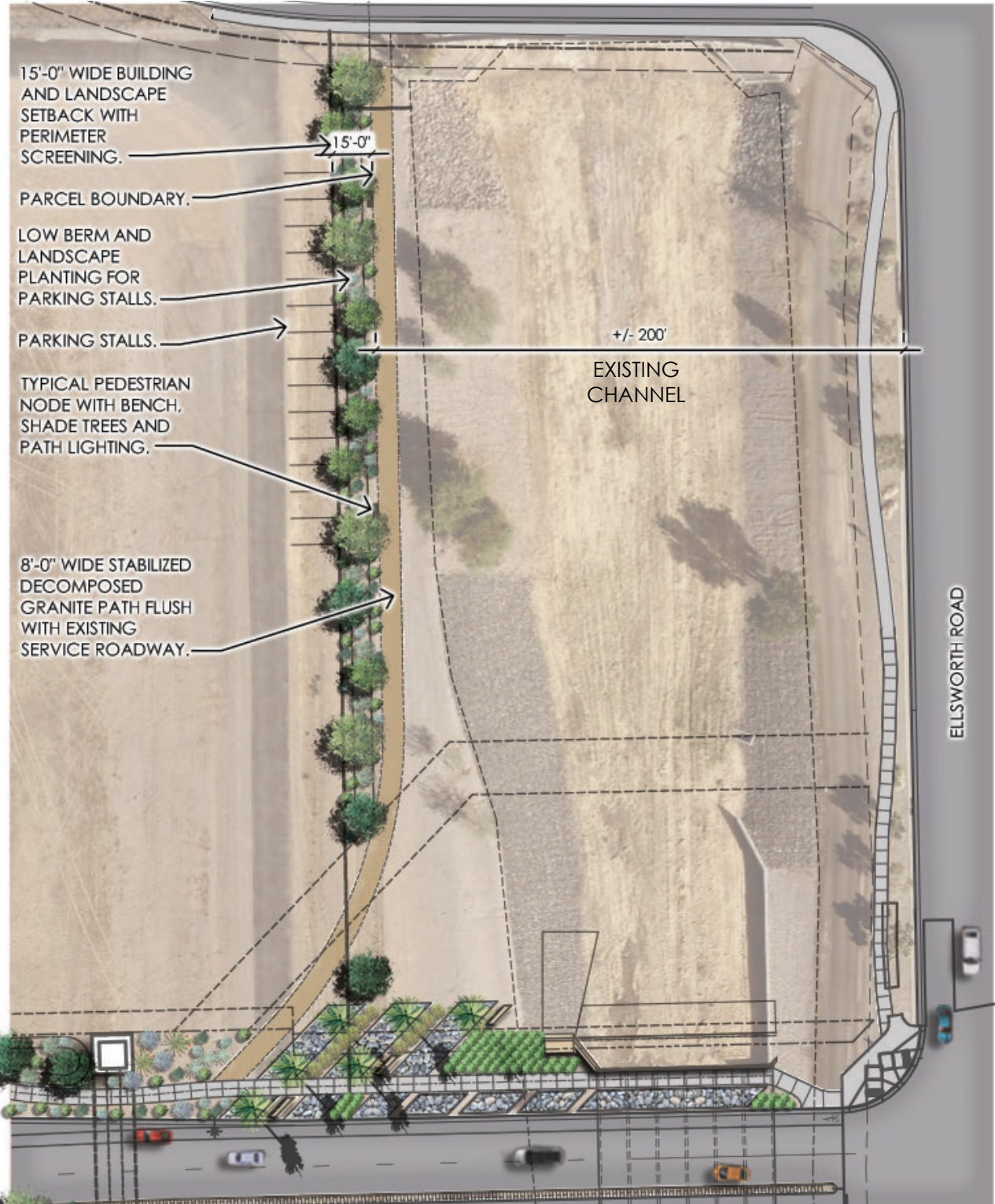


EXHIBIT 5.C VEHICULAR CIRCULATION PLAN

Vehicular pathways are an integral component of the Gateway East Development. The movement throughout the project should be comfortable, safe, and interesting. All areas for vehicular use shall be paved with a suitable base and surfaced with asphalt.

Each Lot within the development will provide adequate circulation and parking to accommodate future users.

- LEGEND:
- Primary Street

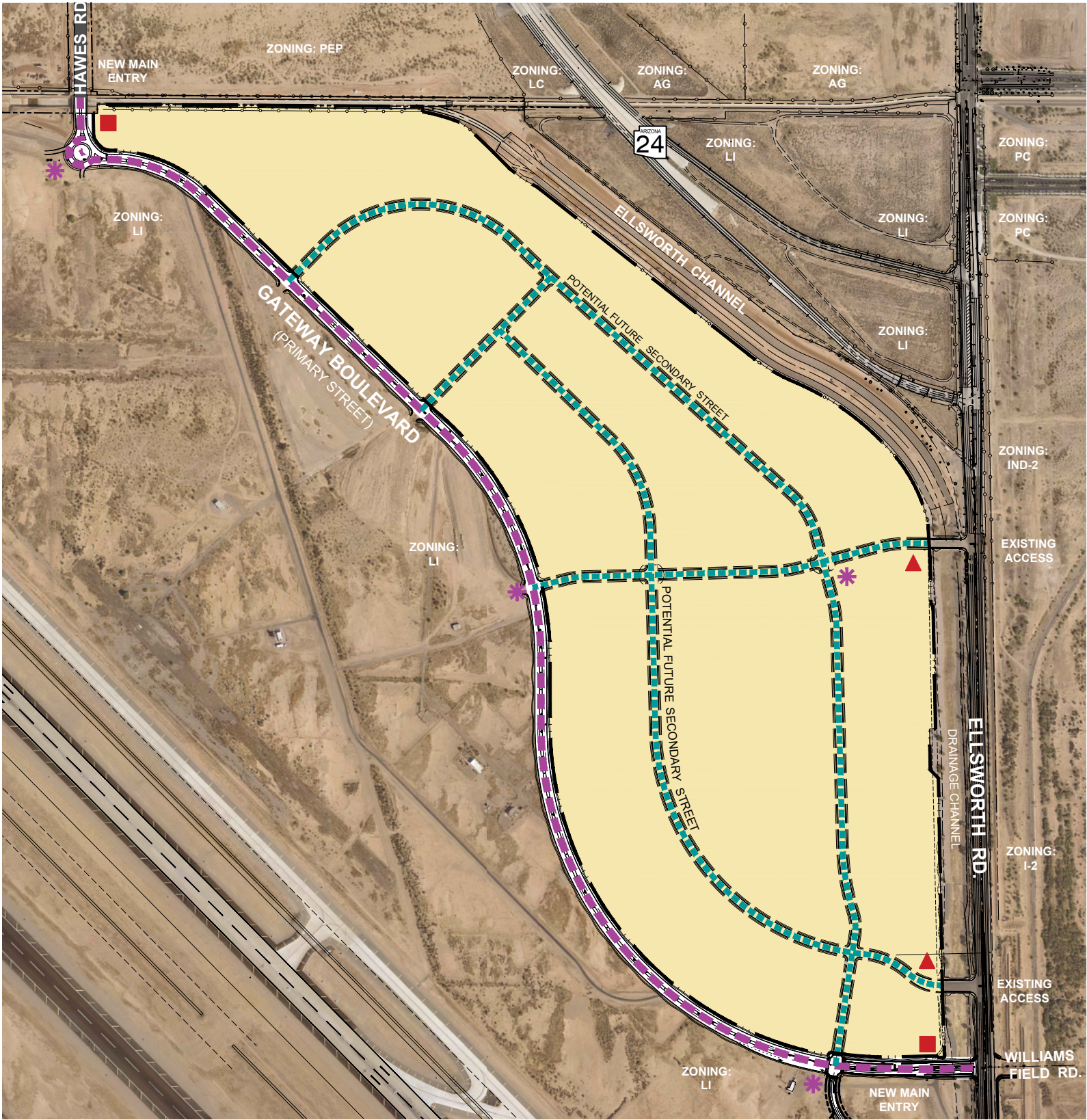
Potential Future Secondary Street

Enhanced Intersection

Primary Entry

Secondary Entry

*NOTE: Secondary Street network shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.



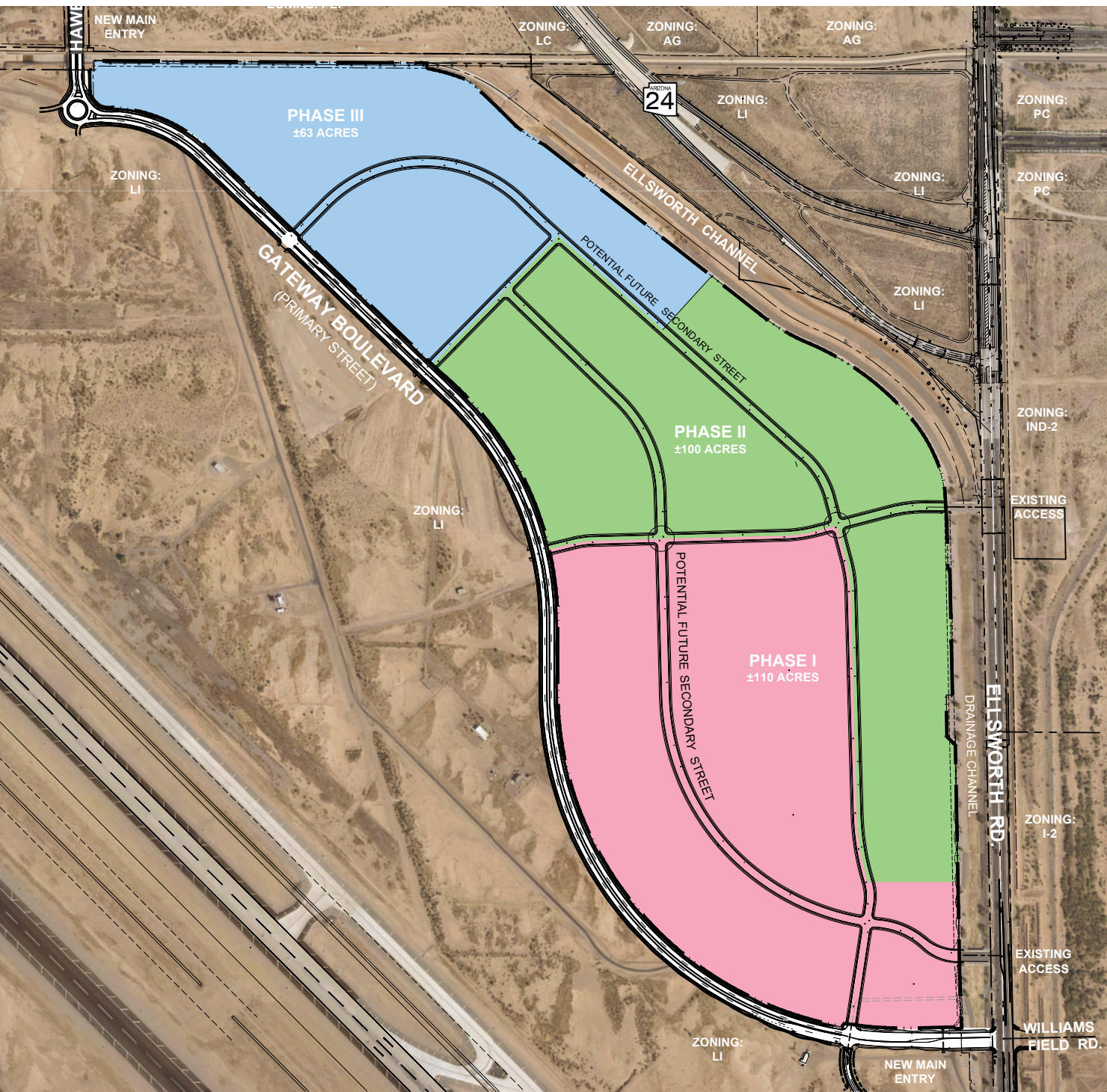
6. ALTERNATIVE COMPLIANCE

The Gateway East PAD includes Design Guidelines that will govern design and building design but are not intended to limit creative solutions. Conditions may exist where strict compliance with the Gateway East PAD & Design Guidelines are impractical or impossible, or where maximum achievement can only be obtained through Alternative Compliance. Alternative Compliance allows the development to satisfy the intent of the Design Guidelines by providing comparable standards in a creative way. Any request for Alternative Compliance shall comply with the criteria listed in Mesa Zoning Ordinance Section 11-7-3 (B)(6).

7. PHASING

Gateway East PAD is a long-term development with an estimated 40 year build out plan. The conceptual phasing plan is for illustrative purposes only and is subject to change based on development patterns and potential users.

EXHIBIT 7.A



- LEGEND:**
- PHASE I**
 - PHASE II**
 - PHASE III**

*NOTE: Secondary Street network shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

8. STREET NETWORK

The conceptual Gateway East PAD street system is unique due to the underlying ownership of the property. The streets may remain private, or they may be dedicated via private easement. This is not a common circumstance; thus the street designations will be unique to this PAD. The Vehicular Circulation Plan (Exhibit 5.C) is designed to create attractive and useable development areas for future development but street alignments may change based on future development.

It is also important to note that lease line subdivided lots will not have access on a publicly dedicated street. The approval of this PAD will authorize lots to front onto and be accessed via a private street. The street network system is broken into two street classifications: Primary Streets and Secondary Streets. Final design of the street cross sections will be reviewed and approved by the Transportation Department.

Primary Streets: Primary Streets are envisioned as the streets that will carry heavier traffic loads, such as Gateway Boulevard. It is anticipated that Gateway Boulevard may be the only Primary Street.

Secondary Streets: Secondary Streets serve as internal collector roads that move traffic within the internal development. These street locations as shown on Exhibit 5.C Vehicular Circulation Plan, are likely to change with refinement of development and future leasing activity.

9. CONCLUSION

This is a request to rezone an approximate 273-acre Site located at the southwest corner of South Ellsworth Road and East Ray Road from Light Industrial with Williams Gateway Airport Development Master Plan Overlay (“LI PAD”) to Light Industrial and establish the Gateway East Planned Area Development Overlay (“LI PAD”) on the overall Site. This rezoning request will allow for the development of a synergistic mixed-use development with a variety of industrial, office, retail, and hospitality uses on the Site. The proposed development is consistent with both the General Plan and the Mesa Gateway Strategic Development Plan area and Sub-Area Plans. The proposed development will benefit the surrounding community by providing addition employment uses within an employment hub of the City of Mesa.

GATEWAY EAST



Phoenix-Mesa
Gateway
Airport

SEPTEMBER 19, 2022
REV. NOVEMBER 21, 2022
REV. JANUARY 19, 2023
REV. MAY 04, 2023

DESIGN GUIDELINES



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I. INTRODUCTION

II. SITE PLAN DESIGN GUIDELINES

III ARCHITECTURE DESIGN GUIDELINES - GENERAL

IV. ARCHITECTURE DESIGN GUIDELINES

V. LIGHTING DESIGN GUIDELINES

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I. INTRODUCTION

1.1 PROJECT DESCRIPTION

Gateway East is an approximately 273-acre proposed master plan development located approximately 1,200 feet northeast of Phoenix-Mesa Gateway Airport in Mesa, Arizona. The Site is located at the southwest corner of East Ray Road and South Ellsworth Road in the City of Mesa (the “City”).

The park will serve the Southeast Valley and establish itself as a major regional hub that will attract a wide range of corporate businesses and complementary manufacturing, retail, hospitality and other support users. Both build to suit and speculative development is anticipated with the speed and density of development responding to the rapidly expanding and evolving market conditions over a long period of time. The master plan will develop in multiple phases over a period of years based on market demand.

The following Gateway East Design Guidelines serve as a critical tool to ensure ongoing compatibility between allowable land uses and achieve a harmonious mixed-use development. These guidelines establish the overall character of the development and contribute to establishing a cohesive, attractive, long-term successful project.

The Design Guidelines are intended to replace quality enhancements and details to the adopted City of Mesa Quality Development Design Guidelines. The Gateway East Design Guidelines will provide for an overall development theme through the use of complementary building materials, colors and themes, consistent and complementary landscaping and a mechanism for enhanced design and creativity.

This document governs the approximately 273-acre land contained in the Gateway East Planned Area Development (PAD). All development shall comply with the City of Mesa Zoning Ordinance unless otherwise modified through the PAD. In the event that this document conflicts with the City of Mesa Zoning Ordinance the PAD shall prevail.

1.2 DEFINITIONS & TERMS

The following are definitions and terms used within the PAD & Design Guidelines documents not defined with the Mesa Zoning Ordinance.

As previously mentioned, the Mesa Gateway East development is unique as the developments will be on leased land as the Phoenix-Mesa Gateway Airport Authority is the underlying property owner.

Development Lines or Lease Lines:

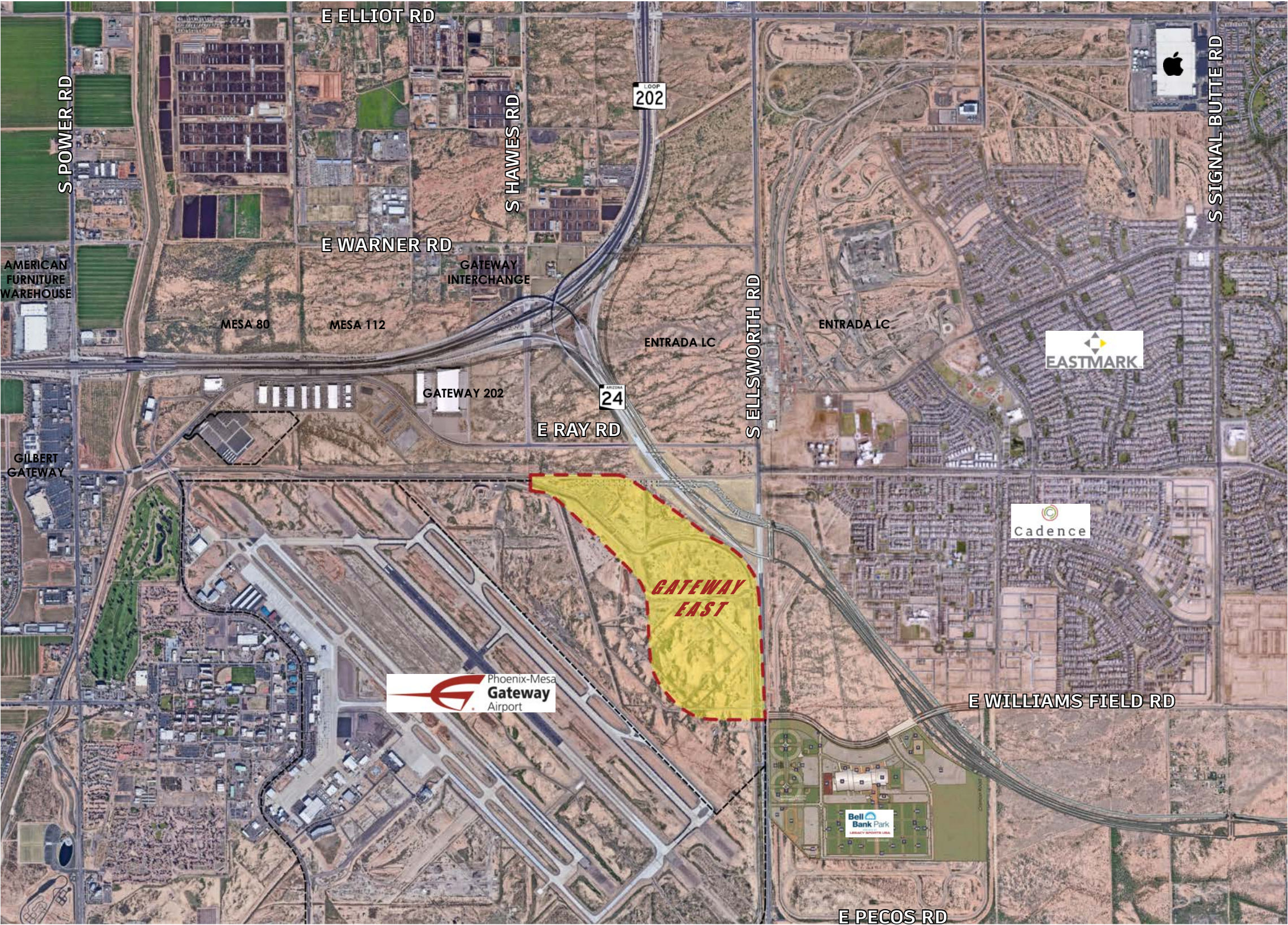
Development Lines or Lease Lines are what would be considered property lines in a traditional parcel development. All setbacks shall be measured from the Development Lines or Lease Lines.

Development Site:

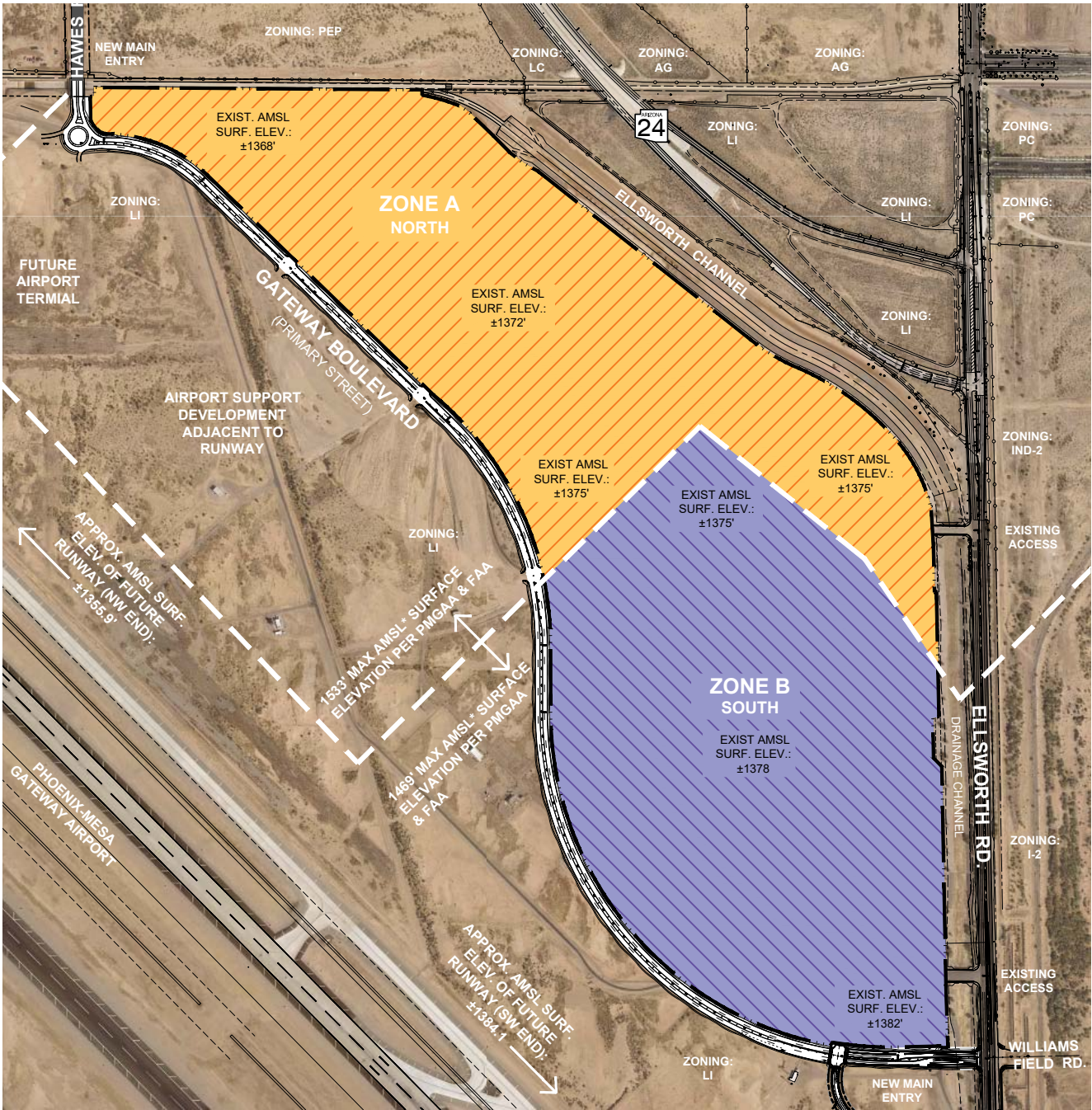
Development Site is what would be considered as an overall parcel in a traditional subdivision. A Development Site is the area shown on each specific site plan.

II. SITE PLAN DESIGN GUIDELINES



2.2 CONTEXT SITE AERIAL



2.3 MAXIMUM BUILDING HEIGHT



LEGEND:

	Zone A (155'-165')*		Zone B (85'-90')*
---	-------------------------------	---	-----------------------------

*Notes:

1. All surface elevations are referenced in feet Above Mean Sea Level (AMSL - NAVD88) and are approximate and will need to be verified by Land Surveyor
2. Max building heights include all roof-mounted equipment & appurtenances
3. Allowable height in Zone A North is 155' - 165' and in Zone B South 85' - 90'. All heights shall be measured in accordance with definitions established by the City of Mesa Zoning Ordinance. Such heights include up to 10' of height for mechanical screens or other appurtenances above the top of parapet. If no such elements rise higher than the proposed building parapets, such parapets may achieve the maximum height allowed. In no case shall the maximum height of any building element exceed that allowed by the current maximum height elevation established and approved by Phoenix-Mesa Gateway Airport. It is the responsibility of all applicants to verify current airport height limits applicable to their specific site location. The required FAA filings and approvals of height shall be approved prior to Design Review approvals and submittals of Permit Drawings. Should such maximum heights be modified by future airport studies, the allowable building heights shall be adjusted, either up or down, as required without modification to the PAD'
4. Maximum height shall not exceed 150 feet above the Airport's Field Elevation of 1384' AMSL

2.4 VEHICULAR CIRCULATION PLAN

Vehicular pathways are an integral component of the Gateway East Development. The movement throughout the project should be comfortable, safe, and interesting. All areas for vehicular use shall be paved with a suitable base and surfaced with asphalt.

Each Lot within the development will provide adequate circulation and parking to accommodate future users.

- LEGEND:
- Primary Street

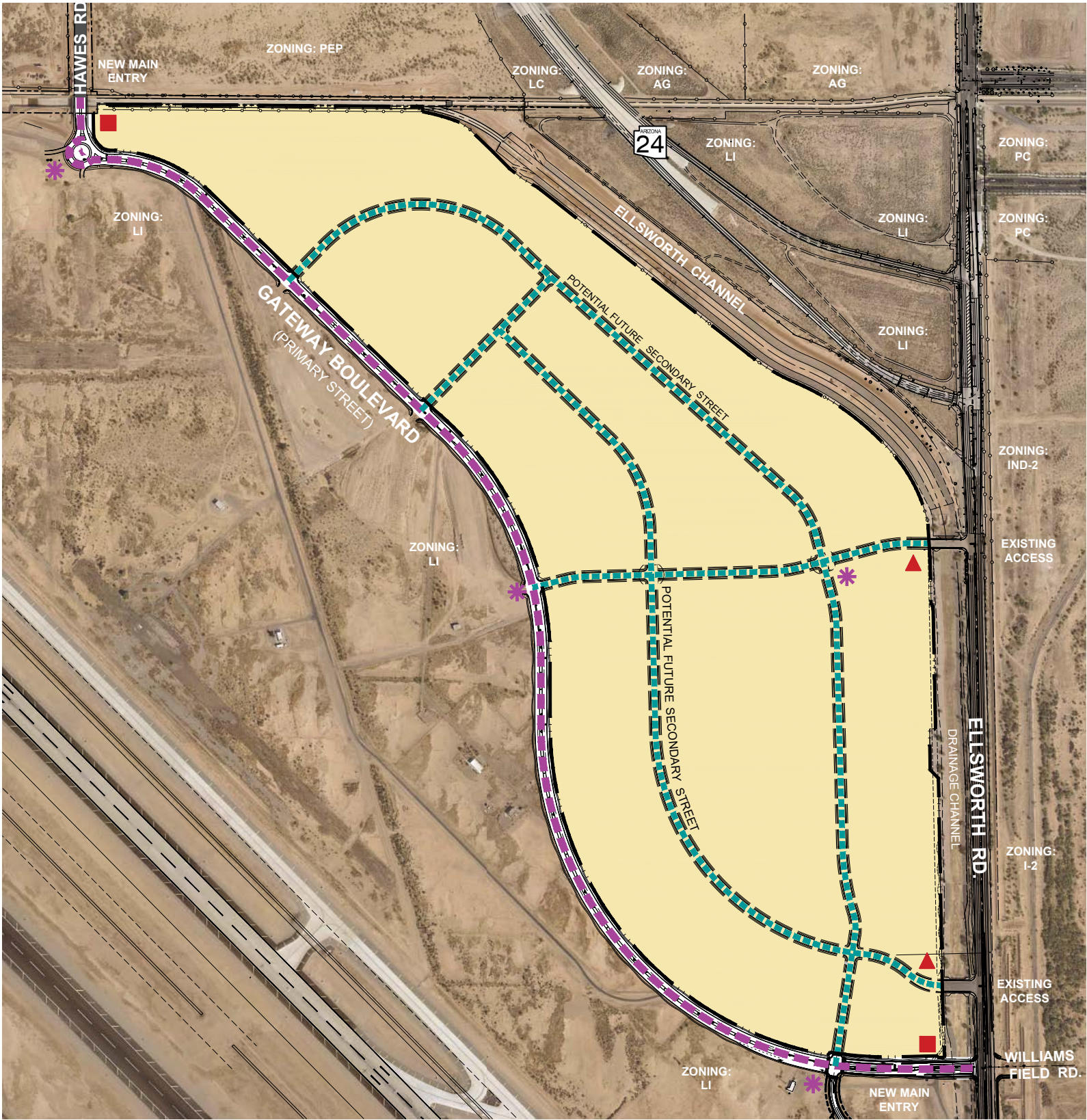
Potential Future Secondary Street

Enhanced Intersection

Primary Entry

Secondary Entry

*NOTE: Secondary Street network shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.



2.5A PEDESTRIAN CIRCULATION PLAN

The overall pedestrian circulation system will provide a common thread that ties all development Lots together in a coordinated and cohesive way. The pedestrian circulation system should meet the following guidelines:

- Provide sidewalks along all primary and secondary streets connecting to Ellsworth Road and Hawes Road with appropriate connections internal to the development to promote non-vehicular modes of travel.
- Provide pedestrian connectivity between all Lots in locations that are accessible and convenient for the user.
- A looped multi-use path may be provided as a recreational amenity for the entire development.
- Promote landscaping and other shade elements along all pedestrian corridors to provide pedestrian comfort, particularly during the hot summer months.

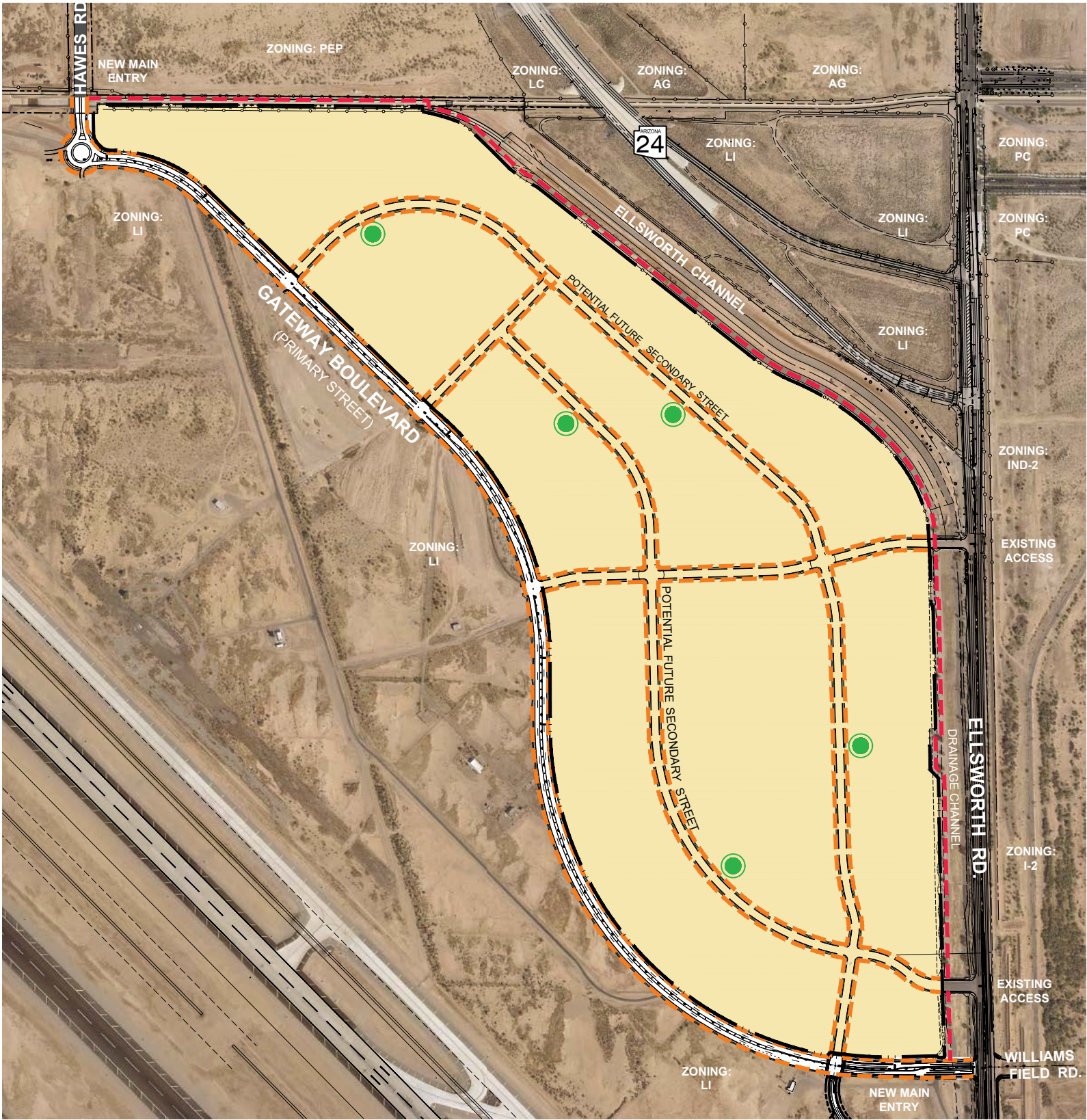
LEGEND:

Detached 6' wide concrete sidewalk

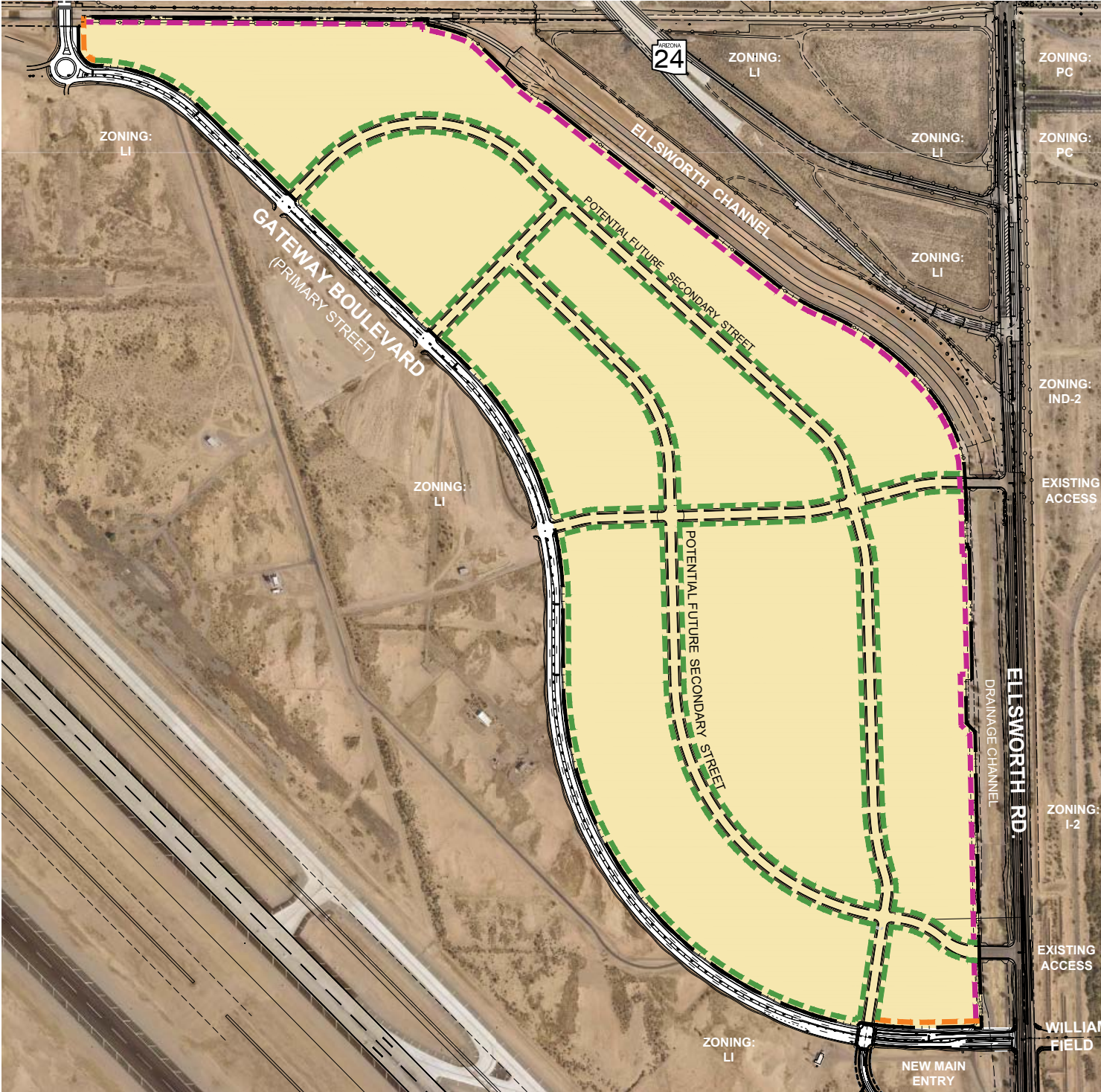
Potential future multi-use path

Open Space w/ Amenities *

- *Notes:**
1. All secondary street sidewalks are subject to revision based on future street alignment
 2. Shared Open Space locations are conceptual and subject to change based on future site development
 3. Secondary Street network shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

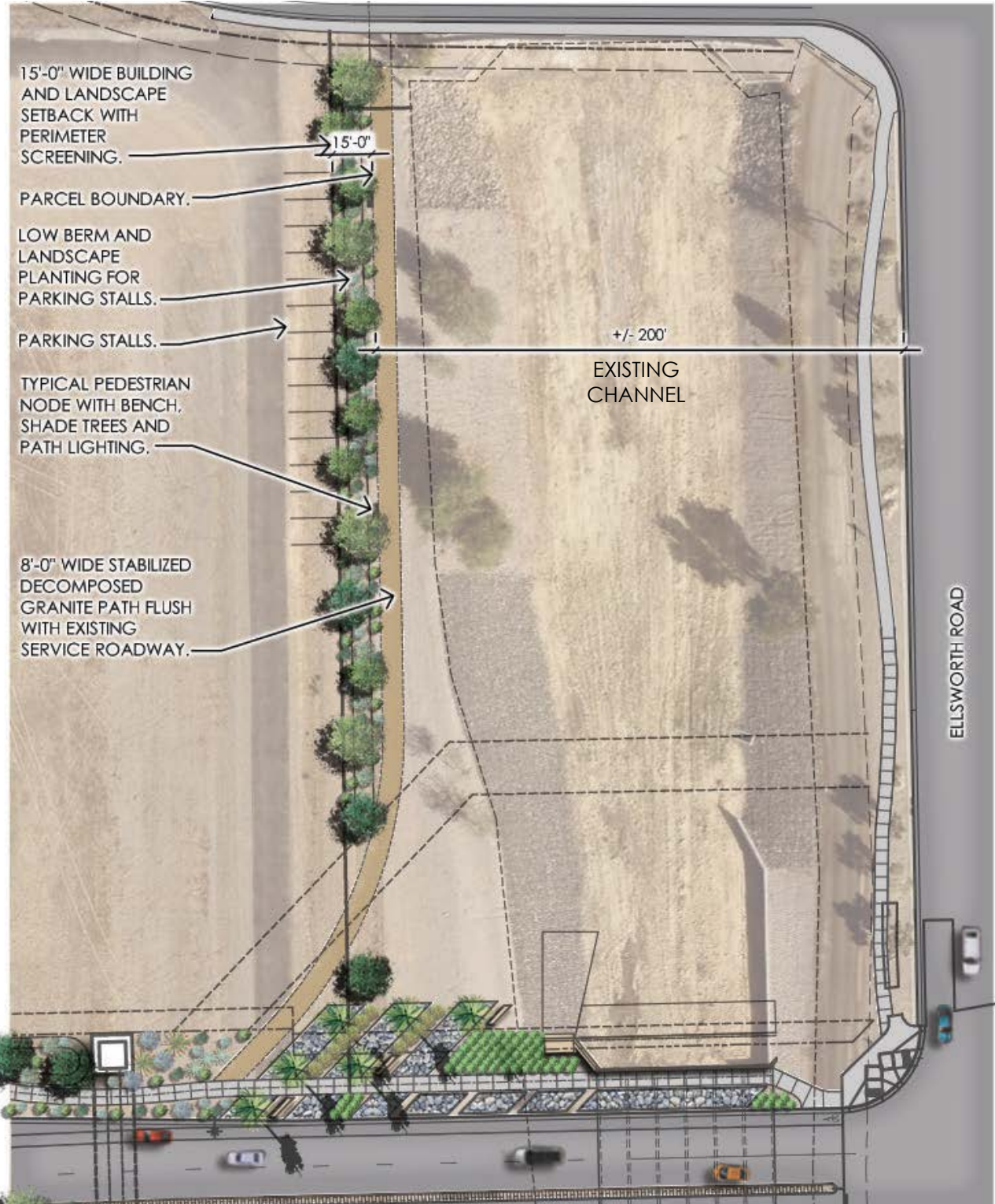


2.5B PERIMETER & STREET SETBACKS



- LEGEND:**
- 15' Setback
 - 20' Setback
 - 30' Setback

*NOTE: Secondary Street network shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.



2.6 SITE GRADING & DRAINAGE

- Improvements must include site grading and drainage in accordance with the City of Mesa Engineering Design Standards, Master Developed Planned drainage system and all Site Development specifications.
- Site grading shall be designed to control storm water drainage directing flow away from building pads and pedestrian areas. The landscaping in drainage control areas shall be designed to control erosion through the use of granite, fractured granite rip rap (grouted in place when flows warrant).
- Drainage easement areas must be designed to control erosion and damage to landscaping or other improvements that can be caused by storm water runoff.
- Site grading may not compromise the access to a Lot, internal vehicular circulation, or existing structures. Site grading should also be designed to assist in screening parking areas, service areas, or other visually unattractive areas wherever possible.
- Standing pools of water shall be drained to ensure airport flight safety compatibility.

2.7 PARKING

Site planning will promote an appropriate distribution of parking & landscape throughout the development. When adjacent to roadways, a well landscaped buffer shall be provided, particularly along Gateway Boulevard, Ellsworth Road and future secondary streets.

- Using a combination of screen walls, landscaping and/or berms shall be provided when parking is adjacent to primary roadways. Parking area screening should be in compliance with City of Mesa Zoning Ordinance Section 11-30-9.
- Provide parking in close proximity to its intended use with a well planned sidewalk connection to building entries.
- A landscape island shall be provided at every 8 contiguous parking spaces.
- All driveways and parking areas must be paved with concrete or asphaltic concrete. Except for the edges of walls, and paving adjacent to walls, vertical concrete curbs or concrete curb and gutter must be constructed at the edges of all paving. Asphalt and surface-mounted extruded concrete curbs are prohibited with exception to future expansion of development (temporary). The use of precast parking bumpers in lieu of continuous curbs is prohibited.

- Approved canopy or shade-type parking structures is allowed throughout the development. Design of structures shall be complementary to the adjacent building design.

2.8 EXTERIOR STORAGE AREAS & SERVICE YARDS

Side-loading and outdoor storage between streets, up to the setback line, is discouraged. Storage areas shall be located in the least visible areas of each Lot and fully screened from streets and adjacent Lots with solid 8' high masonry screen walls. Dense landscaping or a combination of dense landscaping and solid 8' high masonry screen walls may be considered on a case-by-case basis.



2.9 LOADING AREAS

All loading and unloading is to be conducted in approved designated loading areas. Loading areas are to be designed as integral parts of the Site Development and maintained in a neat and orderly manner. Loading areas are to be located in the least-visible area of each Lot. Rear-building loading is preferred; however, side- building loading may be allowed, provided the loading areas are architecturally treated and adequately screened.

2.10 REFUSE & RECYCLING COLLECTION AREAS

All refuse and recycling from any Lot is to be accumulated in an approved dumpster provided for such Lot by a licensed refuse and recycling collection company. All refuse and recycling collection areas in the Gateway East Development must be located where the dumpsters are least visible from any public street and in accordance with the City of Mesa Zoning Ordinance & Solid Waste Standards M-62.01 through M-62.04.2.

All exterior refuse and recycling collection areas within public view must be screened by building walls or screening walls that are 6' to 8' in height and must completely screen dumpsters from view.

The block wall and metal enclosure gate door materials and colors may vary, but should be complementary to the primary building color palette.

Trash & Recycling not within public view shall be protected by 6'-0" tall bollards similar to Solid Waste Standards for bollard protection.

Maximum number of trash/recycling containers for buildings:

- Less than 20,000SF (1) double enclosures
- Less than 90,000SF (2) double enclosures
- over 90,00sf (3) double enclosures.

With regards to industrial and office projects, required trash/recycling enclosures or bollard protected trash/recycling containers can be eliminated providing building utilizes private trash and recycling compactors.



III. ARCHITECTURAL DESIGN
GUIDELINES - GENERAL

3.1 GENERAL

The Design Guidelines are broken into four sections:

- Site Plan Design Guidelines
- Architecture Design Guidelines
- Lighting Design Guidelines
- Landscape Design Guidelines

1. **Character and Image** - Development shall contribute to the uniqueness of the zoning district in which it is located, and/or the Mesa community with predominant materials, elements, features, color range, and activity area tailored specifically to the site and its context. This character and image shall conform to the following standards:

a. In multiple building developments, each individual building shall include predominant characteristics shared by each building so that the buildings within the development appear to be part of a cohesive, planned, area, yet are not monotonous in design. Compatibility shall be achieved through techniques

such as the replication of roof lines, the use of similar proportions in the building mass and outdoor spaces, similar relationships to the street, similar window and door patterns, or the use of building materials that have color shades and textures that are similar to or complimentary to those existing on, or in, the immediate area of the subject property.

b. No Established Theme or Stand-Alone Development. Where there is no established or consistent neighborhood or area character or unifying theme, or where the existing character is not desirable to continue because it does not reflect a design theme consistent with the development standards as described in this Chapter, the proposed development shall be designed to establish character and a sense of place through the strategic use of architectural elements, building form, materials, landscaping, lighting, etc., which create a cohesive theme or style for future developments and buildings within the area to follow.

c. Corporate Architecture. Where the proposed architecture of a building or structure is the result of a franchise style, prototypical or franchise architectural design, including materials and color,

should be modified (if necessary) to meet the development design standards as set forth in the Design Guideline exhibit attached to this PAD.

d. Employee and Visitor Amenities. Development within this PAD shall provide common open space and amenities for the useful enjoyment of employees and visitors to the Site. Common open space should be



arranged for functionality and shall be furnished with eating areas, site furniture (such as benches, tables, waste receptacles, or planters), or other amenities.

i. Buildings 30,000 square feet or larger shall provide common open space at a rate of one percent (1%) per building

gross floor area (GFA). A collection of smaller buildings linked by common walls is considered one building.

ii. Multiple areas of common open space are encouraged; however, the minimum size of any one (1) common open space shall be 300 square feet with a minimum dimension of 15 feet in any direction. If pocket parks or multi-use trails are provided within close proximity of the development, those improvements shall count towards the common open space requirement.

iii. At least 50 percent (50%) of common open space must be open to the sky. At least 75 percent (75%) of the open space area must be landscaped and maintain live plant material if the area is not otherwise used as active recreation facilities.

2. **Massing and Scale** - Architectural elements and techniques shall be utilized to reduce the apparent massing and scale of buildings.

a. Wall Articulation. Exterior building walls shall be subdivided and proportioned to human scale, using projections, overhangs, and recesses in order to add architectural interest and variety and to avoid the effect of a single, massive wall

with no relation to human size per Design Guideline exhibit attached to this PAD.

- i. Publicly visible facades (viewed from streets or primary facades of adjacent property), may not have blank, uninterrupted wall lengths without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall into human scale proportions. Refer to vision images in the Architectural Styles section for conceptual examples.
- ii. Side or rear walls, not publicly visible from streets. Refer to vision images in the Architectural Styles section for conceptual examples.
- b. Building Projections into Setbacks. Maintain appropriate separations between buildings on adjacent lots to allow for light, air, and circulation while recognizing the need to allow minor projections that improve the effectiveness of environmental or aesthetic features.
- i. Awning, eaves, overhangs, light shelves, and basement window wells may encroach up to three (3) feet into any required setback but shall not be



closer than two (2) feet to any property line. Building projections shall be no closer than 15 feet to any property line adjacent to sites located in the RS and RSL Districts.

- c. Roof Articulation.
- i. Provide architectural interest at the skyline. Accentuate appropriate building elements and provide a minimum of one vertical variation in parapet heights appropriate for the intended design. Parapet detailing such as cornices, moldings and trim should be used where appropriate. Refer to vision images in the Architectural Styles section for conceptual examples.

3. Building Entrances - Primary entrances along major façades shall be clearly defined with façade variations, porticos, roof variations, recesses or projections, or other integral building forms. Refer to vision images in the Architectural Styles section for conceptual examples.

4. Access, Circulation, and Parking.

- a. Screening and Separation of Parking Areas. Parking areas located between a building and Primary Street shall be screened with a screening wall, berms, or combination of both methods no more than 3 feet high.
- i. In addition, parking areas shall be separated from on-site buildings by a distance of at least ten (10) feet. This separation shall be landscaped and may include a pedestrian walkway.

5. Materials and Colors - Buildings and structures shall be constructed of durable, high-quality materials that are appropriate for the climate and development. Exterior building walls, viewed from streets, shall be designed using various materials and design options in order to add architectural interest. Refer to vision images in the Architectural Styles section for conceptual examples.

IV. ARCHITECTURAL DESIGN GUIDELINES

4.1 GENERAL

The Architectural Design Guidelines are intended to ensure an attractive, high quality, mixed-use development with a consistent look and feel across the overall development master plan consistent with conceptual examples within these Design Guidelines. These standards will provide continuity throughout while incorporating a variety of architectural styles, color, and materials. Styles may and should vary to create individual identities while maintaining common threads that establish compatibility between buildings and the anticipated land uses, such as light industrial (manufacturing, flex office, technology), multi-story office, restaurant, retail, hospitality, and others. Design vocabularies should be respectful of adjacent uses, allowing architectural expressions to flow from Lot to Lot, avoiding abrupt transitions in style or character. Variation in texture, contrast, color, and materials should be utilized to create visual interest. Building designs must be compatible for airport operations.

Whereas a level of consistency and compatibility are desirable to create continuity within the master development,

opportunities for corporate identity and branding must be maintained. Such branding may include the use of corporate colors, signage, specific materials or architectural elements used to communicate a company culture or theme. These elements shall not detract from the quality and compatibility of the overall master plan and adjacent developments. The extent of such branding elements may require limits of application in order to maintain the desired continuity of the development.

By the approval of these design guidelines through the PAD process and by the Design Review Board, it is understood that all buildings shall comply with these standards. In doing so, all buildings will be exempt from the Design Review Board Work Session process and will be handled as Administrative Design Review.

The Architectural Design Guidelines are centered on Key Design Characteristics that will establish visual consistency, quality, and architectural interest across the Development.

These Key Design Characteristics from the list below include:

- A. Building Form
- B. Facade Treatments

- C. Shade Elements
- D. Entry Statements
- E. Screening
- F. Colors
- G. Materials – (2) minimum when publicly viewed from street

A. BUILDING FORM

Building form refers to the shape and configuration of a building visible from primary and secondary streets. Care should be taken to design structures across the project that take shape, mass, scale, proportion, rhythm, articulation, texture, color, and light into consideration. Building forms should be influenced by the following guidelines:

- Consider each buildings relationship to other adjacent buildings in their architectural design.
- Building elevations and facade elements should undulate to break up building masses.
- Vary roof forms and parapet treatments appropriate for the type of project and consistent with conceptual examples within these Design Guidelines.
- Use building elements to create scale at the pedestrian level with conceptual examples within these Design Guidelines.

- Provide pedestrian protection from the sun by using building overhangs and canopies in appropriate areas, such as main building entries.
- Provide heightened level of detail at building entries.
- Accent architectural form with appropriate lighting.



B. FACADE TREATMENT

Building facades serve as a viewer's first interaction with a building and can bring a greater degree of architectural interest to a structure. Facades are also essential components of building environmental efficiency. Building facades should utilize the following principles and be consistent with conceptual examples within these Design Guidelines:

- Vary building volumes, planes, and materials to create dynamic textures and variations with light and shadow.
- Employ sun shading elements such as projecting canopies, and awnings that provide cover and shade for appropriate exposures on building facades, thereby reducing solar heat gain.



- Enhance street frontages by using refined materials and strong entry elements.
- Ground floor building façades are encouraged to utilize transparency when abutting pedestrian areas.
- Highly reflective materials and finishes that conflicts with FAA regulations or could create glare or flash blindness and impact airport operations shall not be utilized.



C. SHADE ELEMENTS

Sun protection is an essential design element to promote both pedestrian comfort and energy efficiency. Shading elements such as suspended canopies, posted canopies, awnings, building overhangs, screen walls, window eyebrows, shade sails, and pergolas should be effectively utilized on high impact areas of the buildings facades. These shading elements have the power to accent the building massing and create a functional and dynamic visual experience for patrons all while limiting solar heat gain. Shade elements are particularly important for glass openings, balcony areas, and at the sidewalk pedestrian area. Shade elements should be integrated into the storefront designs as part of the overall building design. The following shade strategies may be utilized:

- Suspended canopies, posted canopies, and awnings are to be integrated into building designs.
- Large overhangs shall be carefully utilized to accent the massing of the building and to create a functional and dynamic visual experience for patrons.
- Trees and landscaping are to be integrated as part of the overall shading.



D. ENTRY STATEMENT

Clear building entries create a sense of arrival and can elevate a building's architecture. Entries should be prominent and obvious to assist in circulation and wayfinding across the Development. Entry statements can be established in multiple ways:

- Differentiated building massing (vertical elements, building envelopes).

- Use of a special or different facade material.
- Utilization of accent lighting and/or creative signage.
- Doorway openings and hardware should address human scale and comfort.

E. SCREENING

Screening shall be utilized in a variety of applications throughout the project.

Screening should be used to conceal unsightly building/site elements from view. It should also be used per City of Mesa standards to screen parking areas and can also be used as an architectural feature to provide additional building articulation and interest. Options for screening materials may include the following: metal louvers, metal panels with attractive patterns of voids and perforations, painted and decorative integrally colored and textured CMU block and/or strategically located landscape.

- Architectural Screening: Architectural screens can be used to provide layering and depth to building planes while also protecting interiors from sun exposure.
- Mechanical Equipment: All mechanical equipment, whether at grade or on a building's roof, should be screened from view with architectural and/ or landscape materials or they shall be located so as not to be visible from any public pathways. Rooftop screening shall be monolithic and architecturally compatible by use of exterior parapets, monolithically screened "penthouse" areas and parcel use of "line sight-line studies" for structures with large foot prints such as industrial projects.

- Service Areas: All service areas (trash, recycling, mechanical areas, storage, utility, and meter rooms) must be architecturally integrated within the body of the building or at the back of buildings screened from view.
- Parking Areas: Parking areas adjacent to roadways should utilize a combination of 3' high offsetting screen walls with 50' maximum runs, dense plantings, and/or landscape berms as screening.
- Landscape Elements: Using a variety of year- round plant species is ideal when screening equipment. Plants used for screening are to be compatible with Arizona's climate and should be regularly maintained.



F. COLORS & MATERIALS

Colors and materials should create visual harmony within the development. Recommended colors are as follows:

- Desert hues and other “earth tones”.
- Muted shades of blues, greens, and reds found in the natural desert color vocabulary.

- Colors appearing in natural stone utilized in buildings.
- Bright and jewel-tone colors may be utilized as accent colors in limited areas to enhance entries, focal points, corporate branding or other prominent building features.

Buildings within this development very often include, the following or others of equal or greater quality. Provide a minimum of two

materials on facades facing streets:

- WOOD: Wood is best used in areas with minimal weather exposure. Synthetic or metal systems may be used as an alternative to create a wood appearance.
- BRICK: If using “thin brick”, corner pieces must be used to create the appearance of full brick and provide cap articulation at top of wainscots.
- CONCRETE: Cast-in-place, articulated tilt up concrete, reveled, board-formed and architectural precast concrete are all acceptable variations of this material constituting multiple materials when used together. Predominant use of site cast tilt up panels for industrial projects and office buildings is acceptable when provided with a minimum of two alternative materials and shall include a balanced use of reveals, varying paint colors, variations in plane and parapet heights to reduce massing and scale consistent with provided examples within these Design Guidelines.
- NATURAL STONE: Fieldstone, flagstone, or other natural stone.
- MANUFACTURED STONE: Manufactured stone of high quality may be used.

- STUCCO/EIFS: Stucco or EIFS (exterior insulated finish systems) to be finished with smooth or sand finish with appropriately placed horizontal and vertical reveals to break up mass of large areas and coordinated with other vertical and horizontal elements found on building facades.
- TILE: Ceramic, porcelain, or similar tile.
- METAL PANELS: Architectural metal panels including standing seam, prefinished interlocking panels, perforated metal panel, perforated “B” deck and limited use of corrugated.
- GLASS: Clear, tinted (greys and blues), frosted and coated glass. Highly reflective glass conflicting with FAA regulations or airport operations is not allowed.



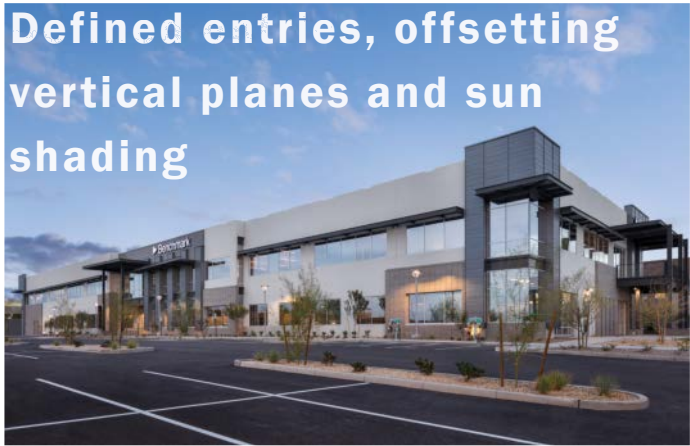
4.2 ARCHITECTURAL VISION: A MIX OF USES AND ARCHITECTURAL STYLES THAT COEXIST IN A HORIZONTAL MIXED-USE MASTER DEVELOPMENT



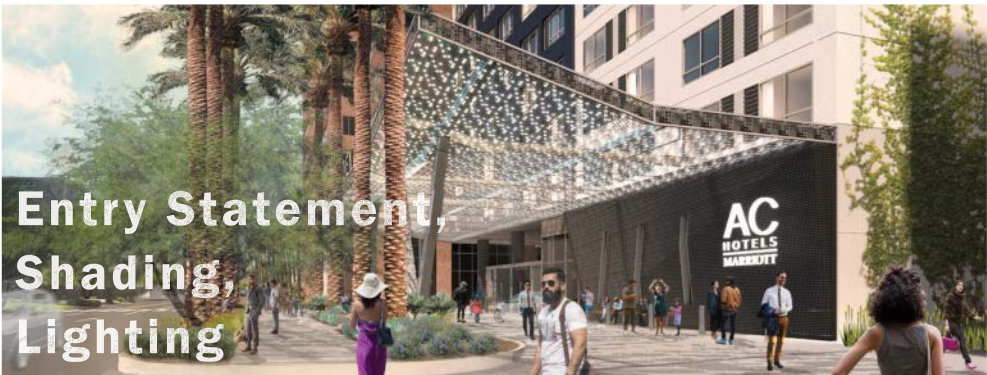
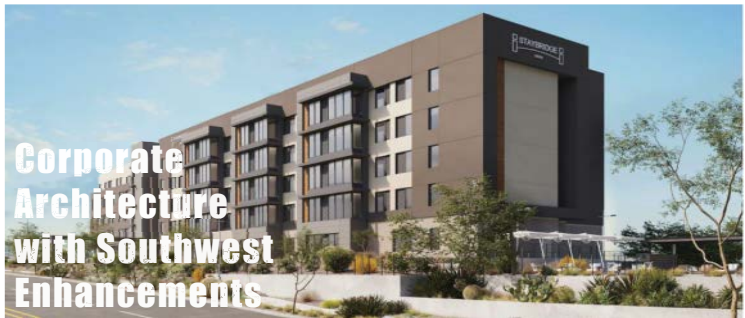
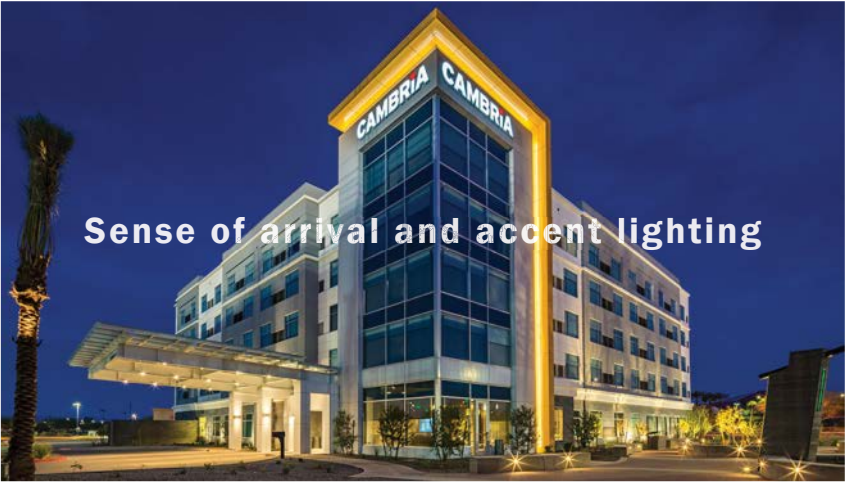
4.3 ARCHITECTURAL STYLES: A. LIGHT INDUSTRIAL (FLEX OFFICE, MANUFACTURING, TECHNOLOGY)



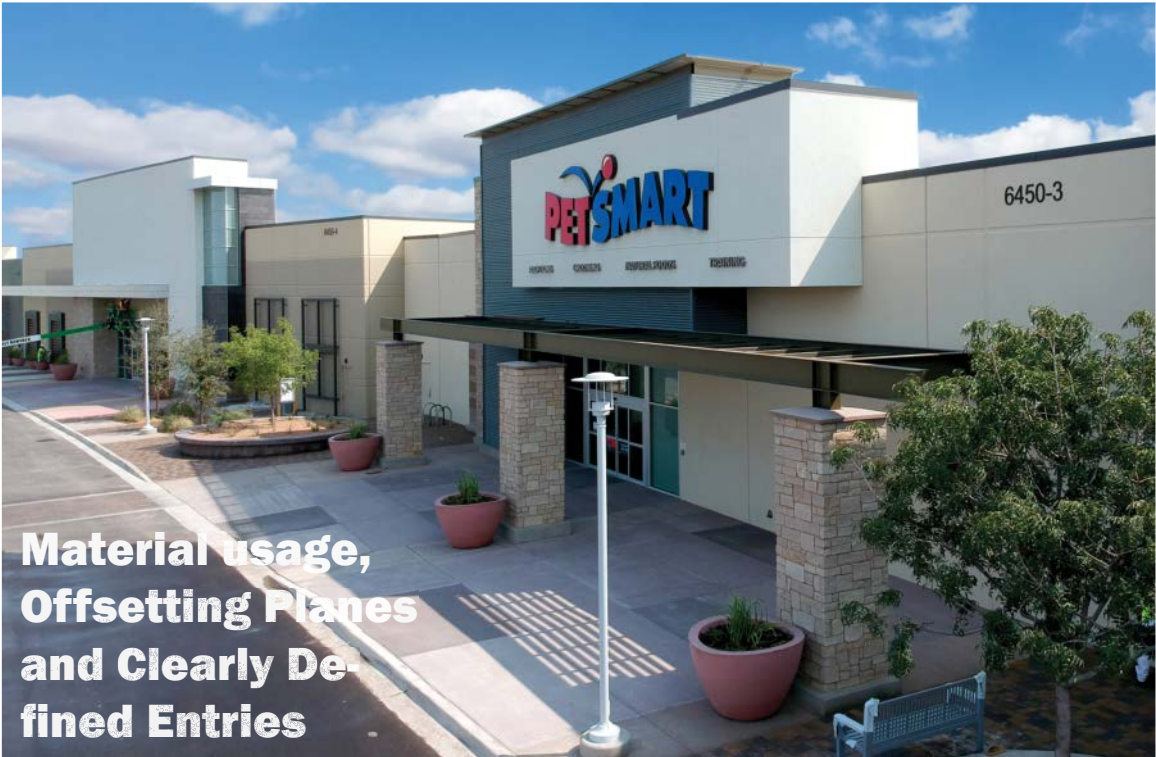
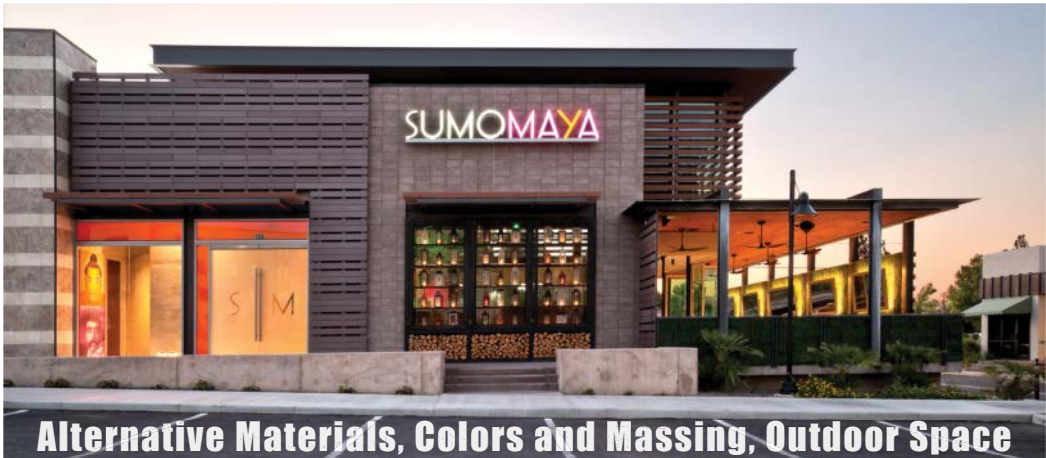
B. OFFICE



C. HOSPITALITY



D. RETAIL



V. LIGHTING DESIGN GUIDELINES

5.1 GENERAL

Given that this is a horizontal mixed-use project, lighting design must respond to both daytime and nighttime lighting needs. While the employment uses may be primarily functional during the day, the restaurant, retail, and hospitality uses will promote activity that extend into the evening. Architectural lighting is an essential component of building and landscape elements. The lighting strategies for this project should be designed with the goal of creating a welcoming early morning and evening environment that prioritizes safety and security as well as aesthetics. All exterior lighting design requires approval from the City of Mesa and must ensure compatibility with airport operations. Lighting placements and systems will not direct lighting upward or in a manner that could cause confusion with airport identification or navigational lighting.



- Dramatic lighting should enhance primary architectural features.
- Lighting should emphasize dramatic elements within the landscape (Monument signs, groups of trees and shrubs).
- Accent lighting may be incorporated on secondary building elements such as blank walls to highlight their texture or on columns to reveal their cadence on a facade.
- Appropriate consideration should be given to creating an ambiance with mood lighting such as overhead string lights or up lighting/down lighting on walls.
- Lighting shall almost exclusively use warmer temperatures. Cool temperature lighting is discouraged.
- Lighting on the exterior walls adjacent to the storefront area is encouraged

to help increase tenant identity and to provide an appropriate level of comfort and rhythm for the pedestrian.

- Low-level down-lighting integrated into building canopies should be provided to promote visibility and security.
- Lighting should enhance or be an extension of the design intent of the architecture.
- Utilize full cut-off or fully shielded fixtures and set mounting heights as required to effectively control glare, light trespass, and maintain dark skies.
- Fixtures and strategies are to promote energy conservation.
- Use automatic control systems to eliminate excessive light during non-active hours of site and building operation.
- Ornamental low-scale lighting shall be provided along pedestrian pathways and nodes that connect the various Lots within the Development.
- Primary and secondary streets will utilize City approved fixtures. Specific locations and heights will be approved by the appropriate City Department per City of Mesa requirements for illumination.

STANDARD PARKING LOT FIXTURE



Lighting fixture heights shall not exceed the maximum height specified in the City of Mesa Zoning Ordinance Table 11-30-5.





McGraw-Edison
GALN Galleon II
Area / Site Luminaire
Product Features
Light Advantage™

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 10

Product Certifications

ETL, DLC, ENEC, IES, IEC, VIB, IP65, IESNA, IESNA, IESNA, IESNA

Quick Facts

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 139 lumens per watt

Connected Systems

- WaveLux Lite
- WaveLux

Dimensional Details

Standard Arm



Number of Luminaire	Width "A"	Housing Length "B"	Weight with Standard or 60" Arm	EPA with Standard or 60" Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

NOTES:
1. For arm options, requirements and additional line art, see Mounting Details section.
2. EPA values are approximate and subject to change. Not all product variations are IESNA qualified.
3. IESNA values are for 100K CRI and warmer only.

5.2 LIGHTING VISION



VI. LANDSCAPE DESIGN GUIDELINES

6.1 GENERAL

The following landscape design guidelines provide a framework for the overall landscape character of the Development. These guidelines shall be applied to all areas of the Development including edge treatments, entries, vehicular circulation routes, pedestrian plazas and promenades, open spaces, and parking areas.

Landscape features and tree varieties attractive to hazardous wildlife should not be used to ensure flight safety and airport operations. Vegetation shall be properly maintained to control excess canopy growth and height. Landscape shall not exceed any FAA determination for maximum building height.

While this mixed-use project encompasses a variety of uses, the landscape design guidelines will ensure that future development of the Site reflects the overall theme of the area, creating a unifying aesthetic that provides for meaningful spaces that relate to the adjacent buildings. The following three key landscape design characteristics will set a consistent landscape theme across the Development; **Human Interaction, Open Space and Planting & Hardscape Design**

A. HUMAN INTERACTION

The landscape design for this project should center on promoting human connectivity. This can be achieved through providing dynamic open space areas that spur interaction, designing alluring pathways that connect all areas of the development, and by using planting design to create beautiful outdoor environments that inspire users to be outside and foster human connections. Landscape design should promote human interaction by incorporating the following guidelines:

- Provide connections to, from, and within Lots to support pedestrian activity and other mobility options to enhance the interconnectivity within the Development.
- Provide enhanced pedestrian plazas and promenades within the commercial Lots.
- Utilize covered or shaded walkways, passageways, courtyards, and plazas.
- Design street-spaces that support the pedestrian by incorporating safe and comfortable pedestrian amenities such as seating, lighting, shade, landscape and hardscape, crosswalk refuge areas, and curb and sidewalk extensions.

- Coordinate the design of pedestrian, auto, parking and service areas to minimize pedestrian interruption and pedestrian-vehicular conflicts.
- Provide open space for public and private outdoor activities, special events, and day-to day activities.

B. OPEN SPACE

Open space areas provide the opportunity for humans to experience the natural environment. Open space is of vital importance to the desirability of the project as a place to visit, work, or recreate. Open space areas are used for buffering adjacent land uses, establishing pedestrian circulation routes, providing gathering spaces, active and passive recreation, site beautification, and as storm water



retention areas. These areas should be treated to provide a network of green spaces throughout the Site that will provide a common aesthetic and include amenity spaces for visitors and employees. Open spaces should:

- Visually and physically connect uses and open spaces by providing walkways, gathering and activity areas, and greenways.
- Connect open spaces of neighboring land uses through common entry courts, linked plazas and amenity areas, and coordinated landscape.
- Provide open space at intersections to promote pedestrian and visual interest.



C. PLANTING & HARDSCAPE DESIGN

Integration of development into the natural and built environments is critical to strengthening continuity and character throughout the Development. People-oriented urban design should be reinforced through landscape planting, street furniture, decorative paving, and lighting. These elements should provide an abundance of shade, color, and varied textures and forms. Planting and hardscape design should utilize the following principles:

- Landscape forms should create pedestrian environments that are protected from vehicular traffic.
- Accent lighting should promote ambiance, character, and safety.
- Hardscape and special paving should be integrated into the Development at key focus areas including building entrances, pedestrian crossings, pathways, and amenity areas.
- Use masses of native plants to provide color, texture, and pattern.
- Spotlight distinctive areas with one large specimen tree.
- Use the height of date palms or other

vertical landscape elements to identify entrances and prominent pedestrian areas.

- Use planting palette provided in Section 6.12 of these Design Guidelines to distinguish zones throughout the Development.
- Utilize native plants that promote sensitivity to the environment and allow for water conservation.



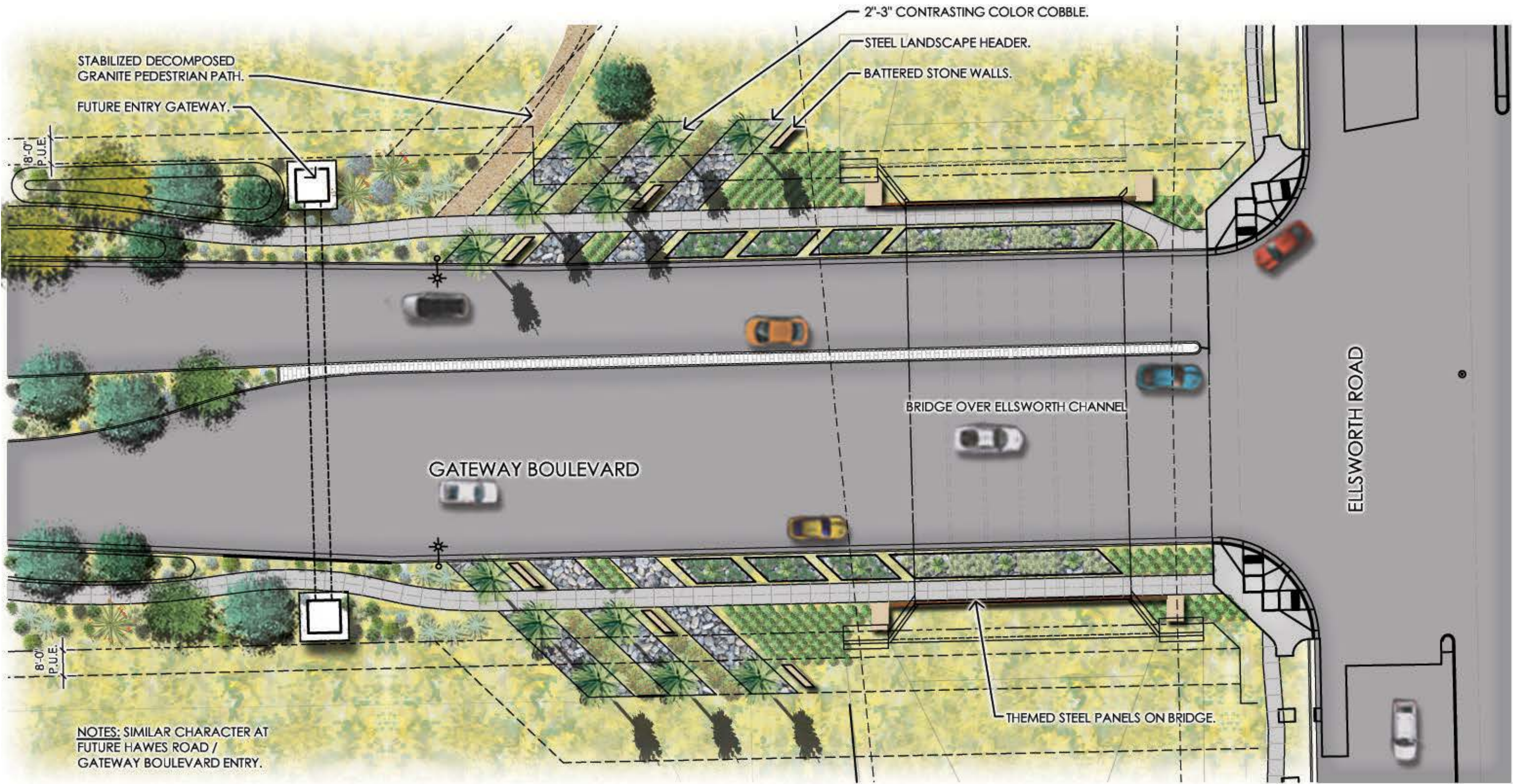
6.2 ENTRY DESIGN VISION



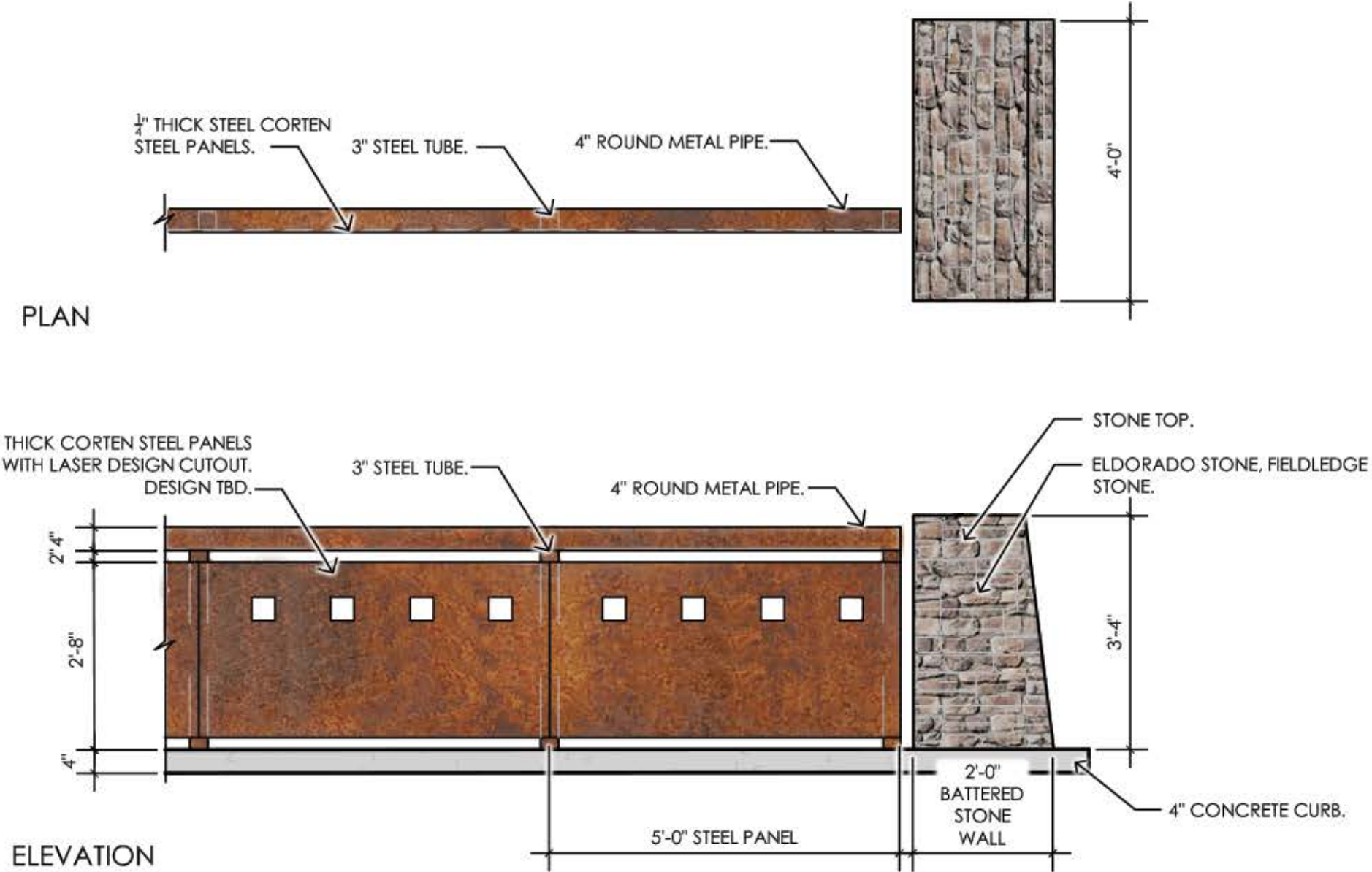
*Character image subject to future development



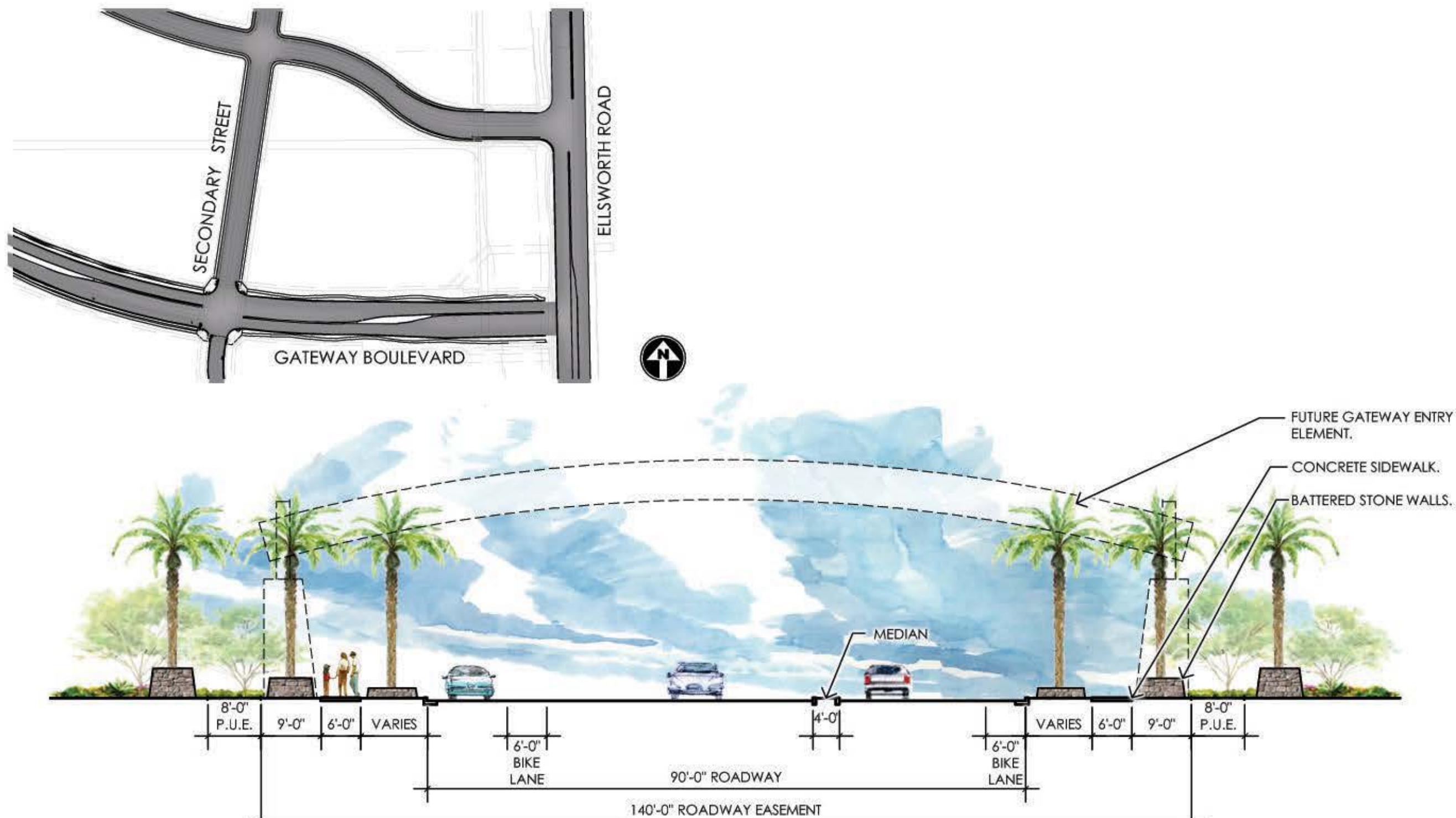
6.4 PRIMARY ENTRY VISION



*NOTE: Street design shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

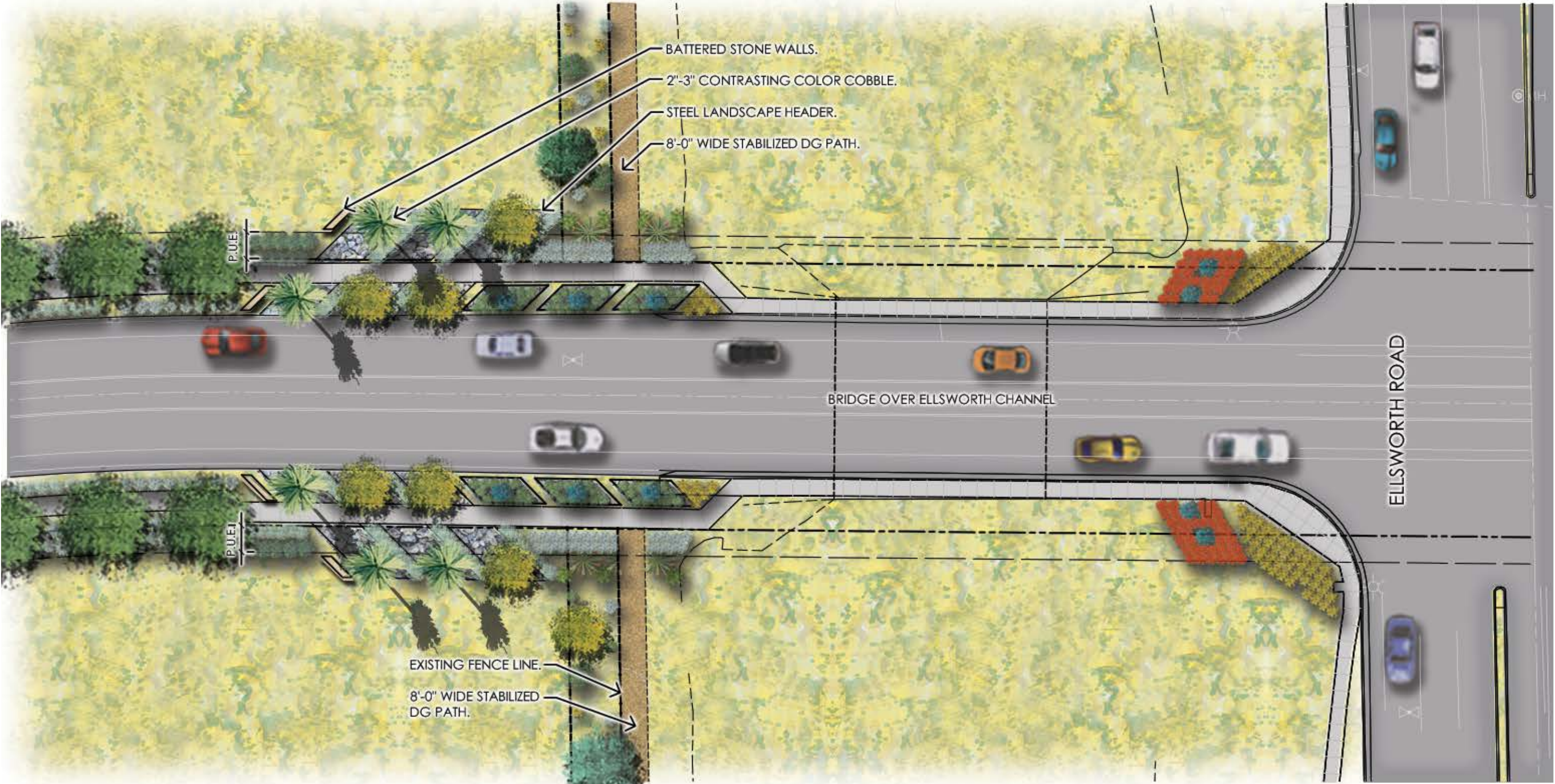


6.6 PRIMARY ENTRY SECTION VISION



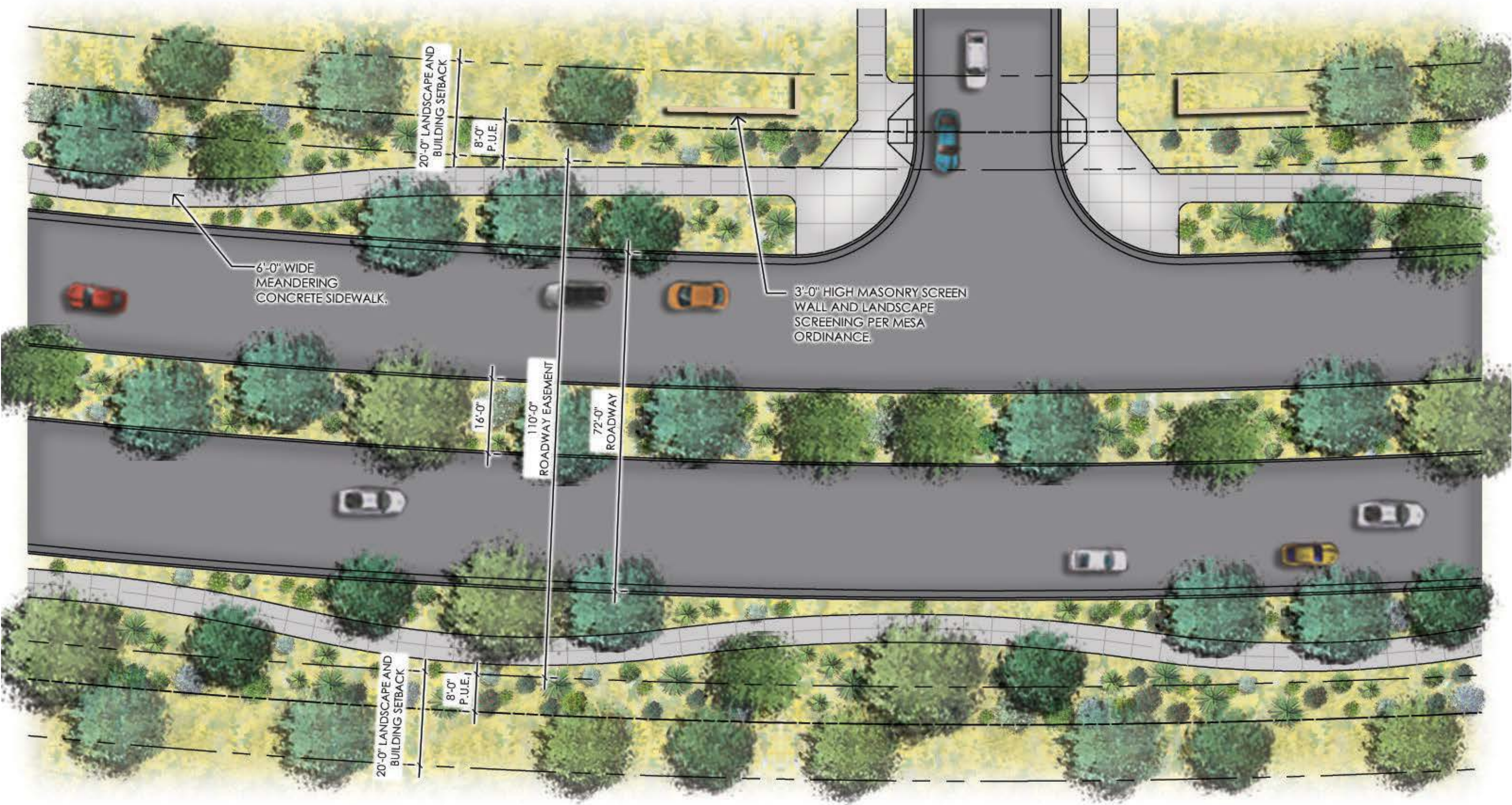
*NOTE: Street section shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

6.7 SECONDARY ENTRY VISION



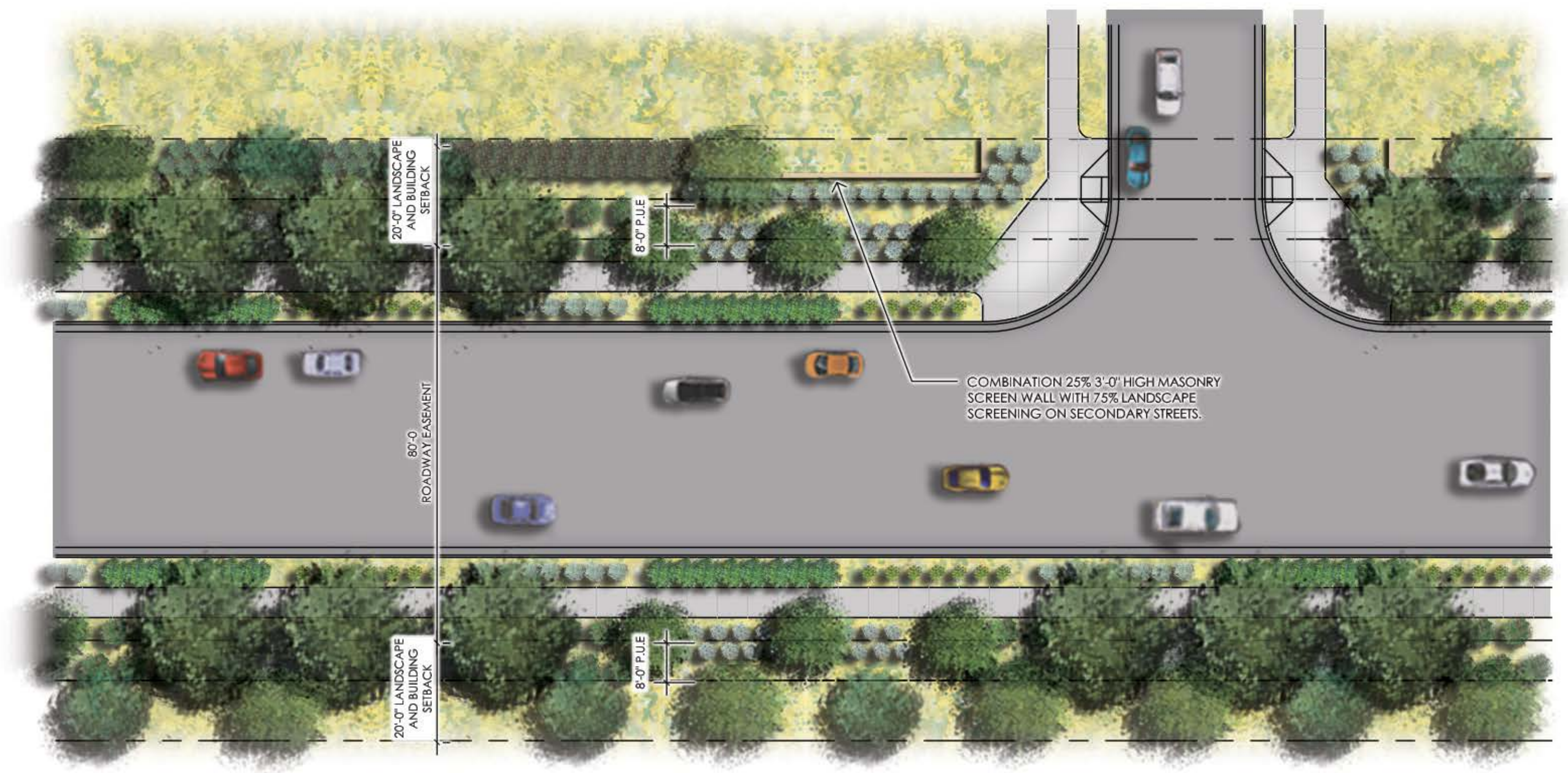
*NOTE: Street design shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

6.8 PRIMARY STREET LANDSCAPE VISION (GATEWAY BOULEVARD)



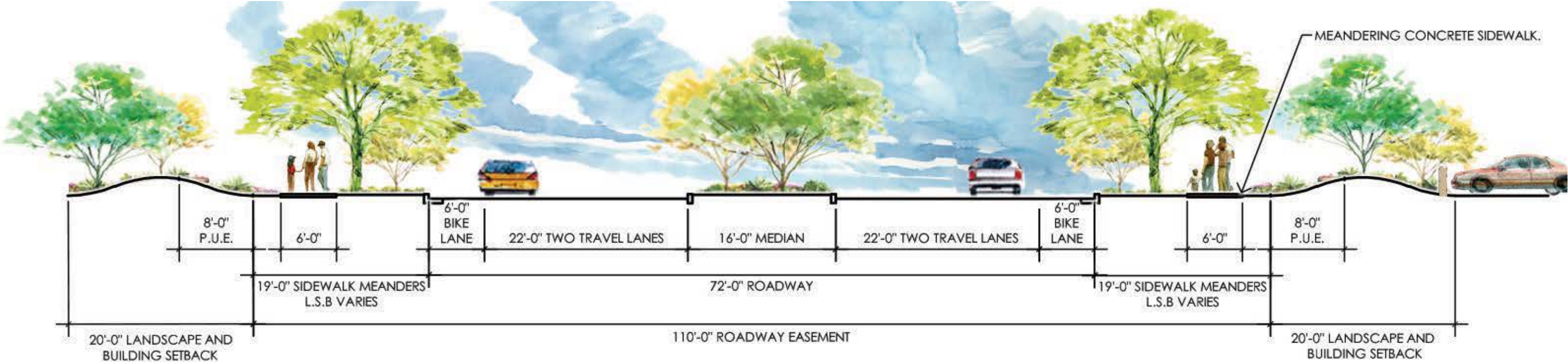
*NOTE: Street design shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

6.9 SECONDARAY STREET LANDSCAPE VISION

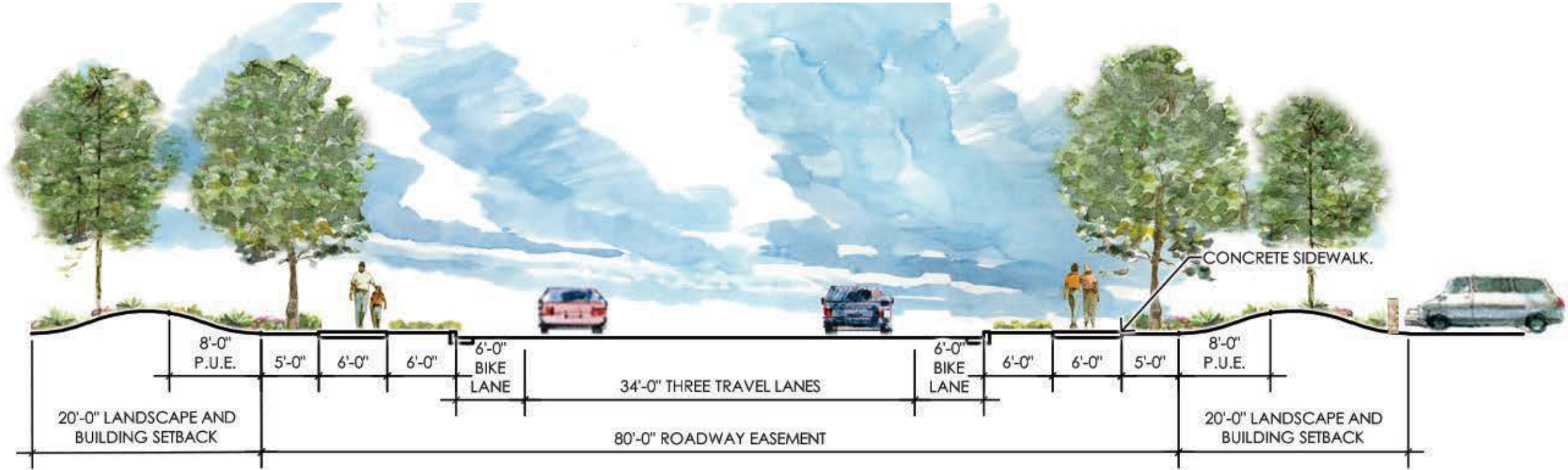


*NOTE: Street design shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

6.10 TYPICAL STREET SECTIONS VISION



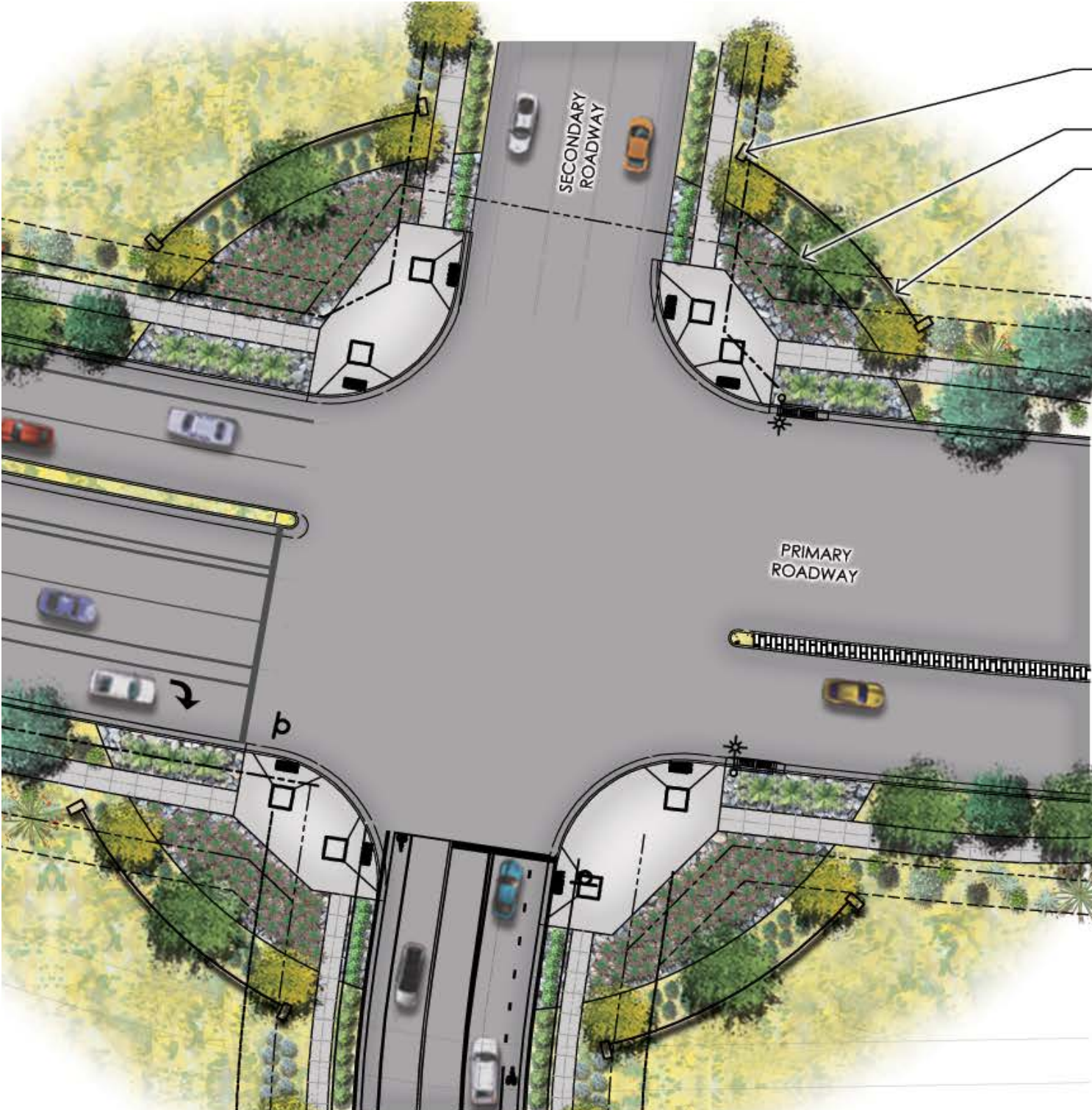
PRIMARY STREET



SECONDARY STREET

*NOTE: Street sections shown on this plan are conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

6.11 INTERSECTION DESIGN VISION



PLAN

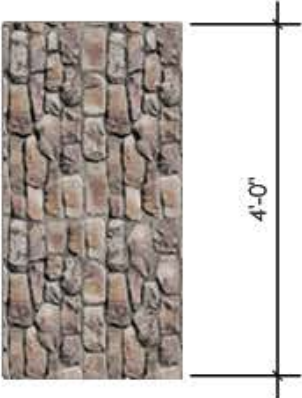
*NOTE: Street design shown on this plan is conceptual and for illustrative purposes only. Final design is subject to change. All streets will need to be reviewed and approved by the City's Transportation Department.

- BATTERED STONE COLUMN, 3'-0" HIGH.
2"-3" DIAMETER CONTRASTING COLOR COBBLE.
- STEEL LANDSCAPE HEADER.
- PATTERNED LASER CUT STEEL PANELS, 2'-0" HIGH.

DECORATIVE STEEL PANELS AT INTERSECTION

BACKLIGHT STEEL PANELS WITH
LOW VOLTAGE LANDSCAPE
SPOT LIGHTS.

PLAN



1/4" THICK CORTEN STEEL PANELS
WITH DESIGN CUTOUT TBD.



ELEVATION

6.12 PLANT PALETTE

BOTANICAL NAME	COMMON NAME	Open Spaces	Entries	Roadway
TREES				
Acacia aneura	Mulga Acacia	X		X
Acacia salicina	Willow Acacia	X		
Acacia saligna	Blue Leaf Wattle	X		
Acacia stenophylla	Shoestring Acacia	X		
Acacia willardiana	Palo Blanco	X		
Bauhinia blakeana	Hong Kong Orchid	X		
Bismarckia nobilis	Bismark Palm	X		
Brahea armata	Mexican Blue Palm	X		
Caesalpinia cacalaco	Cascalote	X		
Caesalpinia cacalaco 'Smoothie'	Thornless cascalote			X
Caesalpinia mexicana	Mexican Bird of Paradise	X		
Chilopsis linearis 'Bubba'	Bubba Desert Willow	X		X
Chitalpa tashkentensis	Chitalpa	X		
Citrus reticulata	Mandarin Orange	X		
Ebanopsis ebano	Texas Ebony	X		
Jacaranda mimosifolia	Jacaranda	X		
Nerium oleander	White Oleander	X		
Olea europaea 'Swan Hill'	Swann Hill Olive	X		
Olneya tesota	ironwood	X	X	X
Parkinsonia florida	Blue Palo verde	X	X	X
Parkinsonia microphylla	Foothills Palo Verde	X	X	X
Parkinsonia praecox	Palo Brea	X		
Phoenix dactylifera 'medjool'	Medjool Date Palm	X	X	X
Pistacia lentiscus	Mastic Tree	X		
Platanus mexicana	Mexican Sycamore	X		
Prosopis alba 'cooperi'	Copper's Mesquite	X		
Prosopis hybrid 'Phoenix'	Thornless Mesquite	X		X
Prosopis velutia	Native Mesquite	X	X	X
Prunus cerasifera 'Atropupurea'	Purple-Leaf Plum	X		
Pyrus calleryana	Bradford Pear	X		
Tabebuia Tree	Tabebuia ssp.	X		
Quercus shumardii	Shumard Oak	X		
Quercus virginiana	Southern Live Oak	X		X
Ulmus parviflora 'True Green'	True Green Elm	X		
SHRUBS				
Acacia craspedocarpa	Leatherleaf Acacia	X		
Alyogyne huegii	Blue Hibiscus	X		X
Ambrosia deltoidea	Triangle Leaf Bursage		X	X
Asparagus densiflorus 'Myers'	Foxtail Fern	X		
Bougainvillea 'Barbara Karst'	Barbara Karst Bougainvillea	X		X
Bougainvillea 'Rosenka'	Bougainvillea	X	X	X
Bougainvillea 'Royal Purple'	Bougainvillea		X	X
Bougainvillea 'San Diego Red'	Bougainvillea	X		X
Bougainvillea 'Superstition Gold'	Superstition Gold Bougainvillea	X		
Bougainvillea 'white'	White Bougainvillea		X	X
Boutteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama			X
Buddleia davidii	Wooly Butterfly Bush			X
Caesalpinia mexicana	Mexican Bird of Paradise	X		
Caesalpinia gillesii	Yellow Bird of Paradise	X		
Calliandra californica	Red Fairy Duster	X	X	X
Calliandra eriophylla 'Maricopa Red'	Prostrate Fairy Duster			X
Calliandra eriophylla	Pink Fairy Duster	X	X	X
Calliandra 'Sierra Star'	Sierra Star			X
Callistemon viminalis 'Little John'	Bottle Bush	X		
Carissa grandiflora	Natal Palm	X		
Carissa macrocarpa 'Boxwood Beauty'	Compact Natal Palm	X		
Celtis pallida	Desert Hackberry			X

BOTANICAL NAME	COMMON NAME	Open Spaces	Entries	Roadway
Chrysactinia mexicana	Damianita			X
Citrus aurantium	Sour Orange Hedge	X		
Cordia boissieri	Mexican Olive	X	X	
Cordia parviflora	Little Leaf Cordia	X	X	X
Dalea capitata	Golden Dalea	X		X
Dalea frutescens	Black Dalea	X	X	X
Dodonaea viscosa	Hop Bush	X		
Encelia farinosa	Brittle Bush	X	X	X
Eremophila galabra ssp. Carnosa	Winter Blaze	X	X	X
Eremophila hygophana Blue Bells	Blue Bells	X		X
Eremophila maculata 'Valentine'	Valentine' Shrub	X		X
Ericameria larcifolia	Turpentine Bush	X	X	X
Erigonum fasciculatum	Flat Top Buck Wheat			X
Euonymus japonicus 'Green Spire'	Green Spire Euonymus	X		
Hamelia patens	Firecracker Bush	X		
Hibiscus rosa-sinensis 'Red'	Red Hibiscus	X		
Ilex vomitoria nana	Dwarf Youpon Holly	X		
Jasminum sambac	Arabian Jasmine	X		
Justicia californica	Chuparosa	X	X	X
Justicia californica 'Yellow'	Yellow Chuparosa		X	X
Justicia spicigera	Mexican Honeysuckle	X		
Lantana camara 'Dallas Red'	Dallas Red Lantana	X		
Larrea tridentata	Creosote	X	X	X
Leucophyllum candidum 'Thunder Cloud'	Thunder Cloud Sage	X	X	X
Leucophyllum frutescens 'Compacta'	Compact Texas Sage			X
Leucophyllum frutescens 'White Cloud'	White Cloud Sage			X
Leucophyllum hybrid 'Rain Cloud'	Rain Cloud Texas Ranger	X		
Leucophyllum langamaniae 'Lynns Legacy'	Lynn's Legacy Sage	X		X
Leucophyllum laevigatum 'summer Snow'	Summer Snow Sage	X	X	X
Leucophyllum laevigatum	Chihuahuan Sage		X	X
Leucophyllum langamaniae 'Rio Bravo'	Rio Bravo Sage	X		X
Leucophyllum pruinosa 'Sierra Bouquet'	Sierra Bouquette' TM	X		X
Leucophyllum revolutum 'Sierra Magic'	Sierra Magic Sage			X
Leucophyllum zygophyllum	Blue Ranger	X		
Leucophyllum zygophyllum 'Cimarron'	Cinnamon Sage	X		
Leucophyllum x 'Convent'	Convent Texas Ranger	X	X	X
Myrtus communis 'Boetica'	Twisted Myrtle	X		
Nerium oleander 'Petite Pink'	Petite Pink Oleander	X		
Olea europaea 'Montra'	Little Dwarf Ollie	X		
Perovskia atriplicifolia	Russian Sage	X		X
Pittosporum tobira 'Dwarf Variegata'	Dwarf Variegated Mock Orange	X		
Pittosporum tobira 'variegata'	Variegated Mock Orange	X		
Photinia x fraseri	Fraser photinia	X		
Portulacaria macrophylla	Large Leaf Elephant Plant	X		
Raphiolepis indica 'White Clara'	Indian Hawthorne	X		
Rhus trilobata	Skunkbush Sumac	X		
Rosmarinus officinalis 'Tuscan Blue'	Upright Rosemary	X		
Ruellia brittonia 'Purple Flower'	Ruellia Purple	X		X
Ruellia brittonia 'White Flower'	Ruellia White	X		
Ruellia peninsularis	Desert Ruellia	X	X	X
Russelia equisetiformis	Coral Fountain	X	X	X
Salvia clevelandii	Chaparral Sage	X	X	X
Salvia greggii	Autumn Sage	X		X
Senna wislizenii	Shrubby Senna			X
Sophora secundiflora	Texas Mountain Floral	X		
Simmondsia chinensis	Jajoba		X	X
Sphaeralcea ambigua	Globe Mallow	X	X	X
tecoma alata 'Orange Jubilee'	Orange Jubilee	X		
Tecoma Stans	Yellow Bells	X	X	X
Viguiera deltoidea	Goldeneye			X

6.12 PLANT PALETTE (continued)

BOTANICAL NAME	COMMON NAME	Open Spaces	Entries	Roadway
GROUNDCOVERS				
<i>Dalea capitata</i>	Golden Dalea	X	X	X
<i>Dyssodia pentachaeta</i>	Golden dyssodia	X	X	X
<i>Eremophila galabra</i>	Mingineu Gold	X	X	X
<i>Gaura lindheimeri</i>	Pink Gaura	X		X
<i>Glandularia gooddingii</i>	Goodding Verbena		X	X
<i>Lantana camara</i> 'Dallas Red'	Dallas Red Lantana	X		X
<i>Lantana camara</i> 'Gold Mound'	Gold Mound Lantana	X	X	X
<i>Lantana montevidensis</i>	Purple Trailing Lantana	X	X	X
<i>Lantana montevidensis</i> 'white'	White Trailing Lantana	X		X
<i>Lantana</i> 'New Gold'	New Gold Lantana			X
<i>Liriope muscari</i>	Lily Turf	X		
<i>Malephora lutea</i>	Rocky Point Ice Plant	X		
<i>Melampodium leucanthum</i>	Blackfoot Daisy	X		
<i>Rosmarinus officinalis</i> 'Prostratus'	Dwarf Rosemary	X		
<i>Setcreasea pallida</i>	Purple Trailing Heart	X		
<i>Trachelospermum asiaticum</i>	Asiatic Jasmine	X		
<i>Vinca major</i>	Bigleaf Perrywinkle	X		
CACTUS				
<i>Agave americana</i>	Century Plant	X		X
<i>Agave americana</i> var. <i>marginata</i>	Variegated Century Plant	X		X
<i>Agave</i> 'AZ Smiles'	AZ Simles Agave	X		
<i>Agave deserti</i>	Desert Agave	X	X	X
<i>Agave ferdinand-regis</i>	Ferdinand Agave	X		
<i>Agave macdougallii</i>	MacDougall's Century Plant		X	X
<i>Agave ovatifolia</i>	Whale's Tongue Agave	X		
<i>Agave Parryi</i>	Parry's Agave	X		X
<i>Agave</i> 'Sharkskin'	Sharkskin Agave			X
<i>Agave scabra</i>	Rough Agave	X		
<i>Agave tequilana</i>	Weber Blue Agave		X	X
<i>Agave weberi</i>	Blue Agave		X	X
<i>Aloe barbadensis</i>	Medicinal Aloe	X	X	X
<i>Aloe dawsonii</i>	Dawson's Aloe	X		
<i>Aloe ferox</i>	Aloe Hercules	X		
<i>Aloe</i> 'Hercules'	Hercules Aloe	X		
<i>Aloe</i> 'Rooikoppie'	Little Red Riding Hood Aloe	X		X
<i>Aloe rudikoppie</i>	Little Red Riding Hood Aloe			X
<i>Aloe x</i> 'Blue Elf'	Blue Elf Aloe	X		
<i>Alluaudia procera</i>	Madagascar Ocotillo	X		
<i>Anigozanthos flavidus</i>	Kangaroo Paw	X		
<i>Asclepias subulata</i>	Desert Milkweed	X	X	X
<i>Bouteloua gracilis</i> 'Blonde Ambition'	White Trailing Lantana	X		
<i>Bulbine frutescens</i> 'Yellow'	Yellow Bulbine			X
<i>Carnegiea gigantea</i>	Saguaro Spear	X		
<i>Carnegiea gigantea</i>	Saguaro	X		X
<i>Cylindropuntia versicolor</i>	Staghorn cholla			X
<i>Chamaerops humilis</i>	Med. Fan Palm	X		
<i>Cycas revoluta</i>	Sago Palm	X		
<i>Dasyllirion longissimum</i>	Mexican Grass Tree	X	X	
<i>Dasyllirion wheeleri</i>	Desert Spoon	X	X	X
<i>Dioon edule</i>	Cycad	X		

BOTANICAL NAME	COMMON NAME	Open Spaces	Entries	Roadway
<i>Echinocactus grusonii</i>	Golden Barrel Cactus	X		
<i>Echinopsis candicans</i>	Argentine Giant			X
<i>Echinopsis pachanoi</i>	San Pedro Cactus	X		
<i>Euphorbia antisiphilitica</i>	Candelilla	X		X
<i>Euphorbia biglandulosa</i>	Gopher Plant	X		X
<i>Euphorbia ingens</i>	Chocolate Drop Cactus	X		
<i>Euphorbia resinifera</i>	Moroccan Mound	X		X
<i>Euphorbia royleana</i>	Churee	X		
<i>Euphorbia tirucalli</i>	Fire Sticks	X		
<i>Ferocactus acanthodes</i>	Compass Barrel	X		
<i>Ferocactus cylindraceus</i>	Compass Barrel			X
<i>Ferocactus gracilis</i>	Fire Barrel Cactus	X		X
<i>Ferocactus</i> ssp.	Barrel Cactus			X
<i>Fouquieria macdougalii</i>	Mexican Tree Ocotillo	X		
<i>Fouquieria splendens</i>	Ocotillo	X	X	X
<i>Guara lindheimeri</i>	Pink Gaura			X
<i>Hesperaloe funifera</i>	Giant Hesperaloe		X	X
<i>Hesperaloe parviflora</i> 'Perpa' Brakelights	Brake Lights Red Yucca	X	X	X
<i>Hesperaloe parviflora</i> 'Sandia Glow'	Sandia Glow Red Yucca	X		
<i>Hesperaloe parviflora</i> -Red	Red Hesperaloe			X
<i>Hesperaloe parviflora</i> -yellow	Yellow Hesperaloe	X	X	X
<i>Kalanchoe beharensis</i> 'Blue Stick'	Blue Sticks	X		
<i>Lophocereus schottii</i> 'Monstrosus'	Senita	X		
<i>Muhlenbergia capallaris</i> 'Regal Mist'	Regal Mist	X	X	X
<i>Muhlenbergia lindheimeri</i> 'Autumn Glow'	Autumn Glow		X	X
<i>Muhlenbergia rigens</i>	Deer Grass	X		
<i>Opuntia basilaris</i> 'Baby Rita'	Beavertail Prickly Pear	X		
<i>Opuntia basilaris</i>	Beavertail Prickly Pear	X		X
<i>Opuntia engelmannii</i>	Engelmann's Prickly Pear	X	X	X
<i>Opuntia gomei</i>	Old Mexico Prickly Pear	X		
<i>Opuntia violacea santa-rita</i>	Purple Prickly Pear	X		X
<i>Pachycereus schottii</i> f. 'monstrosus'	TotemPole Cactus Single Arm	X		
<i>Pachycereus schottii</i>	Senita Cactus			X
<i>Pedilanthus bracteatus</i>	Tail slipper Plant	X		
<i>Pedilanthus macrocarpus</i>	Lady's Slipper	X		
<i>Penstemon superbus</i>	Superb Penstemon	X		
<i>Rosa hybrid</i>	White Hybrid tea Rose	X		
<i>Stenocereus thurberi</i>	Organ Pipe	X		X
<i>Yucca baccata</i>	Banana Yucca	X	X	X
<i>Yucca elata</i>	Soap Tree Yucca	X	X	X
<i>Yucca filifera</i>	St. Peter's Yucca			X
<i>Yucca rostrata</i>	Beaked Yucca	X		
<i>Yucca rigida</i>	Blue Yucca	X	X	X
VINES				
<i>Bougainvillea</i> 'Barbra Karst'	Bougainvillea	X		
<i>Bougainvillea</i> 'La Jolla'	Bougainvillea	X		
<i>Bougainvillea</i> 'San Diego Red'	Bougainvillea	X	X	
<i>Ficus pumila</i>	Creeping Fig	X		
<i>Parthenocissus</i> sp. 'Hacienda'	Hacienda Creeper	X		

6.13 SITE MATERIALS / AMENITY PALETTE



Eldorado Stone, Fieldledge Stone
at accent walls and columns



Eldorado Stone, Hillstone Stone
at entry gateway.



Rock Pros USA, Mahogany crushed
rock, 1/2" screened, overall site.



Rock Pros USA, Painted Desert rip
rap, 3"-4" diameter.



*Representative amenity character & quality. Final selection may vary.