

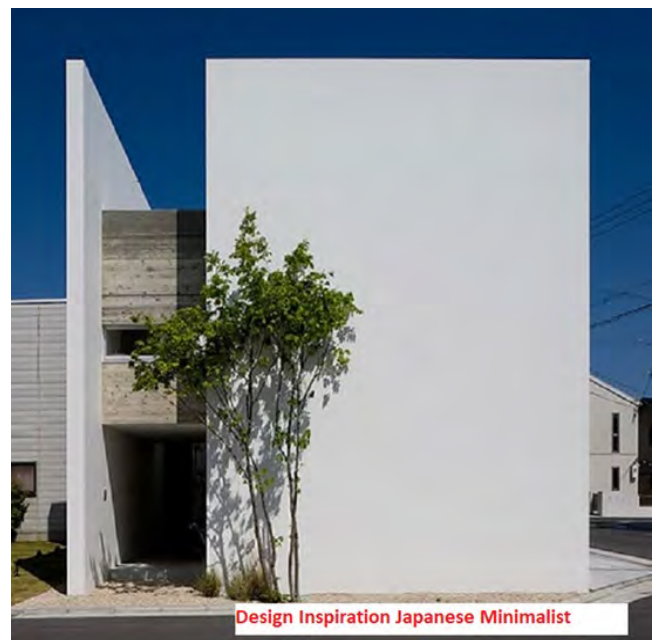
Introducing Pi “π” at 4140 E Main Street, Mesa Arizona



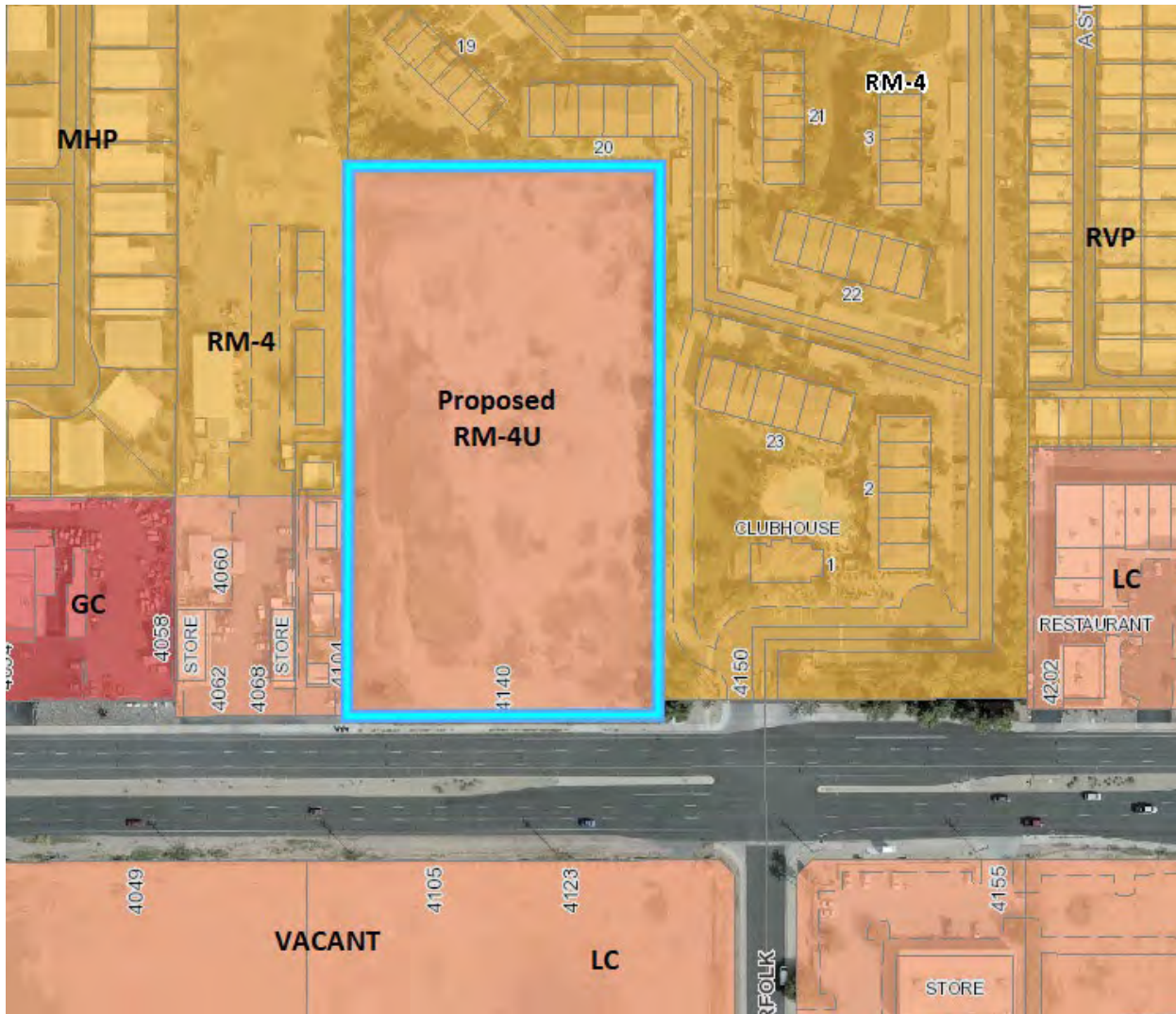
Atmosphere Architects is pleased to present a new high-quality residential infill development to be located at 4140 E Main Street, in Mesa, Arizona. Taking cues from Japanese minimalist home design, we has created a community that will have a unique sense of place and offer a new design element to the Main Street façade.

Consisting of 3.65 acres of never developed land, 1600 feet west of N Greenfield Road, the lot is surrounded by a variety of RM-4 housing options such as, multi-family walk-up developments, manufactured home parks and recreational vehicle parks. Of the 1343 ft shared with adjacent lots, over 80% is with RM-4 zoned properties. The remainder abuts LC zoning. (See Surrounding Zoning figure below)

Pi will be made up of a mix of 2- and 3-story, attached townhomes with attached garages, a housing option not currently offered in this area. *The proposed multiple residence use conforms with the goals of the “Neighborhood Character Area” by providing variety in housing options.* Pi also brings in additional residents to support the areas various commercial offerings, which include a grocery store, various businesses, and restaurants, many within



walking distance. *The project will take advantage of already in place infrastructure, providing additional system users without additional capital improvement outlays.*

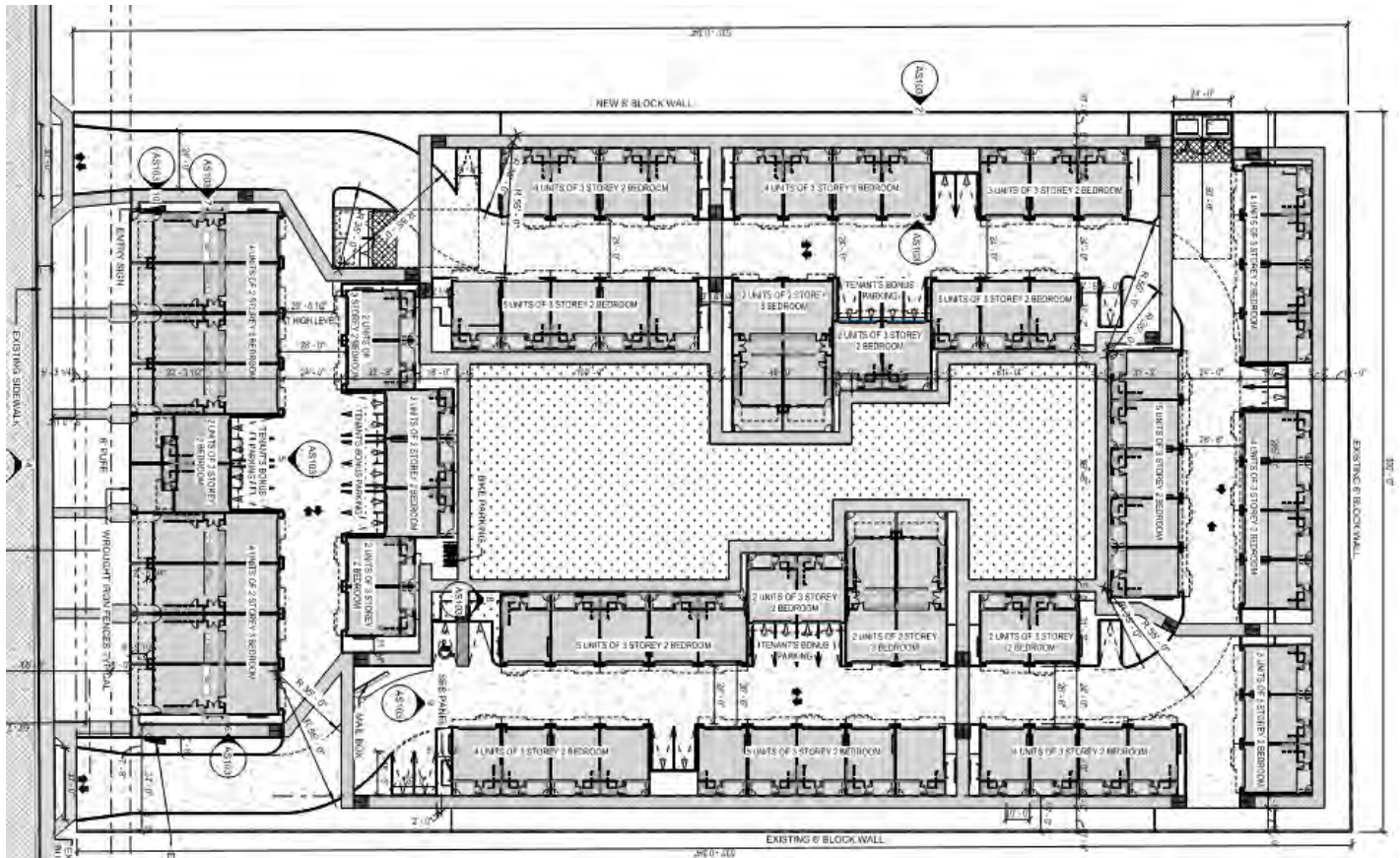


Surrounding Zoning

We are seeking a re-zoning from LC- light commercial to RM-4 PAD to bring Pi's high-quality community to life. This rezoning will help rebalance the economic dynamics in this area, where there are multiple, undeveloped, and underdeveloped, LC zoned lots, and several shopping centers with vacant spaces. By bringing additional residents to the area, Pi will help increase the demand for goods and services at existing businesses and encourage new businesses to fill the vacant commercial spaces. *The proposal, with the requested rezoning, conforms to the goals of the Neighborhood Character Area, and future Transit Corridor, regarding zoning, land use and building form.*

Pi will consist of 80 units, 12 will be 2-story 3-bedroom units, and 68 will be 3-story 2-bedroom units. All units will have attached 2-car garages at the Mesa required dimensions of 22 ft. L x 20 ft. W, which also provide bicycle parking. *Five bicycle spaces are provided at the south end of the amenity area.* Nine units will offer tenant bonus parking, two spaces in front of the garages, and there will be 15 visitor parking

spaces dispersed through the site. There is a perimeter walkway, and a central open space with planned amenities such as a pickle-ball court, swimming pool, and playground. All units have integral exterior private spaces.



Meeting the intent of the PAD Overlay District:

- A. Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use.

Pi provides a well-designed, large centrally located common open space of roughly 22,909 square feet. A variety of amenities are planned to include a swimming pool, playground, and pickle ball court. The development contains 300% as much open space as is required.

- B. Options for the design and use of private or public streets.

Pi will have private drive aisles of 24 feet and will utilize existing utility and transportation infrastructure.

- C. Preservation of significant aspects of the natural character of the land.

The lot is a flat, never developed property, unremarkable in natural character, however, it will become an attractive and unique development that will enhance the neighborhood set a precedent for this part of the Transit Corridor.

- D. Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development.

Architect Tim Boyle's unique minimalist design, combined with the sustainable use of shared unit walls, and a large, centrally located common area will result in Pi being a very high-quality and holistically created development that will be a highly coveted location to live.

- E. Sustainable property owners' associations.

Pi is planned as a for rent townhome community and will have active ownership.

- F. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions.

Property maintenance will be provided by the property owner.

- G. CPTED – *The units facing Main Street have “eyes on the street” from the cars passing by. The interior units have extensive lighting below the tree canopy, and there are security gates to pass through to have access to the front doors of all internal units. Walkways are well lit and shall be kept free of obstacles. All isolated areas are within the security fences. Trees to be trimmed 7’ above the ground and shrubs shall be not taller than 3’ high.*

Consistent with the General plan, Pi provides a desired housing option for young couples, young families, working professionals, and empty nesters, who do not want yard maintenance responsibilities, but want a single-family home feel, in a community with a sense of place provided with a well-appointed common area. Rental townhomes provide for longer-term occupancies that allow for stronger and safer communities.

Pi balances economic demands for affordable housing options with high quality architectural style, which will be easy to maintain over time. Pi will create a micro-neighborhood that is consistent with the Neighborhood Character Plan and will bring new customers for local neighborhood businesses.

Pi is the right development for this location and should have wide community support.

Zoning and General Plan Requirements Table and PAD deviations

As noted, we are seeking a rezoning to RM-4 PAD to bring a very high quality, “missing middle” housing option to an area of Mesa with multiple challenges.

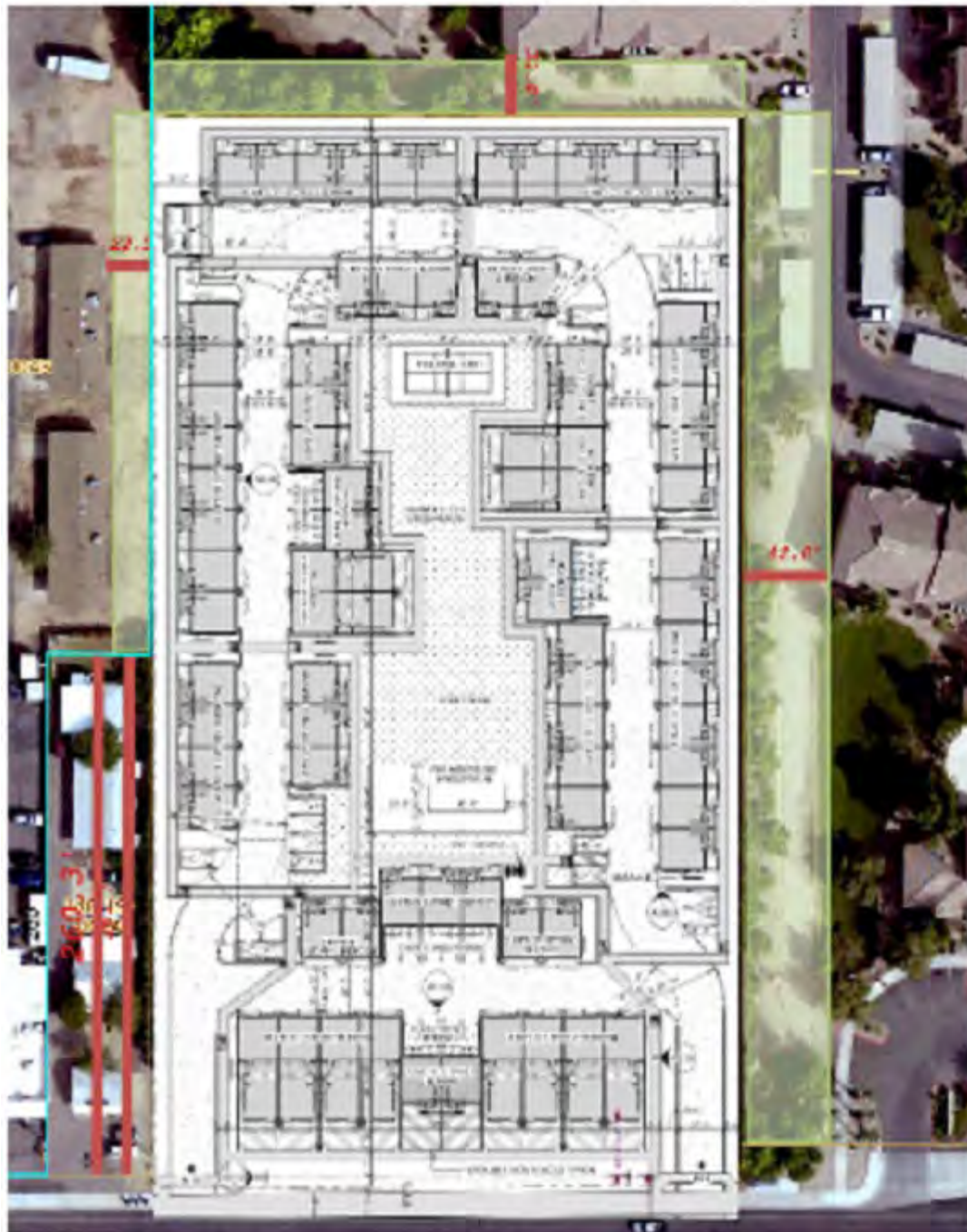
"PI" 4140 E Main RM-4 PAD Request Table				
Table 11-5-5: Development Standards- RM Residential Multiple Dwelling Districts				
Standard	RM-4 Requirement	RM-4 PAD Provided	Deviation requested	Deviation Rationale Key
Minimum Lot Area (sq.ft.)	6,000	159,001 (3.65 AC)	No	

Minimum Lot Width (ft.) (multi-res.)	60	300	No	
Minimum Lot Depth (ft.) (multi-res.)	94	530	No	
Maximum Density (dwelling units/per acre)	30 (109 allowed)	22 (80 proposed)	No (28% Under max.)	
Minimum Density (dwelling units/per acre)	-	-	-	-
Minimum Lot Area per dwelling unit (sq.ft.)	1,452	2,038	No	-
Maximum Height (ft.)	40	30	No	-
Maximum Lot Coverage (impervious surface) (% of lot)	70%	65%	No	-
Minimum Yards (ft.) (NC (C-1) Table)				
Min. Front/Street Facing	30	20'	Deviation Requested	
Min. Interior Side/Rear				
1st Story	15	15' N, E, W	Deviation Requested	1, 3, & 5
Each Additional Story (15 ft.)	30,45	15' N, E, W	Deviation Requested	1, 3, & 5
Min. Separation Between Buildings on the same lot				
1-story	30	N/A		-
2-story	30	19'-11" at drive aisles; End unit townhome to end unit TH lowest distance is 15'	Deviation Requested	1 & 4
3-story	35		Deviation Requested	1 & 4
Maximum Building Coverage (% of Lot)	65	12- 2-story 3 bdrm- 1,128 SF/ea	-	
		Total- 13,536 SF	-	
		68- 3-story 2 bdrm- 527 SF/ea	-	
		Total- 35,836 SF	-	
		Grand Total- 49,372 SF	-	
		31%	No	1

Private open space required 2 bedroom- 100 SF; 3 bedroom- 120) Ground level no dimension less than 10 ft.; above ground no dimension less than 6 ft. and 8 ft.		4 qty. interior 2-story 3-bedroom, ground floor- 206 SF each	No (exceeds by 80 SF)	
		8 qty. Street fronting 2-story 3-bedroom-ground floor 180 SF each	No (Exceeded by 60 SF)	
		2 qty. Street fronting 3-story 2-bedroom-ground floor 290 SF	No (exceeded by 190 SF)	
		66 qty. interior 3-story 2-bedroom-ground flr 57 SF, 2nd flr balcony- 56 SF, 3rd flr balcony 56 SF- total- 169 SF	Deviation for minimum dimensions. Total exceeds required	
Common Open Space		26,223 SF		
Minimum Open Space per unit (sq. ft./unit)	150 SF * 80 = 12,000 SF	Private- 13,998 SF; Common- 26,223 SF		
		TOTAL- 40,221 SF	No (Exceeded by 300%+)	
* Per Unit Open space provided		500 SF		
Front door covered area (SF)	50	63	Deviation Requested	6
Garages- 2 car	22' L x 20'W	22' L x 20'W	No	
Garage door Recess	3'	3'		
Multiple Garage Doors in a row	3	5	Deviation requested	7
Parking 2.1 per unit (2.1 x 80 = 168)	168	193	No	
Garage parking		160		
Visitor parking		15		
Tenant Private parking		18		
Sidewalk on sides of entry drive aisle	Both	One only	Deviation	3 & 5

We offer the following rationales/supports for our specific PAD requests (see Table for applicability)

1. The proposed density is 28% percent less than the allowed density for RM-4, and the building lot coverage is less than half what is allowed. The significantly lower density shows the owner choses quality over quantity.
2. x
3. This project follows our firms design belief that it is better to provide larger, usable amenity spaces, as opposed to creating wide perimeter landscape areas that will not be enjoyed but by a few of the residents. This project provides 500 SF per unit of usable open space, this shows the reduction is not about placing more units it is about the highest and best use (quality) of the available square footage. To offset some of the buffering effect lost to the reallocated landscape area we are providing additional landscape plants and trees, including a total of quantity of 55 – 24-inch Box Trees, 27 more than area required. The additional plantings also offset the installation of sidewalk on only one side of the entry drive aisles The additional plantings provide enhanced shading for adjacent units, enhanced screening from the neighboring properties and exemplify the quality of the development. Additionally, setbacks to adjacent property structures are as follows, on east side 42 feet, on north side 32 feet and 22 feet for the north half of the west side. See Figure Existing Setbacks, below.
4. For decreased building to building set-backs- the development is for non-stacked, attached single-family dwelling units under the 2018 IRC. All units will have 13R fire suppressions systems and required unit to unit separation. End unit setbacks provided are the same as those found in current single-family home developments. Where required by code fire-rated exterior walls will be provided.
5. *The design of the project affords future residence 500 SF of open space, 3 times the required 150. This includes multiple private space options- yard plus balconies, and a large central amenity space with multiple options. Additional features are being considered.*
6. The chosen design aesthetic works best with a relocation of the entry coverage to the center of the building mass. The required 50 feet is provided by the 2nd floor balcony and is offset from the front door about 2 feet.
7. Required 3-foot recess at garage door- the design calls for second and third floor projections of the living area over the garages, the length and depth vary creating visual interest that reduces the impact of the garage door mass. Garage doors also include half glass windows in all vertical panels, the side the windows occur on varies throughout the project providing breaks in the massing of the garage doors. Garage doors match other red metal elements.
8. Private open space dimension minimums deviations requested. Total private space per unit exceeds minimum amount of 100 SF by 69 SF with an average of 56 SF at all three levels.



Existing Setbacks

Alternate Compliance: “Site Planning and Design Standards are not intended to limit creative solutions.”

Façade Detailing and Materials: One of atmosphere architect’s goals is to introduce exciting, creative, and diverse 2020’s modern designs to the city. The Alan’s cutting edge minimalist architecture created highly sought after living places for Mesa’s missing middle. Pi’s Japanese inspired minimalist façade detailing is an integrated composition. Along the right of way, the repetitive white squares are the rhythm and the single red square with the pi symbol is the harmony. The variation of strong color set back and framing those squares is an essential part of the holistic design.

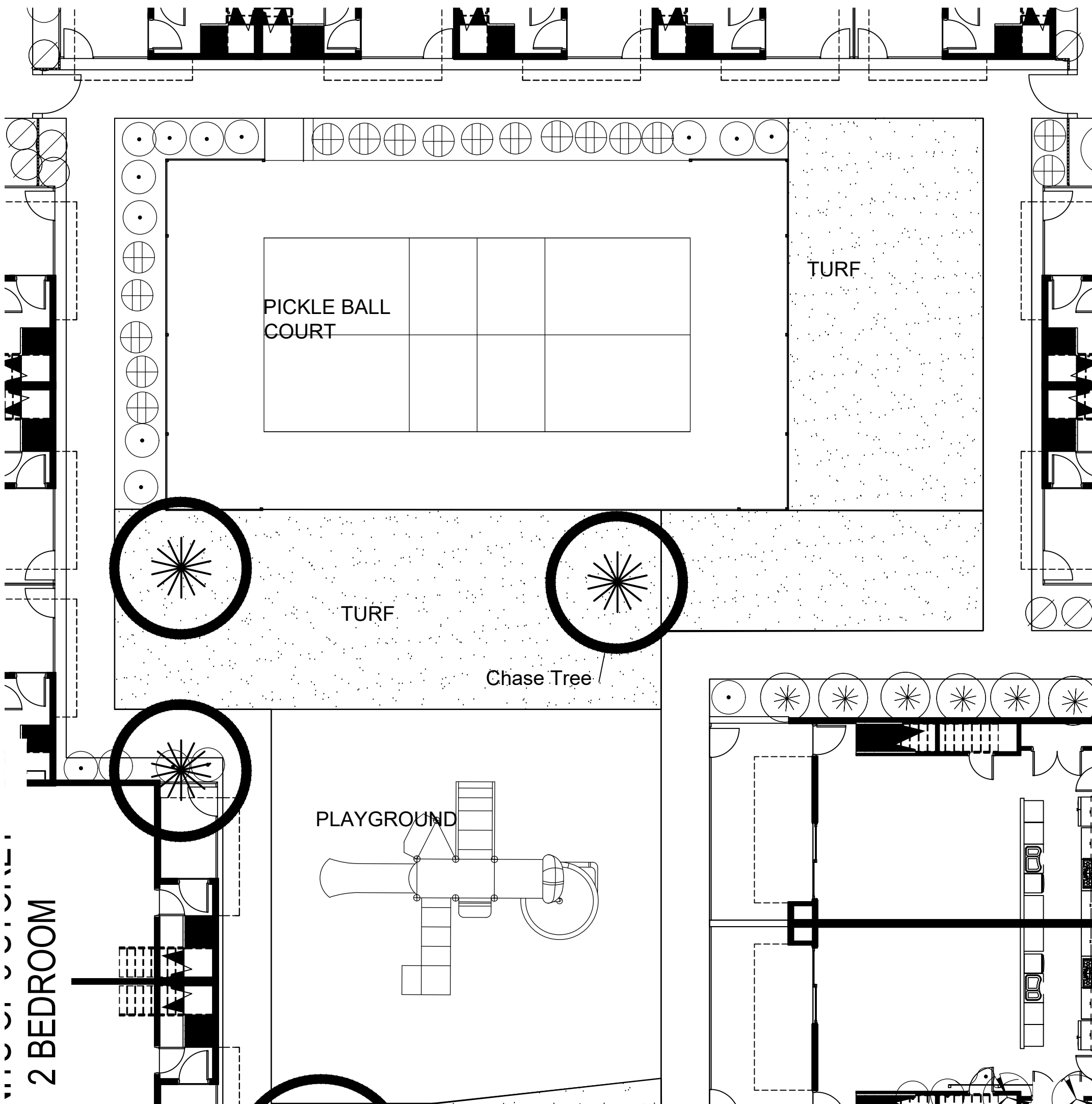
Variable Roof Form: In the elevations, the roof plane appears flat, but because of the articulation along the front from perspective it has significant variation in the roof form. We request alternate compliance to allow it to look flat in the elevations because nobody actually sees a building flattened as it looks in an elevation.



Balconies and projections and recesses: The recessed border around the units creates a large-scale projection and recess. The square shapes of the three-story units have balconies behind them, an “outside private” space. There are substantial ins and outs of the facades of the buildings, designed around the theme of squares that give the project its identity.

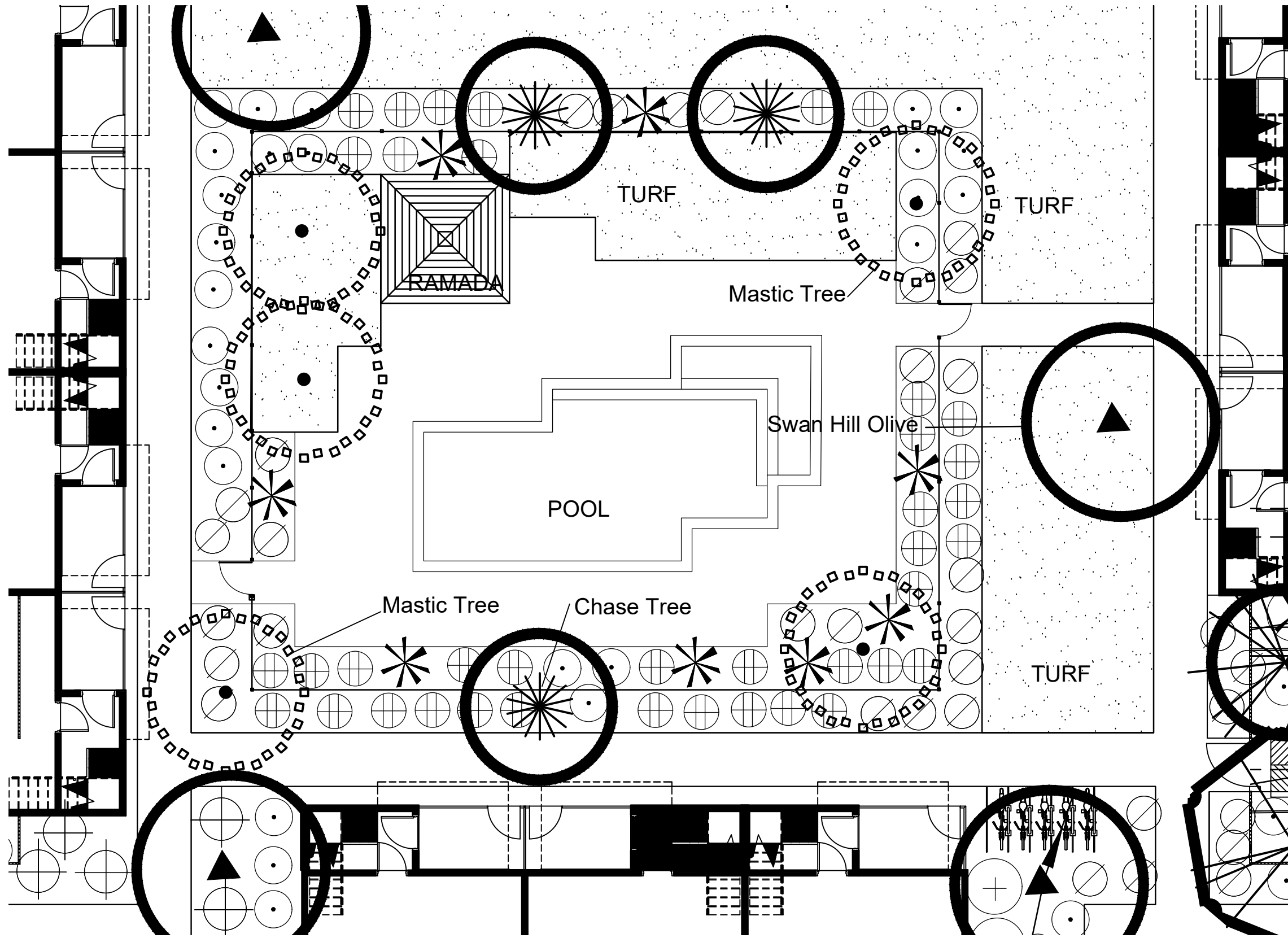
Garage Doors: To create a holistic designed site that is efficient in its use of space and minimizes asphalt, and to break up the repetitive nature of garage doors in modern projects like these, garage doors are a red metal that matches metal elsewhere on the building. They are a critical element of the repetitive architectural design - the “beat” behind the melody of the trees and additional landscape that is common to popular, modern Japanese inspired minimalist aesthetics. They are not something that needs to be hidden - they are part of the art. The drive aisles doors have windows along one side, and those garage windows are mirrored every other unit, which takes cues from the spacing between the squares found elsewhere on the units. Further, the balconies above the garage doors have additional undulation to avoid being too brutalist – too stark in appearance. The cadence of longer drive aisles are broken up with walkways and three-story units with personal parking spaces.

Materials: (wood) Wood shown in the project will be synthetic wood designed for longevity in Mesa’s significant summer sunlight.



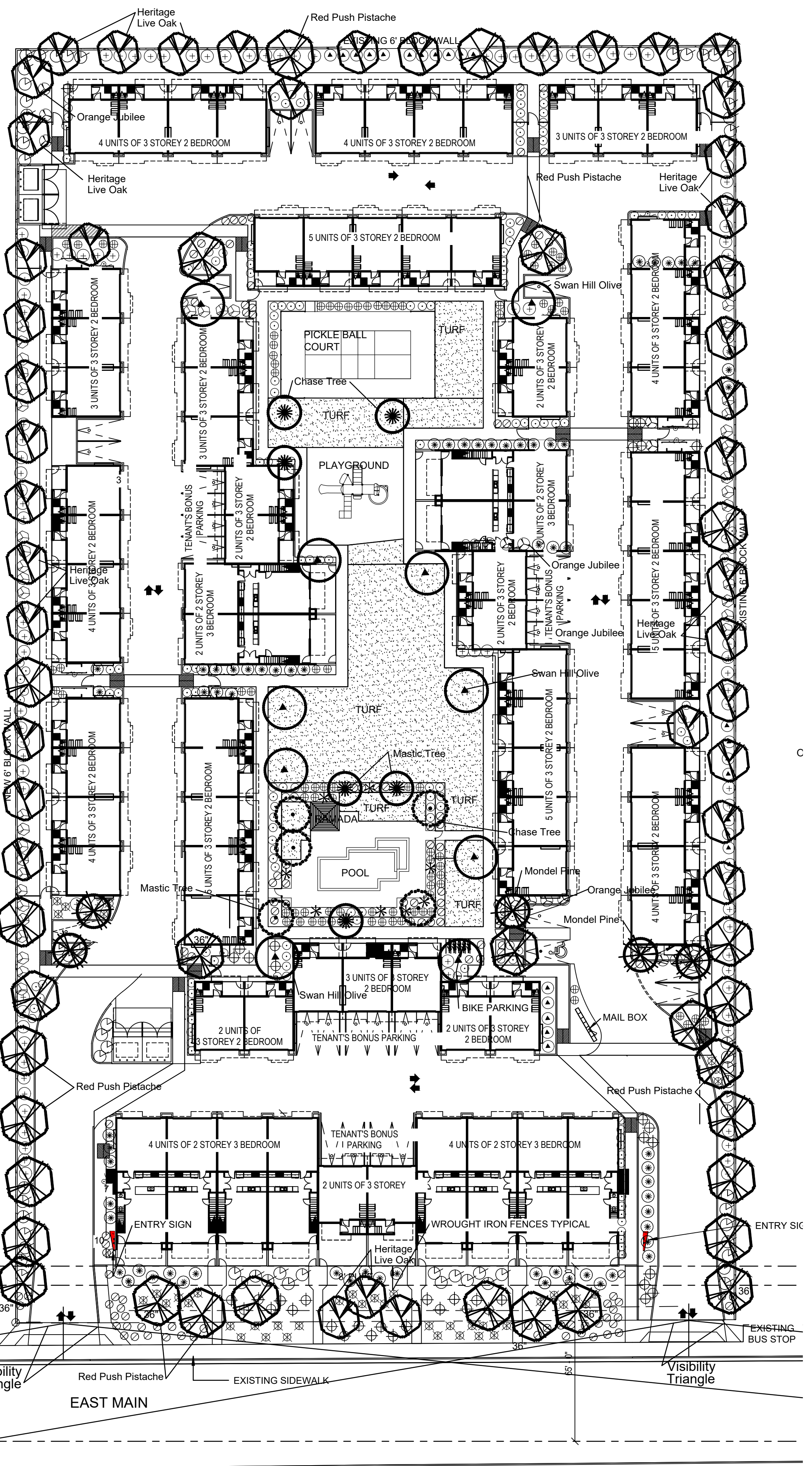
PICKLE BALL / PLAYGROUND AREA
LANDSCAPE PLAN

SCALE 1"=10'-0"



POOL AREA LANDSCAPE PLAN

SCALE 1"=10'-0"



OVERALL LANDSCAPE PLAN

SCALE 1"=30'-0"

PLANT MATERIAL LEGEND				
KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, & Caliper)	
TREES				
1		Olea europaea 'Swan Hill' Swan Hill Olive	24" Box 10' 4" 1.25"	36" Box 15' 10' 3" Double-Staked Typ.
2		Pistacia a. 'Red Push' Red Push Pistache	24" Box 10' 4" 1.5"	Double-Staked Typ.
3		Pistacia lentiscus Mastic Tree	24" Box 9' 4" 1.25"	36" Box 12' 8" 3" Double-Staked Typ.
4		Vitex anhus-castus Chase Tree	24" Box 9' 4" 1.25"	36" Box 13' 10' 2.5" Double-Staked Typ.
5		Pinus eldarica Mondel Pine	24" Box 10' 4" 2"	36" Box 15' 5" 4" Double-Staked Typ.
6		Quercus virginiana Heritage Live Oak	24" Box 9' 4" 1.25"	36" Box 13' 8" 2.75" Double-Staked Typ.
SMALL PALMS				
7		Cycas revoluta Sago Palm	15 Gallon	
LARGE SHRUBS				
8		Photina fraseri Photina	5 Gallon	
9		Leucophyllum laevigatum Chihuahuan Sage	5 Gallon	
10		Olea europaea 'Little Ole' Little Ole	5 Gallon	
11		Nerium o. 'Petite Pink' Petite Pink Oleander	5 Gallon	
12		Xylosma congestum 'compacta' Xylosma	5 Gallon	
MEDIUM AND SMALL SHRUBS				
13		Carissa grandiflora Green Carpet Natal Plum	5 Gallon	
14		Rosmarinus officinalis 'Prostratus' Dwarf Rosemary	5 Gallon	
15		Callistemon c. 'Little John' Little John Bottle Brush	5 Gallon	
16		Muhlenbergia capillaris "Regal Mist" Regal Mist Deer Grass	5 Gallon	
17		Rhaphiolepis indica India Hawthorn	5 Gallon	
18		Nandina domestica Heavenly Bamboo	5 Gallon	
GROUNDCOVERS				
19		Ruellia brittoniana 'Katie' Katie Ruellia	1 Gallon	
20		Lantana m. 'New Gold' New Gold Lantana	1 Gallon	
21		Nandina d. 'Nana Compacta' Nana Nana Bamboo	1 Gallon	
ACCENTS				
22		Tecoma 'Orange Jubilee' Orange Jubilee	5 Gallon	
23		Ficus pumila Creeping Fig	5 Gallon	
LANDSCAPE MATERIALS				
24		Decomposed Granite Desert Gold	1/2" size screened 2" Deep	
25		Surface Select Granite Boulders	5 tons of various size boulders	
26		Concrete Header	4" x 6", Curbstyle 2" Deep	
27		Midiron Bermuda	Sod	

PLANT CALCULATIONS

STREET RIGHT-OF-WAY LANDSCAPING:		
Linear Feet of Frontage— 260'		
Trees required— 11 (1 Trees per 25 Linear ft.)	Trees provided—	11
Shrubs required— 66 (6 Shrubs per 25 Linear ft.)	Shrubs provided—	66
ADJACENT PROPERTY LINE LANDSCAPING:		
Linear Feet of Adjacent Property Line— 1364'		
Trees required— 55 (1 Trees per 25 Linear ft.)	Trees provided—	55
Shrubs required— 220 (4 Shrubs per 25 Linear ft.)	Shrubs provided—	242
PARKING LOT LANDSCAPING:		
Total Parking Islands—12		
Trees required— 12 (1 Tree per 15' Parking Island)	Trees provided—	12
Shrubs required— 36 (3 Shrubs per 15' Parking Island)	Shrubs provided—	42
PLANT SIZE:		
STREET RIGHT-OF-WAY		
24" Box Trees Required — 3 (Min. 25% of required trees)	Provided —	7
36" Box Trees Required — 3 (Min. 25% of required trees)	Provided —	4
ADJACENT PROPERTY LINE		
24" Box Trees Required — 28 (Min. 50% of required trees)	Provided —	55
PARKING LOT		
36" Box Required — 1 (Min. 10% of required parking lot trees)	Provided —	1
24" Box Required — 11 (All trees other than required 36" box trees)	Provided —	11

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4140 MAIN APARTMENTS

4140 E. Main
Mesa, Arizona

LANDSCAPE PLAN

Job No.: 22051
File: 22051XP
Drawn: DRC
Checked: DRC
Scale: PER PLAN
Date: 03.23.23

Revisions:

Sheet Number
L1.0

OWNER
DOLLY YARDEN LLC
4140 E MAIN ST
MESA, AZ USA 85205

ENGINEER
NPS MARICOPA INC
659 NORTH LAFAYETTE MESA, AZ 85201
TEL: 480.201.5476
EMAIL: TOM.HAWS@GMAIL.COM

SURVEYOR
AW LAND SURVEYING, LLC
P.O. BOX 2170,
CHANDLER, AZ, 85244
(480) 244-7630

DATE SURVEYED JUNE 6, 2022

PROJECT DATA
ASSESSOR'S PARCEL NUMBER : 140-19-010,
ZONING DIST. : LC
PROPOSED ZONING : RM-4 PAD
PROJECT ADDRESS : 4140 E MAIN ST MESA 85205
YEAR BUILT : VACANT

PROJECT AREAS
FOOTPRINT OF BUILDINGS
3-STORY-2-BDRMS
2-STORY-3-BDRMS
TOTAL BUILDING FOOTPRINT
GROSS SITE AREA
LANDSCAPED AREA
CONSTRUCTION TYPE
PROJECT DENSITY

527 SF GROUND FLOOR
544 SF SECOND FLOOR
660 SF THIRD FLOOR
1128 SF EACH (GROUND FLOOR)
660 SF SECOND FLOOR
527*68+1128*12=49,372 SF
159,001 SF (3.65 ACRES)
49,000-51,000 SF
V-B
22/AC

PRELIMINARY WATER REPORT

THE DOMESTIC AND LANDSCAPE WATER METERS (1 EACH) WILL CONNECT TO THE EXISTING 6" ACP WATER ON THE NORTH SIDE OF MAIN STREET.

THE FIRE HYDRANT LOOP WILL BE PRIVATE AND WILL CONNECT WITH BACKFLOW PREVENTER TO THE EXISTING 6" ACP WATER ON MAIN STREET AND THE EXISTING 8" WATER ON THE EAST NEIGHBOR.

PRELIMINARY SEWER REPORT

FLOW
THE SEWER WILL BE PRIVATE 8" LINES WITH MANHOLES. THE SEWER FLOW AND CAPACITY ARE ESTIMATED BELOW:

BY POPULATION
POPULATION = (12 UNITS * 3 BEDROOMS + 68 UNITS * 2 BEDROOMS) * 100% OCCUPANCY * 1.2 PERSON PER BEDROOM = 207 PEOPLE
AVERAGE DAILY FLOW = 207 PEOPLE * 70 GPCPD = 14,490 GPD

BY FIXTURE UNITS
FIXTURE UNITS = 11 PER UNIT * 80 UNITS = 880 F.U.
ALLOWED 1,400 FIXTURE UNITS PER IPC. OK.

CAPACITY
8" PVC SEWER CAPACITY AT 0.5% (1/6 INCH PER FOOT) WITH N=0.009 IS 1.24 CFS = 0.80 MGD = 556 GPM.
ALLOWABLE PEAKING FACTOR = 800,000 GPD / 14,490 GPD = 55. OK.

STORAGE IN SEWER = 1300 LF * 0.35 SF = 455 CF = 3400 GALLONS. OKAY.

DRAINAGE REPORT

FLOODPLAIN
THIS PROPERTY LIES WITHIN ZONE "X" AS SHOWN ON FEMA FIRM PANEL 04013C2290M REVISED ON NOVEMBER 4, 2015. ZONE "X" DENOTES AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

ON-SITE FLOWS
ALL ON-SITE FLOWS WILL BE RETAINED BY THE DESIGNED COMBINATION OF RETENTION BASINS AND UNDERGROUND RETENTION SYSTEM. THE VOLUME WILL BLEED OFF THROUGH AN ORIFICE AND A DRAINAGE PIPE INTO THE CITY STORM DRAIN SERVICE AVAILABLE NEAR THE SITE.

OFF-SITE FLOWS
PROPERTIES TO THE NORTHEAST AND EAST (UPSTREAM SIDE) OF THE SUBJECT PROPERTY ARE ALREADY DEVELOPED AND IT IS EXPECTED THAT 2-HR 100-YR STORMS HAVE BEEN RETAINED ON RESPECTIVE PROPERTIES. TO THIS END, NO OFFSITE FLOWS WILL IMPACT THE SUBJECT SITE.

RETENTION SYSTEM SUMMARY
VOLUME REQUIRED = (P/12)*A*C
C=RUNOFF COEFFICIENT
P=2.15 INCHES (NOA)
STANDARD DEPTH REQUIREMENT BY COM, P = 2.2 INCHES, (ENGINEERING AND DESIGN STANDARD MANUAL SECTION 806.4)
A_{TOP}=181,231 SQ FT (ENTIRE SITE AND HALF STREETS)
A_S=37,315 SQ FT
A_{UP}=143,916 SQ FT
C_S=0.5
C_{UP}=0.95
C_{WEIGHT}=0.86
V_{REQ}=(2.2/12)*181,231*0.86=28,486 CU FT

VOLUME PROVIDED						
RETENTION BASIN	BOTTOM ELEV. (FT)	BOTTOM AREA (SF)	HW ELEV. (FT)	HW AREA (SF)	DEPTH (FT)	VOLUME CAPACITY (CF)
BASIN A1	1301.2	328	1302.2	580	1	454
BASIN A2	1301.2	20	1302.2	394	1	207
BASIN A3	1301.2	374	1302.2	903	1	639
BASIN A4	1301.2	6475	1302.2	10327	1	8,401
BASIN A5	1301.2	60	1302.2	307	1	184
BASIN A6	1301.2	39	1302.2	210	1	125
BASIN A7	1301.2	243	1302.2	685	1	464
TOTAL BASIN VOLUME						10,473
CMP TANK VOLUME	DIAMETER	LENGTH	NUMBER			VOLUME
	10	230	1			18,071.43
TOTAL VOL PROVIDED						28,543.93
SURPLUS						58

VOLUME PROVIDED > VOLUME REQUIRED THUS OK.

MULTIFAMILY RESIDENTIAL DEVELOPMENT AT 4140 E MAIN ST

INFORMATION NOTES

- SES PANEL.
- MAIL BOX
- SIGN
- BIKE RACK.
- LANDSCAPED AREA.

GRADING AND PAVING NOTES

- DRIVEWAY PER COM STD DTL M-42.
- 4" VERTICAL CURB.
- CONCRETE PAVEMENT.
- 3 FT WIDE VALLEY GUTTER.
- 5 FT WIDE SIDEWALK.
- RAMP PER BUILDING PLANS.
- RETAINING WALL.
- ADA PARKING.
- ADA RAMP PER BUILDING PLANS.
- 3 FT WIDE CURB OPENING AND A CONCRETE SPILLWAY.
- 6 FT BLOCK WALL.
- WROUGHT IRON FENCE.
- RETENTION BASIN. DEPTH = 1 FT. SIDE SLOPES = 6:1 AT SIDEWALKS AND 4:1 AT SITE WALLS. SEE VOLUME PROVIDED TABLE ON THIS SHEET.

STORM DRAIN NOTES

- 6" EQUALIZATION PIPE. ENDS MITRED TO CONFORM WITH THE SLOPE.
- 6" STORM DRAIN.
- BLEED-OFF PIPE DRAINING INTO THE CITY STORM PIPE AT THE INTERSECTION OF MAIN STREET AND SULLEYS DRIVE. DRYWELL TO BE USED IF ALLOWED BY THE CITY.
- CATCH BASIN
- 10 FT DIAMETER X 230 FT LONG UNDERGROUND CMP RETENTION TANK.
- SLOTTED MANHOLE COVER

WATER NOTES

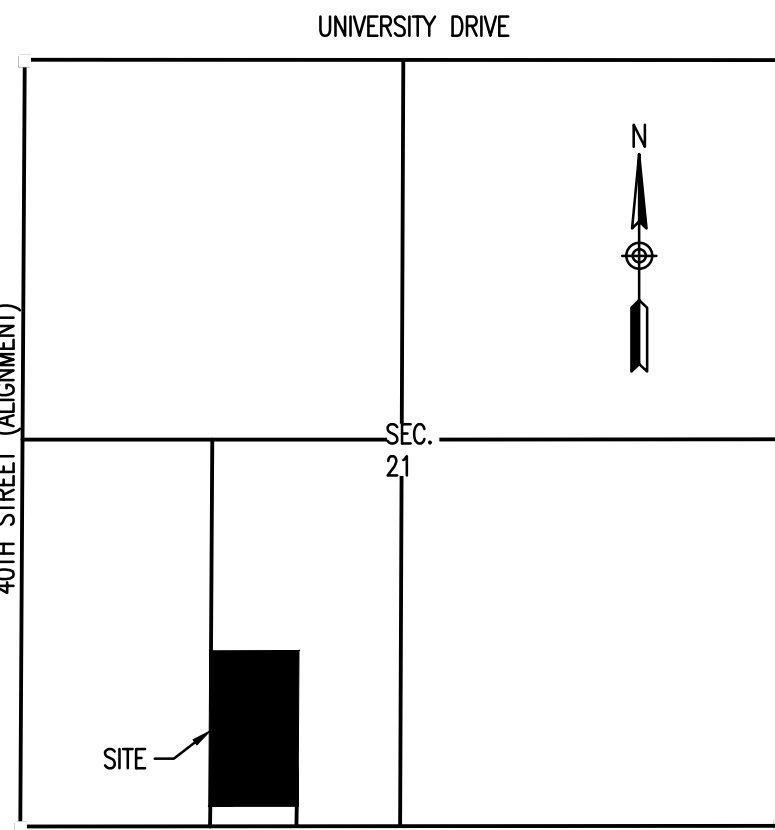
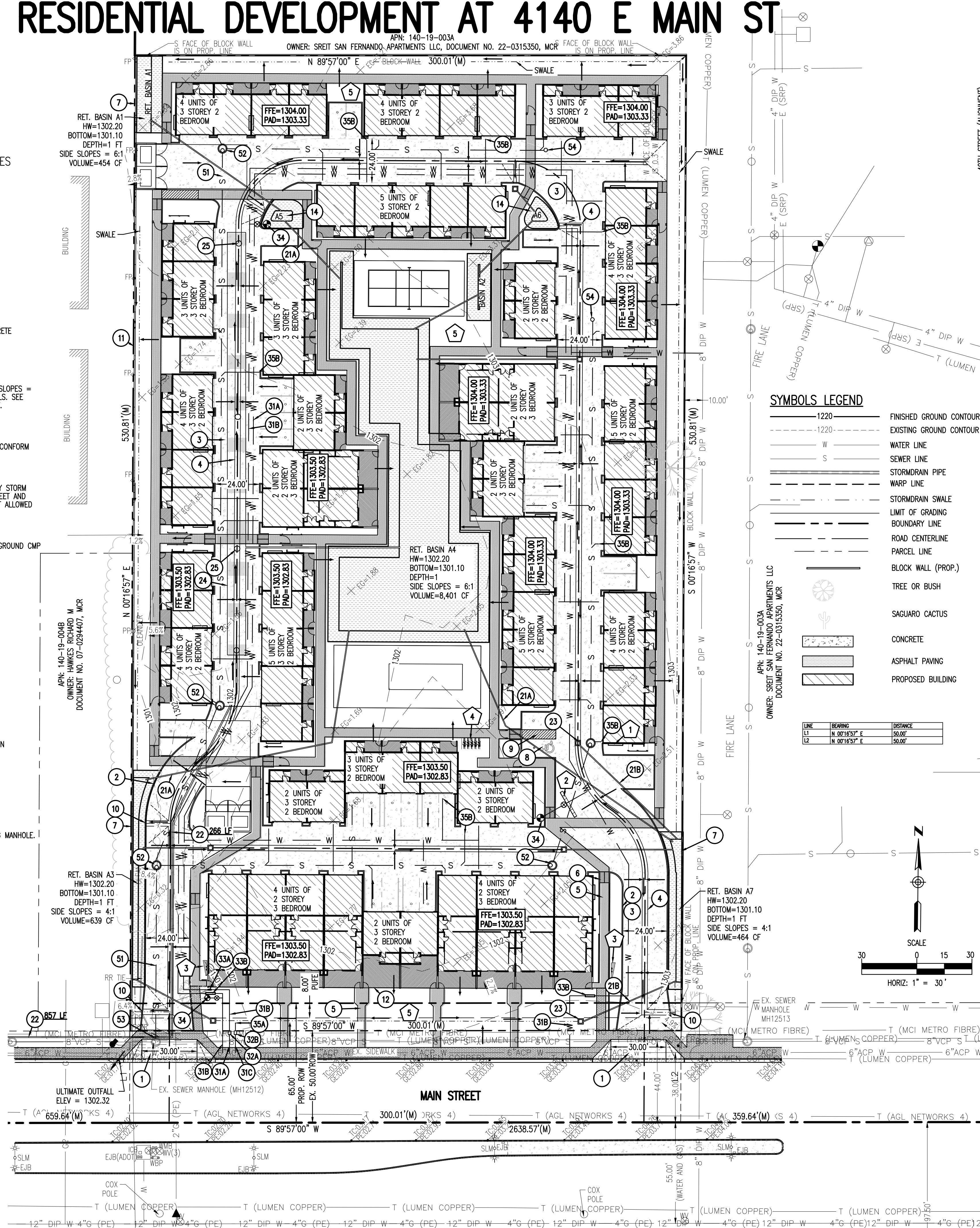
- DOMESTIC WATER LINE
- FIRE LINE
- LANDSCAPE LINE
- DOMESTIC METER
- LANDSCAPE METER
- DOMESTIC BFP
- FIRE LINE BFP
- FIRE HYDRANT AND VALVE
- SEE LANDSCAPE PLANS FOR CONTINUATION
- SEE PLUMBING PLANS FOR CONTINUATION

SEWER NOTES

- 8" SEWER LINE
- SEWER MANHOLE
- CONNECT PROPOSED 8" TO THE EXISTING MANHOLE.
- SEWER CLEANOUT.

ABBREVIATIONS

APN ASSESSOR PARCEL NUMBER
ABC AGGREGATE BASE COURSE
C CONCRETE
CF CU, FT
BC BACK OF CURB
CTR CABLE TV RISER
EJB ELECTRIC JUNCTION BOX
EX EXISTING
FFE FINISHED FLOOR ELEVATION
FL FLOW LINE
FP FENCE POST
ICB IRRIGATION CONTROL BOX
INV INVERT
LF LINEAR FOOT
(M) MEASURED
MCR MARICOPA COUNTY RECORDER
R/W RIGHT OF WAY
PL PROPERTY LINE
POB POINT OF BEGINNING
PP POWER POLE
(R) RECORD
RR RAILROAD TIE
TBM TEMPORARY BENCH MARK
SD STORM DRAIN
SF SQUARE FEET
SLM STREET LIGHT MAST
WV WATER VALVE
WVB WATER METER BOX
WBP WATER BACKFLOW PREVENTER
YR YEAR

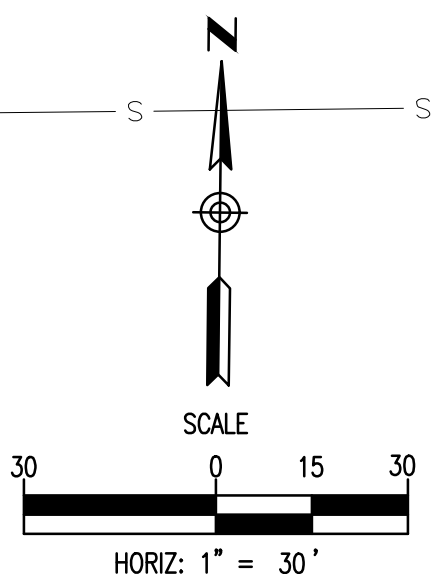


VICINITY MAP
NTS

SYMBOLS LEGEND

- 1220 FINISHED GROUND CONTOUR
- 1220- EXISTING GROUND CONTOUR
- W WATER LINE
- S SEWER LINE
- STORMDRAIN PIPE
- WARP LINE
- STORMDRAIN SWALE
- LIMIT OF GRADING
- BOUNDARY LINE
- ROAD CENTERLINE
- PARCEL LINE
- BLOCK WALL (PROP.)
- TREE OR BUSH
- SAGUARO CACTUS
- CONCRETE
- ASPHALT PAVING
- PROPOSED BUILDING

LINE	BEARING	DISTANCE
LT	N 00°16'57" E	50.00'
LT	N 00°16'57" E	50.00'



PRELIMINARY
NOT FOR
CONSTRUCTION

no.	date	description

4140 E MAIN STREET

4140 E MAIN STREET
MESA, AZ 85208

PROJECT NO: 22001
DATE: 09/15/22

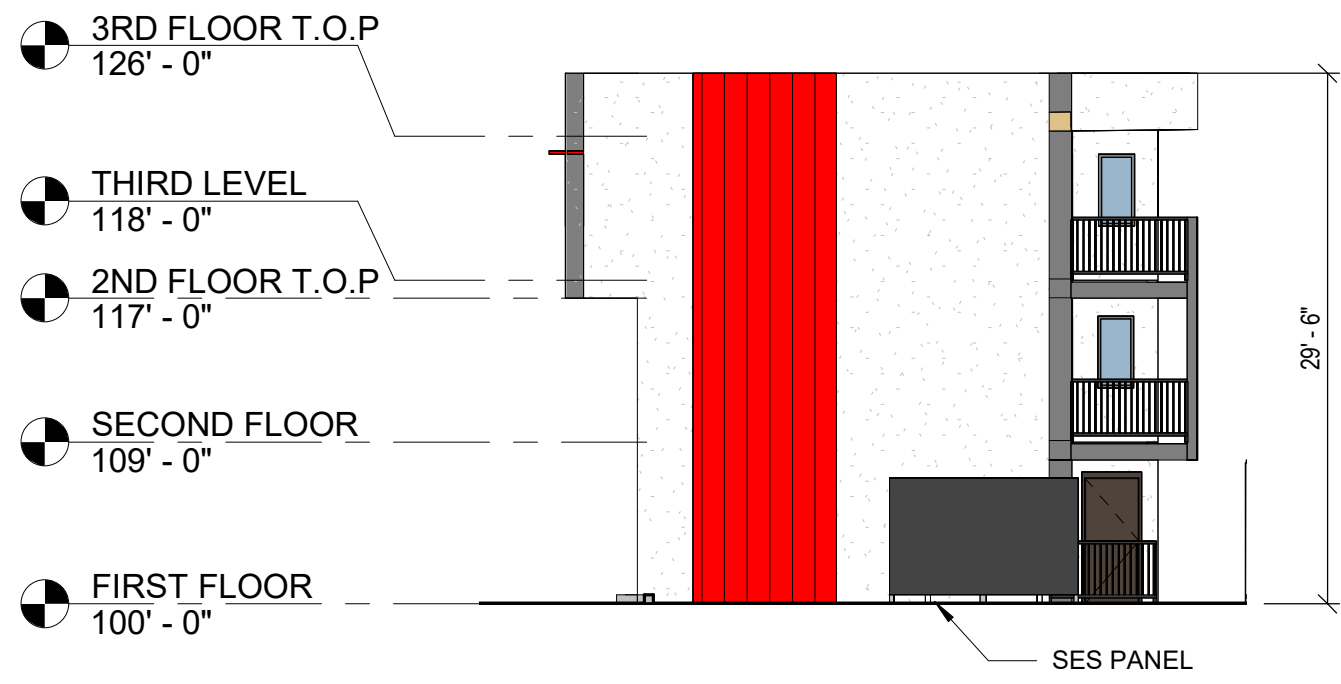


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mesa, az 85211

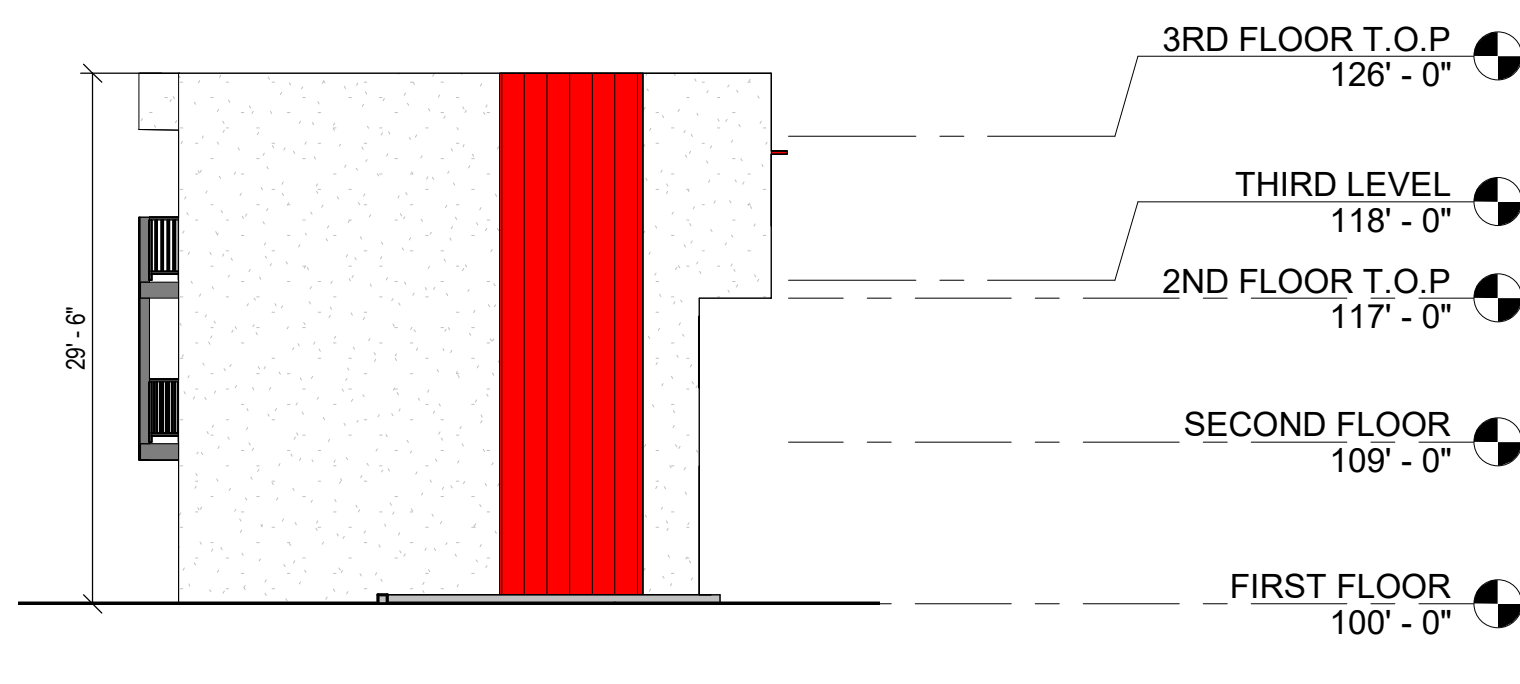
contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

PRELIMINARY
GRADING AND
DRAINAGE PLAN

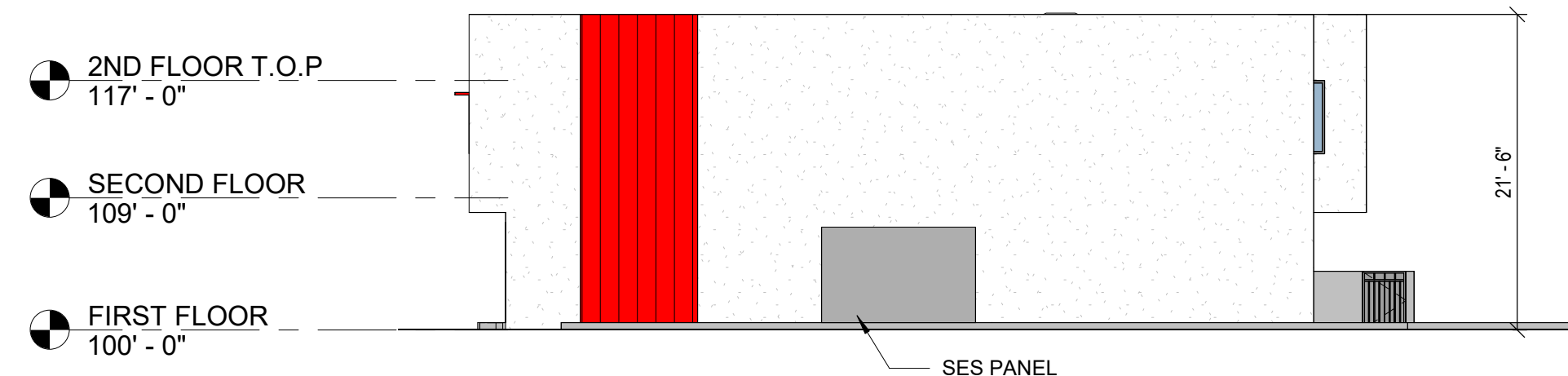
C001



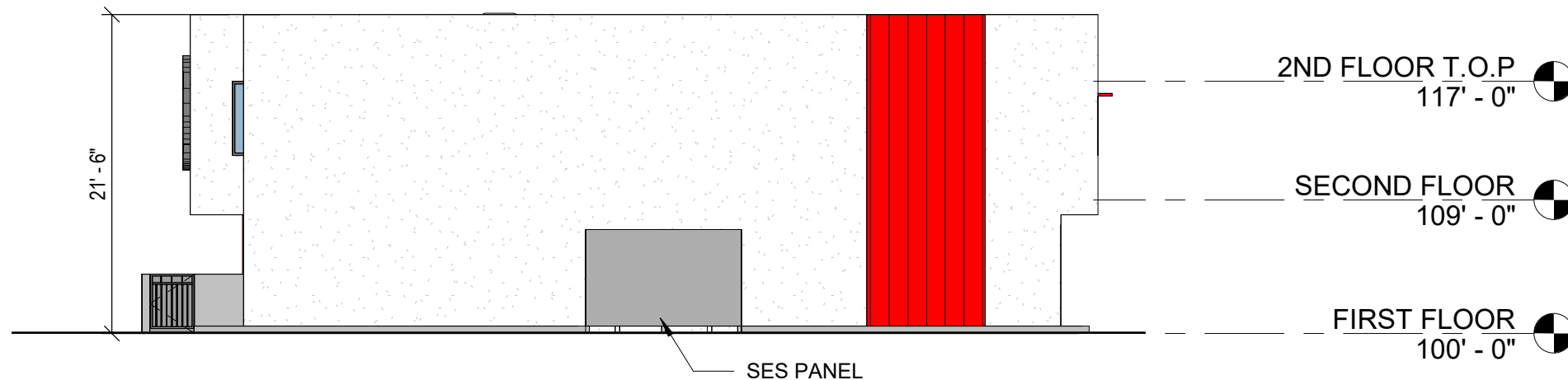
9 3 STOREY SES PANEL SIDE ELEVATION
3/32" = 1'-0"



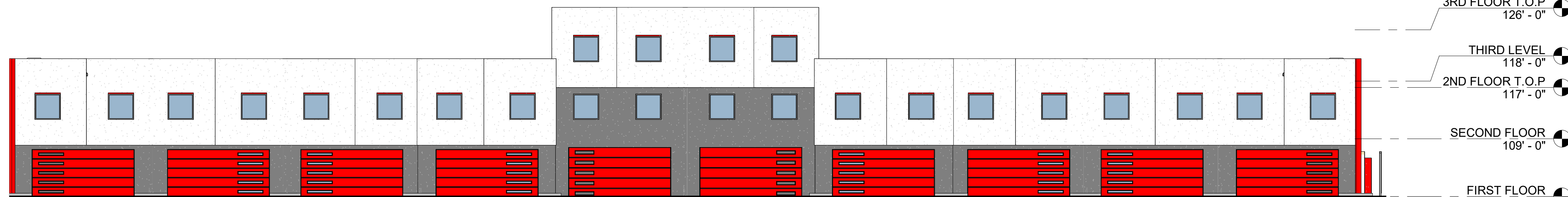
8 3 STOREY STAIR END SIDE ELEVATION
3/32" = 1'-0"



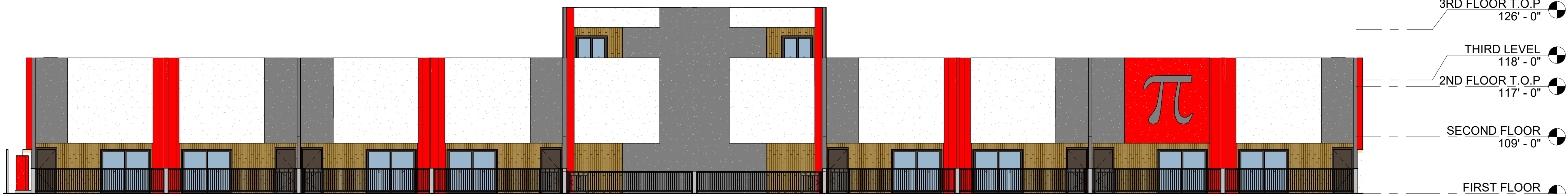
7 2 STOREY SES PANEL SIDE ELEVATION
3/32" = 1'-0"



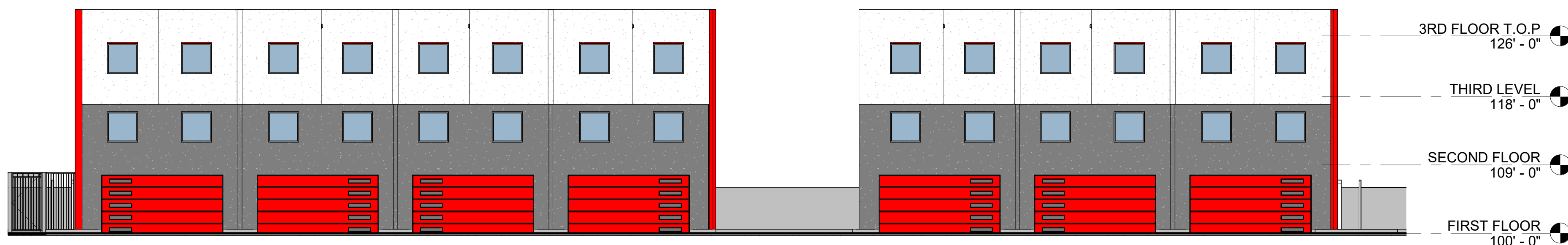
6 2 STOREY SIDE ELEVATION
3/32" = 1'-0"



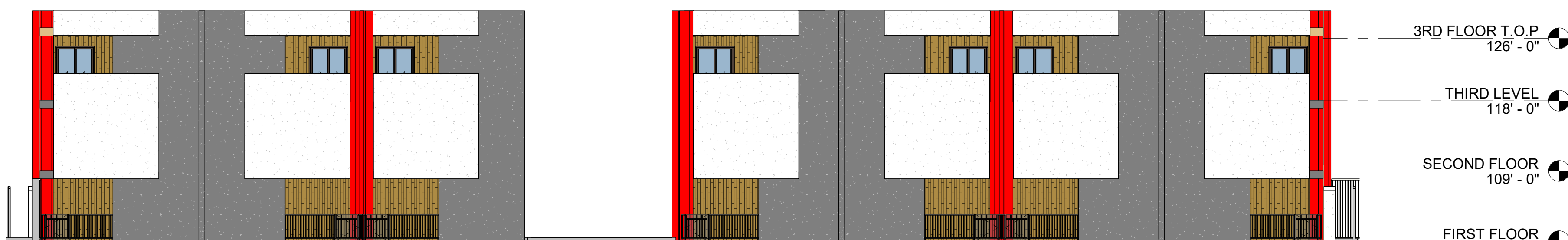
5 2 STOREY GARAGE SIDE ELEVATION
3/32" = 1'-0"



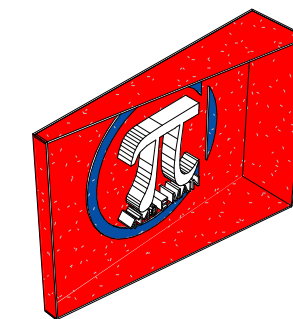
4 2 STOREY YARD SIDE ELEVATION
3/32" = 1'-0"



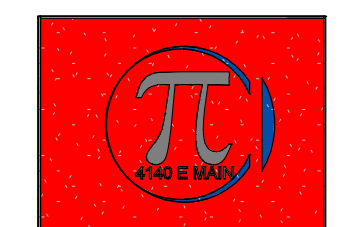
3 3 STOREY GARAGE SIDE ELEVATION
3/32" = 1'-0"



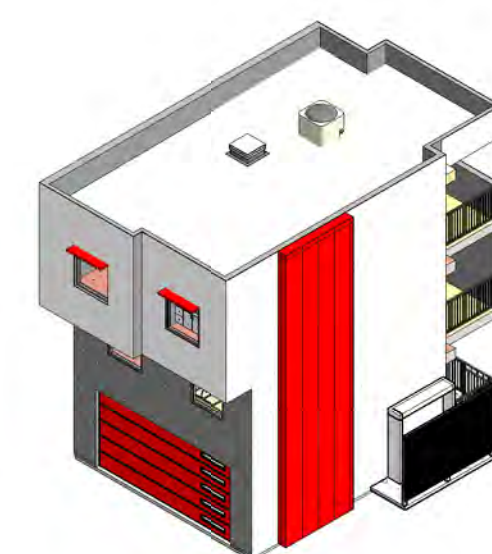
2 3 STOREY YARD SIDE ELEVATION
3/32" = 1'-0"



1 ENTRY SIGNAGE AXON



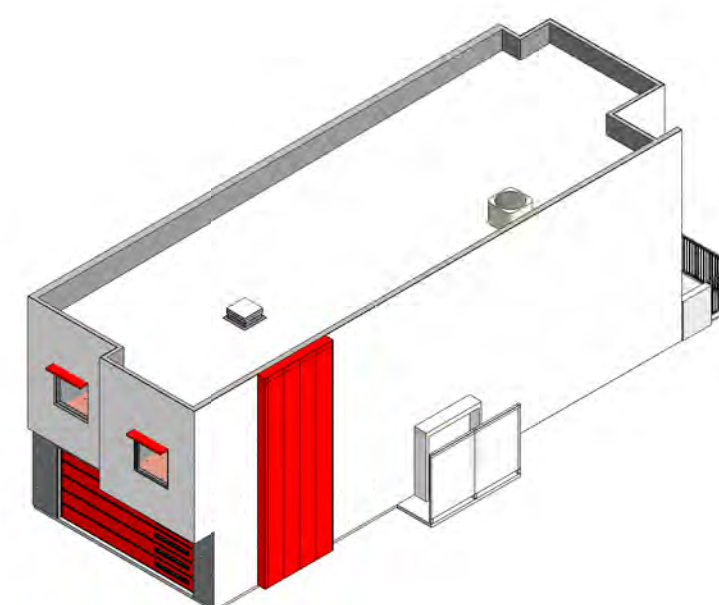
10 ENTRY SIGNAGE
3/16" = 1'-0"



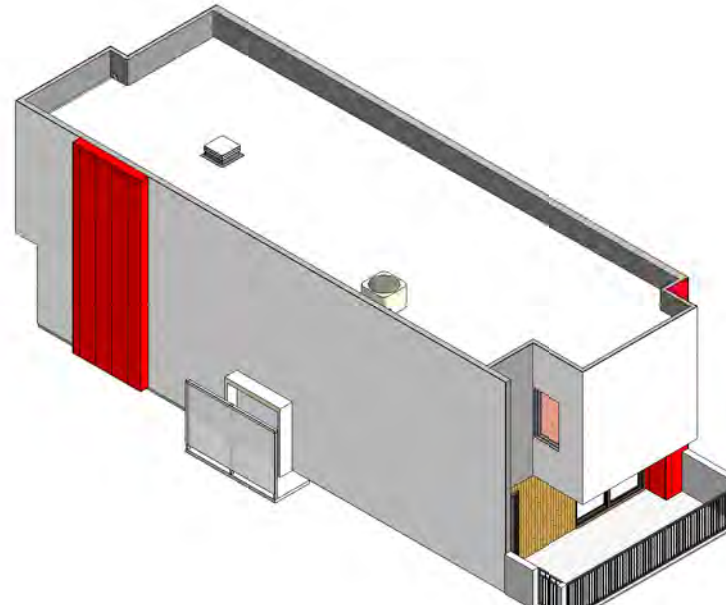
12 3 STOREY GARAGE SIDE 3D VIEW



11 3 STOREY YARD SIDE 3D VIEW



14 2 STOREY GARAGE SIDE 3D VIEW



13 2 STOREY YARD SIDE 3D VIEW

no.	date	description

4140 E MAIN STREET

4140 E MAIN STREET
MESA, AZ 85208

PROJECT NO: 22001
DATE: 03/28/2023

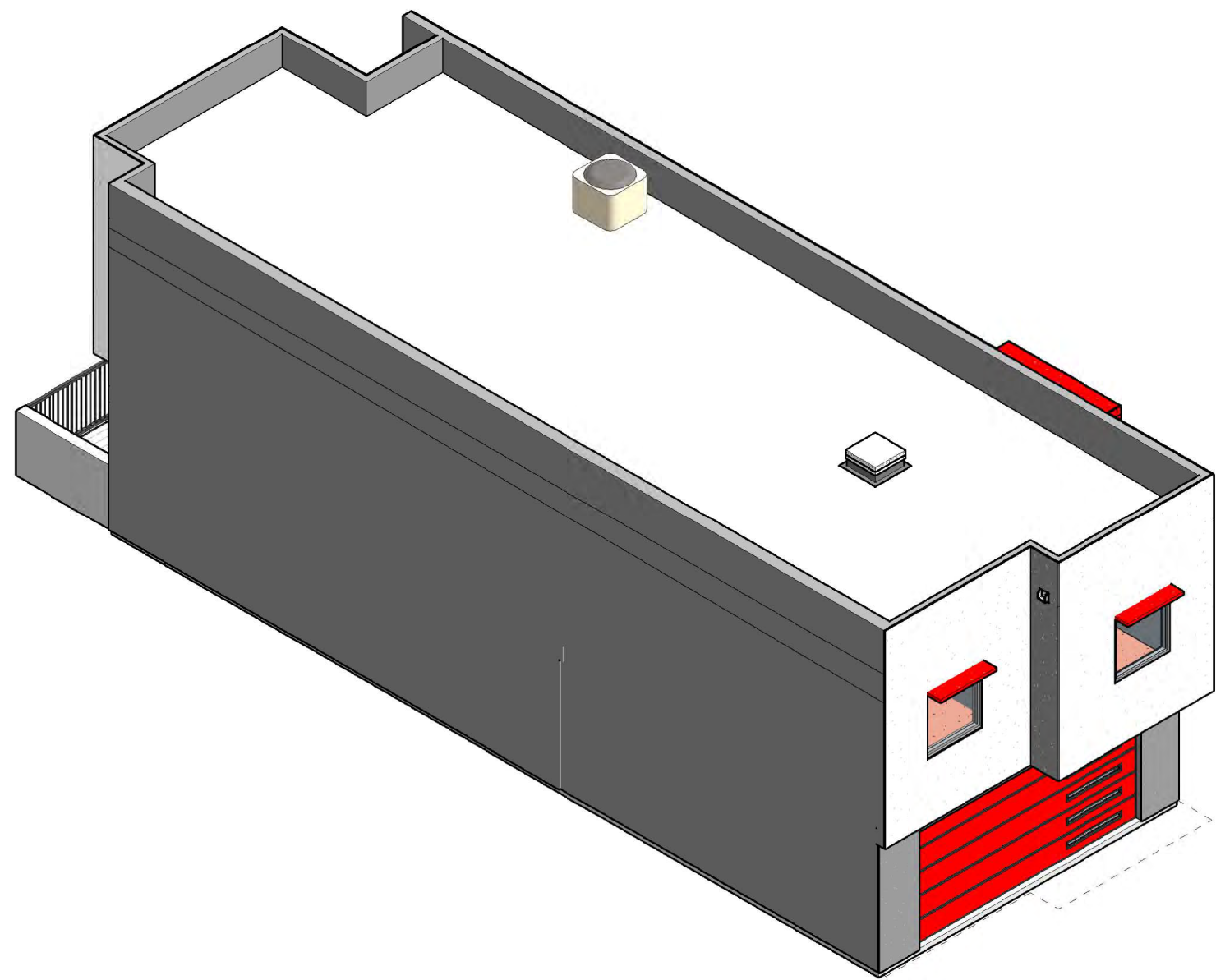


atmosphere architects
p.o. box 5267
mesa, az 85211

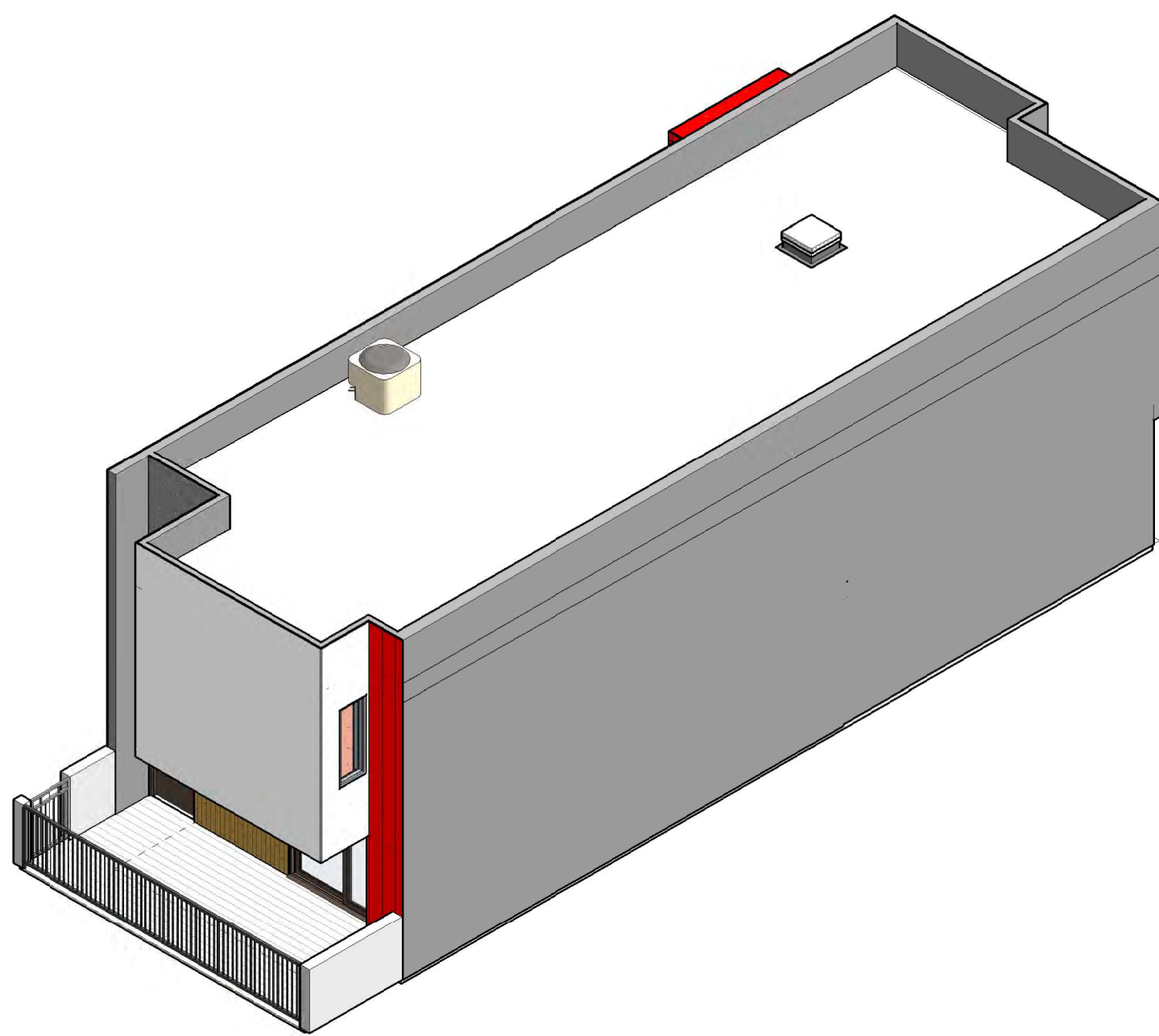
contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

SITE PLAN_STREET
ELEVATIONS

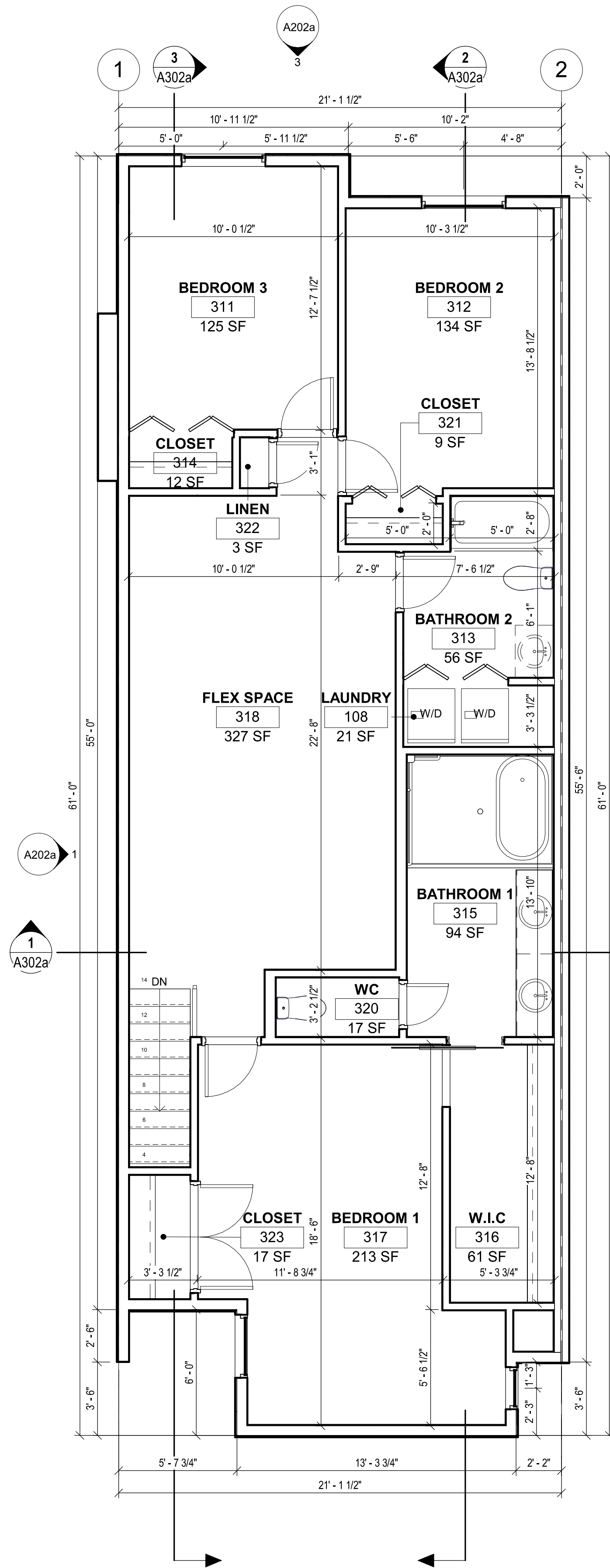
AS103



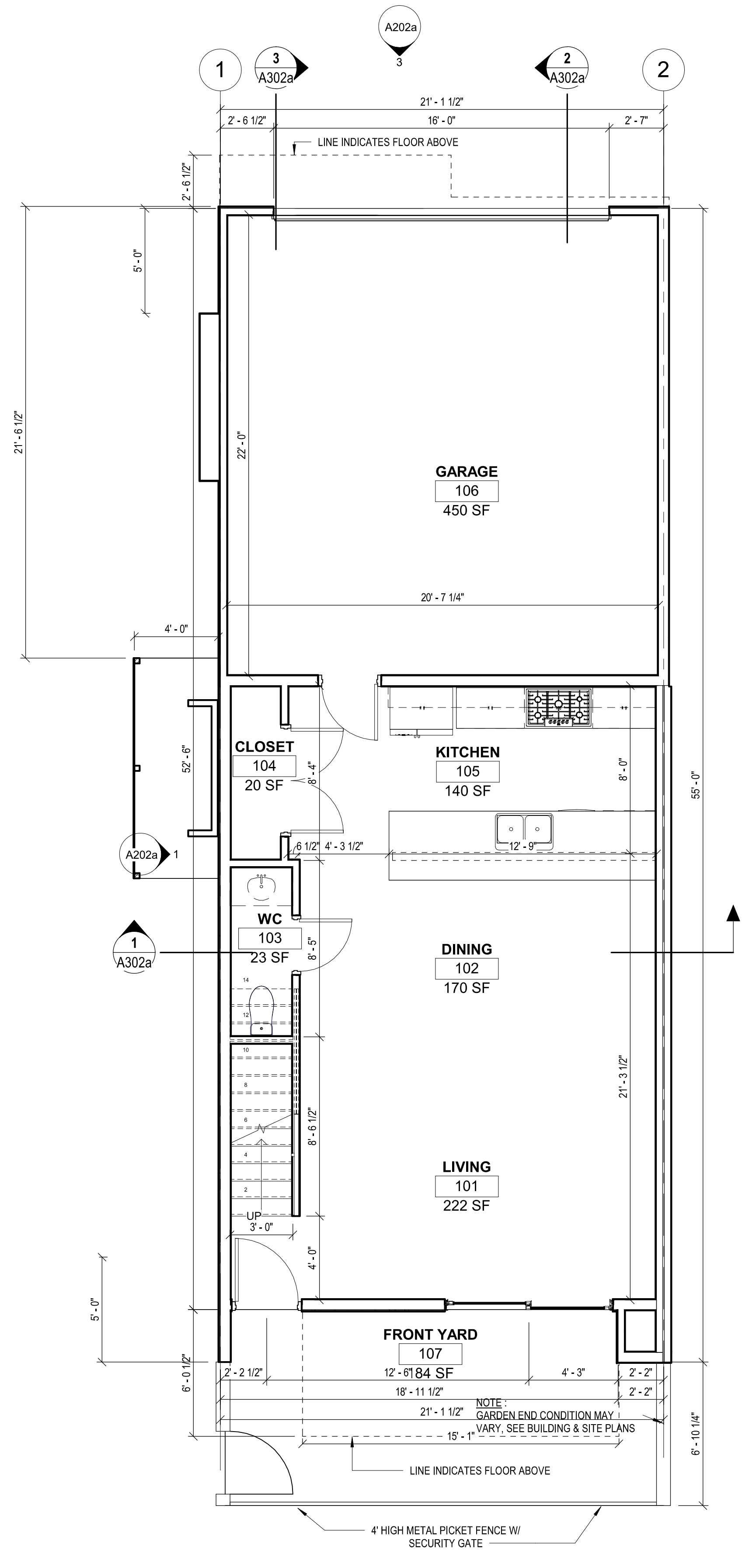
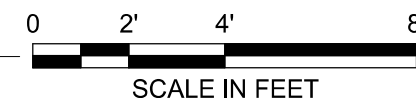
3 ISOMETRIC BLDG 2



4 ISOMETRIC BLDG 1



2 SECOND FLOOR
1/4" = 1'-0"



1 FIRST FLOOR
1/4" = 1'-0"



KEYNOTES

(NOT ALL KEYNOTES ON ALL SHEETS)

- HANDRAIL @ 36" ABOVE NOSING
- WALL TO 42" AFF
- GUARDRAIL TO 42" AFF, SEE DETAILS
- CLOSET ROD & SHELF
- ROOF DRAIN SPOUT
- TEMPERED GLASS SHOWER ENCLOSURE
- WASHER/DRYER DRAIN PAN W/ FLOOR DRAIN
- GAS METER
- SCUPPER @ BALCONY WALL
- DOWNSPOUT, SEE ROOF PLAN AND ELEVATIONS
- 30" GAS SLIDE IN RANGE W/OVEN
- TANKLESS WATER HEATER
- AUTOMATIC GARAGE DOOR OPENER
- ELECTRICAL PANEL
- KITCHEN SINK W/ GARBAGE DISPOSAL
- MICROWAVE OVER RANGE, VERIFY W/OWNER
- REFRIGERATOR
- LAVATORY IN VANITY
- LED VANITY MIRROR
- ADA GRAB BARS
- BALCONY/ROOF LINE ABOVE
- A/V CABINET
- LINEN SHELVING
- ELECTRIC FIREPLACE - 74" LINEAR PRISM SERIES
- HOSE BIBB, SEE PLUMBING
- PREFABRICATED STAIRS BY MFR - TREADS TO BE 6-3/4" AT THE WALKLINE, MAX 9-1/2" HIGH WITH A MINIMUM HEADROOM OF 6'-6". HANDRAIL TO BE MINIMUM 26" HIGH.

no.	date	description

2 STORY TOWNHOUSE

4140 E MAIN
MESA, AZ 85208

PROJECT NO: 22001
DATE: 01/27/2023

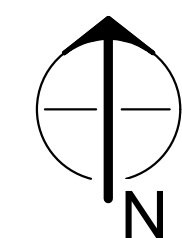


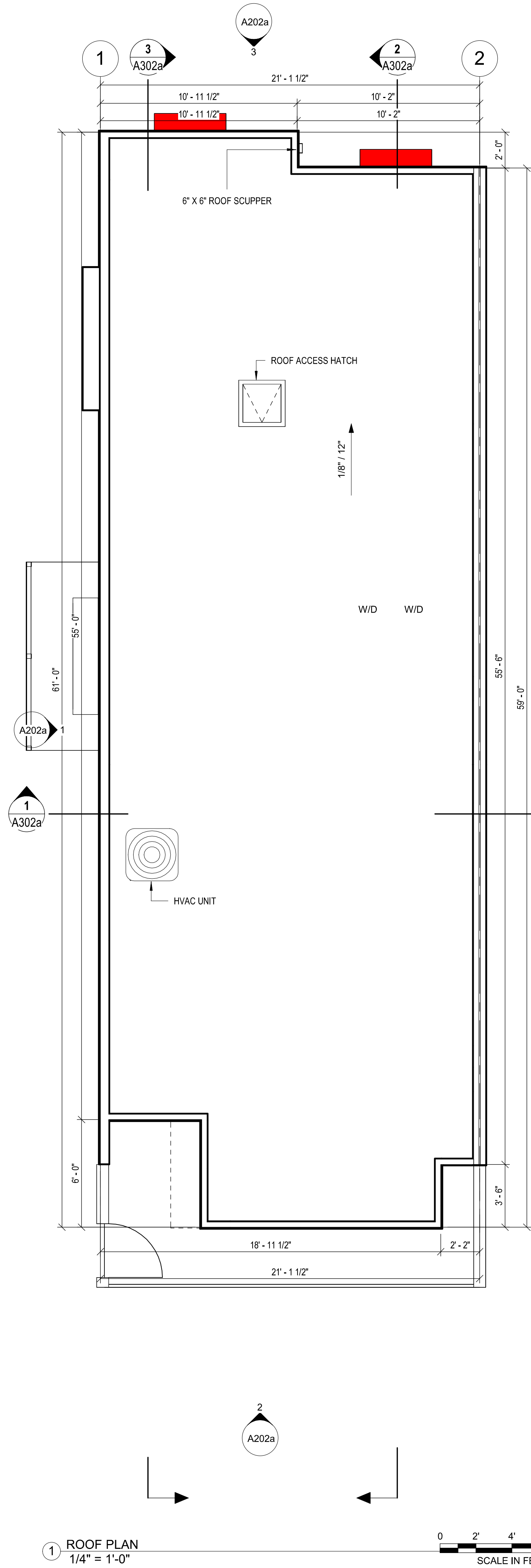
atmosphere architects
p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

2 STOREY 3 BED UNIT - FLOOR PLAN

A103a





no.	date	description

2 STORY
TOWNHOUSE

4140 E MAIN
MESA, AZ 85208

PROJECT NO: 22001
DATE: 01/27/2023

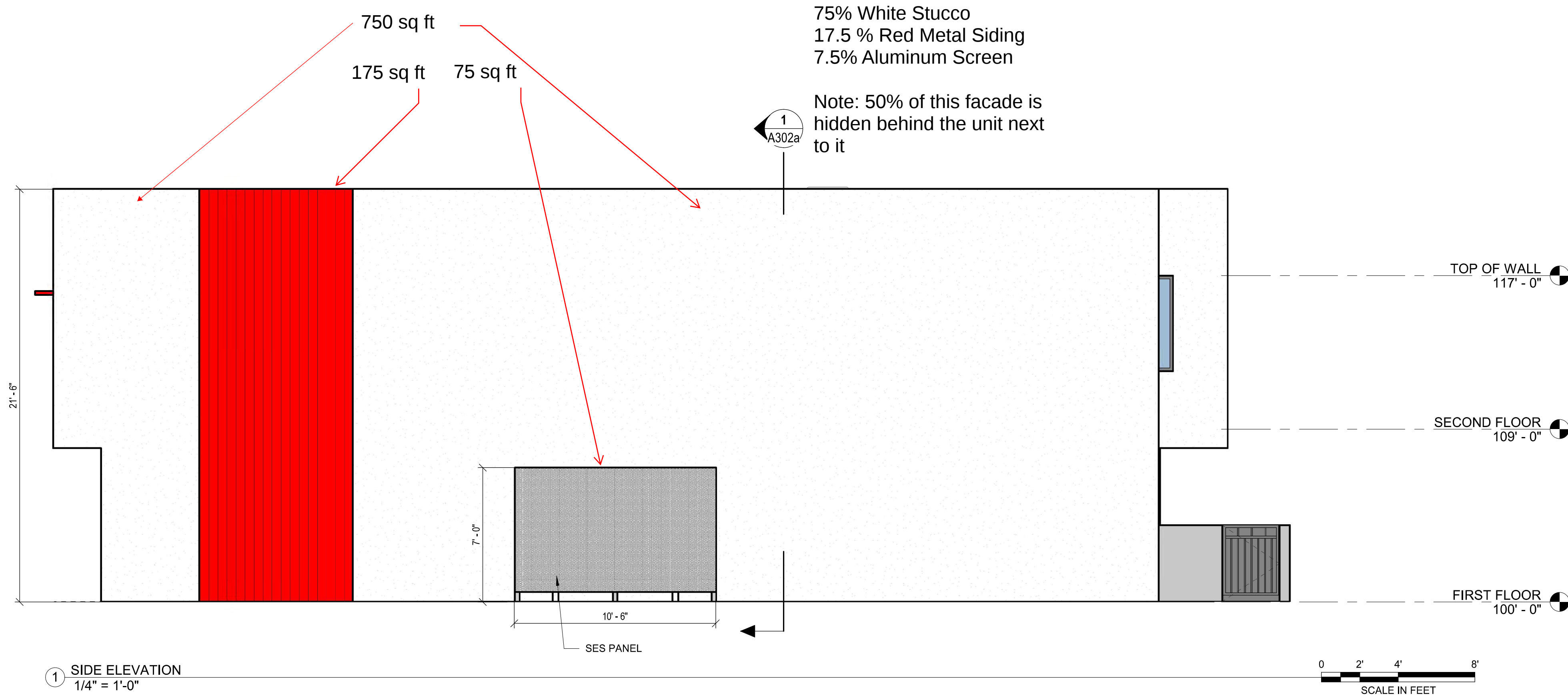


atmosphere architects
p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

2 STOREY 3 BED
UNIT - ROOF PLAN

A122a



EXTERIOR FINISH KEYNOTES

- 1 STUCCO SYSTEM WESTERN ONE KOTE STUCCO SYSTEM IAPMO #0381 OR EQUAL SEE LEGEND FOR COLOR
- 2 STUCCO CONTROL JOINT - FRY REGLET, PCS-75-75 OR EQUAL
- 3 PREFABRICATED STAIRS BY MFR - TREADS TO BE 6-3/4" AT THE WALKLINE, ALL TREADS TO BE IDENTICAL WITH A RISE NOT MORE THAN 9-1/2" WITH A MINIMUM HEADROOM OF 6'-6". HANDRAIL TO BE MINIMUM 26" HIGH. FOLLOW 2018 IRC R311.7.10.1
- 4 WEATHERED STEEL GUARDRAIL
- 5 CORTEN EXTERIOR WALL PANELS OVER STUCCO SYSTEM
- 6 WALL BEYOND
- 7 EXTERIOR ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM LOWER PORTION TO BE TEMPERED GLASS. FINISH SHALL BE ARCADIA DARK MEDIUM BRONZE(AB-5) OR EQUAL
- 8 OVERHEAD GLASS PANEL SECTIONAL DOOR FINISH TO MATCH ALUMINUM DOOR/WINDOWS
- 9 EXTERIOR LIGHT FIXTURE, SEE ELECTRICAL
- 10 HOSE BIBB
- 11 SCUPPER/ GUTTER/ DOWNSPOUT - WEATHERED STEEL FINISH, SEE ROOF PLAN FOR SIZING
- 12 ROOF DRAIN SPOUT - WEATHERED STEEL FINISH
- 13 BALCONY SCUPPER - WEATHERED STEEL FINISH

EXTERIOR FINISH LEGEND

- STUCCO SYSTEM IAPMO #0381 COLOR: GREY XXX
- VERTICAL METAL SIDING COLOR: RED XXX
- STUCCO SYSTEM IAPMO #0381 COLOR: WHITE XXX
- VERTICAL WOOD SIDING (SYNTHETIC)
- SES PANEL SCREEN - 1/2" CIRCLE PERFORATIONS

no.	date	description

2 STORY TOWNHOUSE

4140 E MAIN
MESA, AZ 85208

PROJECT NO: 22001
DATE: 01/27/2023

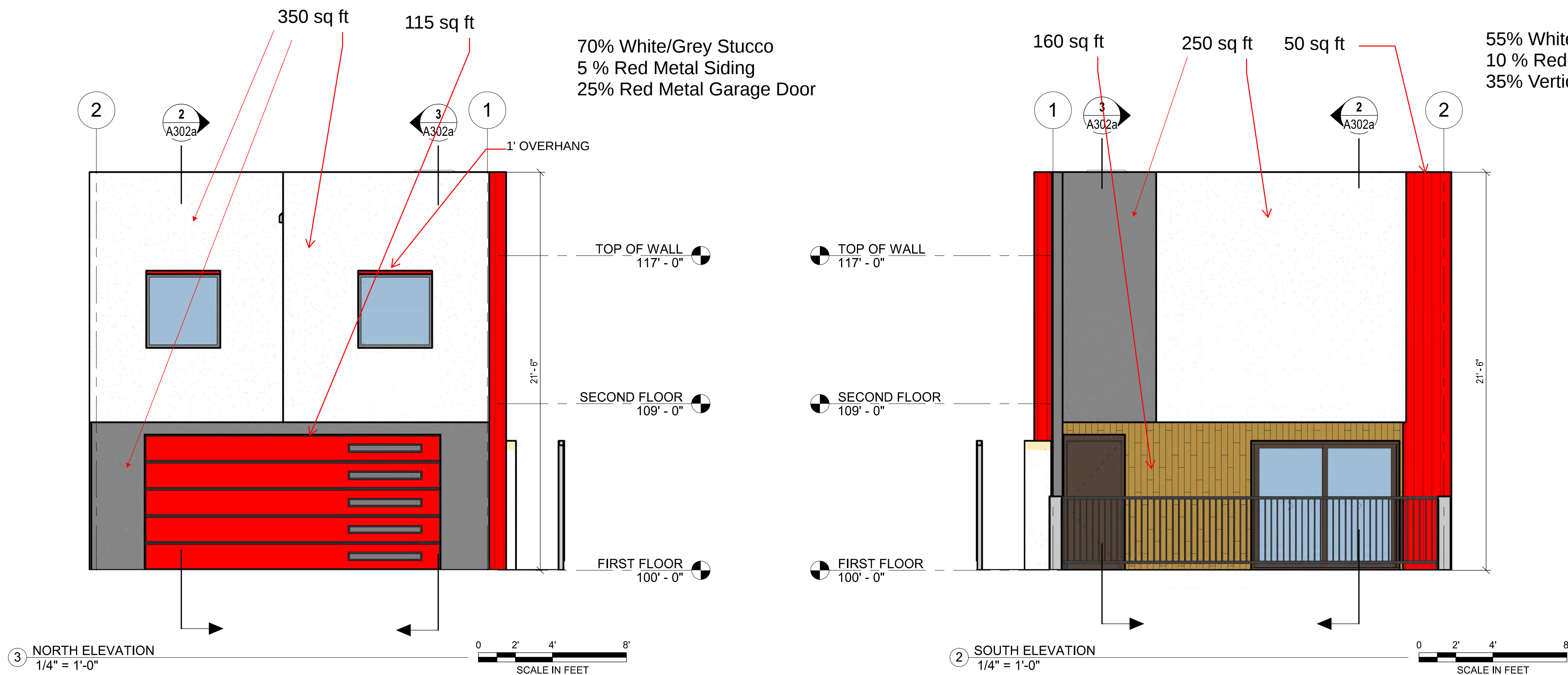


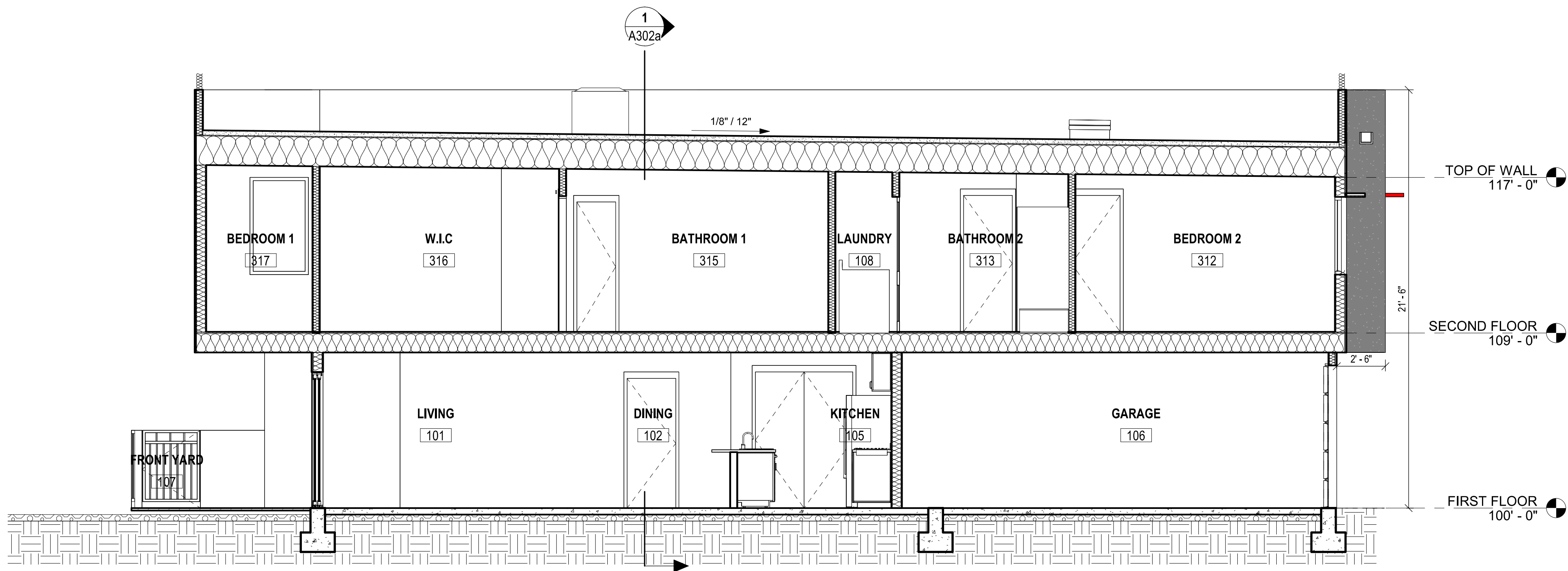
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p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

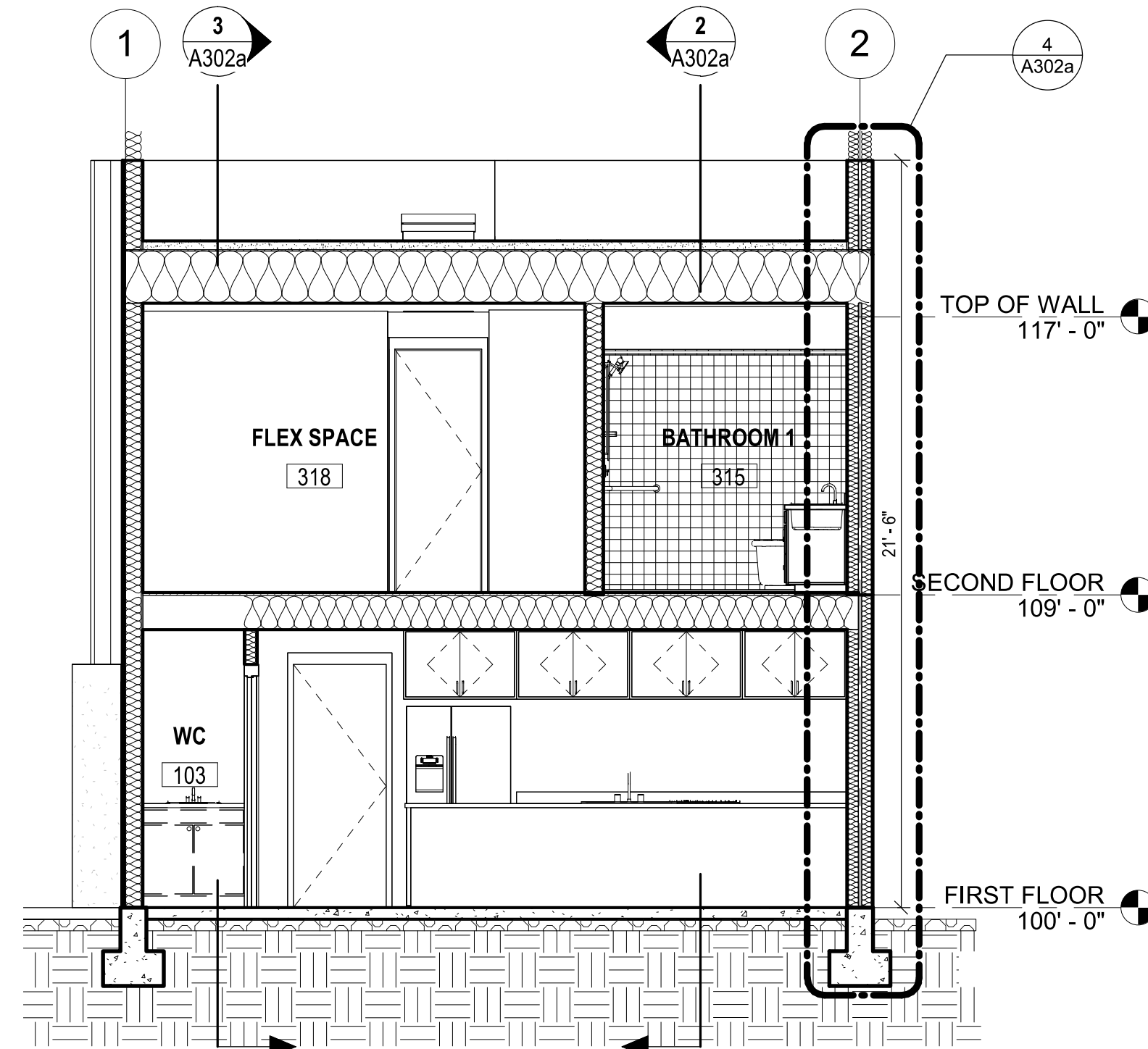
2 STOREY 3 BED
UNIT - ELEVATIONS

A202a

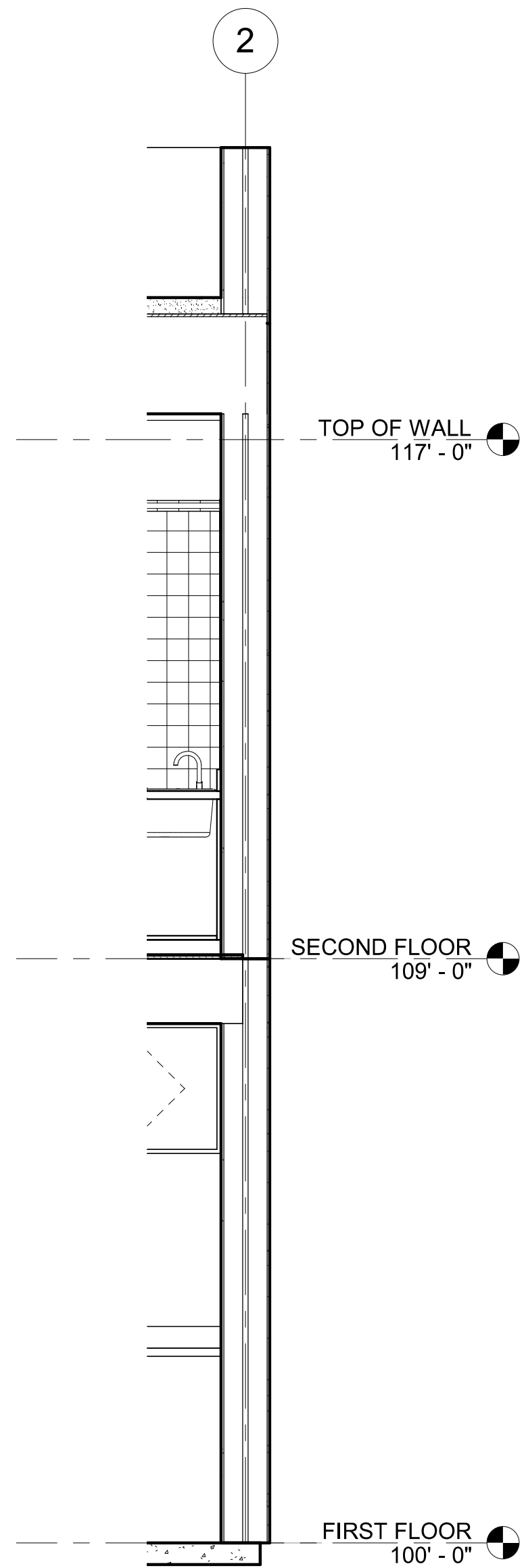




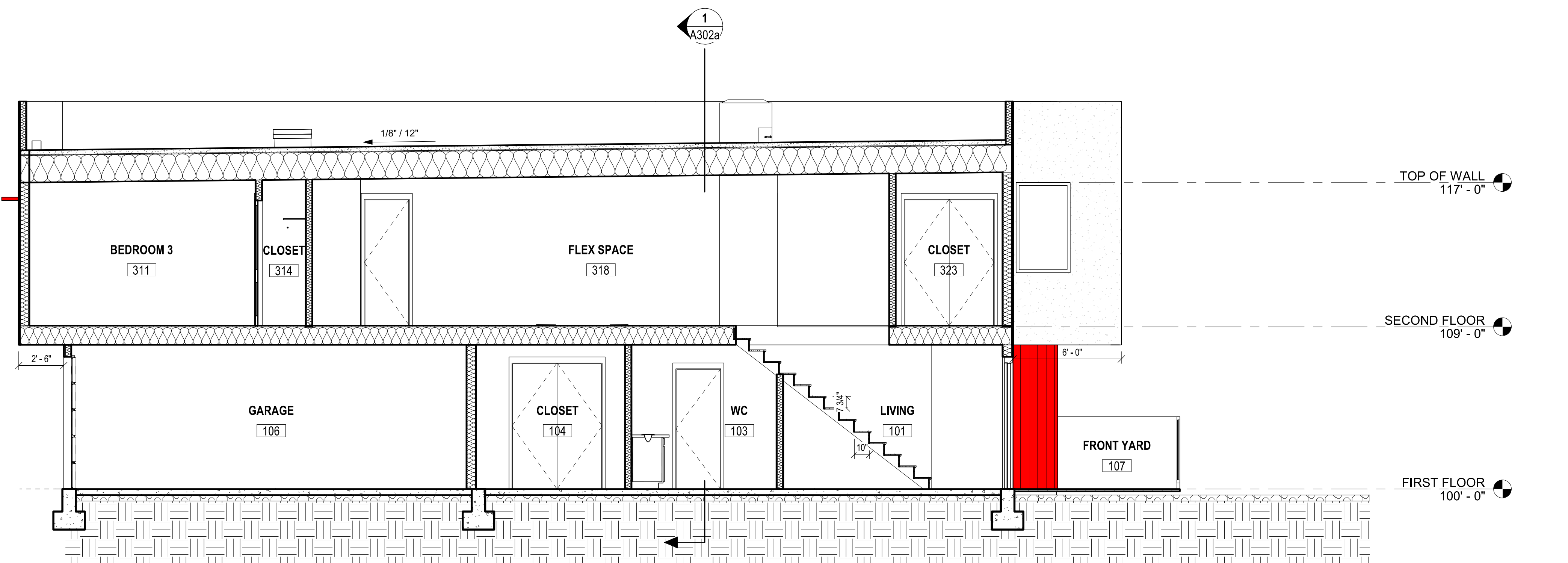
② SECTION AT STAIR/ENTRY
1/4" = 1'-0"



① SECTION AT GARAGE - OFFICE 100
1/4" = 1'-0"



④ SECTION AT PARTY WALL
1/2" = 1'-0"



③ BUILDING SECTION
1/4" = 1'-0"

no.	date	description

2 STORY TOWNHOUSE

4140 E MAIN
MESA, AZ 85208

PROJECT NO: 22001
DATE: 01/27/2023



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p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

2 STOREY 3 BED UNIT BUILDING SECTIONS

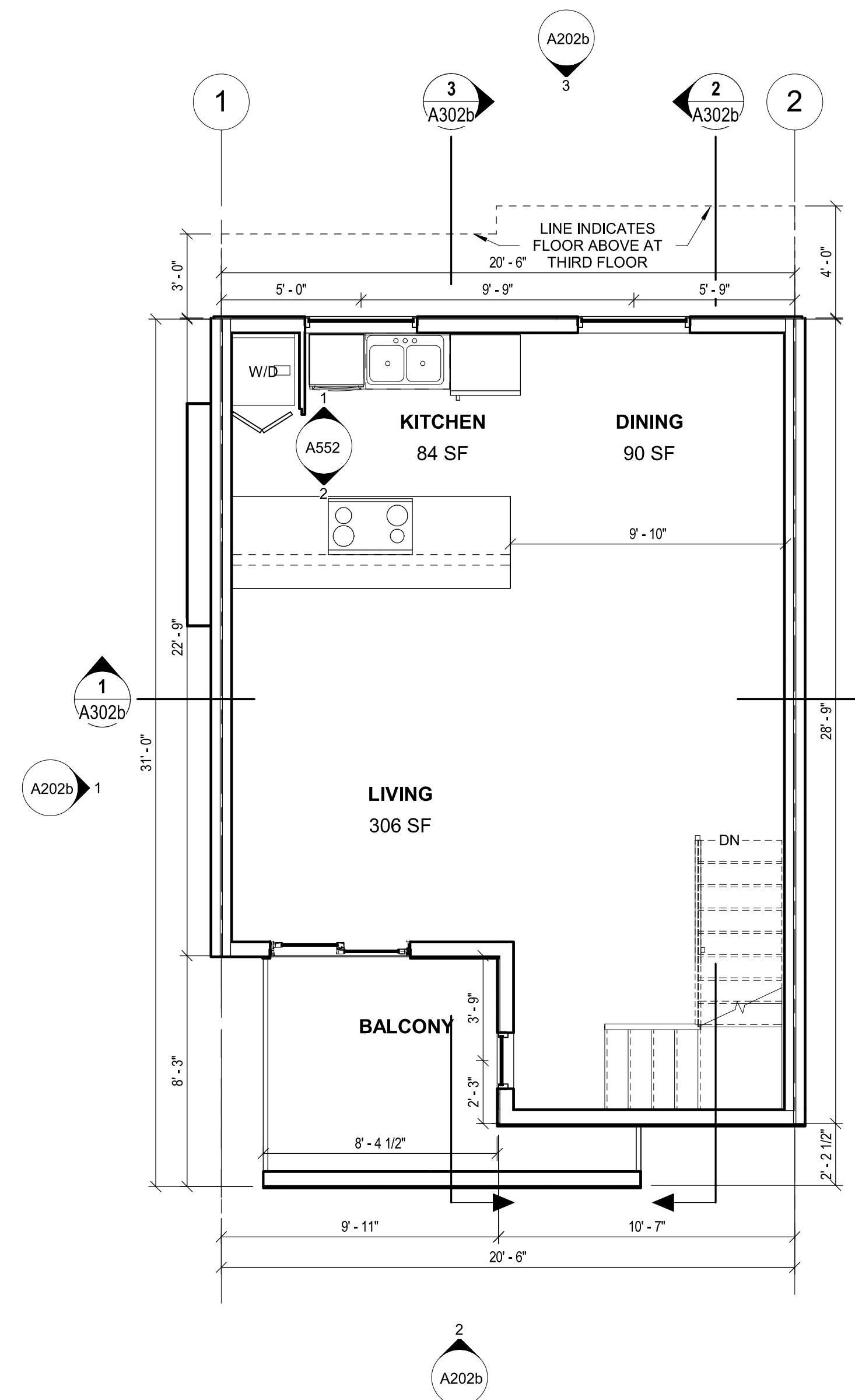
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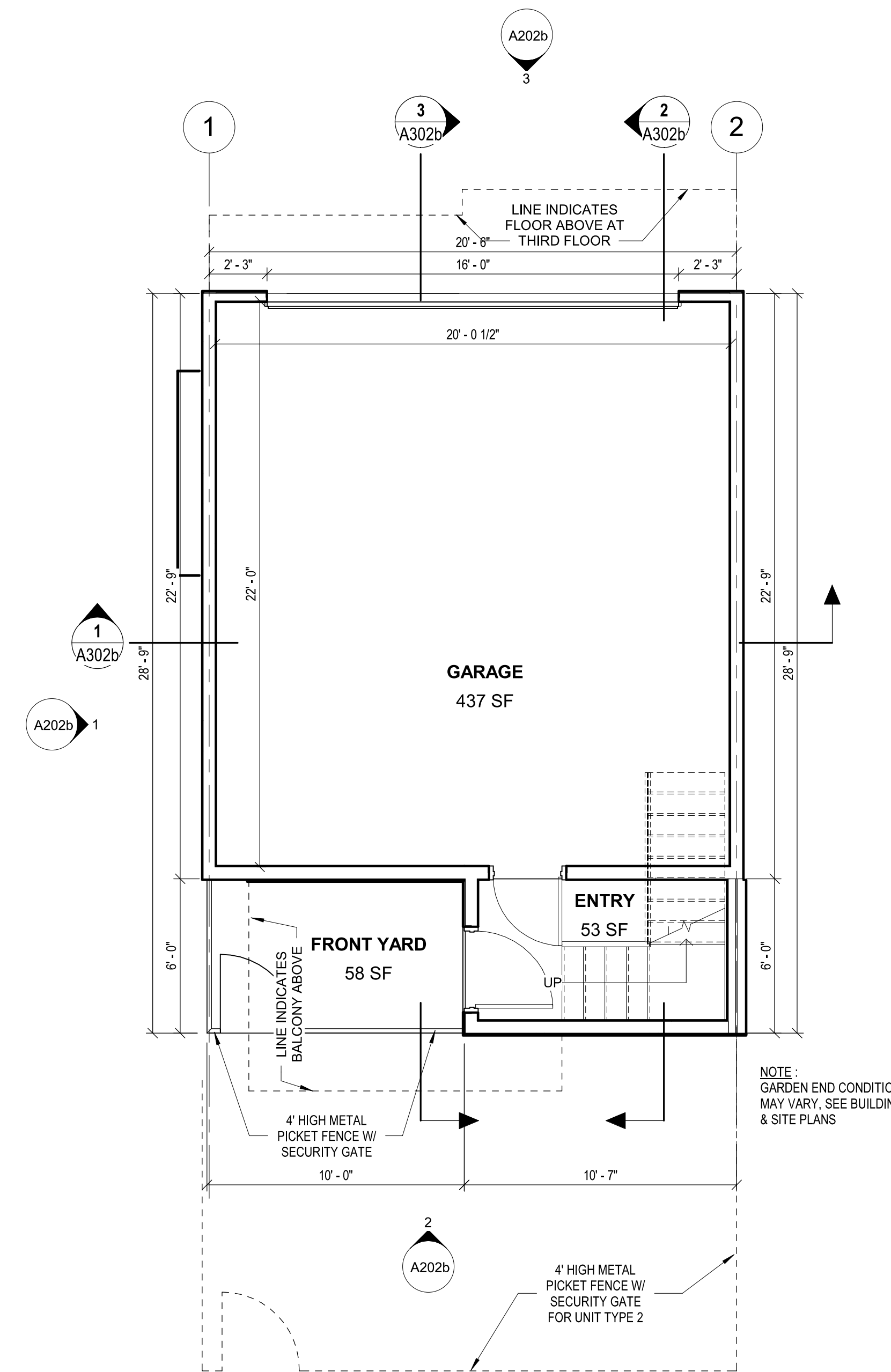
(NOT ALL KEYNOTES ON ALL SHEETS)

-
- Floor Plan Details:**
- Rooms and Areas:**
 - Bathroom: 84 SF
 - WC: 11 SF
 - W.I.C.: 20 SF
 - Bedroom 1: 148 SF
 - Bedroom 2: 114 SF
 - Bathroom: 35 SF
 - Balcony
 - Hallway
 - Dimensions:**
 - Overall Width: 25'-9"
 - Overall Depth: 32'-9"
 - Room Dimensions (approximate):
 - Bathroom (top): 9'-10 1/2" x 5'-0"
 - Bedroom 1: 10'-8" x 15'-0 1/2"
 - Bedroom 2: 12'-10" x 10'-5"
 - Bathroom (bottom): 5'-1" x 5'-1"
 - Balcony: 8'-4 1/2" x 3'-9"
 - Orientation:** North arrow pointing towards the top of the page.

5 THIRD FLOOR
1/4" = 1'-0"

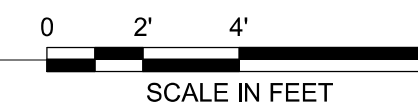


② SECOND FLOOR
1/4" = 1'-0"



NOTE :
GARDEN END CONDITION
MAY VARY, SEE BUILDING
& SITE PLANS

① FIRST FLOOR
1/4" = 1'-0"



no.	date	description

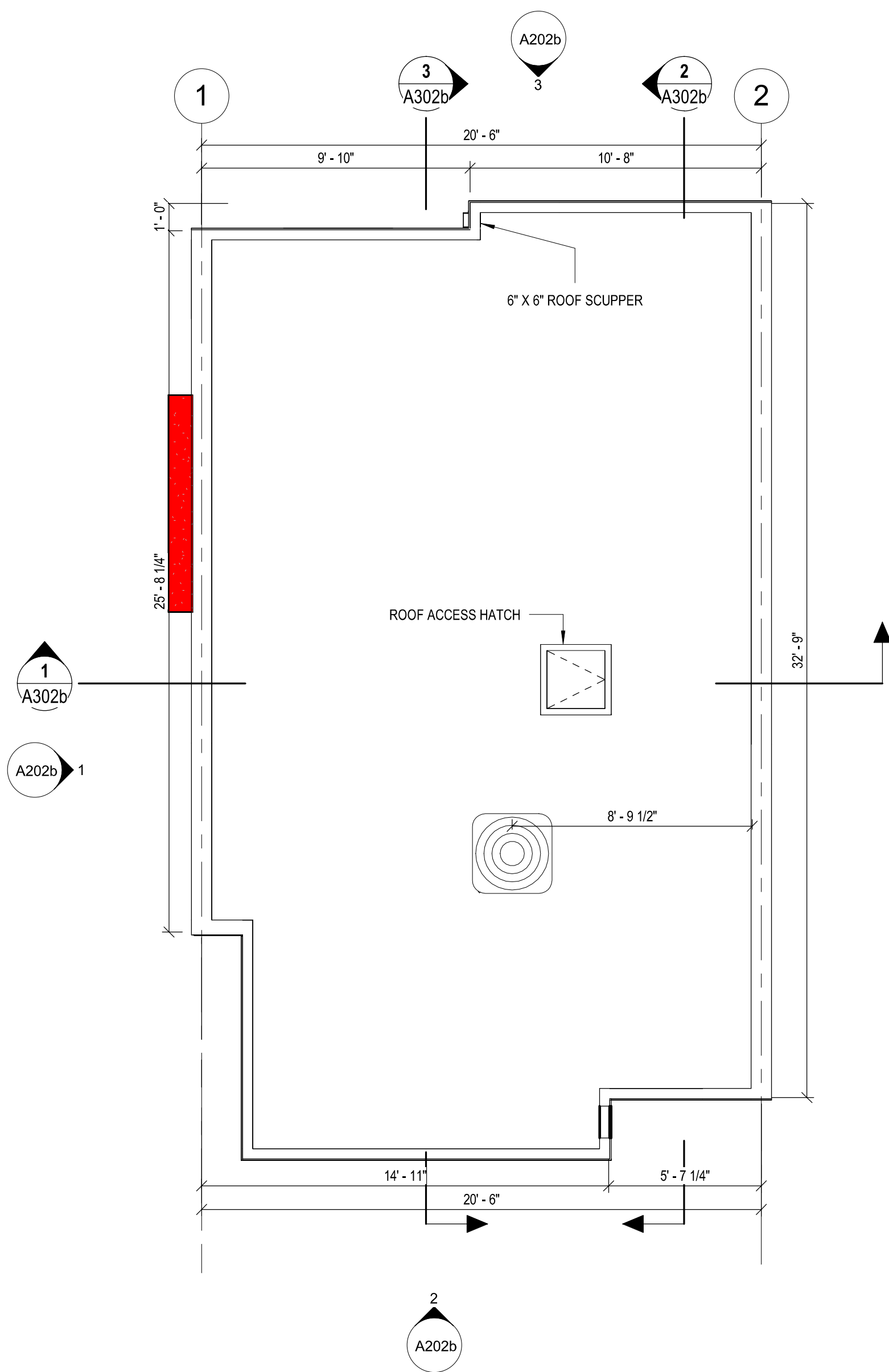
4140 E MAIN
MESA, AZ 85208



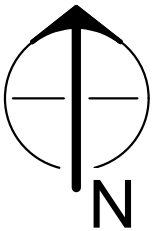
contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

3 STOREY 2 BEDROOM UNIT STANDARD GARAGE FLOOR PLANS

A103b



1 ROOF PLAN
1/4" = 1'-0"



no.	date	description

3 STORY
TOWNHOUSE

4140 E MAIN
MESA, AZ 85208

PROJECT NO: 22001
DATE: 01/27/2023



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p.o. box 5267
mesa, az 85211

contact: Tim Boyle
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tel: 917-526-0323

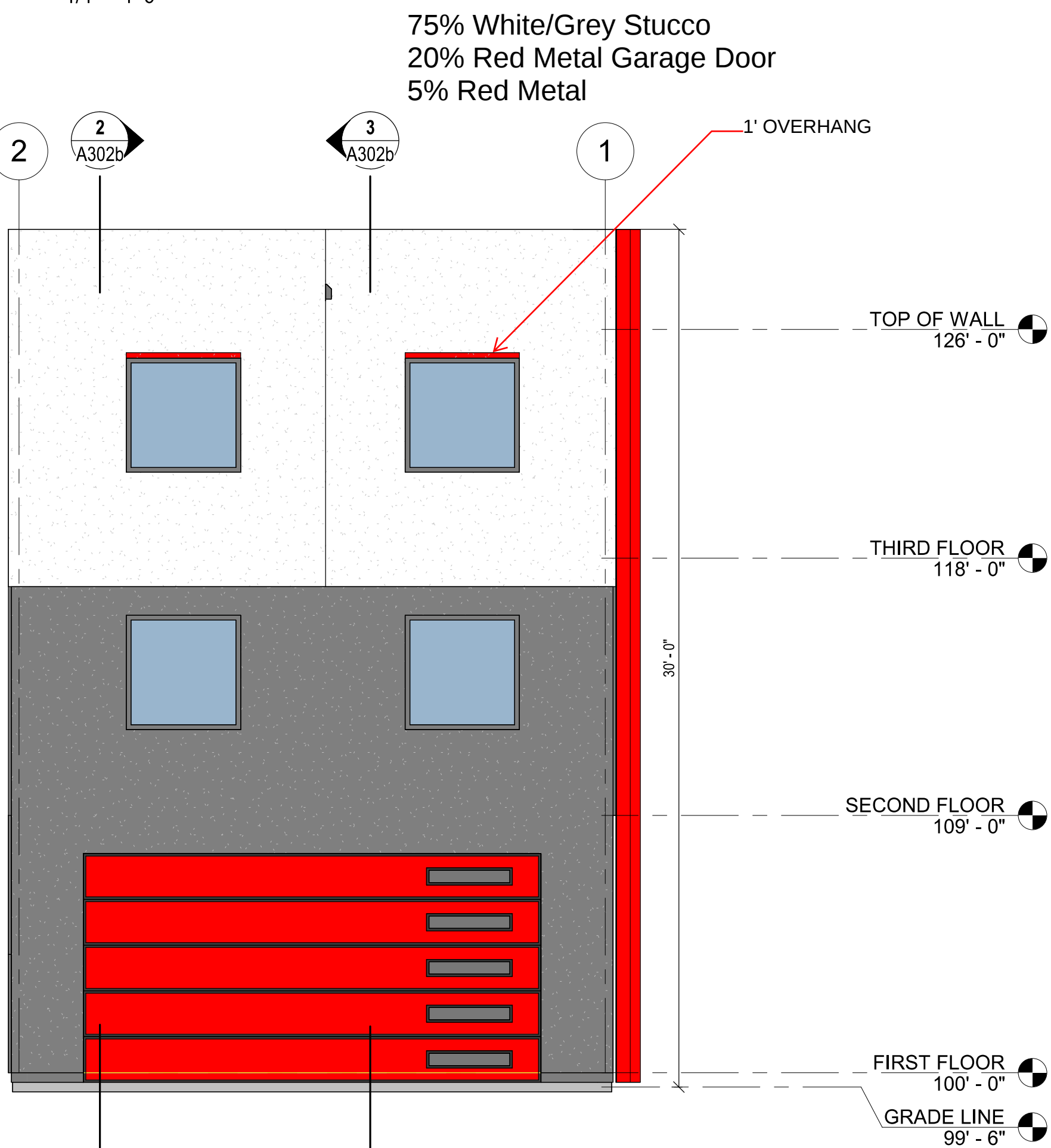
3 STOREY 2 BEDROOM UNIT
STANDARD GARAGE ROOF
PLAN

A122b



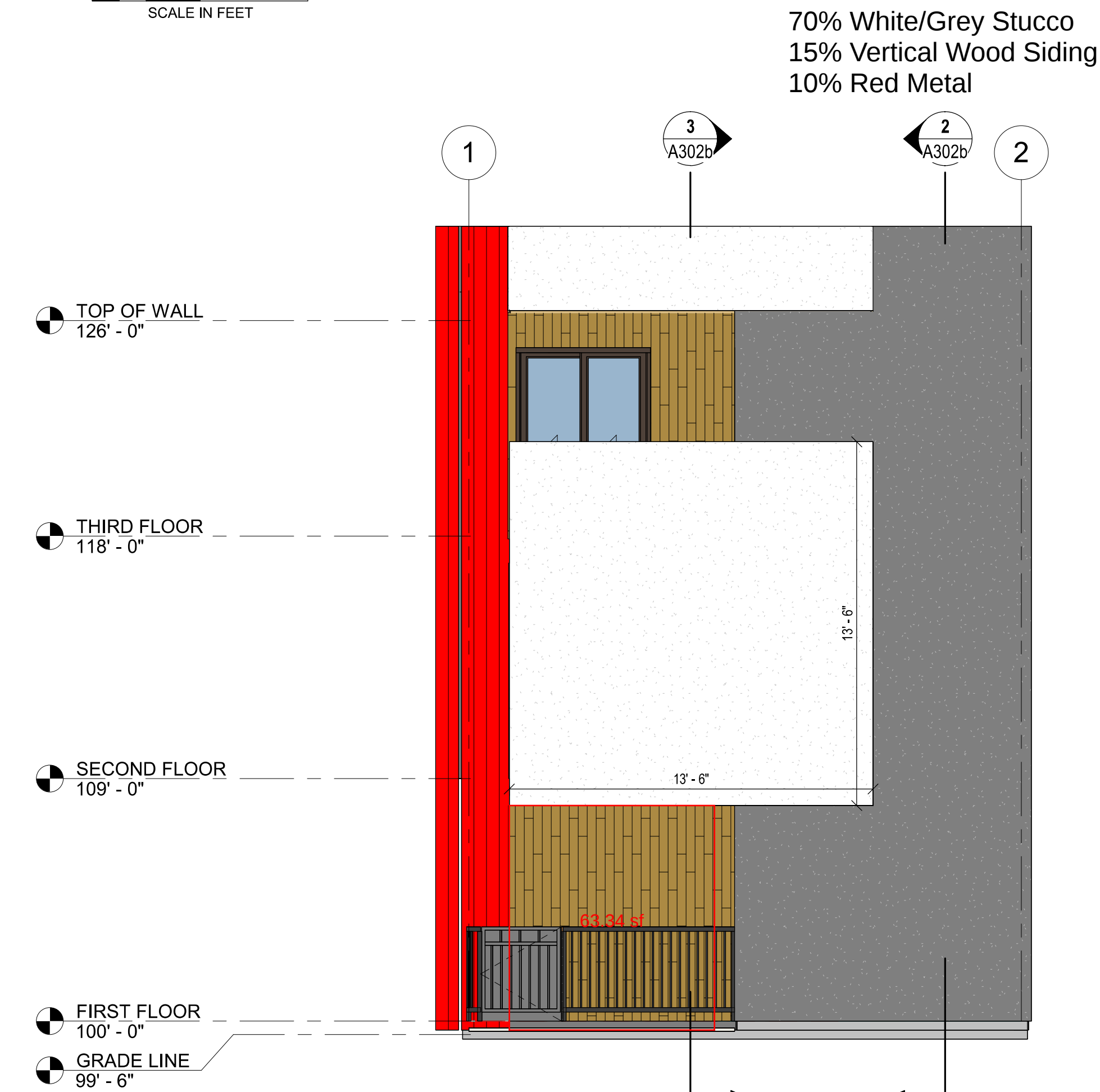
① SIDE ELEVATION
1/4" = 1'-0"

0 2' 4' 8'
SCALE IN FEET



③ NORTH ELEVATION
1/4" = 1'-0"

0 2' 4' 8'
SCALE IN FEET



② SOUTH ELEVATION
1/4" = 1'-0"

0 2' 4' 8'
SCALE IN FEET

EXTERIOR FINISH KEYNOTES

- 1 STUCCO SYSTEM WESTERN ONE KOTE
STUCCO SYSTEM IAPMO #0381 OR EQUAL SEE
LEGEND FOR COLOR
- 2 STUCCO CONTROL JOINT - FRY REGLET, PCS-75-75
OR EQUAL
- 3 PREFABRICATED STAIRS BY MFR - TREADS TO BE
6-3/4" AT THE WALKLINE, ALL TREADS TO BE
IDENTICAL WITH A RISE NOT MORE THAN 9-1/2" WITH
A MINIMUM HEADROOM OF 6'-6". HANDRAIL TO BE
MINIMUM 26" HIGH. FOLLOW 2018 IRC R311.7.10.1
- 4 WEATHERED STEEL GUARDRAIL
- 5 CORTEN EXTERIOR WALL PANELS OVER STUCCO
SYSTEM
- 6 WALL BEYOND
- 7 EXTERIOR ALUMINUM STOREFRONT
DOOR/WINDOW SYSTEM LOWER PORTION TO BE
TEMPERED GLASS. FINISH SHALL BE ARCADIA
DARK MEDIUM BRONZE(AB-5) OR EQUAL
- 8 OVERHEAD GLASS PANEL SECTIONAL DOOR
FINISH TO MATCH ALUMINUM DOOR/WINDOWS
- 9 EXTERIOR LIGHT FIXTURE, SEE ELECTRICAL
- 10 HOSE BIBB
- 11 SCUPPER/ GUTTER/ DOWNSPOUT - WEATHERED
STEEL FINISH, SEE ROOF PLAN FOR SIZING
- 12 ROOF DRAIN SPOUT - WEATHERED STEEL FINISH
- 13 BALCONY SCUPPER - WEATHERED STEEL FINISH

EXTERIOR FINISH LEGEND

- STUCCO SYSTEM IAPMO #0381
COLOR: GREY XXX
- VERTICAL METAL SIDING
COLOR: RED XXX
- STUCCO SYSTEM IAPMO #0381
COLOR: WHITE XXX
- VERTICAL WOOD SIDING
(SYNTHETIC)
- SES PANEL SCREEN - 1/2"
CIRCLE PERFORATIONS

no.	date	description

3 STORY TOWNHOUSE

4140 E MAIN
MESA, AZ 85208

PROJECT NO: 22001
DATE: 01/27/2023

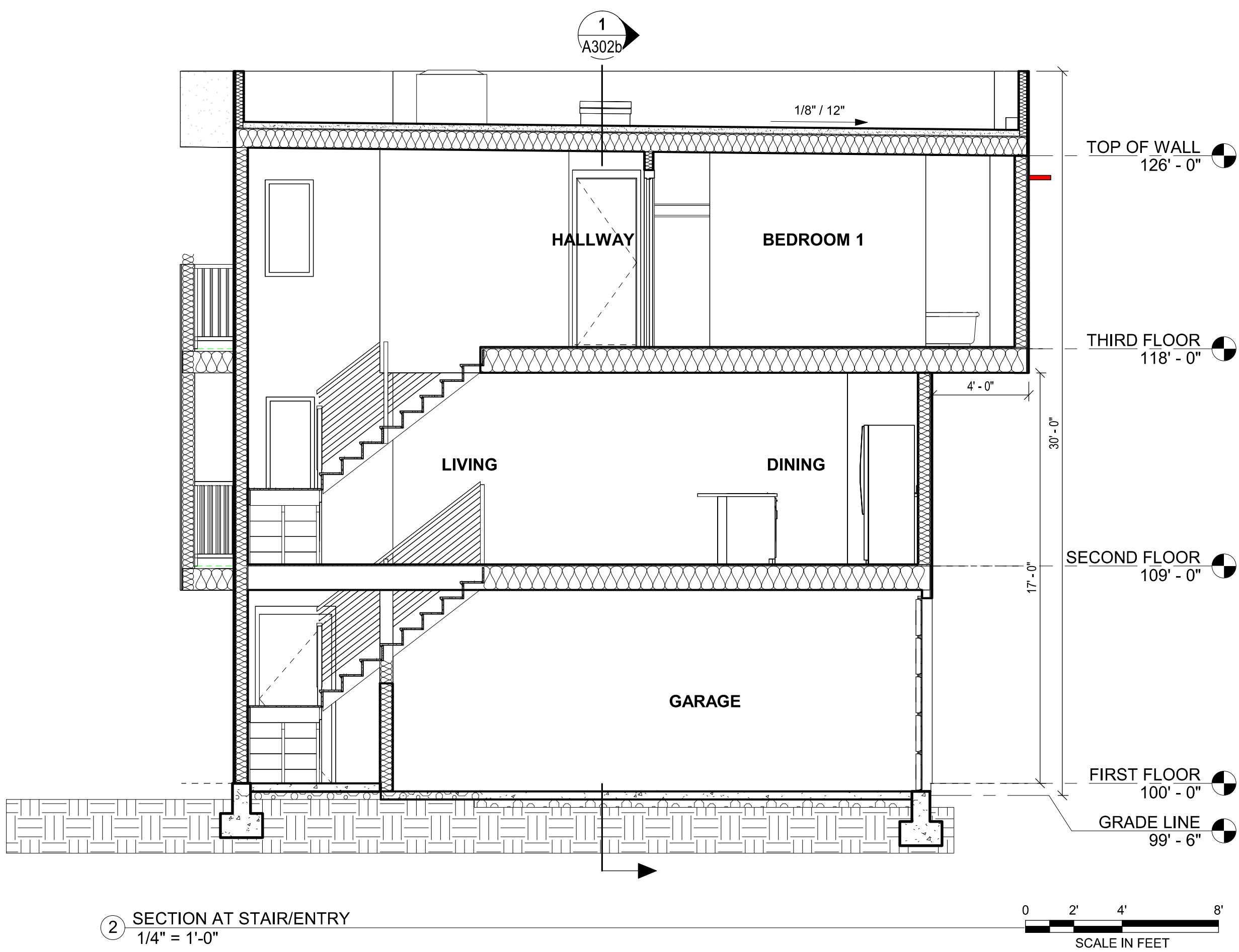


atmosphere architects
p.o. box 5267
mesa, az 85211

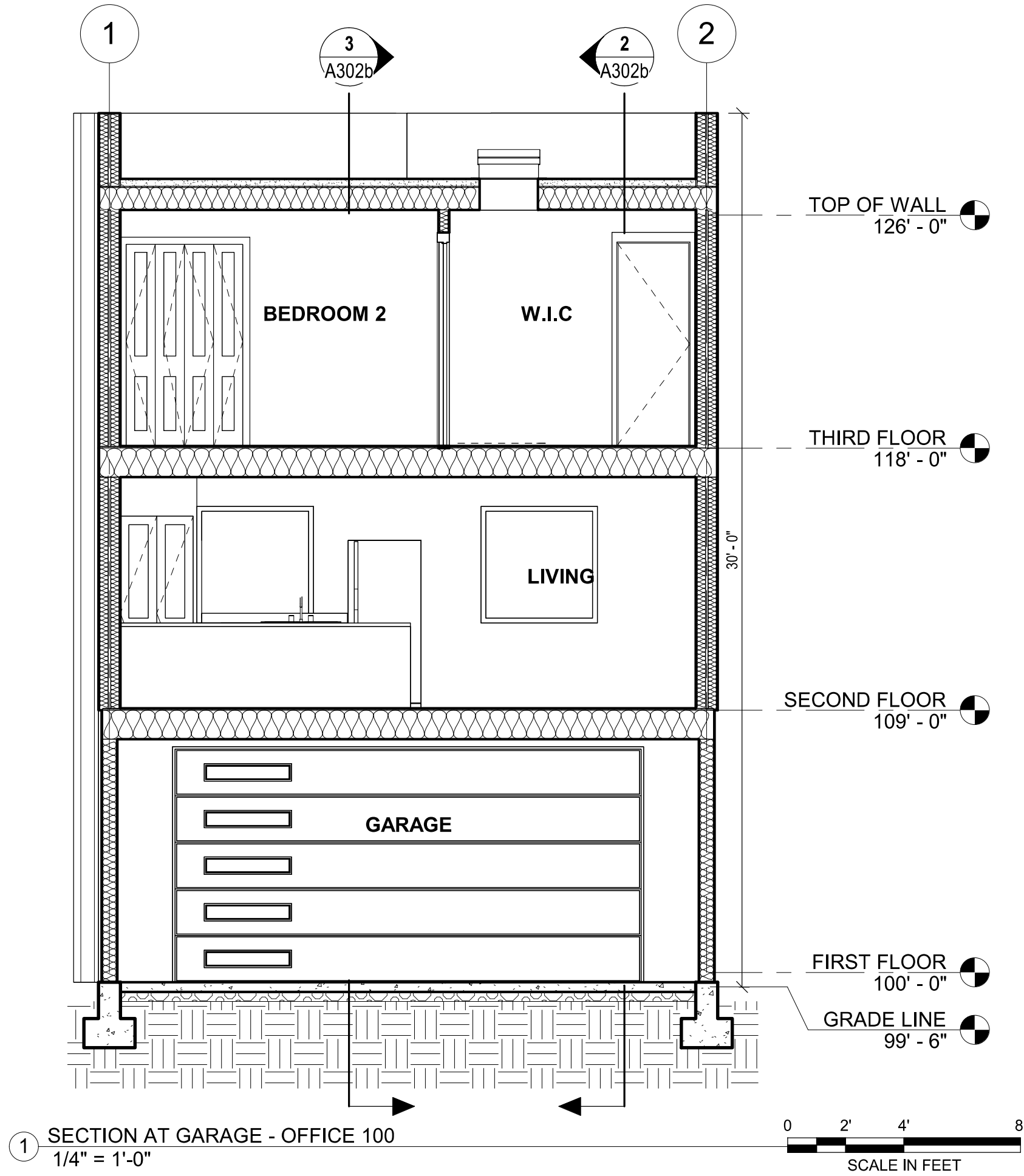
contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

3 STOREY 2 BEDROOM UNIT
STANDARD GARAGE
BUILDING ELEVATIONS

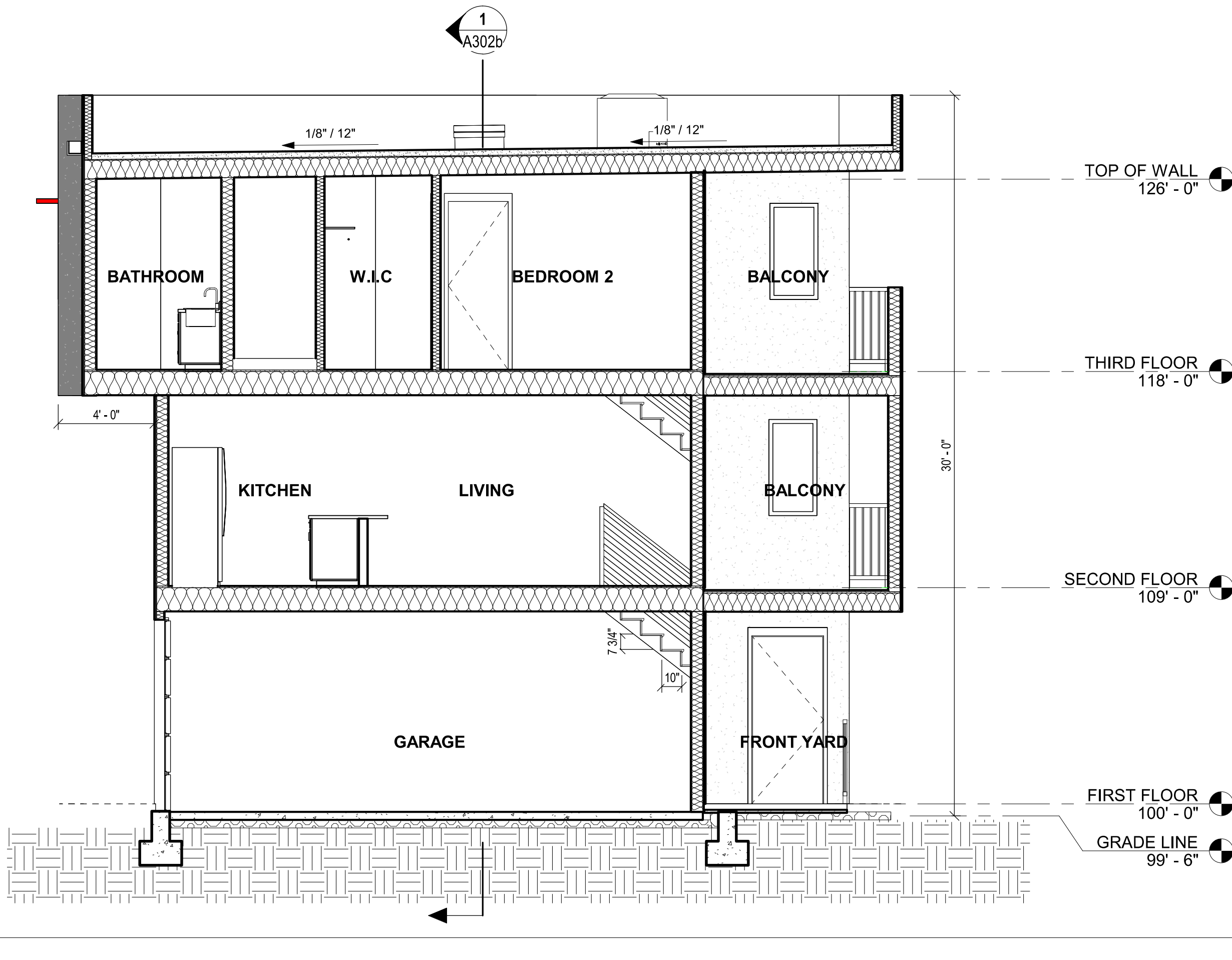
A202b



2 SECTION AT STAIR/ENTRY
1/4" = 1'-0"



1 SECTION AT GARAGE - OFFICE 100
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"

no.	date	description

3 STORY TOWNHOUSE

4140 E MAIN
MESA, AZ 85208

PROJECT NO: 22001
DATE: 01/27/2023



atmosphere architects
p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

3 STOREY 2 BEDROOM UNIT
STANDARD GARAGE
BUILDING SECTIONS

A302b















atmosphere
architects
Mesa AZ 85201

602.888.4671 www.atmosarch.com tim@atmosarch.com

4140 E Main, Mesa Development Community Plan



Home or property owners within 1000' of this project, and Neighborhood Associations or HOAs within a mile, will be invited to participate in an online ZOOM community meeting:

Time: Tuesday, November 29, 2022 07:00 PM Arizona
<https://asu.zoom.us/j/81635160690>
Password: 4140

For assistance or a clickable copy of the link, please email tim@atmosarch.com prior to the meeting.

Letters will be sent out 2 weeks prior to the meeting to the addresses attached.

DAVID AND LINDA LEACH LIVING
TRUST
4140 E ARBOR AVE MESA AZ USA
85206

SREIT SAN FERNANDO
APARTMENTS LLC
2340 COLLINS AVE MIAMI BEACH FL
USA 33139

BLOMMER SHERI
4034 E ALDER AVE MESA AZ USA
85206

HAWKES RICHARD MARVIN
4218 E EMILITA MESA AZ USA 85206

ANDERSSON SARA MARGIT
CHRISTINA/MCPEAK DEVIN
4248 E ALDER AVE MESA AZ USA
85206

S1SAAGC LLC
117 N SULLEYS DR MESA AZ USA
85213

WAGGONER RALPH/GOMEZ CINTHIA
NALLEY
11021 E DECATUR ST MESA AZ USA
85207

CHRISTENSEN STEVEN B/SHERI L
4118 E ASPEN AVE MESA AZ USA
85206

LONG FAMILY TRUST
4216 E ALDER AVE MESA AZ USA
85206

KUNIS JOSHUA M
4130 E ALDER AVE MESA AZ USA
85206

PACHECO CARMEN D/STEPHANIE
4023 E ARBOR AVE MESA AZ USA
85205

JONES BRENDA
4055 E ARBOR AVE MESA AZ USA
85206

OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD STE 1600
TEMPE AZ USA 85288

PROGRESS RESIDENTIAL
BORROWER 5 LLC
PO BOX 4090 SCOTTSDALE AZ USA
85261

SIG AZ LLC
4365 E PECOS RD STE 140 GILBERT
AZ USA 85295

STUCK JASON KYLER/MATHIS
SAMANTHA RAE
109 N SULLEYS DR MESA AZ USA
85205

MUTH RONALD W/NITA A
126 S OGDEN CIR MESA AZ USA
85206

VEVERKA SHERRIE L
4110 E ASPEN AVE MESA AZ USA
85206

DUNLAP DONALD F/VERNETTA
39 N MAPLE MESA AZ USA 85205

MOYA ALBERT S
105 N MAPLE MESA AZ USA 85205

GIBSON JOHN C/TWLA A TR
108 S OMAHA MESA AZ USA 85206

CAROLINE ELAINE PAGE
REVOCABLE TRUST
4153 E ALDER AVE MESA AZ USA
85206

BIAR NORMAN E/CYNTHIA L
4150 E ASPEN AVE MESA AZ USA
85206

EDWARD AND JUANITA AVILA
FAMILY TRUST
4140 E ASPEN AVE MESA AZ USA
85206

BLACKWELL MICHELLE T
4230 E ALDER AVE MESA AZ USA
85206

MATTHEWS DEBRA
4119 E ARBOR AVE MESA AZ USA
85206

VELASQUEZ EPHAN RICHARD
4058 E ALDER AVE MESA AZ USA
85206

BECKETT MARTY
4064 E ALDER AVE MESA AZ USA
85206

STEWART BOBBY E JR/ELENA L
122 N SULLEYS DR MESA AZ USA
85205

MANN CHARLES T/ORTIZ LOURDES
L
4049 E ARBOR AVE MESA AZ USA
85206

TORRES ALFREDO E/NOEMI J
4044 E ARBOR AVE MESA AZ USA
85206

125 N SULLEYS DRIVE LLC
125 N SULLEYS DR MESA AZ USA
85205

LUCIDO RAY M TR
1651 GAMAY LN BRENTWOOD CA
USA 94513

MATUSIC MICHAEL/STEPHANIE
4128 E ARBOR AVE MESA AZ USA
85206

LYNCH CHARLES WILLIAM
JR/DEBORAH A
106 S OGDEN CIRCLE MESA AZ USA
85206

BOREA FAMILY LIVING TRUST
107 S OGDEN CIR MESA AZ USA
85206

BROWN MICHAEL R
4105 E ALDER AVE MESA AZ USA
85206

GONZALEZ ANA
MARIA/GALAVIZ-VEGA RAMON
ALBERTO
4038 E ARBOR AVE MESA AZ USA
85206

STORE MASTER FUNDING XI LLC
1830 E ELLIOT RD TEMPE AZ USA
85284

FMJ HOLDINGS LLC
5070 N 40TH ST SUITE 135 PHOENIX
AZ USA 85050

GIBSON AMBER D
4205 E ALDER AVE MESA AZ USA
85206

STRUZEK ANN/LUCIER P ADAM
611 GORE RANGE DR SEVERANCE
CO USA 80550

FALCON GLEN INVESTMENTS LLC
206 MARINE AVE NO 5809 NEWPORT
BEACH CA USA 92662

HUDSON EDWARD T
II/STEVENS-HUDSON MICHELLE D
4162 E ALDER AVE MESA AZ USA
85206

BARLOW BENJAMIN G/LUANN M
141 N SULLEYS MESA AZ USA 85205

EVANS WILLIAM L & SHARON L
3958 E ARBOR AVE MESA AZ USA
85206

ESLER CRAIG B/GUILLERMINA M
112 S OGDEN CIR MESA AZ USA
85206

LADE SARAH
4012 E ARBOR AVE MESA AZ USA
85206

HARVAN CHRISTOPHER/BARBARA S
4217 E ALDER AVE MESA AZ USA
85206

BECKETT JILL L/MARTY D
4064 E ALDER AVE MESA AZ USA
85206

VM PRONTO LLC
5001 PLAZA ON THE LK STE 200
AUSTIN TX USA 78746

DONAHUE RICHARD PATRICK
PO BOX 2654 SCOTTSDALE AZ USA
85252

CASTILLO ARTHUR P/COLLEEN
1004 N ROBIN LN MESA AZ USA
852135455

HOLGUIN MANUEL B/SOLEDAD
4031 E ARBOR AVE MESA AZ USA
85206

INFINITE HORIZON INVESTMENTS
LLC DEFINED BENE
18444 N 25TH AVE SUITE 420 507
PHOENIX AZ USA 85023

HAMBLIN BARBARA M TR
4159 E ARBOR AVE MESA AZ USA
85206

AHDOOT THOMAS
644 E LEHI RD MESA AZ USA 85203

CRYSLER CINDI LEE
3946 E ALDER AVE MESA AZ USA
85206

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO
CALABASAS CA USA 91302

HUCKELBERY MATTHEW S
380 ECS/SCOA APO USA 09853

ARIAS DARIO/MELISSA
32 N SULLEYS DR MESA AZ USA
85205

HAWKES RICHARD M
3945 E MAIN ST MESA AZ USA 85205

HOROWITZ JACK RUTH TR
5231 MOUNT HELENA AVE LOS
ANGELES CA USA 90041

WALKER FAMILY LIVING TRUST
1829 W 14TH AVE APACHE
JUNCTION AZ USA 85120

PURDON JOHN
2218 N 94TH AVE PHOENIX AZ USA
85037

ROOD ROGER/HEIDI
4211 E ALDER AVE MESA AZ USA
85206

FRAZIER HEATHER J TR
4160 E ARBOR AVE MESA AZ USA
85206

MESA CITY OF
PO BOX 1466 MESA AZ USA 85211

FERGUSON COREN
112 N SULLEYS DR MESA AZ USA
85205

OLIVARES MIGUEL A/JUANA
153 N SULLEYS DR MESA AZ USA
85205

PETIT KAYLA
4121 E ALDER AVE MESA AZ USA
85206

WIERZGACZ WAYNE E
3655 E HALIFAX MESA AZ USA 85205

YUSOOF SALIM M/YASEEN
4046 E ALDER AVE MESA AZ USA
85206

ABNEY JAMES A/STEPHANIE TR
133 N SULLEYS DR MESA AZ USA
85205

NEWMAN TYLER JAMES
4141 E ALDER AVE MESA AZ USA
85206

WALL TEAM LAND BARONS LLC
1511 E SILVERWOOD DR PHOENIX
AZ USA 85048

PETERSON FAMILY TRUST LP
PO BOX 5893 MESA AZ USA 85211

HATHCOCK HAROLD I/DIANE MARIE
102 N SULLEYS DR MESA AZ USA
85205

FITZGERALD LARRY/CHARLENE
8960 E HALIFAX CIR MESA AZ USA
85207

2018-3 IH BORROWER LP
1717 MAIN ST SUITE 2000 DALLAS
TX USA 85201

CHAU HOLLY
4019 E ALDER AVE MESA AZ USA
85206

GARNER JASON D/SUZANNE A
3418 E UNIVERSITY DR MESA AZ
USA 85213

PEREZ ISELA/GARCIA GUSTAVO R
4138 E ALDER AVE MESA AZ USA
85206

BAND JOYANNA/MARK P
8031 N 15TH AVE PHOENIX AZ USA
85021

FRANK WEST CAPITAL LLC
4365 E PECOS RD SUITE 108
GILBERT AZ USA 85295

MUNOZ JONATHAN
149 N SULLEYS DR MESA AZ USA
85205

PERKINS GODFREY SQUARE LLC
13825 N 7TH ST STE M PHOENIX AZ
USA 85022

TUCTO SERGIO F MOYANO/MOYANO
ROSA A
4114 E ALDER AVE MESA AZ USA
85206

ABDULAZIZ SAHAR
6559 E SIERRA MORENA ST MESA
AZ USA 85215

SIMMONS DYAN
125 S NEW HAVEN MESA AZ USA
85206

CHEN-YU TRUST
19726 DRAKE CT CUPERTINO CA
USA 95014

CORDOVA JESUS GALINDO
33 N MAPLE MESA AZ USA
852058503

MUNGUIA FAUSTO LEON/DE LEON
AUDENCIA SANCHEZ
4008 E ALDER AVE MESA AZ USA
85206

BRUNNER RYAN J
4127 E ARBOR AVE MESA AZ USA
85206

STEWART CHAZ RYAN/TAYLOR
SARAH
4112 E ARBOR AVE MESA AZ USA
85206

NG ROXANNA J/LEYVA RAY M
8851 CALLITA ST SAN GABRIEL CA
USA 91775

REED DAVID W/JANA
4126 E ASPEN AVE MESA AZ USA
85206

PHILLIPS LISA D/JEFFREY L
49 S OMAHA ST MESA AZ USA 85206

BEECHAM JAMES J
4057 E ALDER AVE MESA AZ USA
85206

FITZGERALD LARRY/CHARLENE
8960 E HALIFAX CIR MESA AZ USA
85207

MARTINEZ CRISTINA VERONICA
4242 E ALDER AVE MESA AZ USA
85206

KILLIN JOHN A
4037 E ARBOR AVE MESA AZ USA
85206

HORTON MARMMETT
4111 E ARBOR AVE MESA AZ USA
85206

STORE MASTER FUNDING XI LLC
1830 E ELLIOT RD TEMPE AZ USA
85284

ARP 2014-1 BORROWER LLC
23975 PARK SORRENTO CALABASAS
CA USA 91302

FITZGERALD LARRY/CHARLENE
8960 E HALIFAX CIR MESA AZ USA
85207

FMJ HOLDINGS LLC
5070 N 40TH ST SUITE 135 PHOENIX
AZ USA 85050

STORE MASTER FUNDING XI LLC
1830 E ELLIOT RD TEMPE AZ USA
85284

ORDONEZ SAMUEL V/KELSIE A
40 N SULLEYS DR MESA AZ USA
85205

DOVE LANDY III/MICHELSSEN ERICA
157 N SULLEYS DR MESA AZ USA
85205

DOLLY VARDEN LLC
4140 E MAIN ST MESA AZ USA 85205

YATH DANEE/EUL CHAD
4024 E ARBOR AVE MESA AZ USA
85206

BREIT SPRINGHAVEN MHC LLC
2075 S COTTONWOOD DR TEMPE
AZ USA 85282

CPI CITRUS GARDENS OWNER L L C
1001 PENNSYLVANIA AVENUE NW
WASHINGTON DC WA USA 20004

MARKHAM BRAD/AUDREY M
1114 N NASSAU MESA AZ USA 85205

FIGUEROA JORGE D RIVAS/RIVAS
CINDY
4135 E ALDER AVE MESA AZ USA
85206

CHEVALIER ROGER G TR/JOSEPH
LEO/DENISE MARIE
4158 E ASPEN AVE MESA AZ USA
85206

AMH 2014 3 BORROWER LLC
23975 PARK SORRENTO
CALABASAS CA USA 91302

PROFESSIONAL CONCEPTS INC
PO BOX 3777 GILBERT AZ USA 85299

PROFESSIONAL CONCEPTS INC
PO BOX 3777 GILBERT AZ USA 85299

WIERZGACZ WAYNE
3643 E MAIN ST MESA AZ USA 85205

D RAY HULT FAMILY LIMITED
PARTNERSHIP
3600 S REDWOOD RD SALT LAKE
CITY UT USA 84119

NICE JEFF/SHELLY
146 N SULLEYS DR MESA AZ USA
85205

JACOBOWITZ KYLE/DAN/MARY
6141 MACARTHUR WAY BUENA
PARK CA USA 90620

SAIA FAMILY LIMITED PARTNERSHIP
2120 E 6TH ST TEMPE AZ USA 85281

CHELSEA POINT TRUST
105 S NEW HAVEN ST MESA AZ USA
85206

SULLIVAN DANNY ELLEN TR
4020 E ALDER AVE MESA AZ USA
85206

ARBOR WAY LLC
129 S OMAHA MESA AZ USA 85206

PEARSON CHRISTOPHER
4145 E ARBOR AVE MESA AZ USA
85206

MAGER AUDREY N/MICHAEL
A/JACQUELINE A
4204 E ALDER AVE MESA AZ USA
85206

RULEY THOMAS E/LINDA J
4062 E ARBOR AVE MESA AZ USA
85206

ANDERSON FAMILY LIVING TRUST
4224 E ALDER AVE MESA AZ USA
85206

CHAIRA FAMILY TRUST
2301 E MOHAVE LN APACHE JCT AZ
USA 85119

OOSTENDORP TERESA
LYNN/DEBORAH S
4243 E ALDER AVE MESA AZ USA
85206

ASHCROFT NANCY M
4146 E ALDER AVE MESA AZ USA
85206

COUNTRYMAN FAMILY LIVING
TRUST
4026 E ALDER AVE MESA AZ USA
85206

JANITELL LINDA C
251 N 61ST PL MESA AZ USA 85205

HILL DEBORA L
165 N SULLEYS DR MESA AZ USA
85205

SFP ALDER AVE LLC
4005 MANZANITA AVE CARMICHAEL
CA USA 95608

DAY KAREN M/LAWRENCE A
4152 E ARBOR AVE MESA AZ USA
85206

AMAYA PAMELA
4011 E ARBOR AVE MESA AZ USA
85206

RUELAS MAYRA
ALEJANDRA/FIGUEROA HECTOR A R
4249 E ALDER AVE MESA AZ USA
85206

NUNEZ JOSE N/LYNETTE
4052 E ALDER AVE MESA AZ USA
85206

UEKE ROGER W/BETTY
4033 E ALDER AVE MESA AZ USA
85206

PERKINS AMBER N
4039 E ALDER AVE MESA AZ USA
85206

FORD SHAHNAZ
5516 E BILLINGS ST MESA AZ USA
85205

RS XII PHOENIX OWNER 1 LP
717 N HARWOOD ST SUITE 2800
DALLAS TX USA 75201

HANSEN DANIELLE R
101 N MAPLE ST MESA AZ USA
85205

CPI CITRUS GARDENS OWNER L L C
1001 PENNSYLVANIA AVENUE NW
WASHINGTON DC WA USA 20004

NRA LLC
3607 NW 157TH CIR VANCOUVER WA
USA 98685

GEISER LORELEI L
4262 E ALDER AVE MESA AZ USA
85206

GALBREATH KENNETH S
4141 E ARBOR AVE MESA AZ USA
85206

V DURFEE TRUST
161 N SULLEYS DR MESA AZ USA
85205

AKAL MEKURIAW Z
4210 E ALDER AVE MESA AZ USA
85206

SCHULTZ GREGORY L/KAREN A
117 S NEW HAVEN MESA AZ USA
85206

CPI CITRUS GARDENS OWNER L L C
1001 PENNSYLVANIA AVENUE NW
WASHINGTON DC WA USA 20004

PERRI PLAZA LLC
4026 E MAIN ST NO 103 MESA AZ
USA 85205

AUTOZONE INC
3030 POPLAR AVE MEMPHIS TN USA
38111

OUTHONE VONE
4161 E ALDER AVE MESA AZ USA
85206

CHAO CHRISTOPHER C/CHRISTINE
S
2945 N KASHMIR CIR MESA AZ USA
85215

DOUGLAS RICHARD JR
4237 E ALDER AVE MESA AZ USA
85206

WALYUCHOW JASON
4104 E ARBOR AVE MESA AZ USA
85206

SCHUMACHER JOHN C
4254 E ALDER AVE MESA AZ USA
85206

FISCHMANN MEAGEN M
4043 E ARBOR AVE MESA AZ USA
85206

CHEVALIER JOSEPH LEO/DENISE M
TR
118 S OGDEN CIR MESA AZ USA
85206

HARDY DUSTIN R
4134 E ASPEN AVE MESA AZ USA
85206

DERIK ENTERPRISE INC
4244 E MAIN ST MESA AZ USA 85205

MARTIN DONNA F
3958 E ALDER AVE MESA AZ USA
85206

MARC COMMUNITY RESOURCES
INC
924 N COUNTRY CLUB DR MESA AZ
USA 85201

ELSARELLI JOAN
4144 E ASPEN AVE MESA AZ USA
85206

FRONTIERRO SALVATORE
JR/PARICIA E
138 N SULLEYS DR MESA AZ USA
85205



atmosphere

architects

Mesa AZ 85201

602.888.4671 www.atmosarch.com tim@atmosarch.com

4140 E Main, Mesa Development Community Report



Home or property owners within 1000' of this project, and Neighborhood Associations or HOAs within a mile, were invited to participate in an online ZOOM community meeting:

Time: Tuesday, November 29, 2022 07:00 PM Arizona

<https://asu.zoom.us/j/81635160690>

Password: 4140

For assistance or a clickable copy of the link, please email tim@atmosarch.com prior to the meeting.

Letters were sent out 2 weeks prior to the meeting to the addresses attached.

The meeting began at 7pm. The architect and developer waited online for 45 minutes and no neighbors attended the meeting. They tested the link twice to be sure everything was working correctly, and it was.

Community Meeting Report

1 Jan 2023



atmosphere

architects

Mesa AZ 85201

602.888.4671 www.atmosarch.com tim@atmosarch.com

4140 E Main, Mesa Development Community Meeting

The 80 dwelling units of 4140 E Main are a luxury 2020's modern style project. The 2 story, 3 bedroom and 3 story, 2 bedroom units with two car garages feature balconies and large windows to bring in light. The minimalist design of this infill project continues an upscale standard for future streetfront development throughout Mesa. Multiple amenities also include a large park, pool, pickleball, ramada, pocket parks and a dog park.



This lot has been long overlooked for redevelopment. Careful architectural consideration was made to create a vibrant multifamily community. Extensive shade trees and landscaping have been designed along the perimeter of the project to enhance its beauty and minimize views into neighboring lots.

As a home or property owner within 1000' of this project, or a Neighborhood Association or HOA within a mile, you are invited to participate in an online ZOOM community meeting:

Time: Tuesday, November 29, 2022 07:00 PM Arizona

<https://asu.zoom.us/j/81635160690>

Password: 4140

For assistance or a clickable copy of the link, please email tim@atmosarch.com prior to the meeting.

Community Meeting Letter

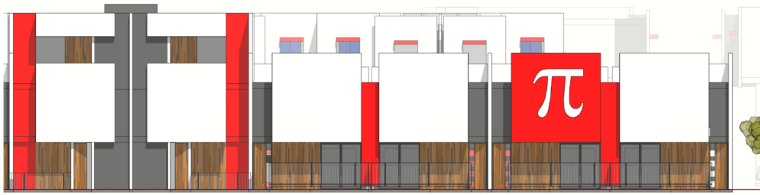
11 Nov 2022



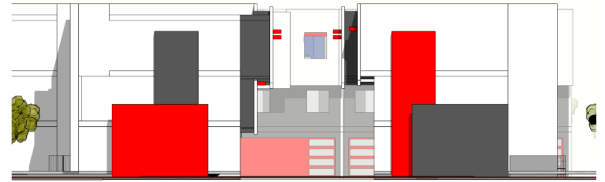
atmosphere
architects

Mesa AZ 85201

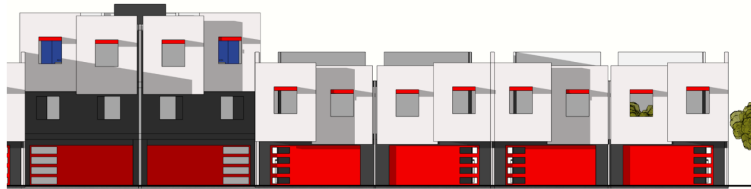
602.888.4671 www.atmosarch.com tim@atmosarch.com



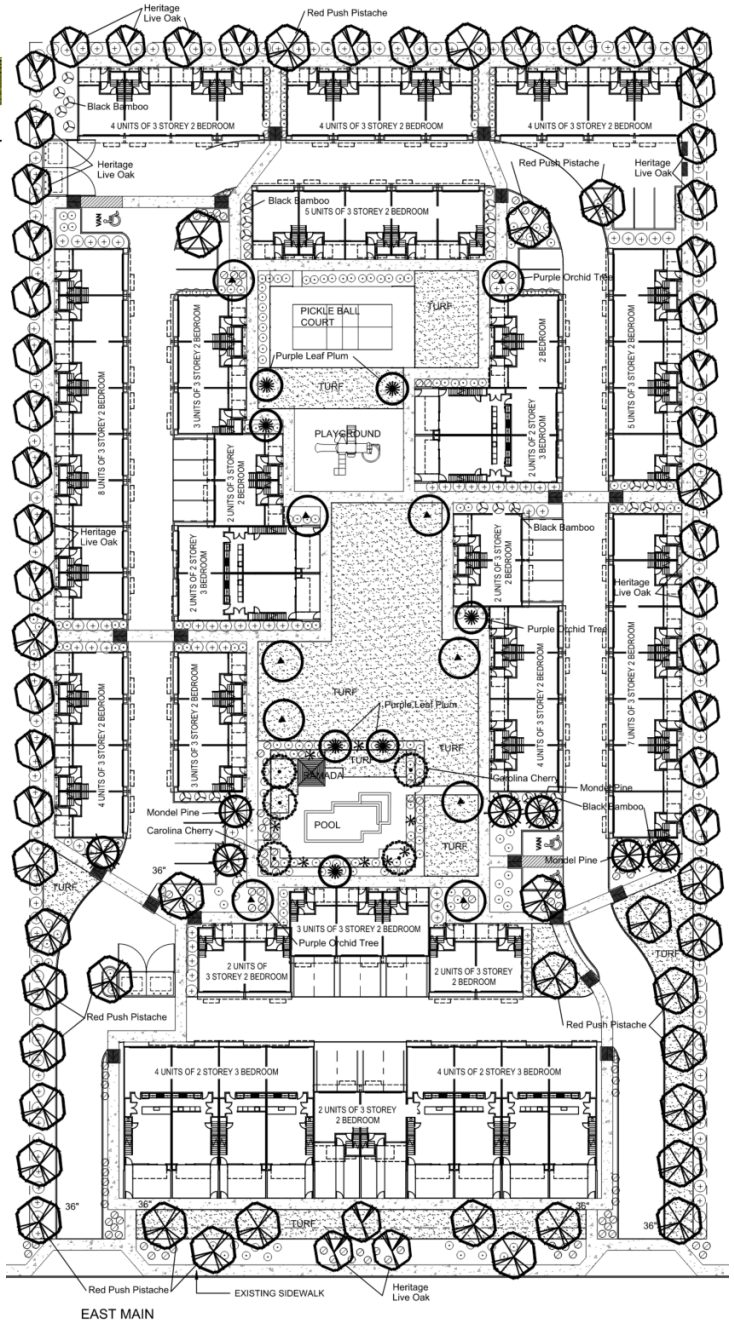
FRONT STREET ELEVATIONS



SIDE ELEVATIONS



DRIVE AISLE ELEVATIONS



Planning & Zoning Board Hearing Notification Letter

March 23, 2023

Dear Neighbor,

We have applied for a Rezone from Limited Commercial (LC) to Multiple Residence-4 with a Planned Area Development overlay (RM-4-PAD) and Site Plan Review. for the property located at 4140 E Main St, Mesa, AZ 85205. This request will allow for a multiple residence development. The case number assigned to this project is ZON22-01097.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602-888-4671 or e-mail me at tim@atmosarch.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on April 12, 2023 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

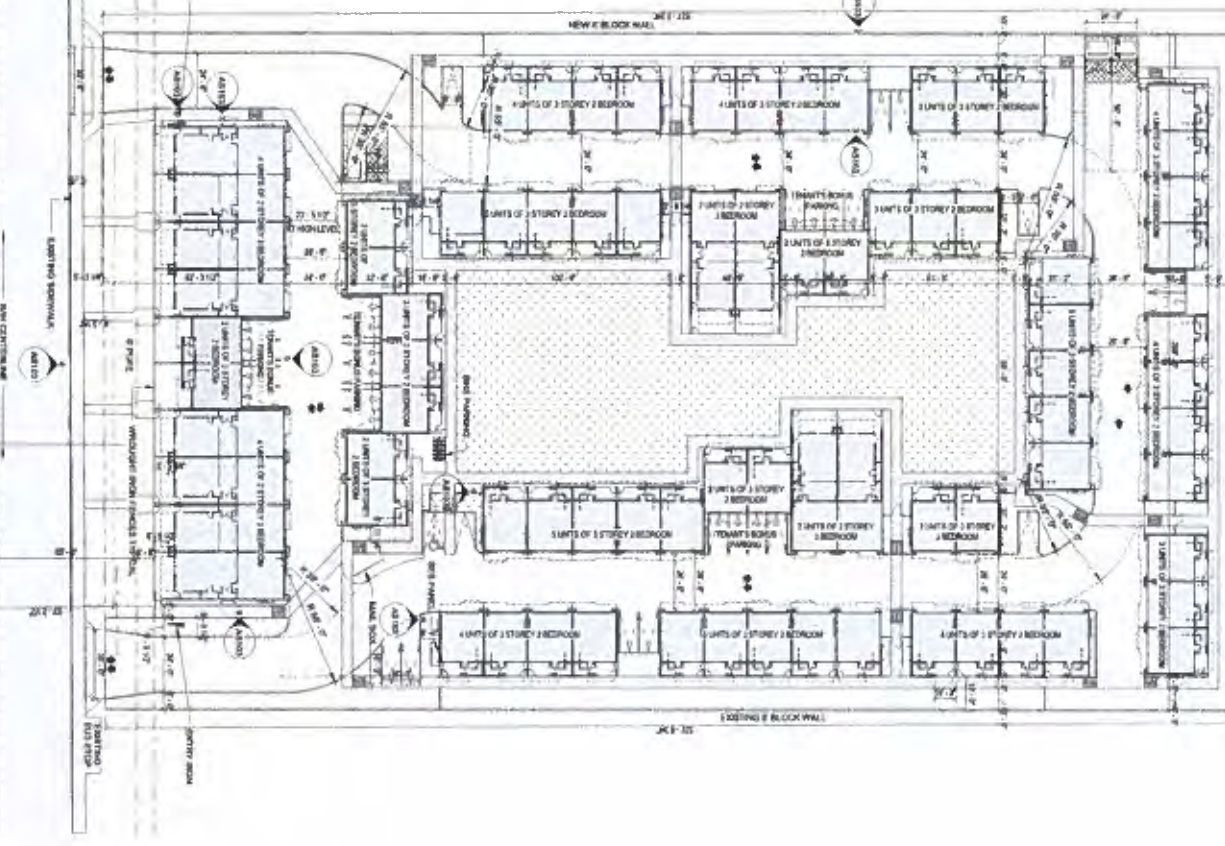
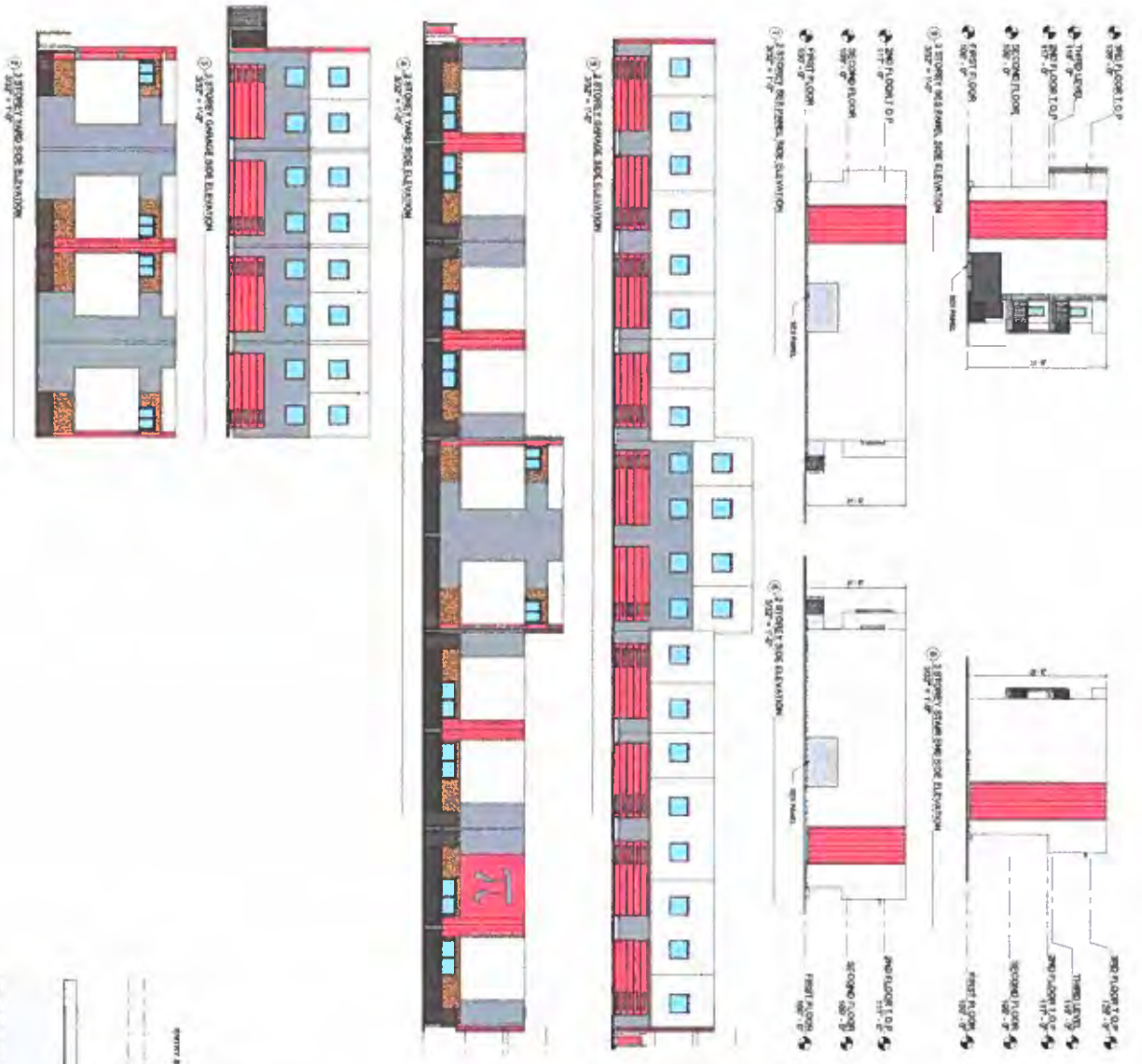
The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Charlotte Bridges of their Planning Division staff. He/she can be reached at 480-644-6712 or Charlotte.Bridges@mesaaz.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,





1. SITE PLAN
1" = 30'0"



MARICOPA COUNTY

Feature Information

(1 of 2)

140-19-010

Owner Information

Owner Name: DOLLY VARDEN LLC
Property Address: 4140 E MAIN ST MESA 85205
Mailing Address: 4140 E MAIN ST MESA AZ USA 85205
Deed Number: 20220193614
Sale Date: 03/01/2022
Sale Price: \$1,250,000

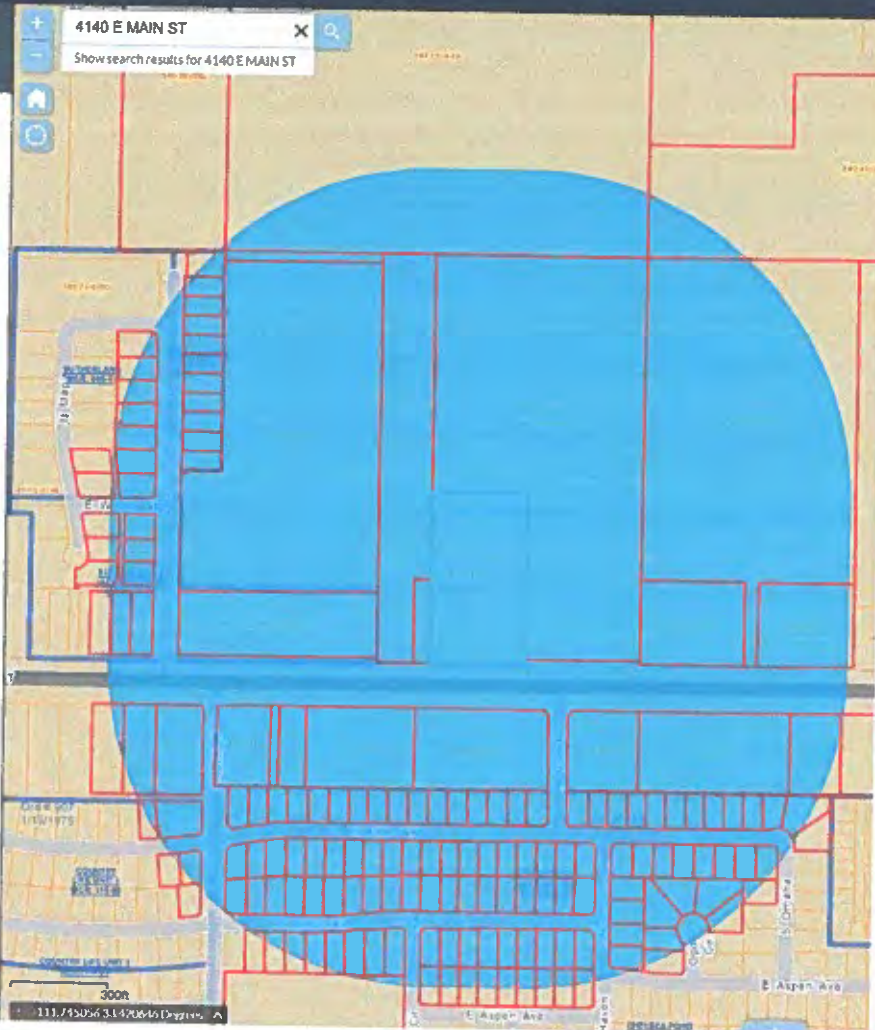
Property Information

Lat/Long: 33.416388, -111.742403
S/T/R: 21 1N 6E
Jurisdiction: MESA
Zoning: LC
PUC: 0022
Lot Size (sq ft): 159,001.00
MCR #:
Subdivision:
Lot #:
Floor: 1
Construction Year:
Living Space (sq ft):

Valuation Information

Tax Year:	2024	2023
FCV:	\$ 1,260,900	\$ 1,068,500
LPV:	\$ 682,343	\$ 649,851
Legal Class:	2.R	2.R

Zoom to Clear Selected



DAVID AND LINDA LEACH LIVING
TRUST
4140 E ARBOR AVE MESA AZ USA
85206

SREIT SAN FERNANDO
APARTMENTS LLC
2340 COLLINS AVE MIAMI BEACH FL
USA 33139

BLOMMER SHERI
4034 E ALDER AVE MESA AZ USA
85206

HAWKES RICHARD MARVIN
4218 E EMILITA MESA AZ USA 85206

ANDERSSON SARA MARGIT
CHRISTINA/MCPEAK DEVIN
4248 E ALDER AVE MESA AZ USA
85206

S1SAAGC LLC
117 N SULLEYS DR MESA AZ USA
85213

WAGGONER RALPH/GOMEZ CINTHIA
NALLEY
11021 E DECATUR ST MESA AZ USA
85207

CHRISTENSEN STEVEN B/SHERI L
4118 E ASPEN AVE MESA AZ USA
85206

LONG FAMILY TRUST
4216 E ALDER AVE MESA AZ USA
85206

KUNIS JOSHUA M
4130 E ALDER AVE MESA AZ USA
85206

PACHECO CARMEN D/STEPHANIE
4023 E ARBOR AVE MESA AZ USA
85205

JONES BRENDA
4055 E ARBOR AVE MESA AZ USA
85206

OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD STE 1600
TEMPE AZ USA 85288

PROGRESS RESIDENTIAL
BORROWER 5 LLC
PO BOX 4090 SCOTTSDALE AZ USA
85261

SIG AZ LLC
4365 E PECOS RD STE 140 GILBERT
AZ USA 85295

STUCK JASON KYLER/MATHIS
SAMANTHA RAE
109 N SULLEYS DR MESA AZ USA
85205

MUTH RONALD W/NITA A
126 S OGDEN CIR MESA AZ USA
85206

VEVERKA SHERRIE L
4110 E ASPEN AVE MESA AZ USA
85206

DUNLAP DONALD F/VERNETTA
39 N MAPLE MESA AZ USA 85205

MOYA ALBERT S
105 N MAPLE MESA AZ USA 85205

GIBSON JOHN C/TWLA A TR
108 S OMAHA MESA AZ USA 85206

CAROLINE ELAINE PAGE
REVOCABLE TRUST
4153 E ALDER AVE MESA AZ USA
85206

BIAR NORMAN E/CYNTHIA L
4150 E ASPEN AVE MESA AZ USA
85206

EDWARD AND JUANITA AVILA
FAMILY TRUST
4140 E ASPEN AVE MESA AZ USA
85206

BLACKWELL MICHELLE T
4230 E ALDER AVE MESA AZ USA
85206

MATTHEWS DEBRA
4119 E ARBOR AVE MESA AZ USA
85206

VELASQUEZ EPHAN RICHARD
4058 E ALDER AVE MESA AZ USA
85206

BECKETT MARTY
4064 E ALDER AVE MESA AZ USA
85206

STEWART BOBBY E JR/ELENA L
122 N SULLEYS DR MESA AZ USA
85205

MANN CHARLES T/ORTIZ LOURDES
L
4049 E ARBOR AVE MESA AZ USA
85206

TORRES ALFREDO E/NOEMI J
4044 E ARBOR AVE MESA AZ USA
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125 N SULLEYS DRIVE LLC
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107 S OGDEN CIR MESA AZ USA
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ALBERTO
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CO USA 80550

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BEACH CA USA 92662

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112 S OGDEN CIR MESA AZ USA
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4217 E ALDER AVE MESA AZ USA
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BECKETT JILL L/MARTY D
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AUSTIN TX USA 78746

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PO BOX 2654 SCOTTSDALE AZ USA
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1004 N ROBIN LN MESA AZ USA
852135455

HOLGUIN MANUEL B/SOLEDAD
4031 E ARBOR AVE MESA AZ USA
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LLC DEFINED BENE
18444 N 25TH AVE SUITE 420 507
PHOENIX AZ USA 85023

HAMBLIN BARBARA M TR
4159 E ARBOR AVE MESA AZ USA
85206

AHDOOT THOMAS
644 E LEHI RD MESA AZ USA 85203

CRYSLER CINDI LEE
3946 E ALDER AVE MESA AZ USA
85206

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO
CALABASAS CA USA 91302

HUCKELBERY MATTHEW S
380 ECS/SCOIA APO USA 09853

ARIAS DARIO/MELISSA
32 N SULLEYS DR MESA AZ USA
85205

HAWKES RICHARD M
3945 E MAIN ST MESA AZ USA 85205

HOROWITZ JACK RUTH TR
5231 MOUNT HELENA AVE LOS
ANGELES CA USA 90041

WALKER FAMILY LIVING TRUST
1829 W 14TH AVE APACHE
JUNCTION AZ USA 85120

PURDON JOHN
2218 N 94TH AVE PHOENIX AZ USA
85037

ROOD ROGER/HEIDI
4211 E ALDER AVE MESA AZ USA
85206

FRAZIER HEATHER J TR
4160 E ARBOR AVE MESA AZ USA
85206

MESA CITY OF
PO BOX 1466 MESA AZ USA 85211

FERGUSON COREN
112 N SULLEYS DR MESA AZ USA
85205

OLIVARES MIGUEL A/JUANA
153 N SULLEYS DR MESA AZ USA
85205

PETIT KAYLA
4121 E ALDER AVE MESA AZ USA
85206

WIERZGACZ WAYNE E
3655 E HALIFAX MESA AZ USA 85205

YUSOOF SALIM M/YASEEN
4046 E ALDER AVE MESA AZ USA
85206

ABNEY JAMES A/STEPHANIE TR
133 N SULLEYS DR MESA AZ USA
85205

NEWMAN TYLER JAMES
4141 E ALDER AVE MESA AZ USA
85206

WALL TEAM LAND BARONS LLC
1511 E SILVERWOOD DR PHOENIX
AZ USA 85048

PETERSON FAMILY TRUST LP
PO BOX 5893 MESA AZ USA 85211

HATHCOCK HAROLD I/DIANE MARIE
102 N SULLEYS DR MESA AZ USA
85205

FITZGERALD LARRY/CHARLENE
8960 E HALIFAX CIR MESA AZ USA
85207

2018-3 IH BORROWER LP
1717 MAIN ST SUITE 2000 DALLAS
TX USA 85201

CHAU HOLLY
4019 E ALDER AVE MESA AZ USA
85206

GARNER JASON D/SUZANNE A
3418 E UNIVERSITY DR MESA AZ
USA 85213

PEREZ ISELA/GARCIA GUSTAVO R
4138 E ALDER AVE MESA AZ USA
85206

BAND JOYANNA/MARK P
8031 N 15TH AVE PHOENIX AZ USA
85021

FRANK WEST CAPITAL LLC
4365 E PECOS RD SUITE 108
GILBERT AZ USA 85295

MUNOZ JONATHAN
149 N SULLEYS DR MESA AZ USA
85205

PERKINS GODFREY SQUARE LLC
13825 N 7TH ST STE M PHOENIX AZ
USA 85022

TUCTO SERGIO F MOYANO/MOYANO
ROSA A
4114 E ALDER AVE MESA AZ USA
85206

ABDULAZIZ SAHAR
6559 E SIERRA MORENA ST MESA
AZ USA 85215

SIMMONS DYAN
125 S NEW HAVEN MESA AZ USA
85206

CHEN-YU TRUST
19726 DRAKE CT CUPERTINO CA
USA 95014

CORDOVA JESUS GALINDO
33 N MAPLE MESA AZ USA
852058503

MUNGUIA FAUSTO LEON/DE LEON
AUDENCIA SANCHEZ
4008 E ALDER AVE MESA AZ USA
85206

BRUNNER RYAN J
4127 E ARBOR AVE MESA AZ USA
85206

STEWART CHAZ RYAN/TAYLOR
SARAH
4112 E ARBOR AVE MESA AZ USA
85206

NG ROXANNA J/LEYVA RAY M
8851 CALLITA ST SAN GABRIEL CA
USA 91775

REED DAVID W/JANA
4126 E ASPEN AVE MESA AZ USA
85206

PHILLIPS LISA D/JEFFREY L
49 S OMAHA ST MESA AZ USA 85206

BEECHAM JAMES J
4057 E ALDER AVE MESA AZ USA
85206

FITZGERALD LARRY/CHARLENE
8960 E HALIFAX CIR MESA AZ USA
85207

MARTINEZ CRISTINA VERONICA
4242 E ALDER AVE MESA AZ USA
85206

KILLIN JOHN A
4037 E ARBOR AVE MESA AZ USA
85206

HORTON MARMMETT
4111 E ARBOR AVE MESA AZ USA
85206

STORE MASTER FUNDING XI LLC
1830 E ELLIOT RD TEMPE AZ USA
85284

ARP 2014-1 BORROWER LLC
23975 PARK SORRENTO CALABASAS
CA USA 91302

FITZGERALD LARRY/CHARLENE
8960 E HALIFAX CIR MESA AZ USA
85207

FMJ HOLDINGS LLC
5070 N 40TH ST SUITE 135 PHOENIX
AZ USA 85050

STORE MASTER FUNDING XI LLC
1830 E ELLIOT RD TEMPE AZ USA
85284

ORDONEZ SAMUEL V/KELSIE A
40 N SULLEYS DR MESA AZ USA
85205

DOVE LANDY III/MICHELSER ERICA
157 N SULLEYS DR MESA AZ USA
85205

DOLLY VARDEN LLC
4140 E MAIN ST MESA AZ USA 85205

YATH DANEE/EUL CHAD
4024 E ARBOR AVE MESA AZ USA
85206

BREIT SPRINGHAVEN MHC LLC
2075 S COTTONWOOD DR TEMPE
AZ USA 85282

CPI CITRUS GARDENS OWNER L L C
1001 PENNSYLVANIA AVENUE NW
WASHINGTON DC WA USA 20004

MARKHAM BRAD/AUDREY M
1114 N NASSAU MESA AZ USA 85205

FIGUEROA JORGE D RIVAS/RIVAS
CINDY
4135 E ALDER AVE MESA AZ USA
85206

CHEVALIER ROGER G TR/JOSEPH
LEO/DENISE MARIE
4158 E ASPEN AVE MESA AZ USA
85206

AMH 2014 3 BORROWER LLC
23975 PARK SORRENTO
CALABASAS CA USA 91302

PROFESSIONAL CONCEPTS INC
PO BOX 3777 GILBERT AZ USA 85299

PROFESSIONAL CONCEPTS INC
PO BOX 3777 GILBERT AZ USA 85299

WIERZGACZ WAYNE
3643 E MAIN ST MESA AZ USA 85205

D RAY HULT FAMILY LIMITED
PARTNERSHIP
3600 S REDWOOD RD SALT LAKE
CITY UT USA 84119

NICE JEFF/SHELLY
146 N SULLEYS DR MESA AZ USA
85205

JACOBOWITZ KYLE/DAN/MARY
6141 MACARTHUR WAY BUENA
PARK CA USA 90620

SAIA FAMILY LIMITED PARTNERSHIP
2120 E 6TH ST TEMPE AZ USA 85281

CHELSEA POINT TRUST
105 S NEW HAVEN ST MESA AZ USA
85206

SULLIVAN DANNY ELLEN TR
4020 E ALDER AVE MESA AZ USA
85206

ARBOR WAY LLC
129 S OMAHA MESA AZ USA 85206

PEARSON CHRISTOPHER
4145 E ARBOR AVE MESA AZ USA
85206

MAGER AUDREY N/MICHAEL
A/JACQUELINE A
4204 E ALDER AVE MESA AZ USA
85206

RULEY THOMAS E/LINDA J
4062 E ARBOR AVE MESA AZ USA
85206

ANDERSON FAMILY LIVING TRUST
4224 E ALDER AVE MESA AZ USA
85206

CHAIRA FAMILY TRUST
2301 E MOHAVE LN APACHE JCT AZ
USA 85119

OOSTENDORP TERESA
LYNN/DEBORAH S
4243 E ALDER AVE MESA AZ USA
85206

ASHCROFT NANCY M
4146 E ALDER AVE MESA AZ USA
85206

COUNTRYMAN FAMILY LIVING
TRUST
4026 E ALDER AVE MESA AZ USA
85206

JANITELL LINDA C
251 N 61ST PL MESA AZ USA 85205

HILL DEBORA L
165 N SULLEYS DR MESA AZ USA
85205

SFP ALDER AVE LLC
4005 MANZANITA AVE CARMICHAEL
CA USA 95608

DAY KAREN M/LAWRENCE A
4152 E ARBOR AVE MESA AZ USA
85206

AMAYA PAMELA
4011 E ARBOR AVE MESA AZ USA
85206

RUELAS MAYRA
ALEJANDRA/FIGUEROA HECTOR A R
4249 E ALDER AVE MESA AZ USA
85206

NUNEZ JOSE N/LYNETTE
4052 E ALDER AVE MESA AZ USA
85206

UEKE ROGER W/BETTY
4033 E ALDER AVE MESA AZ USA
85206

PERKINS AMBER N
4039 E ALDER AVE MESA AZ USA
85206

FORD SHAHNAZ
5516 E BILLINGS ST MESA AZ USA
85205

RS XII PHOENIX OWNER 1 LP
717 N HARWOOD ST SUITE 2800
DALLAS TX USA 75201

HANSEN DANIELLE R
101 N MAPLE ST MESA AZ USA
85205

CPI CITRUS GARDENS OWNER L L C
1001 PENNSYLVANIA AVENUE NW
WASHINGTON DC WA USA 20004

NRA LLC
3607 NW 157TH CIR VANCOUVER WA
USA 98685

GEISER LORELEI L
4262 E ALDER AVE MESA AZ USA
85206

GALBREATH KENNETH S
4141 E ARBOR AVE MESA AZ USA
85206

V DURFEE TRUST
161 N SULLEYS DR MESA AZ USA
85205

AKAL MEKURIAW Z
4210 E ALDER AVE MESA AZ USA
85206

SCHULTZ GREGORY L/KAREN A
117 S NEW HAVEN MESA AZ USA
85206

CPI CITRUS GARDENS OWNER L L C
1001 PENNSYLVANIA AVENUE NW
WASHINGTON DC WA USA 20004

PERRI PLAZA LLC
4026 E MAIN ST NO 103 MESA AZ
USA 85205

AUTOZONE INC
3030 POPLAR AVE MEMPHIS TN USA
38111

OUTHONE VONE
4161 E ALDER AVE MESA AZ USA
85206

CHAO CHRISTOPHER C/CHRISTINE
S
2945 N KASHMIR CIR MESA AZ USA
85215

DOUGLAS RICHARD JR
4237 E ALDER AVE MESA AZ USA
85206

WALYUCHOW JASON
4104 E ARBOR AVE MESA AZ USA
85206

SCHUMACHER JOHN C
4254 E ALDER AVE MESA AZ USA
85206

FISCHMANN MEAGEN M
4043 E ARBOR AVE MESA AZ USA
85206

CHEVALIER JOSEPH LEO/DENISE M
TR
118 S OGDEN CIR MESA AZ USA
85206

HARDY DUSTIN R
4134 E ASPEN AVE MESA AZ USA
85206

DERIK ENTERPRISE INC
4244 E MAIN ST MESA AZ USA 85205

MARTIN DONNA F
3958 E ALDER AVE MESA AZ USA
85206

MARC COMMUNITY RESOURCES
INC
924 N COUNTRY CLUB DR MESA AZ
USA 85201

ELSARELLI JOAN
4144 E ASPEN AVE MESA AZ USA
85206

FRONTIERRO SALVATORE
JR/PARICIA E
138 N SULLEYS DR MESA AZ USA
85205