

Site - 159,001 SF (3.65 Acres)  
80 units IRC Townhome provisions 13R Fire Suppression  
3-story, 2 bedroom unit - foot print coverage - 527 SF  
68 units \* 527 SF = 35,836 SF  
2-story, 3 bedroom unit - foot print coverage - 1,128 SF  
12 units \* 1,128 SF = 13,536 SF  
Total Building Coverage = 49,372 SF  
49,372 SF/159,001 SF = 31% Building Lot Coverage  
Non paved (pervious) surface - per Grading and Drainage

Private space area:  
Total Private open space **required** = (68 \* 100 SF) + (12 \* 120 SF) = **8,240 SF**

Provided -  
3 story, 2 bedroom unit - (66 qty) 58 SF ground floor (53 SF covered); 2nd floor balcony - 63 SF (100% covered); 3rd floor balcony - 63 SF (100% covered). Total 184 SF  
3 story, 2 bedroom unit - (2 qty) 295 SF ground floor (63 SF covered); 2nd floor balcony - 63 SF (100% covered); 3rd floor balcony - 63 SF (100% covered) Total 421 SF  
2 story, 3 bedroom unit - (8 qty) 182 SF ground floor (92 SF covered); 2nd floor balcony - 92 SF (100% covered) Total 274 SF  
2 story, 3 bedroom unit - (4 qty) 209 SF ground floor (92 SF covered); 2nd floor balcony - 92 SF (100% covered) Total 301 SF

Total Private open space **provided** = (66 \* 184 SF) + (2 \* 421 SF) + (8 \* 274 SF) + (4 \* 301 SF) = **16,382 SF**

Common Open/Amenity space **required** = 9,600 SF  
**Provided** = **22,909 SF**

Total Open Space = 16,382 SF + 22,909 SF = **39,291 SF**

Total open space provided per unit 491 SF

491/120 = **409%** more than required

Parking required 80 \* 2.1 = **168**  
Parking provided 80 2-car (22L x 20W) garages = 160  
Visitor = 13  
Tenant Bonus = 18  
**Total Parking Provided = 191**

TRASH CALCULATIONS:  
80 units @ .5 cu yd per week = 40 cu yd per week  
1 pick ups per week - 20 cu yds  
(4) 6 yard bin required (4) provided

#### PLANT CALCULATIONS

STREET RIGHT-OF-WAY LANDSCAPING:  
Linear Feet of Frontage - 260'

Trees required - 11  
(1 Trees per 25 Linear Ft.)  
Shrubs required - 66  
(6 shrubs per 25 Linear Ft.)

Trees provided - 11  
Shrubs provided - 66

ADJACENT PROPERTY LINE LANDSCAPING:  
Linear Feet of Adjacent Property Line - 1364'

Trees required - 55  
(1 Trees per 25 Linear Ft.)  
Shrubs required - 220  
(4 shrubs per 25 Linear Ft.)

Trees provided - 55  
Shrubs provided - 242

PARKING LOT LANDSCAPING:  
Total Parking Islands - 12

Trees required - 12  
(1 Tree per 15' Parking Island)  
Shrubs required - 36  
(3 Shrubs per 15' Parking Island)

Trees provided - 12  
Shrubs provided - 42

PLANT SIZE:  
STREET RIGHT-OF-WAY

24" Box Trees Required - 3  
(Min. 25% required trees)  
26" Box Trees Required - 3  
(Min. 25% of required trees)

Provided - 7  
Provided - 4

ADJACENT PROPERTY LINE

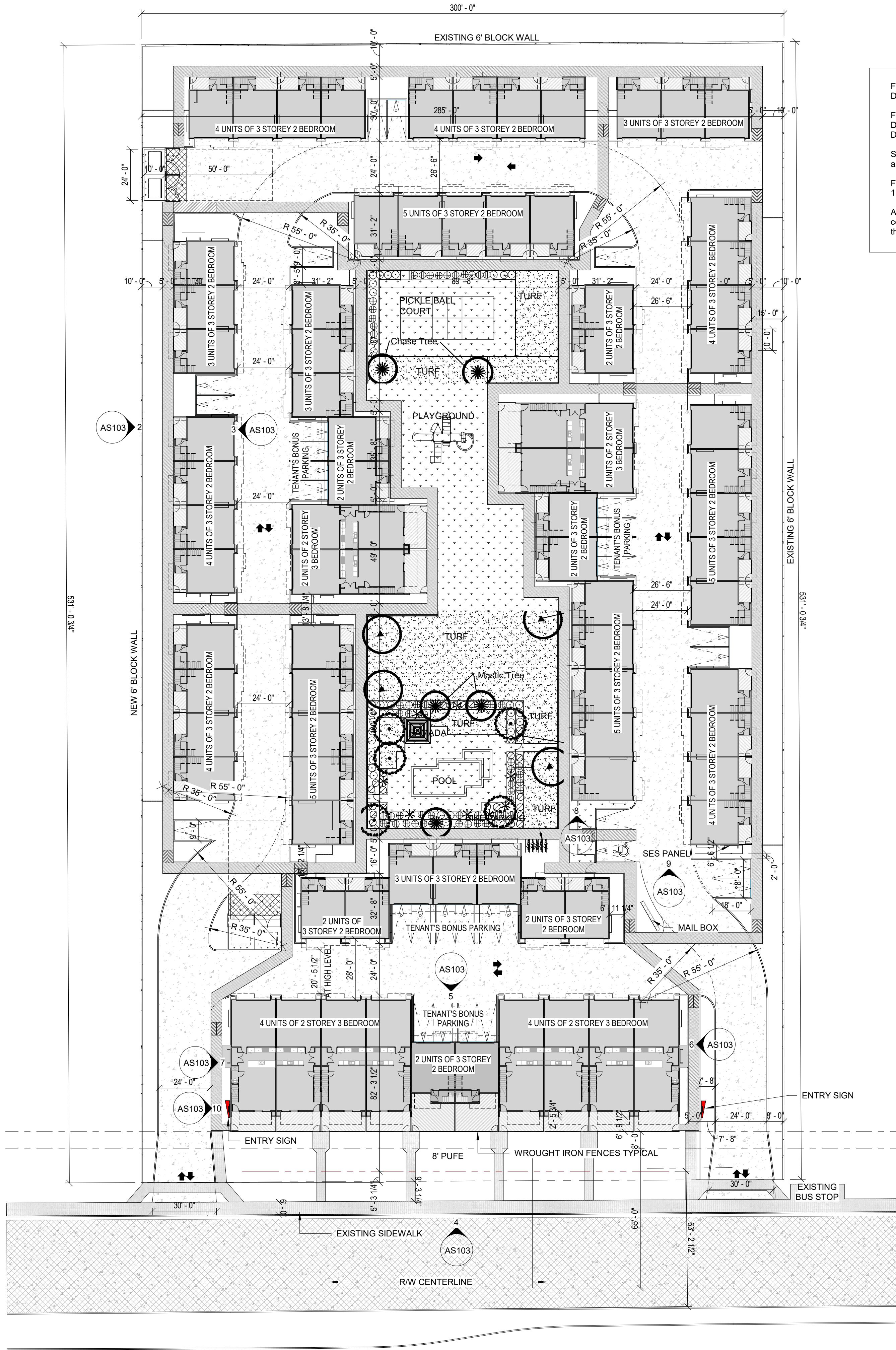
24" Box Trees Required - 28  
(Min. 50% of required trees)

Provided - 55

PARKING LOT

36" Box Trees Required - 1  
(Min. 10% of required parking lot trees)  
24" Box Trees Required - 11  
(All trees other than required 36" box trees)

Provided - 1  
Provided - 11



For walkways crossing drive aisles see Detail 18 Sheet A002

For block walls, screen walls, etc, see Detail 15 and 16. For view fence see Detail 19.

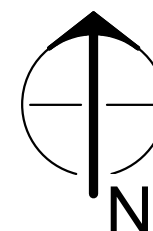
Standard Parking space dimensions are minimum 9' x 18'

For Garbage/Recycling see details 1,2,3, Sheet A002

All Double Garbage/Recycling container locations are provided with the require 50' x 24' loading access

1 SITE PLAN  
1" = 30'-0"

0 30' 60'



no.	date	description

## 4140 E MAIN STREET

4140 E MAIN STREET  
MESA, AZ 85208

PROJECT NO: 22001  
DATE: 03/28/2023

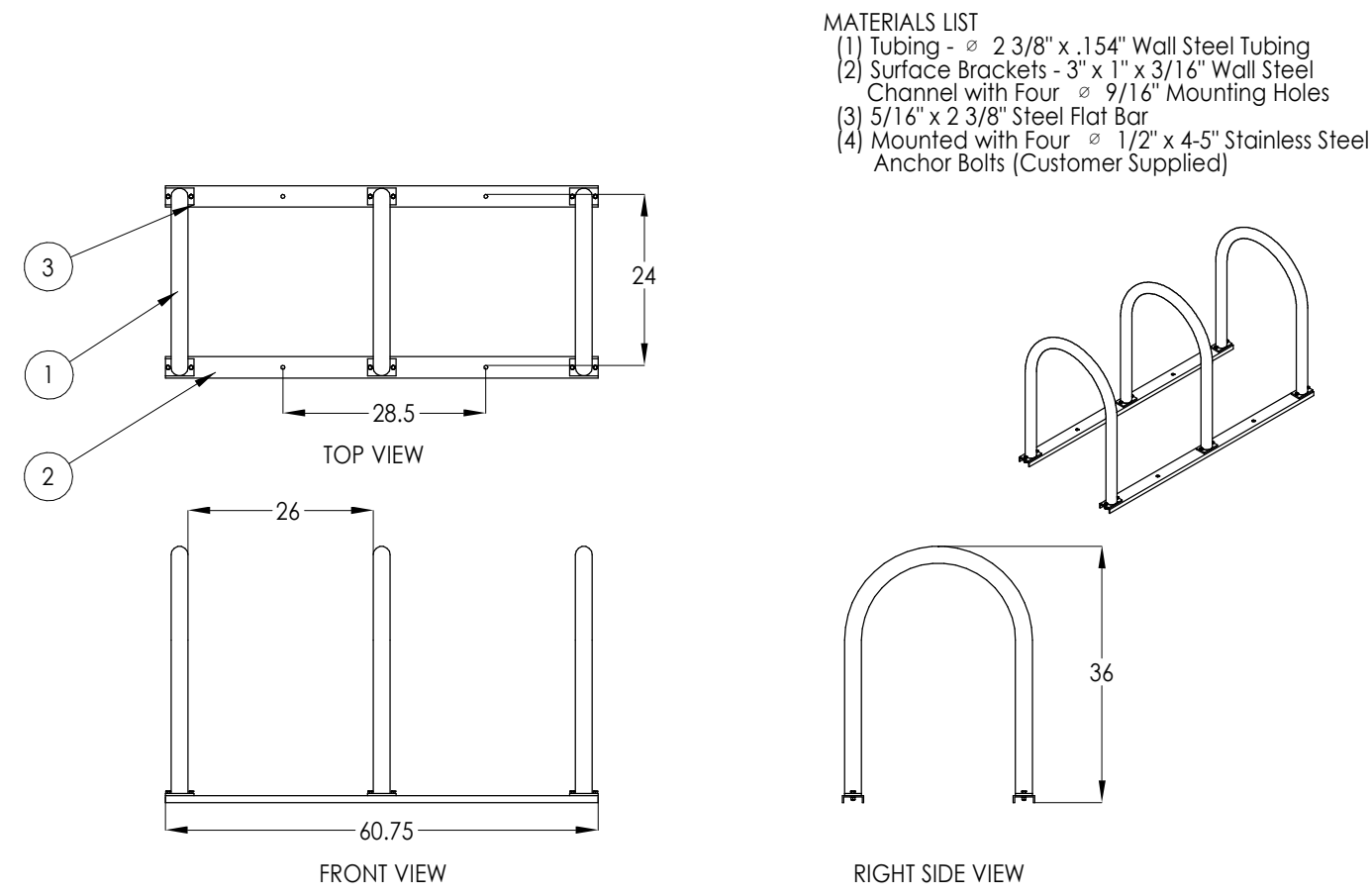


atmosphere architects  
p.o. box 5267  
mesa, az 85211

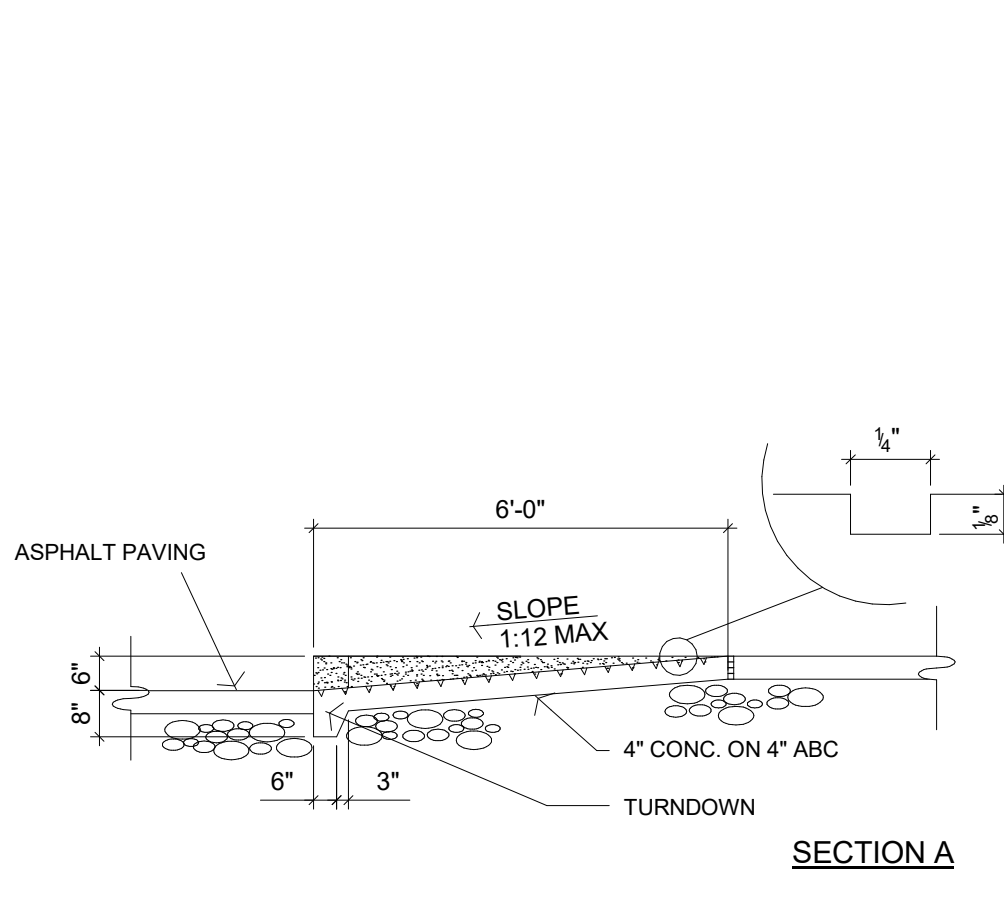
contact: Tim Boyle  
email: tim@atmosarch.com  
tel: 917-526-0323

SITE PLAN 100  
**AS101**

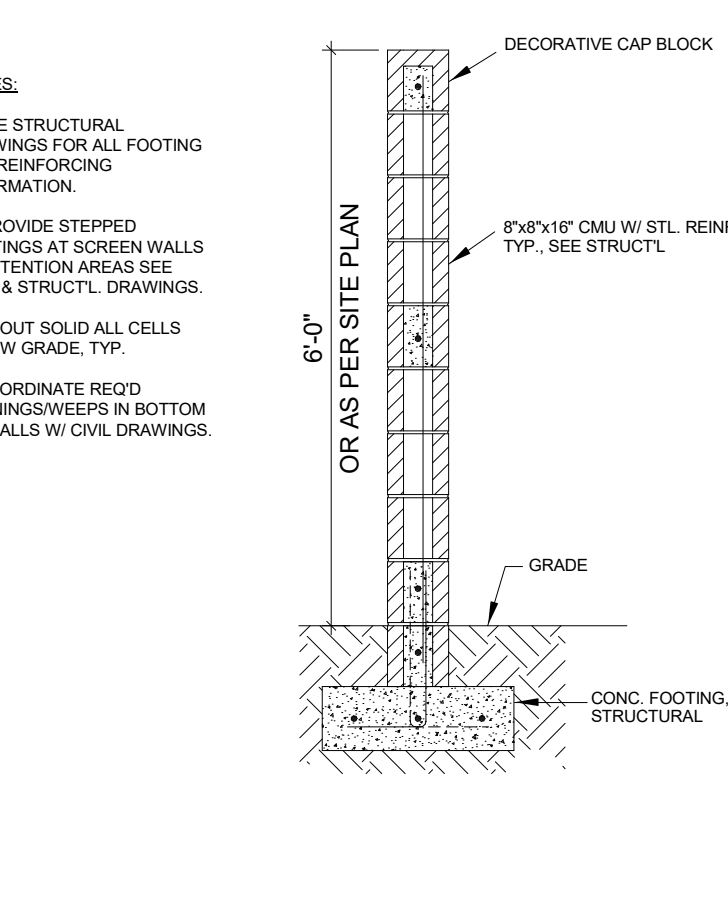




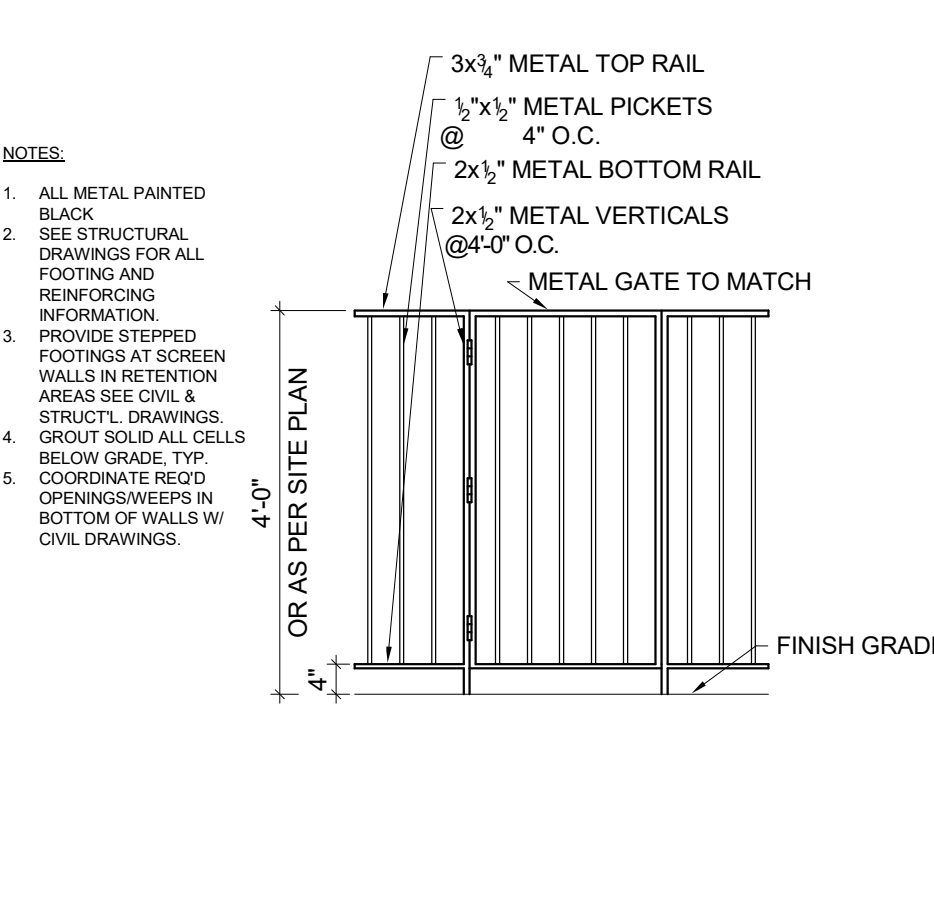
21 BIKE RACK DETAIL  
3/8" = 1'-0"



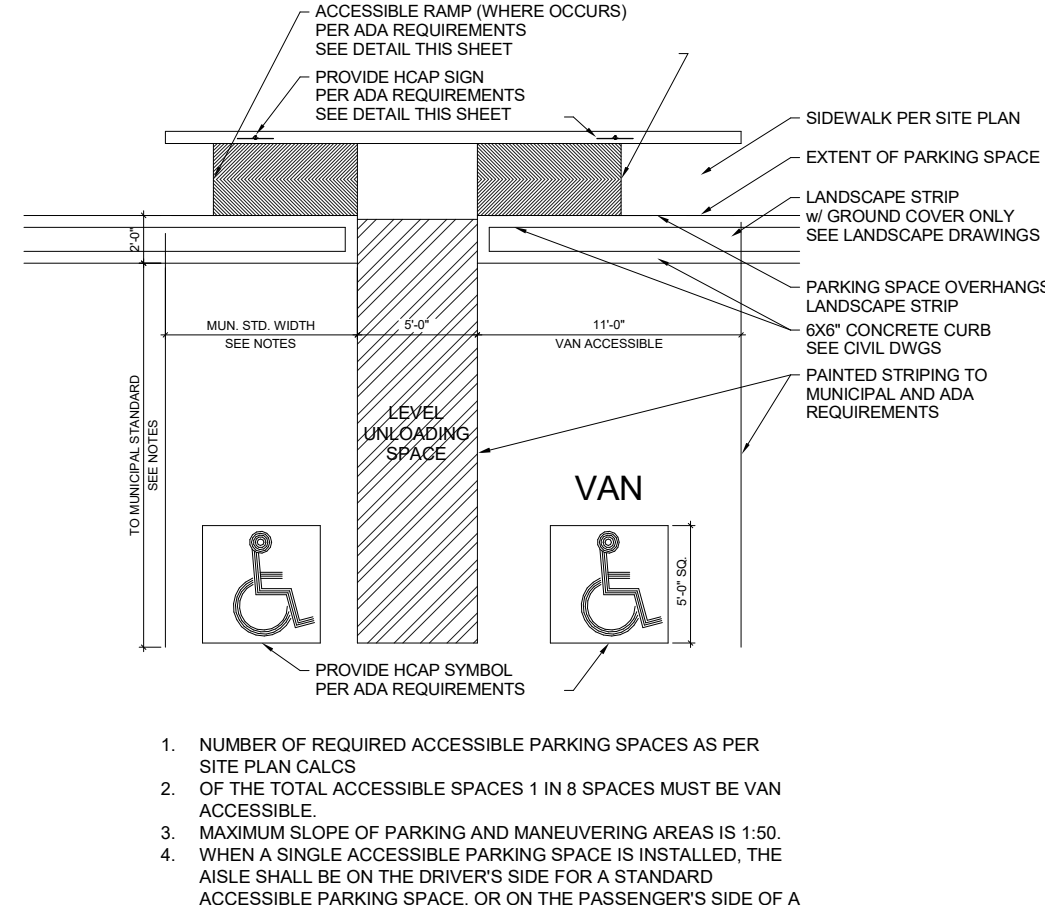
18 ADA RAMP SECTION  
1/4" = 1'-0"



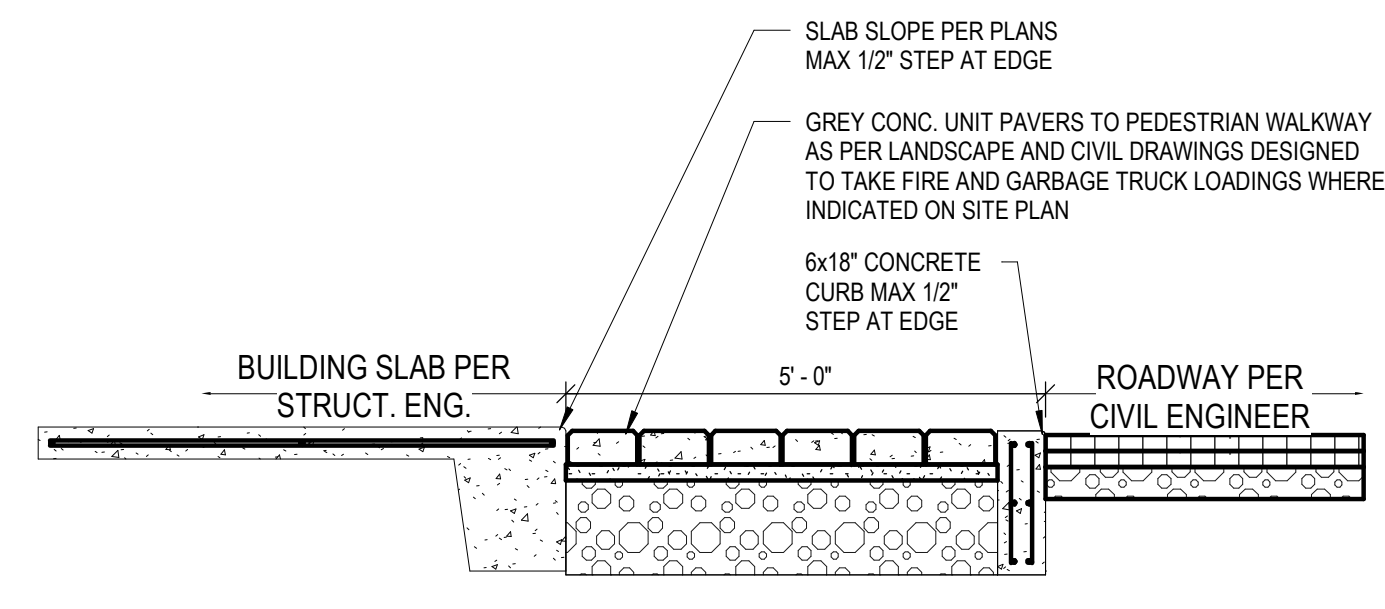
17 TYPICAL CMU FENCE SECTION  
1/2" = 1'-0"



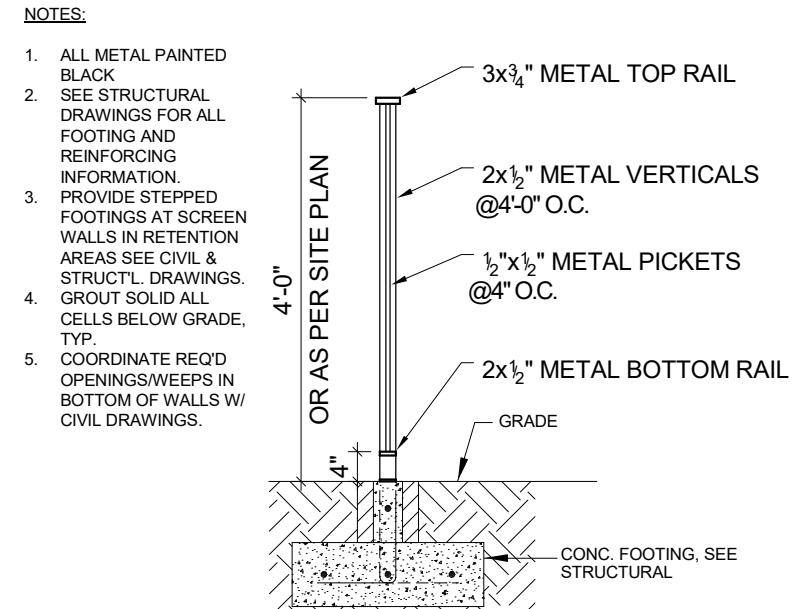
16 TYPICAL METAL FENCE ELEVATION  
1/2" = 1'-0"



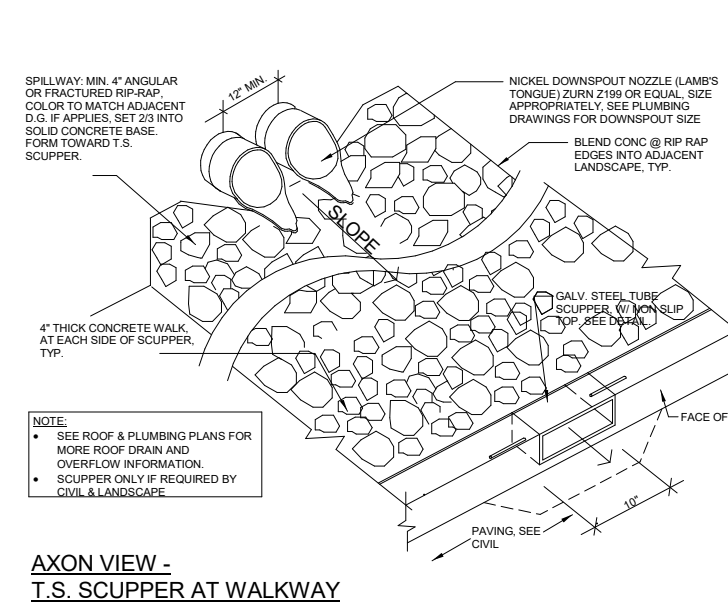
19 ADA PARKING STRIPING  
1/8" = 1'-0"



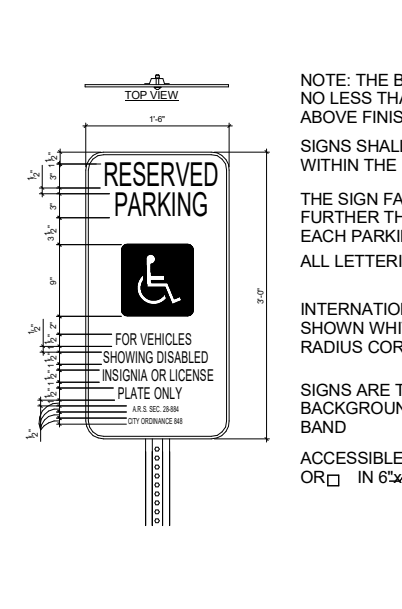
9 PEDESTRIAN WALKWAY AT BUILDING  
1/2" = 1'-0"



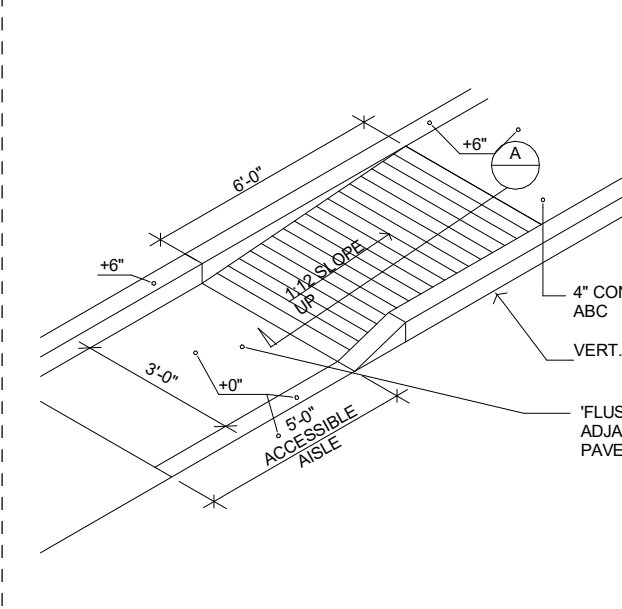
15 TYPICAL METAL FENCE SECTION  
1/2" = 1'-0"



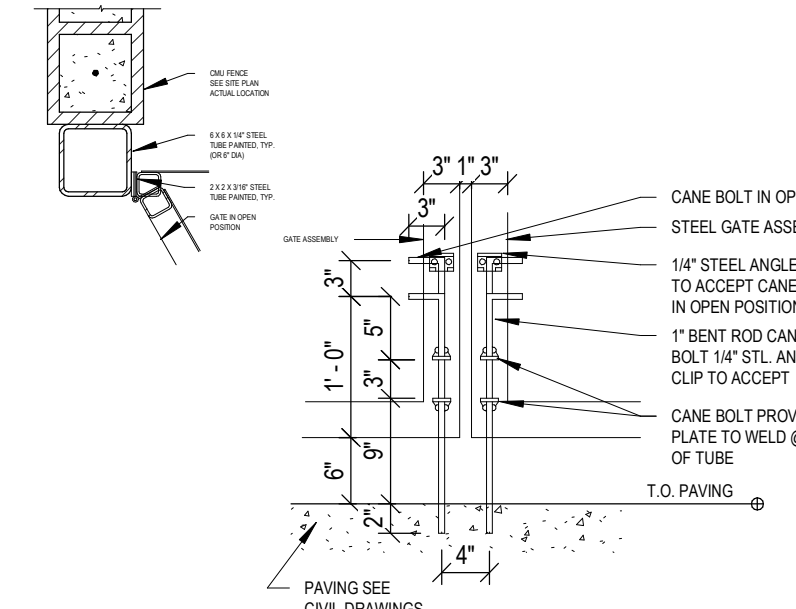
14 LAMB'S TONGUE AT GRADE  
1/2" = 1'-0"



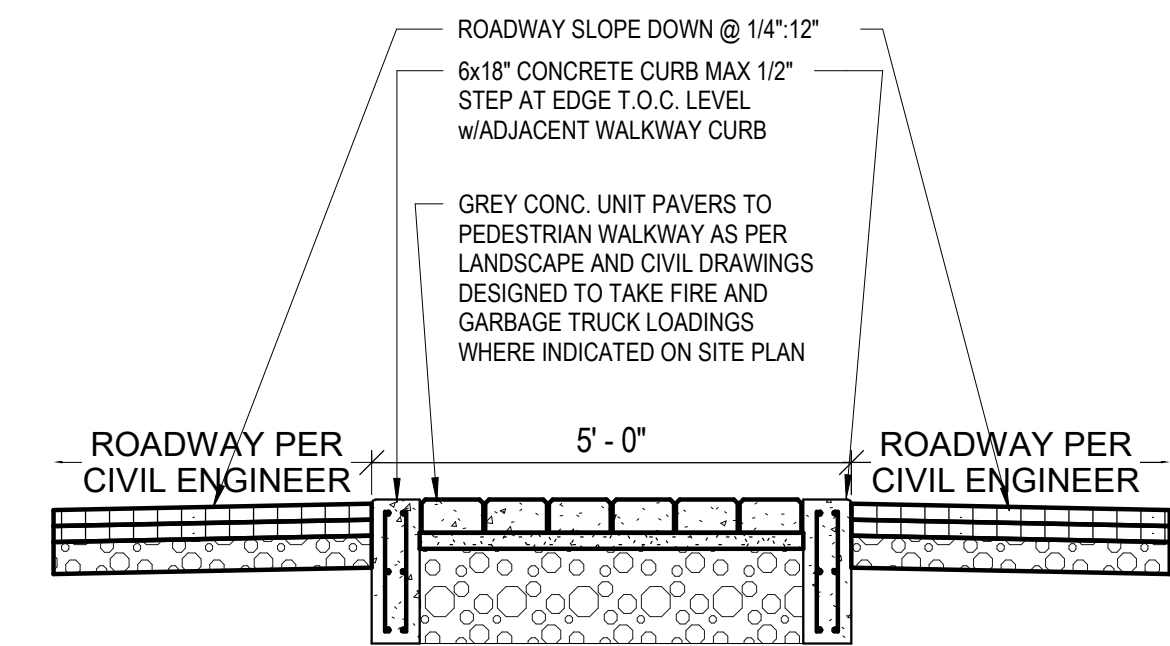
13 ADA PARKING SIGN  
1/2" = 1'-0"



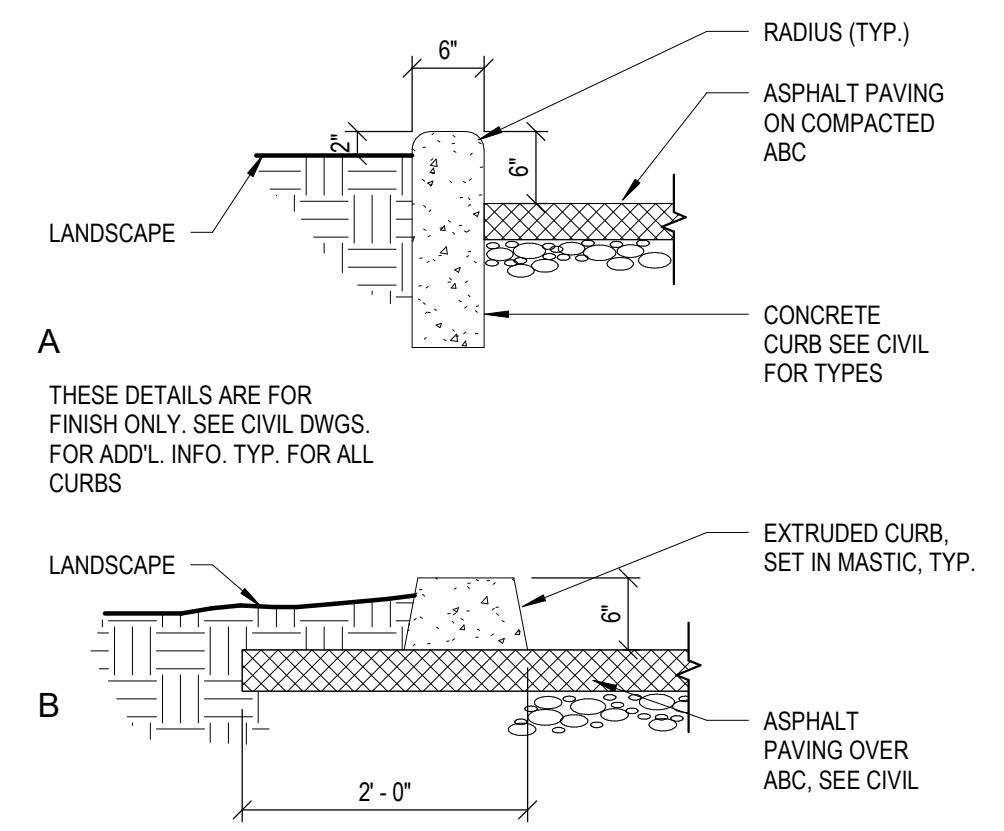
12 ADA RAMP ISO  
1/2" = 1'-0"



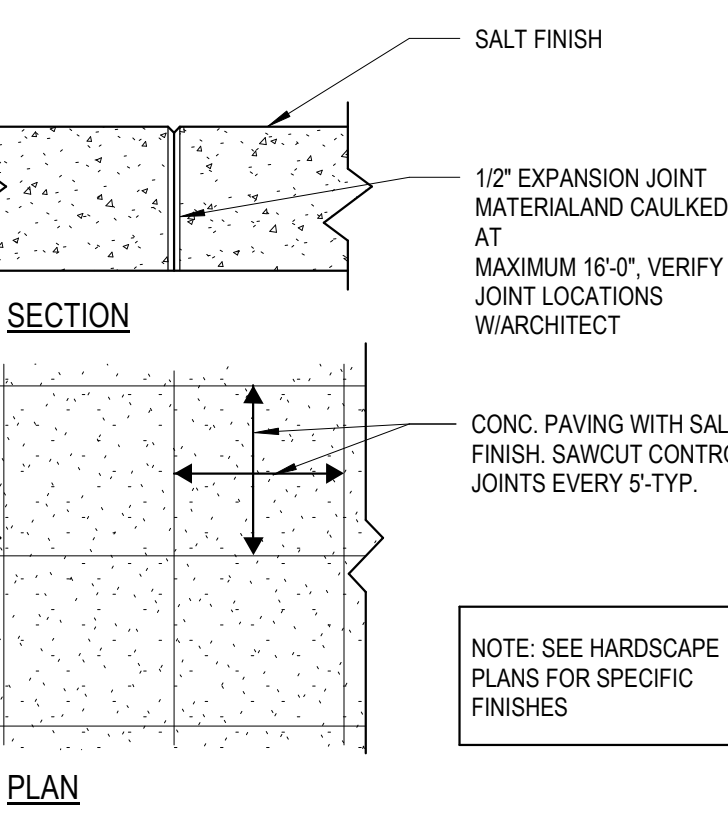
11 TRASH ENCLOSURE GATE DETAILS  
3/4" = 1'-0"



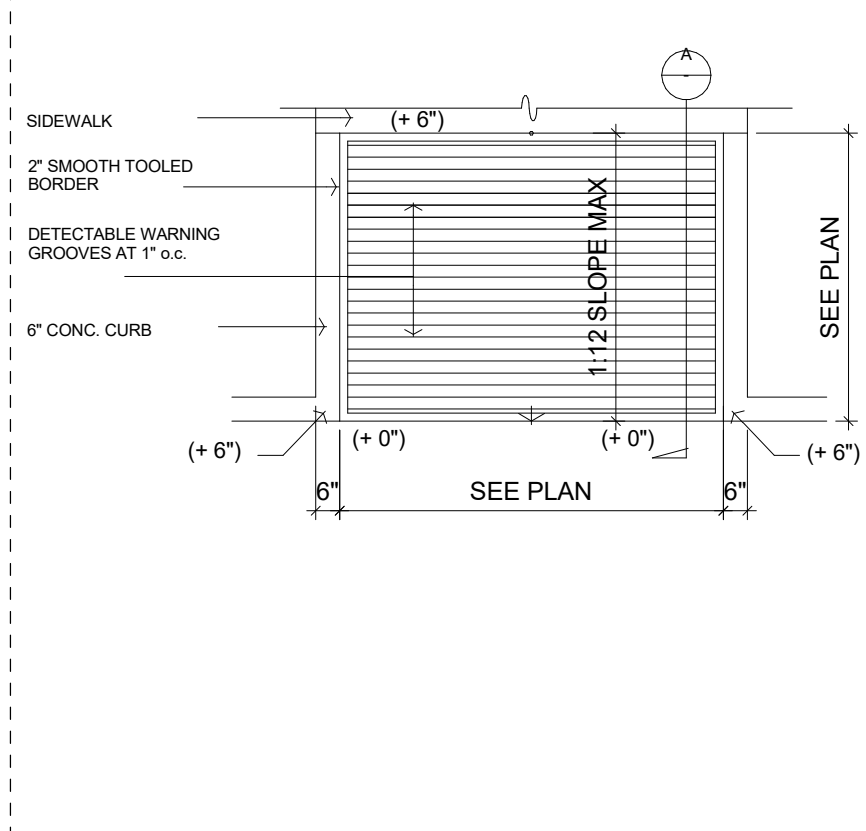
10 PEDESTRIAN WALKWAY IN ROADWAY  
1/2" = 1'-0"



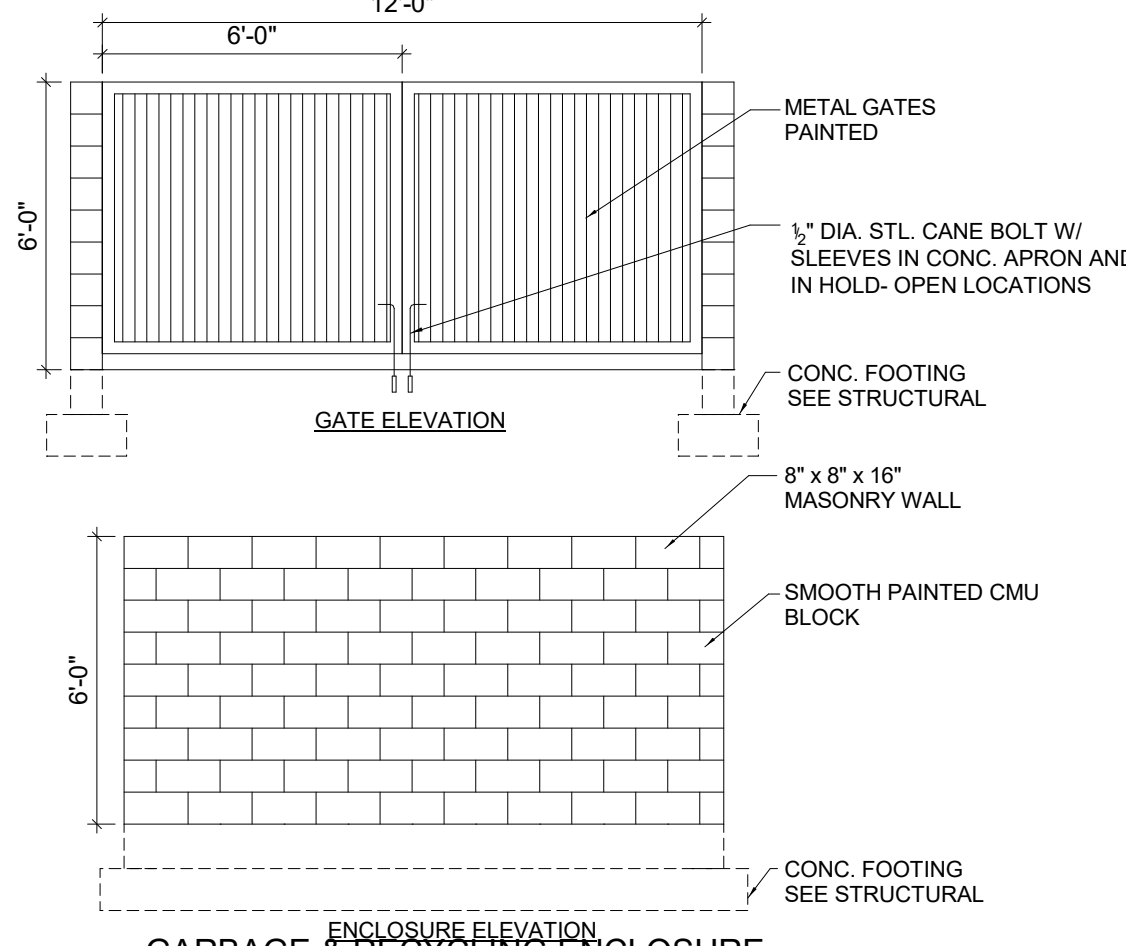
8 TYPICAL PARKING CURB DETAILS  
3/4" = 1'-0"



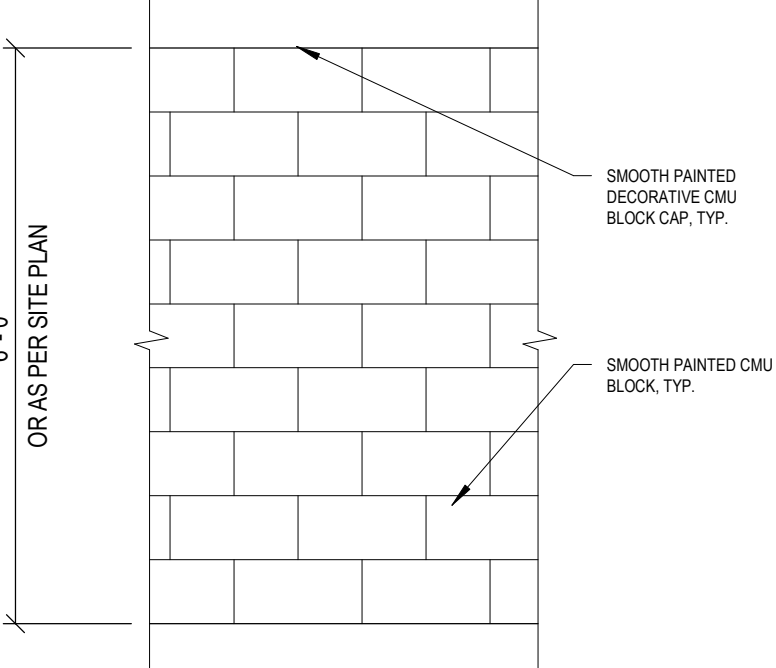
7 CONCRETE SIDEWALK FINISH  
1 1/2" = 1'-0"



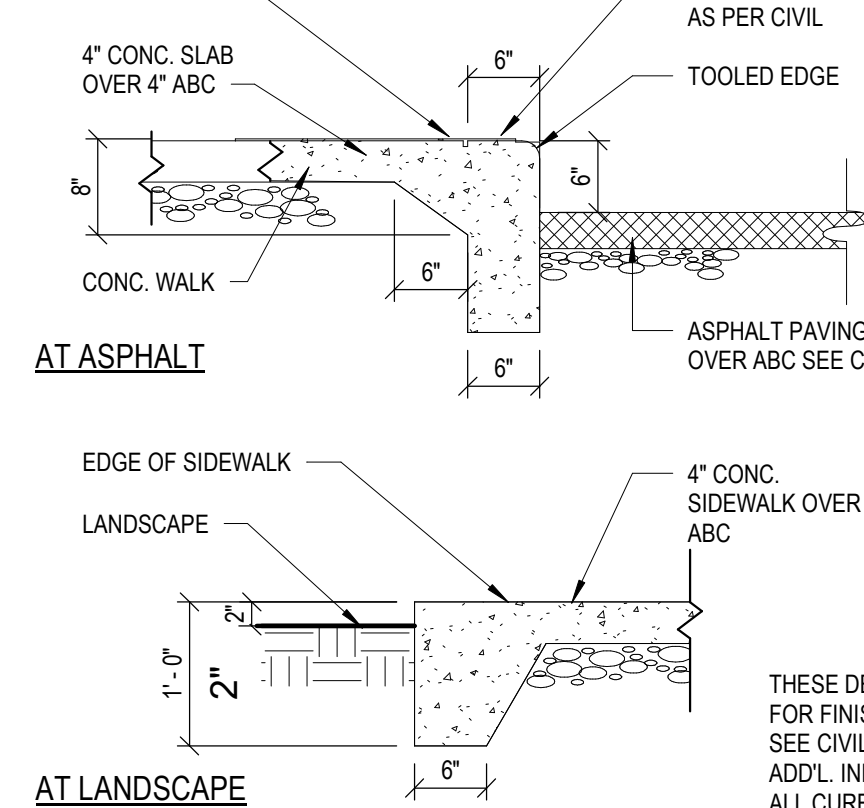
6 ADA RAMP PLAN  
1/4" = 1'-0"



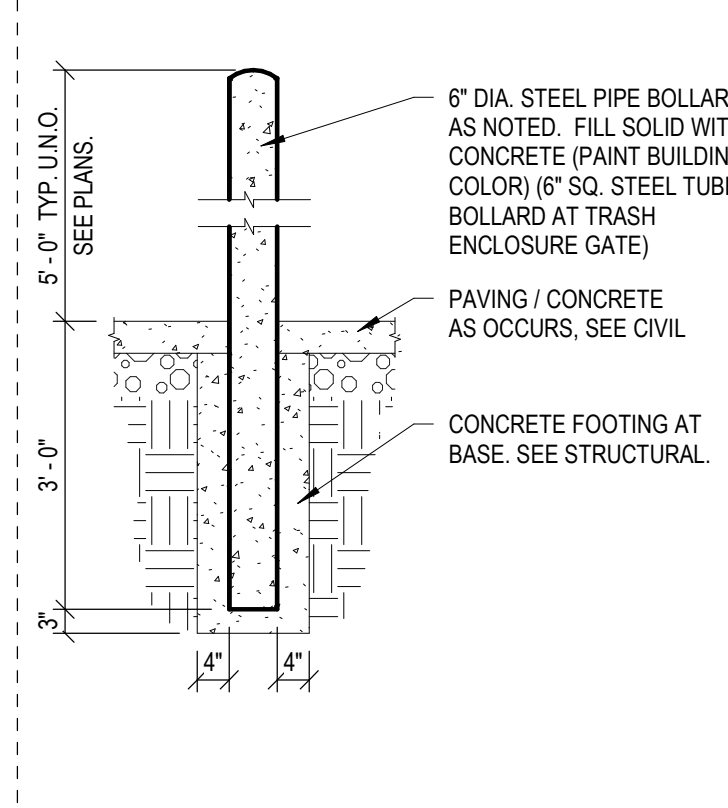
5 GARBAGE & RECYCLING ENCLOSURE  
ELEVATION  
1/4" = 1'-0"



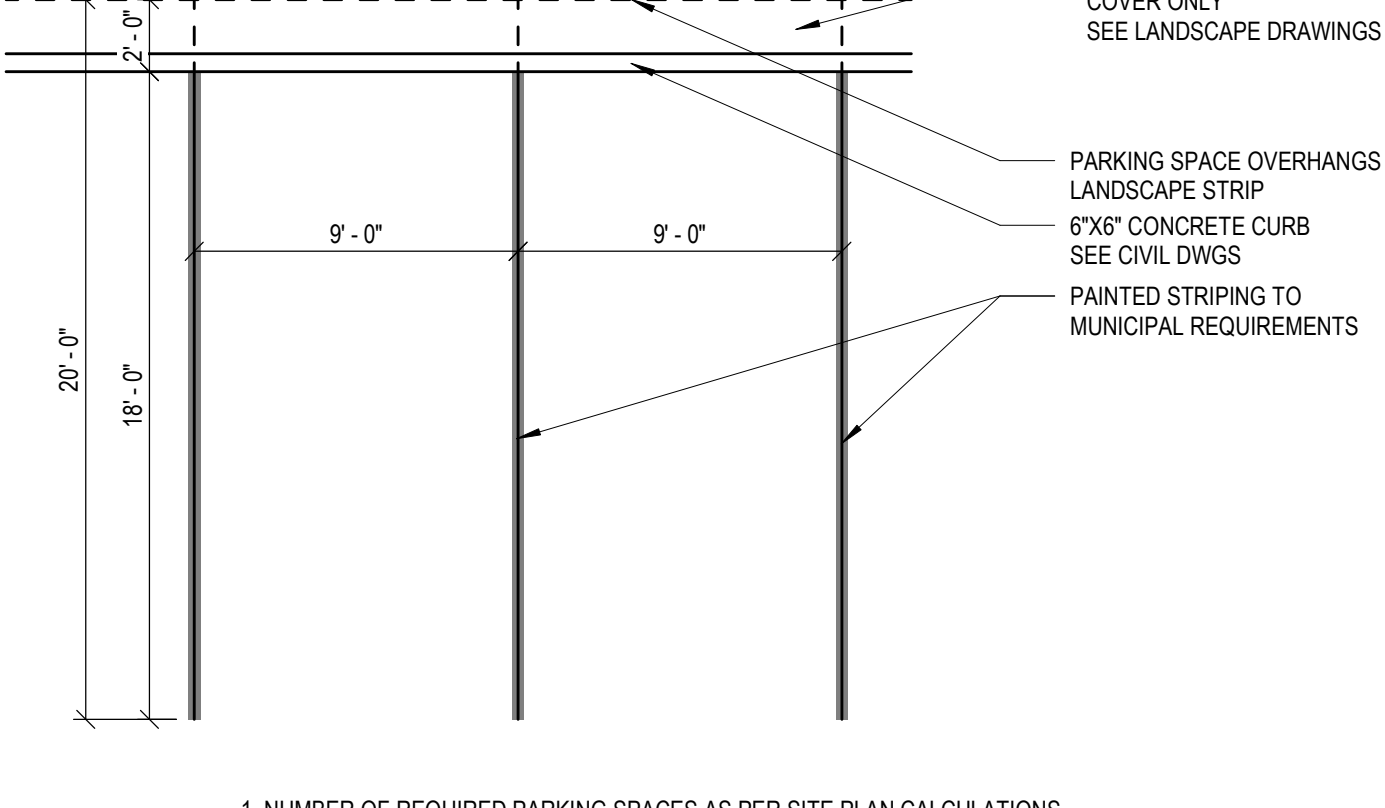
20 TYPICAL CMU FENCE ELEVATION  
1/2" = 1'-0"



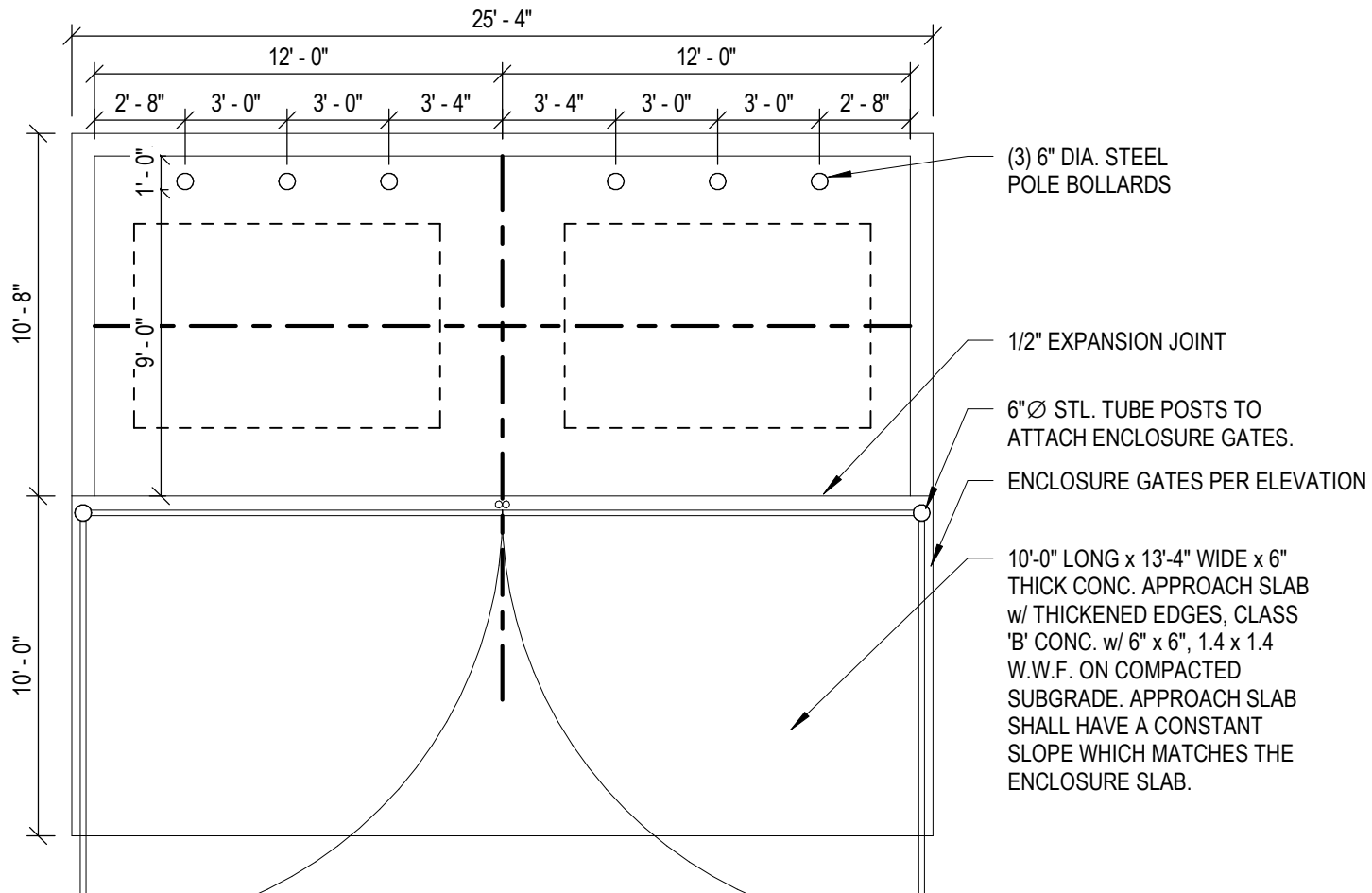
4 TYPICAL WALKWAY EDGE DETAILS  
3/4" = 1'-0"



3 STEEL BOLLARD SECTION  
1/2" = 1'-0"



2 STANDARD PARKING STRIPING  
3/16" = 1'-0"



1 GARBAGE & RECYCLING ENCLOSURE  
PLAN  
3/16" = 1'-0"

no.	date	description

4140 E MAIN STREET

4140 E MAIN STREET  
MESA, AZ 85208

PROJECT NO: 22001  
DATE: 12/21/22

  
**atmosphere**  
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tel: 917-526-0323

TYPICAL SITE  
DETAILS  
**AS104**