

Citizen Participation Report for The Brickyards on Ellsworth #ZON22-01278

Date of Report: March 2, 2023
Case Number: ZON22-01278
Project Name: The Brickyards on Ellsworth
Address: The Site location is on Willis Road and east of South Ellsworth Road in Mesa
Parcel Numbers: 304-62-004V, 304-62-004X

Overview:

This report provides results of the implementation of the Citizen Participation Plan for The Brickyards on Ellsworth. This site is on Willis Road and east of South Ellsworth Road in Mesa and is an application for the Design Review and Site Plan Review of a high-quality business park development known as The Brickyards on Ellsworth, (8) tilt-up concrete buildings located on approximately 63.18 acres within a campus-like setting, capable of supporting a variety of light industrial and employment type of uses, such as manufacturing and processing, wholesaling, research, warehousing, e-commerce, and distribution activities. This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

Contact: Dale Couture
2777 E. Camelback Rd. Suite 325
Phoenix, AZ 85016
Email: dcouture@waremalcomb.com

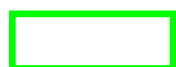
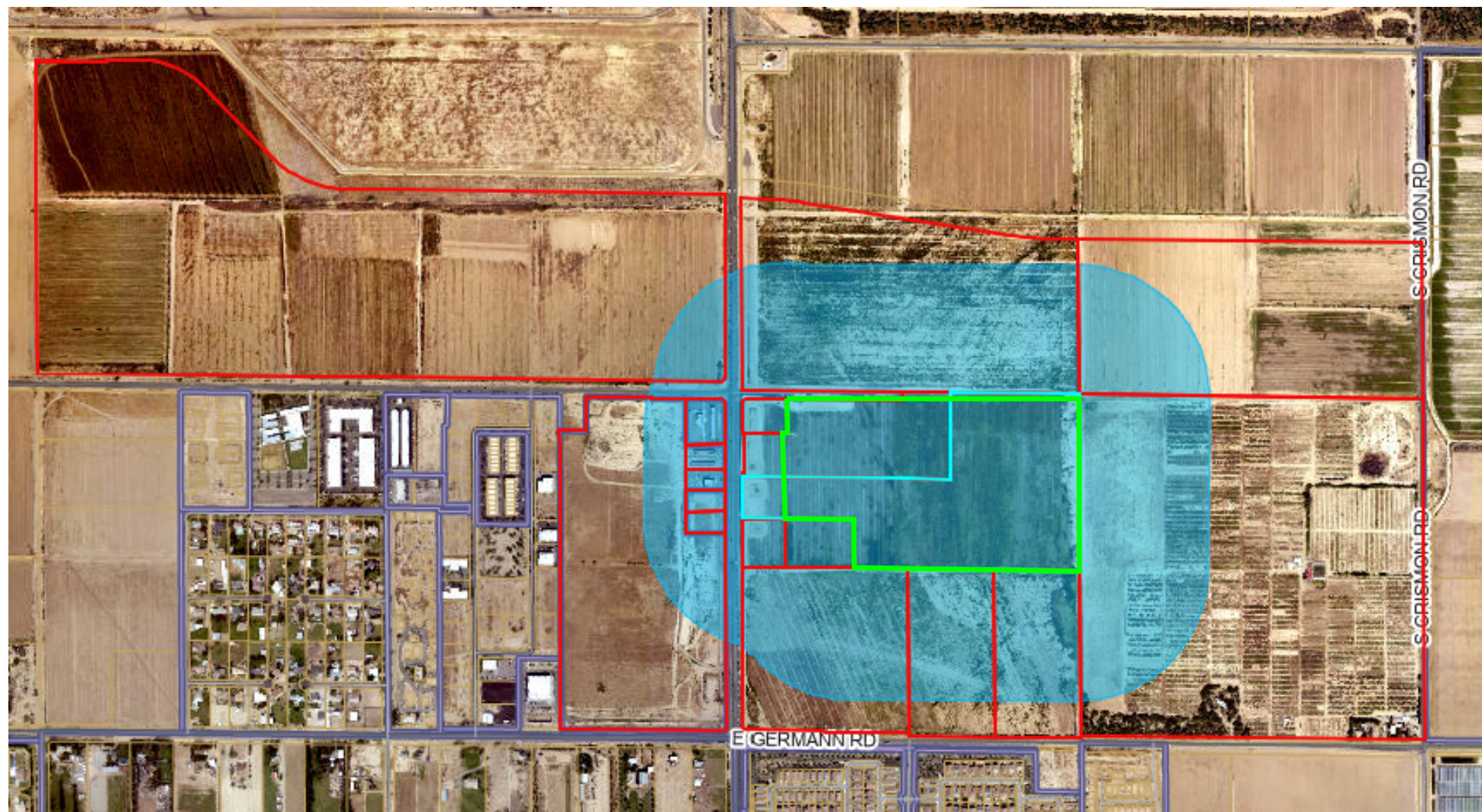
Correspondence and Telephone Calls: There was no citizen participation on this project. Letters were sent out on February 10, 2023 to all property owners within 1,000 feet of the property boundary. Also Notice of the DRB meeting was delivered to the City February 21, 2023

Results: Due to no citizen participation, there are no results or concerns to report on.

Parcel Number	Owner	MAIL_ADDR1	MAIL_CITY	MAIL MAIL_ZIP	Latitude	Longitude
304-62-002B	HARRIS CATTLE CO	PO BOX 167	QUEEN CREEK	AZ 85242	33.28131	-111.6220125
304-62-003P	SUNBELT LAND HOLDINGS L P	8095 OTHELLO AVE	SAN DIEGO	CA 92111	33.28685	-111.6307018
304-62-004L	SUNBELT MESA ELLSWORTH LP	8095 OTHELLO AVE	SAN DIEGO	CA 92111-3713	33.27959	-111.6326316
304-62-004T	CV AZ INDUSTRIAL PROPERTY OWNER LLC	1901 AVENUE OF THE STARS STE 1950	LOS ANGELES	CA 90067-6062	33.2795	-111.6273683
304-62-004U	CV AZ INDUSTRIAL PROPERTY OWNER LLC	11100 SANTA MONICA BLVD STE 260	LOS ANGELAS	CA 85284-6695	33.27952	-111.6295194
304-62-004V	NEC E&G LLC	20701 N SCOTTSDALE RD	SCOTTSDALE	AZ 85255	33.28397	-111.6318477
304-62-004W	COBBLESTONE 17 PROPCO LLC	3739 E BELL RD	PHOENIX	AZ 85032	33.28447	-111.6341313
304-62-004X	ELLSWORTH 92 LLC	1121 W WARNER NO 109	TEMPE	AZ 85284	33.28284	-111.6292991
304-62-004Y	ELLSWORTH 92 LLC	1121 W WARNER NO 109	TEMPE	AZ 85284	33.28182	-111.6341768
304-62-004Z	MESA ELLSWORTH SS LLC	4915 E BASELINE RD STE 105	GILBERT	AZ 85234	33.28181	-111.6328188
304-62-006A	SUNBELT LAND HOLDINGS L P	8095 OTHELLO AVE	SAN DIEGO	CA 92111	33.28655	-111.6220532
304-62-784C	SSCW ELLSWORTH ROAD LLC	1830 N 95TH AVE STE 106	PHOENIX	AZ 85037	33.28361	-111.6356146
304-62-784D	B&D REAL ESTATE LLC	4341 E THOMAS RD	PHOENIX	AZ 85018	33.28314	-111.6356106
304-62-784E	SUNBELT LAND HOLDINGS L P	8095 OTHELLO AVE	SAN DIEGO	CA 92111	33.28111	-111.6373147
304-62-784F	SPEEDWAY LLC	PO BOX 592809	SAN ANTONIO	TX 78259	33.28435	-111.6356219
304-62-784G	SUNBELT LAND HOLDINGS L P	8095 OTHELLO AVE	SAN DIEGO	CA 92111	33.2827	-111.6356079
304-62-784H	SUNBELT LAND HOLDINGS L P	8095 OTHELLO AVE	SAN DIEGO	CA 92111	33.28225	-111.6356057
304-62-976	SUNBELT MESA ELLSWORTH LP	8095 OTHELLO AVE	SAN DIEGO	CA 92111-3713	33.28777	-111.6446986

Duplicate

Property Owners within 1,000' of Subject Property



Subject Property



1,000' Buffer



Properties within 1,000'

Date: February 2, 2023

Notice of Citizen Participation

Case Number: ZON22-01278 & DRB22-01277
Project Name: The Brickyards on Ellsworth
Request: Site Plan Review and DRB
Proposal: Site Development with (8) tilt-up concrete buildings
Location: The Site location is on Willis Road and east of South Ellsworth Road in Mesa
Size: Site = 63.18 Ac, Buildings = 907,138 SF

Applicant / Contacts

Dale Couture
Ware Malcomb
dcouture@waremalcomb.com
253.677.2815

Bo Larson
Martens Development
blarson@martensdev.com
602.388.2472

MAP OF AREA (not to scale)



An application has been filed with the City of Mesa Development Services Department regarding the request above. As required by the City of Mesa Development Code, this Notice of Application is being sent to you because property listed in your name is within 1,000 feet of the site noted above. This notice is being sent to you to inform you of this application and to provide you with an opportunity to provide any questions, issues or concerns regarding this application to the contact person listed above. Please advise us if there are persons interested in attending other than those receiving this letter. Advance copies for plans and information are available from the contacts noted above.

Date: February 16, 2023

Notice of Public Meeting Design Review Board

Case Number: DRB22-01277
Meeting Date: March 14, 2023
Time: 4:30 P.M.
Location: Lower Level City Council Chambers, 57 E. 1st Street, Mesa, AZ 85201
Project Name: The Brickyards on Ellsworth
Address: The Site location is on Willis Road and east of South Ellsworth Road in Mesa
Parcel Numbers: 304-62-004V, 304-62-004X

Dear Neighbor,

We have applied for Design Review for the property located at Willis Road and east of South Ellsworth Road in Mesa. This request is for development of a 63.18 Ac site with (8) buildings with a total of 907,138 SF. The case number assigned to this project is DRB22-01277.

This letter is being sent to all property owners within 500 or 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 253-677-2815 or e-mail me at dcouture@waremalcomb.com.

This application will be scheduled for consideration by the Mesa Design Review Board at their meeting held on Tuesday, March 14, 2023 in the City Council Chambers at 57 East First Street. The meeting will begin at 4:30 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the**

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ARCHITECTURE

INTERIORS

BRANDING

PLANNING

CIVIL ENGINEERING

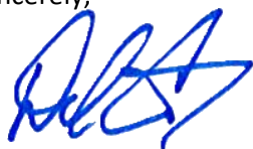
BUILDING MEASUREMENT

start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Cassidy Welsh of their Planning Division staff. He/she can be reached at 480-644-2591 or Cassidy.Welch@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,



Dale Couture, AIA

Senior Project Architect

Ware Malcomb, 253-677-2815



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	Duplicate
	Mailed

Date: March 2, 2023

Notice of Public Meeting Planning and Zoning Board Meeting

Case Number: ZON22-01278
Meeting Date: March 22, 2023
Location: In-person at the City Council Chambers (lower level) 57 E. 1st Street, Mesa, AZ 85201 or electronically and telephonically (see below online participation instructions)
Project Name: The Brickyards on Ellsworth
Address: The Site location is on Willis Road and east of South Ellsworth Road in Mesa
Parcel Numbers: 304-62-004V, 304-62-004X
*Call Planning Division to verify date and time (480) 644-4273

Dear Neighbor:

We have applied for Site Plan Review for the property located at Willis Road and east of South Ellsworth Road. This request is for development of a high-quality business park development known as The Brickyards on Ellsworth, located on approximately 63.18 acres. The case number assigned to this project is ZON22-01278

This letter is being sent to all property owners within 500 or 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 253-677-2815 or e-mail me at dcouture@waremalcomb.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on March 22, 2023, in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards->

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INTERIORS	CIVIL ENGINEERING
BRANDING	BUILDING MEASUREMENT

[committees/planning-zoning-board/online-meeting-comment-card](#) at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

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sincerely,

Dale Couture, AIA
Senior Project Architect
Ware Malcomb



WARE MALCOMB
Leading Design for Commercial Real Estate

architecture
planning
graphics
civil engineering
2777 E. Camelback Rd., Suite 325
Phoenix, AZ 85016
p 480.767.1001
f 480.907.2288



THE BRICKYARDS ON ELLSWORTH

9253 EAST WILLIS ROAD

MESA, ARIZONA 85212

SITE PLAN

DATE

REMARKS

PA / PM:

D.COUTURE

DRAWN BY:

C.A.

JOB NO.:

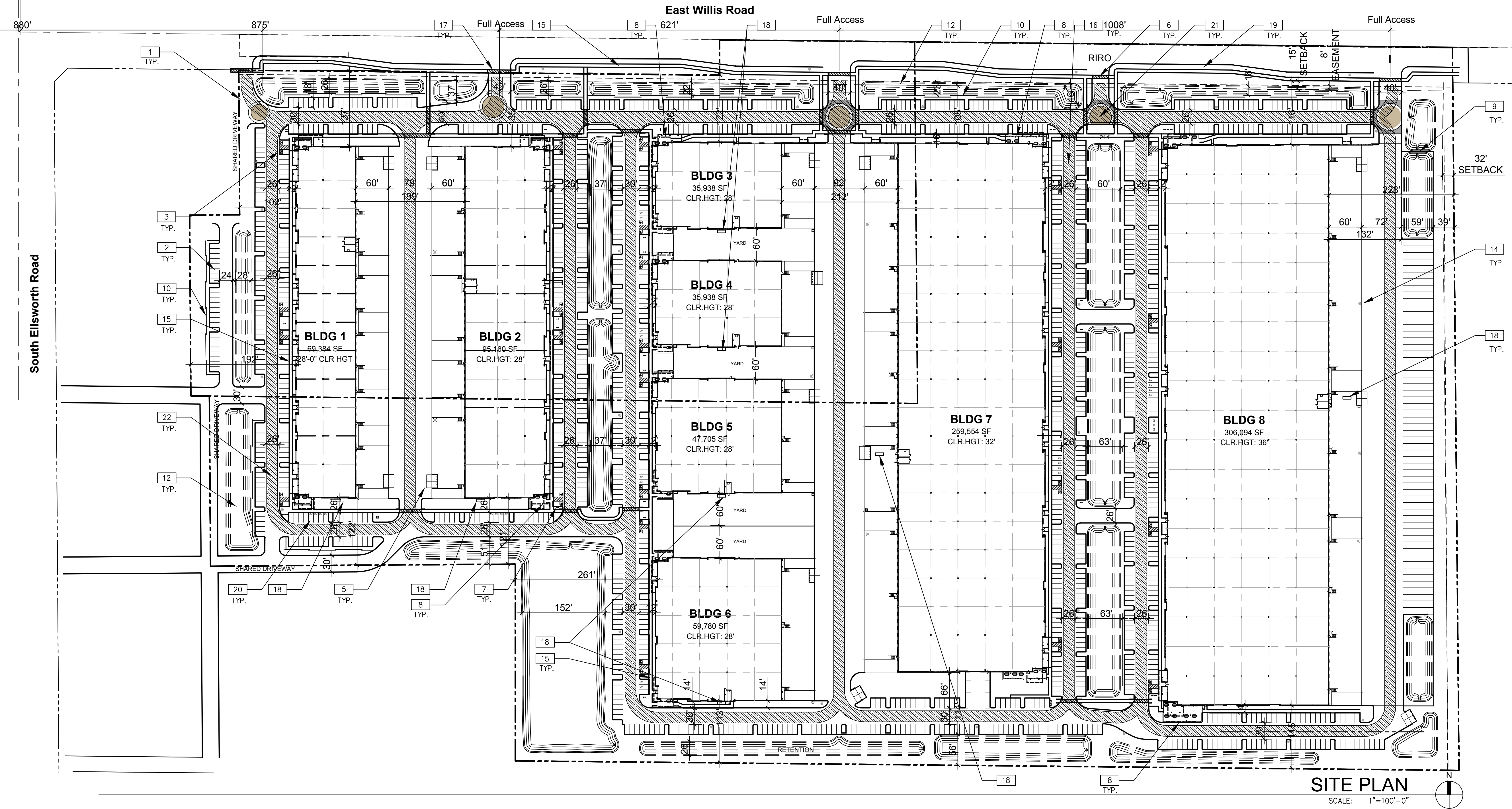
PHX22-0166-00

SHEET

A101

Wed, 01 Mar 2023

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



SITE PLAN KEYNOTES

- 1

PROPERTY LINE, (-----)
- 2

9'-0" x 18'-0" TYPICAL PARKING STALL
- 3

ADA PARKING STALL
- 4

ADA RAMP
- 5

COMMERCIAL RECYCLING & TRASH ENCLOSURES. TO BE IN COMPLIANCE WITH COM SOLID WASTE STANDARDS M-62.01 THRU M-62.04.2. SEE DETAIL 8/A500. TURNING RADII OF 35'/55' ACCESS.
- 6

CONCRETE WALKWAY ACROSS DRIVE AISLE, TYP. WALKWAYS SHALL BE HARD-SURFACED WITH A MATERIAL THAT DIFFERS FROM THE DRIVE AISLE. ACCESS WALKWAY SHALL PROVIDE AT LEAST 5 FEET (6'-0" PROVIDED) OF UNOBSTRUCTED WIDTH. SEE DETAIL 13/A500.
- 7

BICYCLE PARKING RACK. PARKING IS IN COMPLIANCE WITH SECTION 11-32-8(A)(1)(A) OF THE MZO. SEE SHEETS A105 AND A106 FOR MORE DETAILS.
- 8

COMMON OPEN SPACE, WITH MINIMUM OF 50% SHADE COVERAGE. SEATING, BENCHES, TABLES, TABLES. 75% LIVE PLANT MATTER. TRASH CANS.
- 9

8' CMU SCREEN WALL FOR TRUCK WELLS. SEE DETAIL 12/A500
- 10

3' CMU SCREEN WALL FOR AUTO PARKING. SEE DETAIL 12/A500
- 11

PROPOSED FUTURE MONUMENT SIGNAGE AND ENTRY SIGNAGE
- 12

RETENTION BASIN
- 13

PROPOSED STREET/ PEDESTRIAN LIGHTING
- 14

FIRE HYDRANTS, TYP.
- 15

6'-0" WIDE SIDEWALK.
- 16

FIRE APPARATUS ACCESS ROAD. MUST BE MINIMUM OF 26' WIDE AND IN COMPLIANCE WITH COM AMENDED FIRE CODE FOR AERIAL APPARATUS REQUIREMENTS.
- 17

SPECIAL HARDSCAPE, SUCH AS PAVERS, STAINED CONCRETE, AND STONE, SHOULD BE USED TO IDENTIFY PATHWAYS AND GATHERING PLACES, INCLUDING BUILDING ENTRANCES.
- 18

PROPOSED SES LOCATION.
- 19

LANDSCAPE SETBACK.
- 20

E.V. FUTURE PARKING.
- 21

ALTERNATIVE PAVEMENT TO ENHANCE PRIMARY ENTRY DRIVES FOR AUTOMOBILES. SEE SHEET A500 FOR DETAIL.
- 22

FIRE LANE HATCH (20'-0", TYP.) RADII OF 35' AND 55'

PROJECT DATA:																					
SITE						BUILDING					GROSS	NET	PARKING							▲	●
SITE	SITE AREA (SF)	SITE AREA (ACRE)	RETENTION (SF)	RETENTION (%)	NET SITE AREA (SF)	BLDG.	BUILDING FOOTPRINT	BUILDING USE:			GROSS COVERAGE	NET COVERAGE	PARKING REQUIRED			PARKING PROVIDED	PARKING RATIO	REQ. ACC. STALLS	TRAILER PARKING	DOCK-HIGH DOORS	GRADE-LEVEL DOORS
								MFG/WHSE (SF)	%	OFFICE (SF)			MFG/WHSE	OFFICE	TOTAL						
1	2,700,879	62.00	309,593	11.5%	2,391,286	1	69,384	62,446	10%	6,938	2.6%	2.9%	89	10	99	224	@3.23/1000 SF	7 STALLS	-	32	8
						2	95,160	85,644	10%	9,516	3.5%	4.0%	122	14	136	178	@1.87/1000 SF	6 STALLS	-	32	8
						3	35,938	32,344	10%	3,594	1.3%	1.5%	46	5	51	95	@2.64/1000 SF	4 STALLS	-	6	2
						4	35,938	32,344	10%	3,594	1.3%	1.5%	46	5	51	36	@1/1000 SF	2 STALLS	-	6	2
						5	47,705	42,935	10%	4,771	1.8%	2.0%	61	7	68	45	@0.94/1000 SF	2 STALLS	-	12	2
						6	59,780	53,802	10%	5,978	2.2%	2.5%	77	9	85	99	@1.66/1000 SF	4 STALLS	-	16	2
						7	259,554	233,599	10%	25,955	9.6%	10.9%	334	37	371	319	@1.23/1000 SF	8 STALLS	-	50	11
						8	306,094	275,485	10%	30,609	11.3%	12.8%	394	44	437	319	@1.04/1000 SF	8 STALLS	57	60	2
TOTAL	2,700,879	62	309,593	11.5%	2,391,286	-	909,553	818,598	10%	90,955	33.7%	38.0%	1,169	130	1,299	1,635	@5.34/1000 SF	41 STALLS	57	214	37



THE BRICKYARDS ON ELLSWORTH

MESA, ARIZONA

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CONCEPT DESIGN

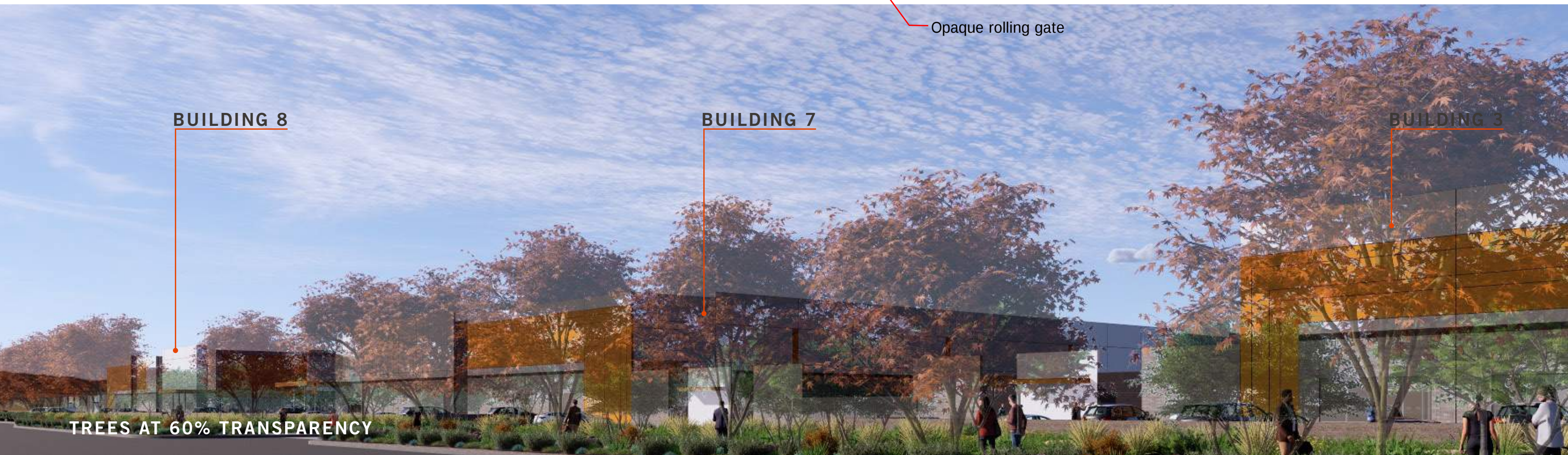
2nd Submittal
PHX22-0166-00
JANUARY 12, 2023

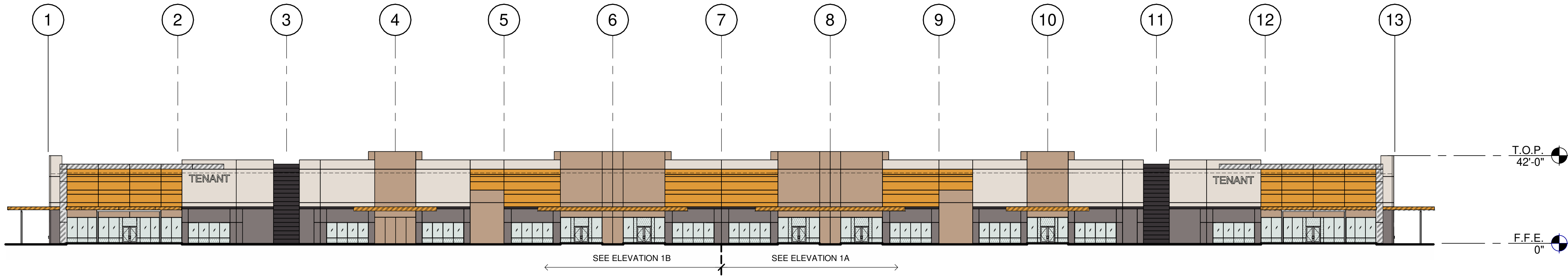




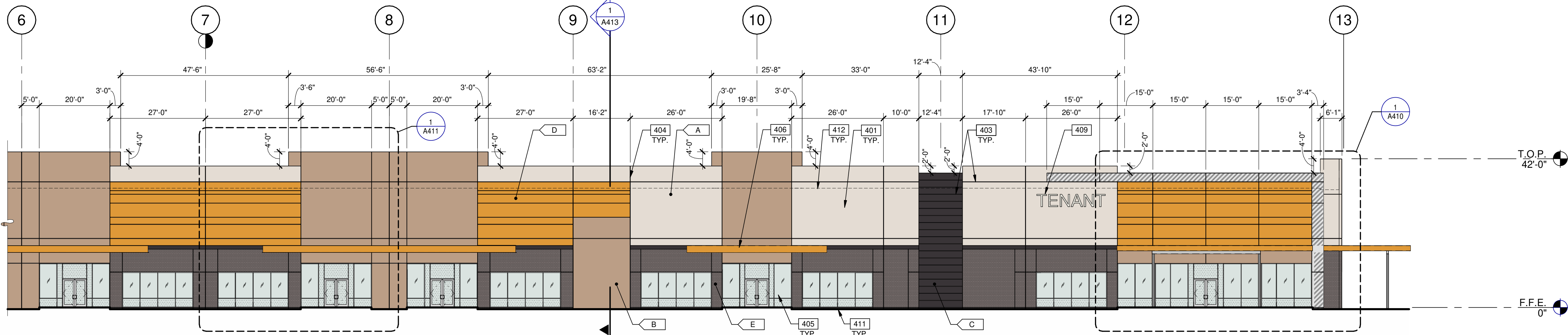




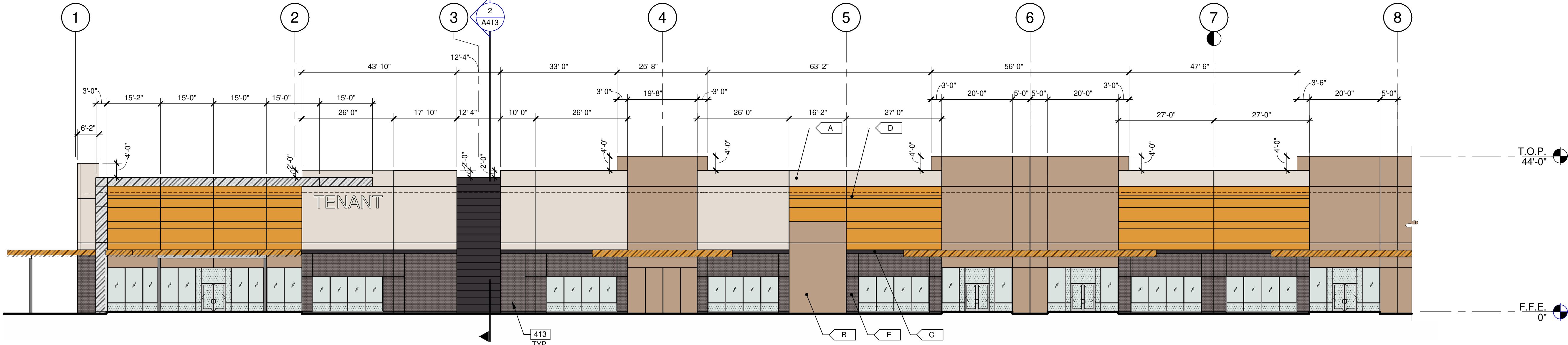




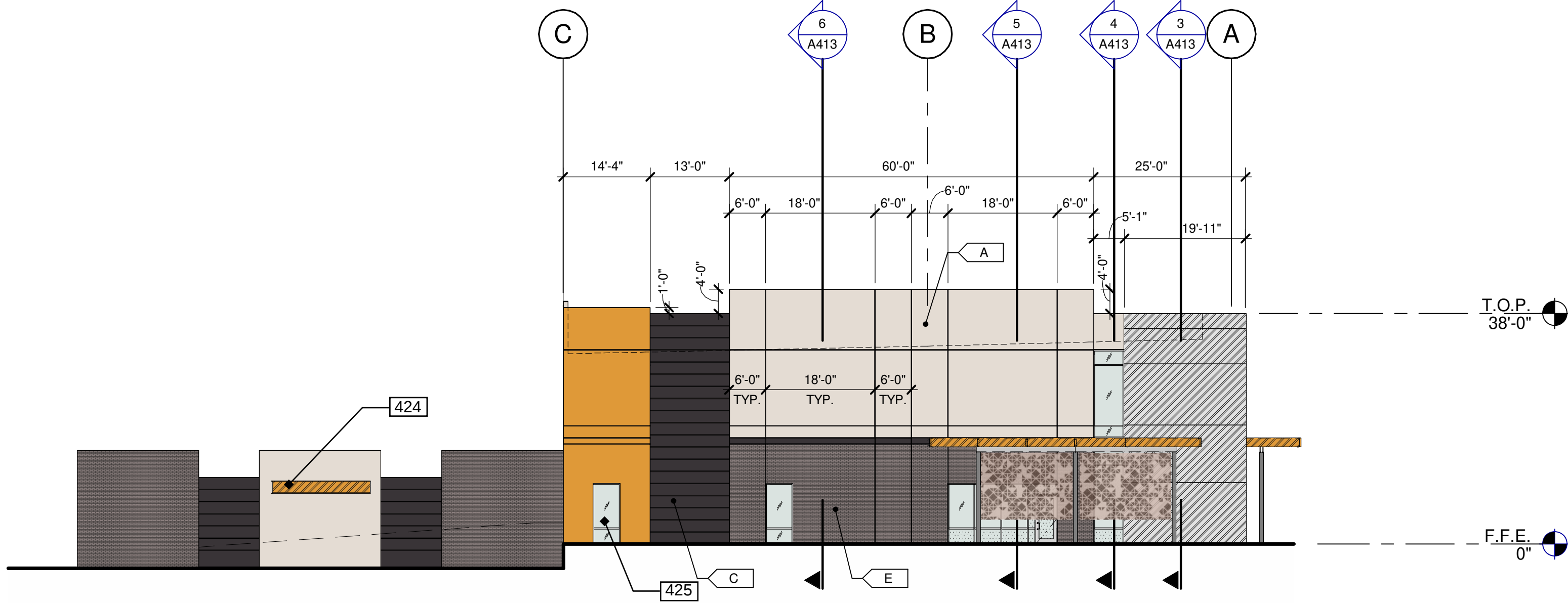
OVERALL WEST EXTERIOR ELEVATION 1



PARTIAL WEST EXTERIOR ELEVATION 1A



PARTIAL WEST EXTERIOR ELEVATION 1B



NORTH EXTERIOR ELEVATION 2

KEYNOTES:

- SEE SHEET A210 FOR GENERAL NOTES
- 401 CONCRETE WALL, PAINTED.
 - 403 3/4" V-REVEAL.
 - 404 CONCRETE WALL JOINT.
 - 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 406 METAL CANOPY, PAINTED.
 - 409 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
 - 411 FINISH GRADE VARIES.
 - 412 LINE OF ROOF BEYOND.
 - 413 THIN BRICK.
 - 424 SMOKERS CANOPY.
 - 425 GLAZING TO BE SPANDREL GLASS.

MATERIAL PERCENTAGES:

WEST ELEVATION

- CONCRETE: 65%
EVERYDAY WHITE: 21%
COMMERCIAL TAN: 20%
DEEP FOREST BROWN: 5%
GOLD CREST: 16%
STORE FRONT: 18%
THIN BRICK: 13%
STEEL: 3%
METAL PANEL: 4%

NORTH ELEVATION

- CONCRETE: 51%
EVERYDAY WHITE: 45%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 12%
GOLD CREST: 0%
STORE FRONT: 7%
THIN BRICK: 18%
STEEL: 2%
METAL PANEL: 16%

LEGEND

MATERIALS:

- THIN BRICK - PACIFIC CLAY PRODUCTS INC IN "DESERT GREY" COLOR
- CONCRETE WALL, PAINTED
- METAL CANOPY, PAINTED

- BRUSHED ALUMINUM METAL PANEL

GLASS:

- VISION GLASS
- TEMPERED GLASS
- SPANDREL GLASS

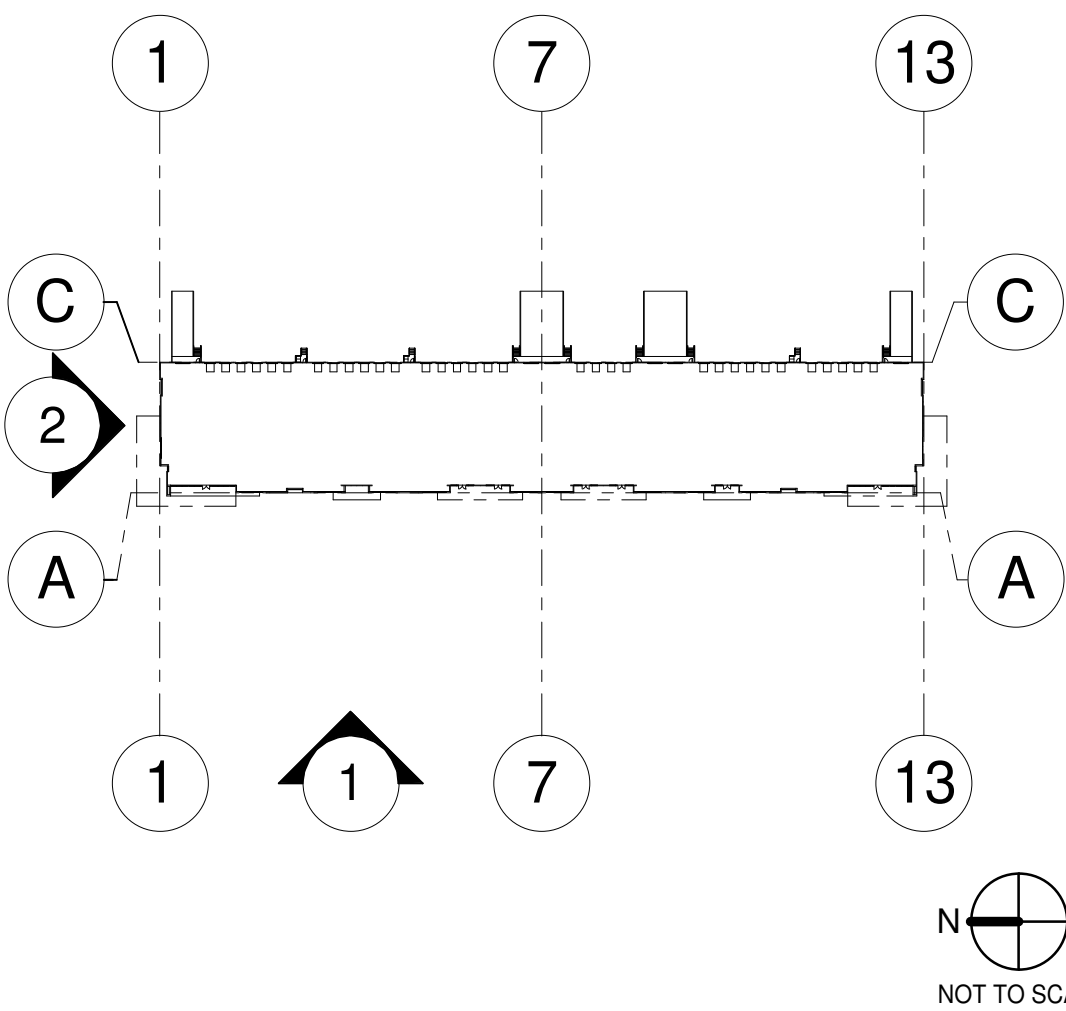
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = 0.62
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE
- B COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN'
- C SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN
- D SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST
- E THIN BRICK - PACIFIC CLAY PRODUCTS INC - 'DESERT GREY'
- F CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN'

KEY PLAN



WARE MALCOMB
ARCHITECTURE
PLANNING
BRANDS
BUILDING MEASUREMENT
2777 E Camelback Rd. Suite #205
Phoenix, AZ 85016
P:480.767.1001

MARTENS
DEVELOPMENT COMPANY

THE BRICKYARDS ON ELLSWORTH
BUILDING 1
9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

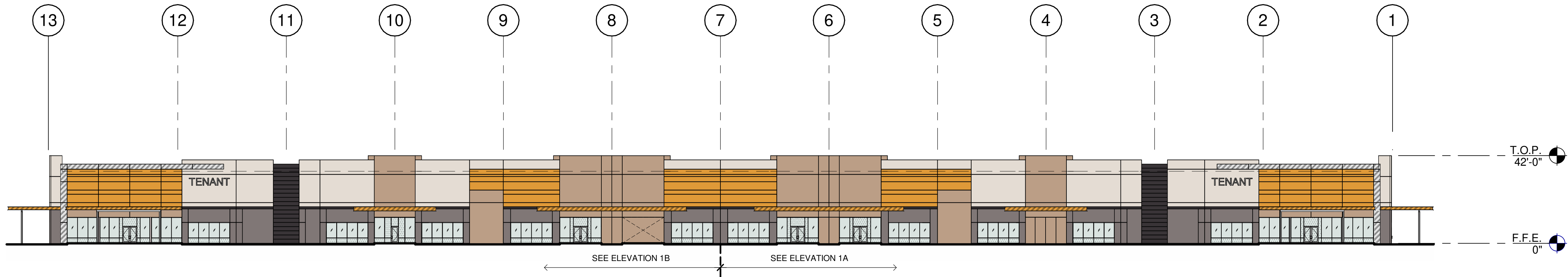
EXTERIOR ELEVATIONS	
DATE	REMARKS
01/05/2023	ISSUED FOR BID

PAPM: D. COUTURE
DRAWN BY: MV/AB/TO/CA/CG/RH
JOB NO.: PHX22-0166-00

SHEET
A210



A211



OVERALL EAST EXTERIOR ELEVATION

KEYNOTES:

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403 3/4" V-REVEAL.
404 CONCRETE WALL JOINT.
405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
409 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
412 LINE OF ROOF BEYOND.
424 SMOKERS CANOPY.
425 GLAZING TO BE SPANDREL GLASS.

MATERIAL PERCENTAGES:

EAST ELEVATION

CONCRETE- 63%
EVERYDAY WHITE- 21%
COMMERCIAL TAN- 21%
DEEP FOREST BROWN- 5%
GOLD CREST- 18%

STORE FRONT- 17%

THIN BRICK- 13%

STEEL- 3%

METAL PANEL- 4%

SOUTH ELEVATION

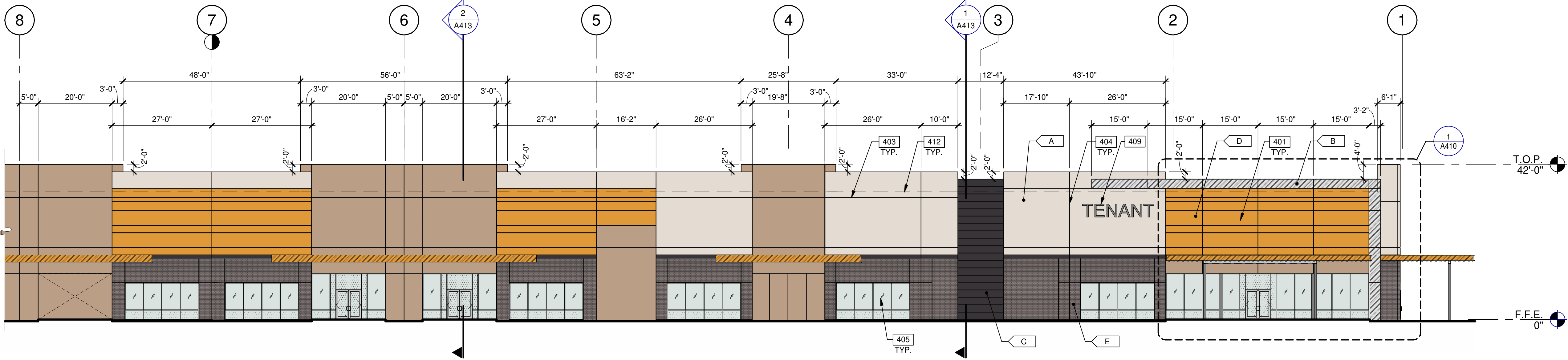
CONCRETE- 53%
EVERYDAY WHITE- 43%
COMMERCIAL TAN- 0%
DEEP FOREST BROWN- 10%
GOLD CREST- 0%

STORE FRONT- 8%

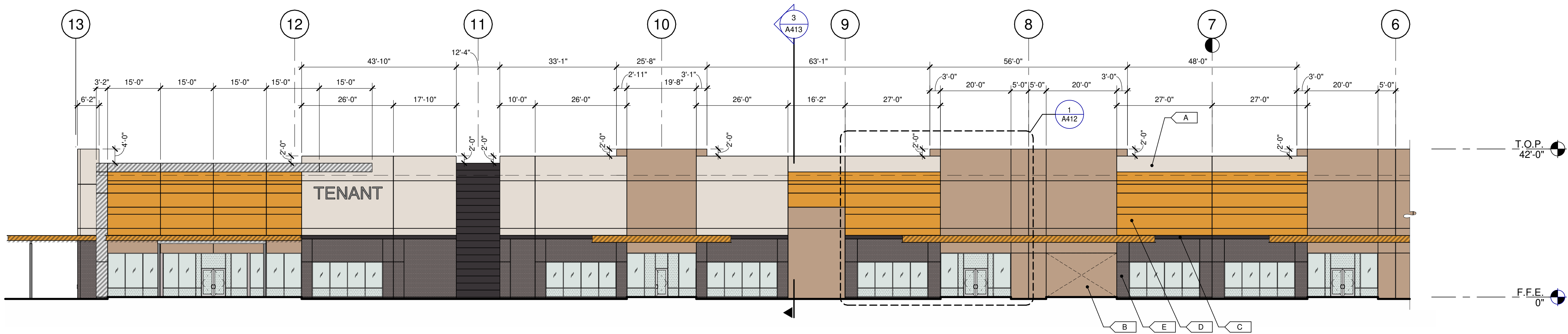
THIN BRICK- 28%

STEEL- 1%

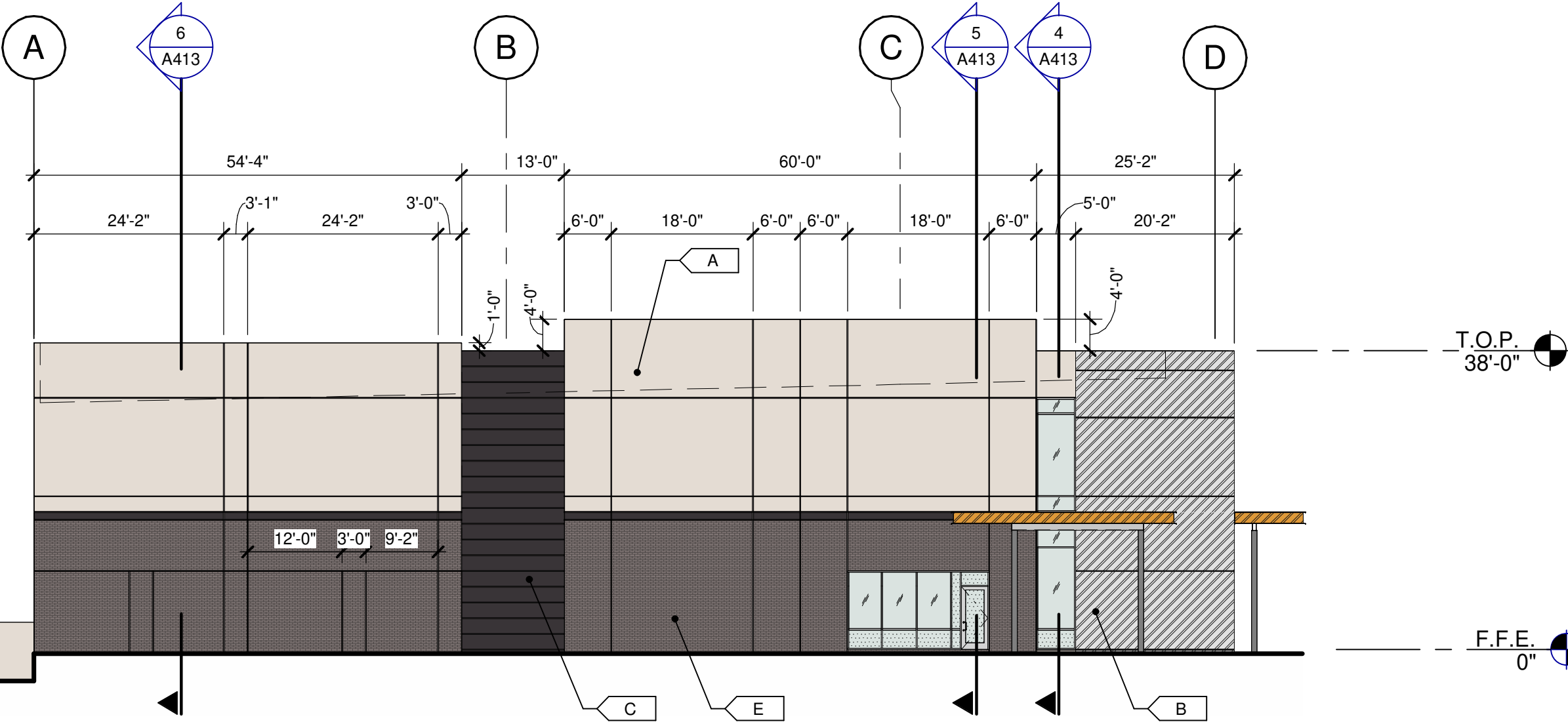
METAL PANEL- 12%



PARTIAL EAST EXTERIOR ELEVATION



PARTIAL EAST EXTERIOR ELEVATION



SOUTH EXTERIOR ELEVATION

LEGEND

MATERIALS:

THIN BRICK - PACIFIC CLAY - DESERT GREY

CONCRETE WALL, PAINTED

METAL CANOPY, PAINTED

BRUSHED ALUMINUM METAL PANEL

GLASS:

VISION GLASS

TEMPERED GLASS

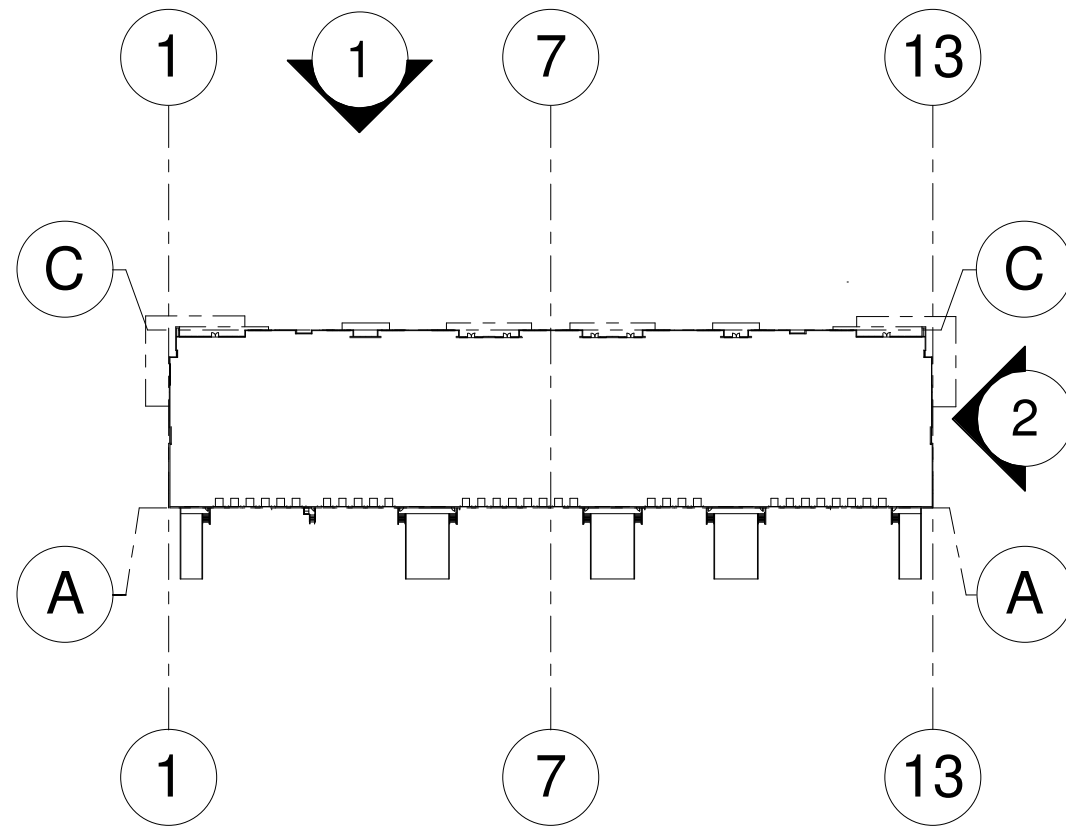
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X-0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE
B COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN'
C SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN
D SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST
E THIN BRICK - PACIFIC CLAY - DESERT GREY
F CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN'

KEY PLAN



WARE MALCOMB

2777 E Camelback Rd. Suite #325
Phoenix, AZ 85016
P: 480.767.1001

ARCHITECTURE
PLANNING
INTERIORS
BUILDING MEASUREMENT

MARTENS
DEVELOPMENT COMPANY

THE BRICKYARDS ON ELLSWORTH
BUILDING 2
9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

EXTERIOR ELEVATIONS

DATE 01/05/2023

ISSUED FOR BID

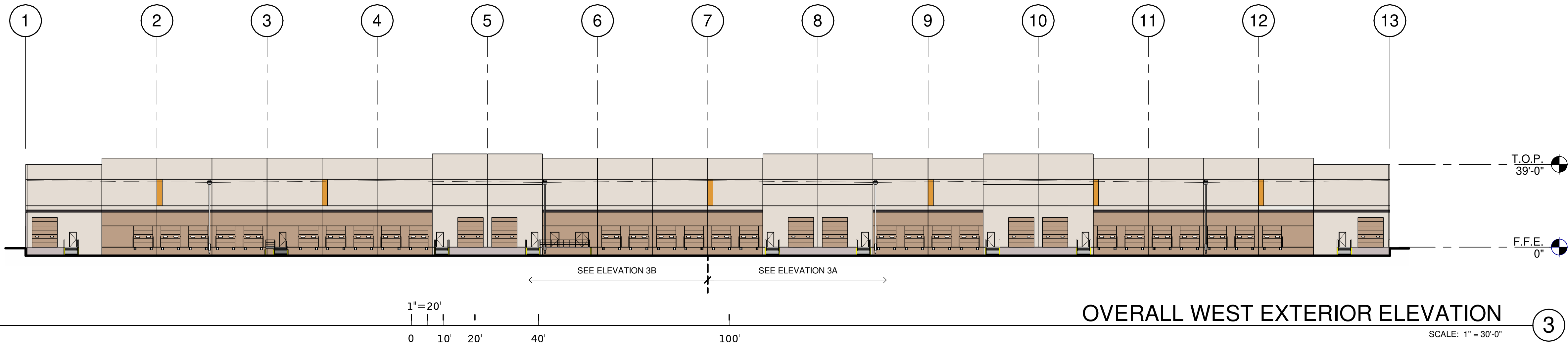
P/APP: D. COUTURE

DRAWN BY: MVA/BDT/CA/CG/RH

JOB NO.: PHX22-0166-00

SHEET

A210



OVERALL WEST EXTERIOR ELEVATION

SCALE: 1" = 30'-0"

KEYNOTES:

SEE SHEET A101 FOR GENERAL NOTES

- 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
209 CONCRETE RAMP.
210 CONCRETE RETAINING WALL.
211 EXTERIOR CONCRETE STAIR, ALL METAL COMPONENTS TO BE GALVANIZED.
401 CONCRETE WALL, PAINTED.
403 3/4" V-REVEAL.
404 CONCRETE WALL JOINT.
405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
407 PRIMARY AND OVERFLOW SCUPPER. SEE 6/AS20 AND 7/520 DETAILS.
408 DRAIN LEADER. PAINTED TO MATCH ADJACENT WALL.
410 DOCK BUMPER.
411 FINISH GRADE VARIES.
412 LINE OF ROOF BEYOND.
413 THIN BRICK.
414 REMOVABLE GUARDRAIL FOR FORKLIFT LOADING/UNLOADING.
421 DOWNSPOUT GUARD.
424 SMOKERS CANOPY.
425 GLAZING TO BE SPANDREL GLASS.

MATERIAL PERCENTAGES:

WEST ELEVATION

CONCRETE- 85%
EVERYDAY WHITE- 63%
COMMERCIAL TAN- 19%
DEEP FOREST BROWN- 2%
GOLD CREST- 1%
OVERHEAD DOORS- 14%
MAN DOORS- 1%

NORTH ELEVATION

CONCRETE- 53%
EVERYDAY WHITE- 43%
COMMERCIAL TAN- 0%
DEEP FOREST BROWN- 10%
GOLD CREST- 0%
STORE FRONT- 6%
THIN BRICK- 28%
STEEL- 1%
METAL PANEL- 12%

LEGEND

MATERIALS:

THIN BRICK - PACIFIC CLAY - DESERT GREY

CONCRETE WALL, PAINTED

METAL CANOPY, PAINTED

BRUSHED ALUMINUM METAL PANEL

GLASS:

VISION GLASS

TEMPERED GLASS

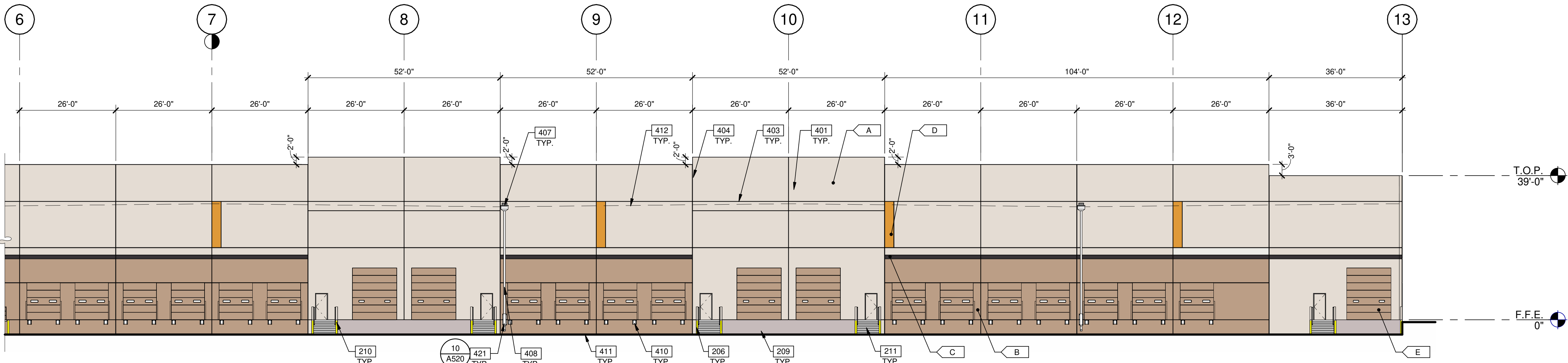
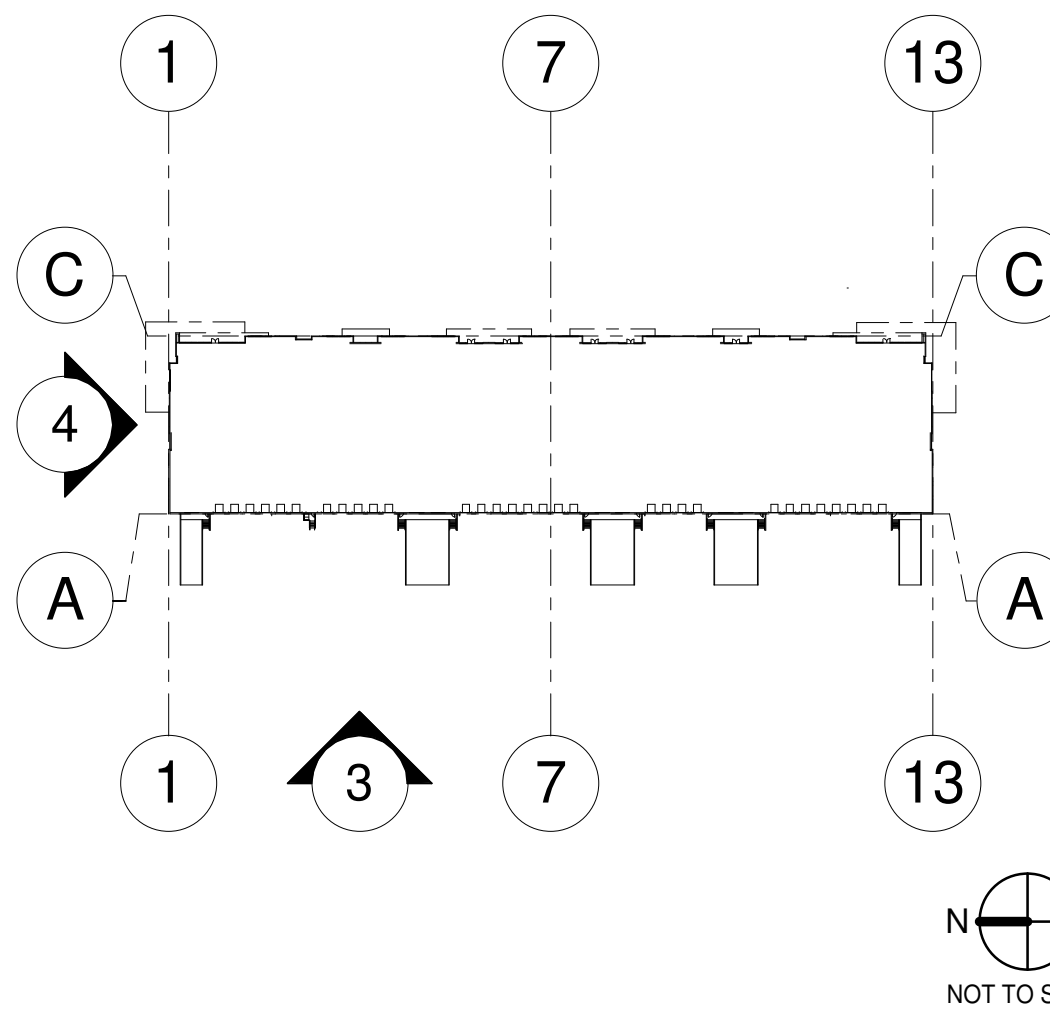
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X=0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

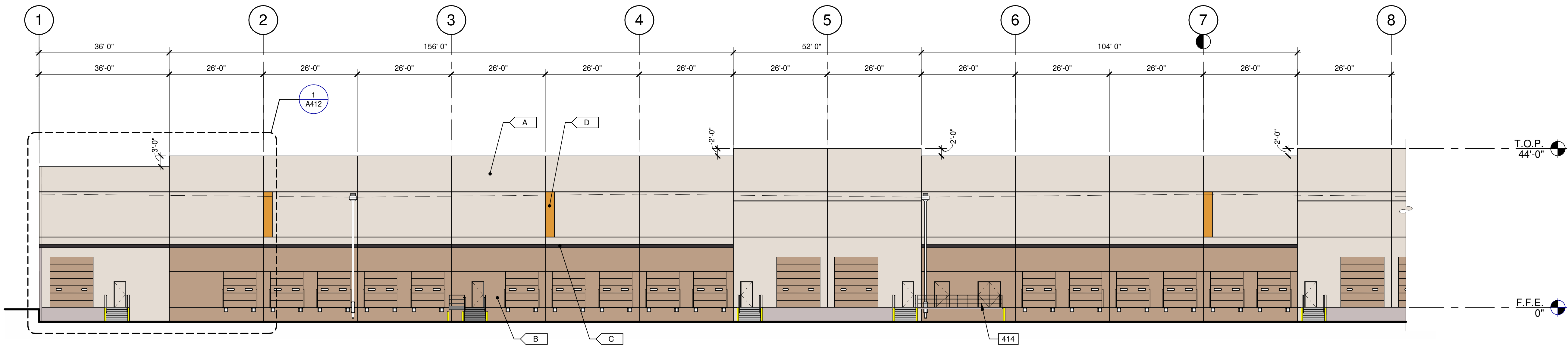
- A SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE
B COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN'
C SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN
D SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST
E THIN BRICK - PACIFIC CLAY - DESERT GREY
F CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN'

KEY PLAN



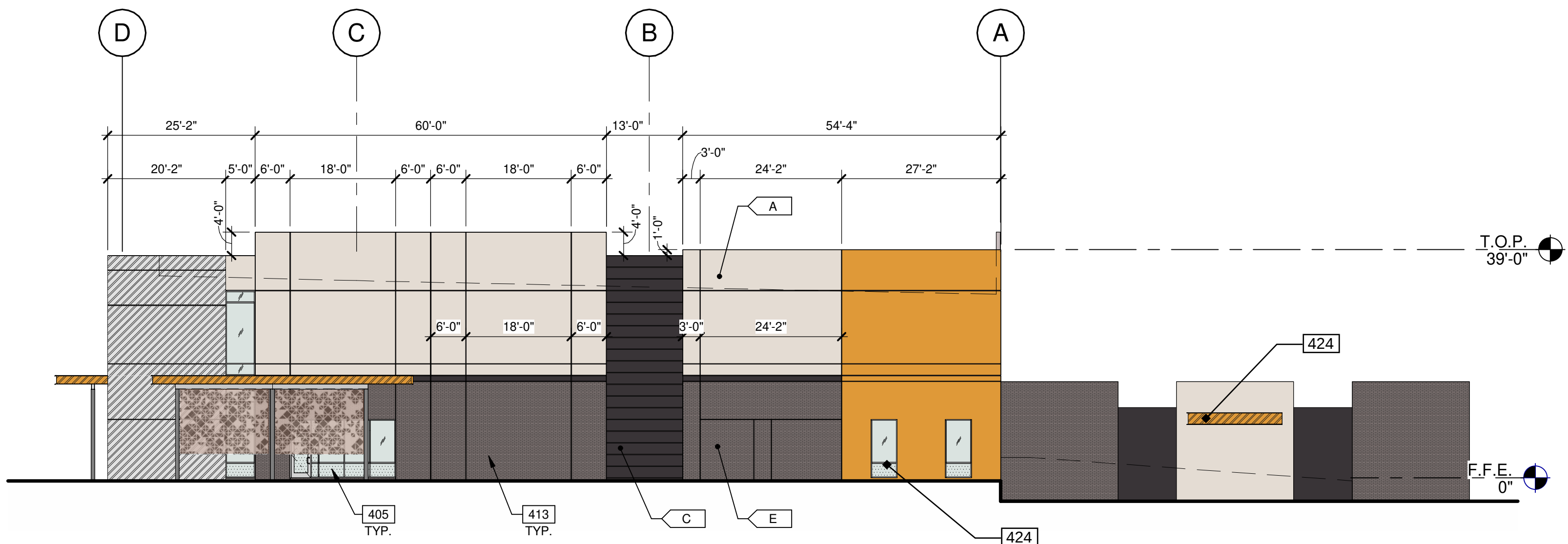
PARTIAL WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



PARTIAL WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

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ARCHITECTURE
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BUILDING MEASUREMENT

MARTENS
DEVELOPMENT COMPANY

THE BRICKYARDS ON ELLSWORTH
BUILDING 2
9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

EXTERIOR ELEVATIONS

REMARKS

ISSUED FOR BID

DATE
01/05/2023

P.A.P.M.: D. COUTURE

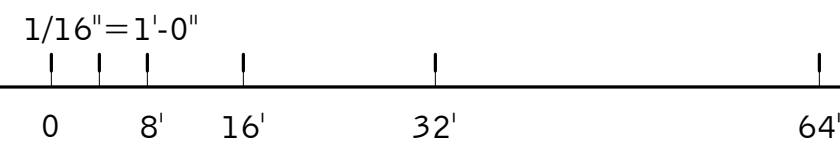
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JOB NO.: PHX22-0166-00

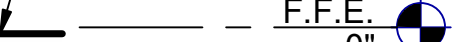
SHEET

A211

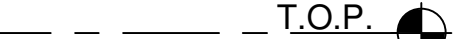
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SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

SEE SHEET A010 FOR GENERAL NOTES

- MATERIAL PERCENTAGES:

MAN DOOR- 1%

MATERIALS:

- GLASS:

- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X<0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

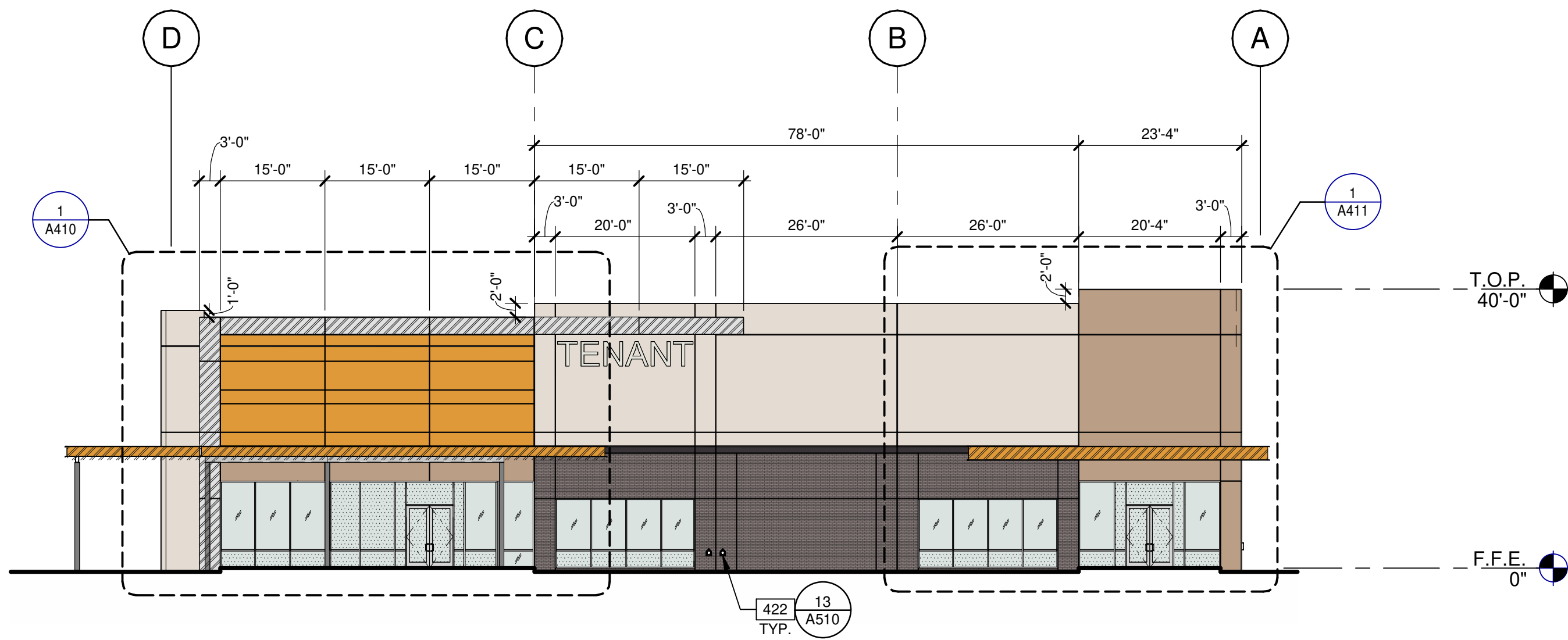
- | | | |
|---|---|---|
| A |  | SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE |
| B |  | COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN' |
| C |  | SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN |
| D |  | SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST |
| E |  | THIN BRICK - PACIFIC CLAY COLOR 'DESERT GREY' |
| F |  | CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN' |

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9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

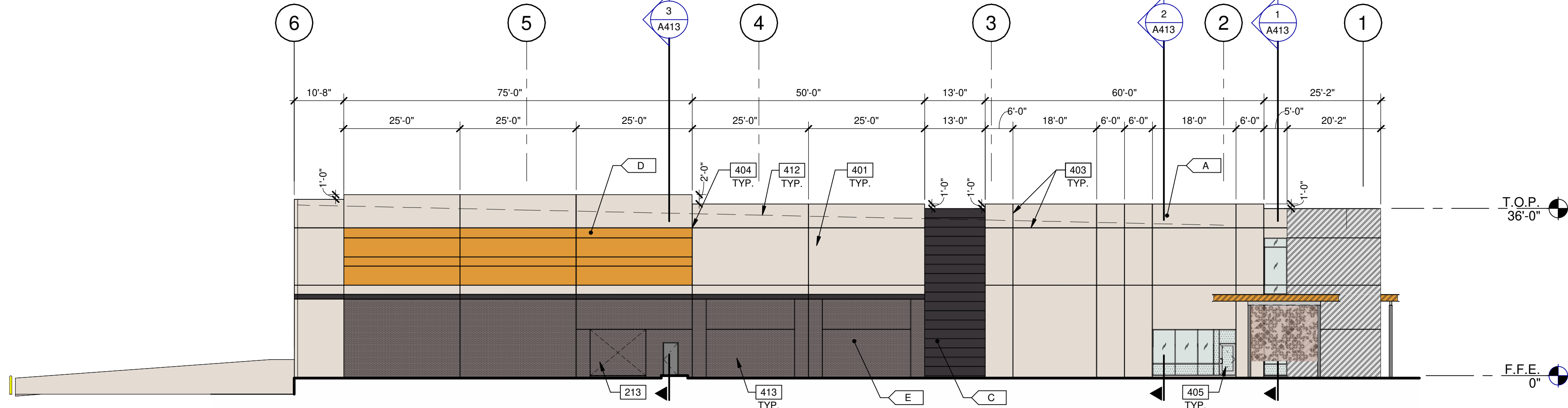
PA/PM:	D. COUTURE
DRAWN BY.:	MV/AB/TD/CA/CG/RH
JOB NO.:	PHX22-0166-00

A210



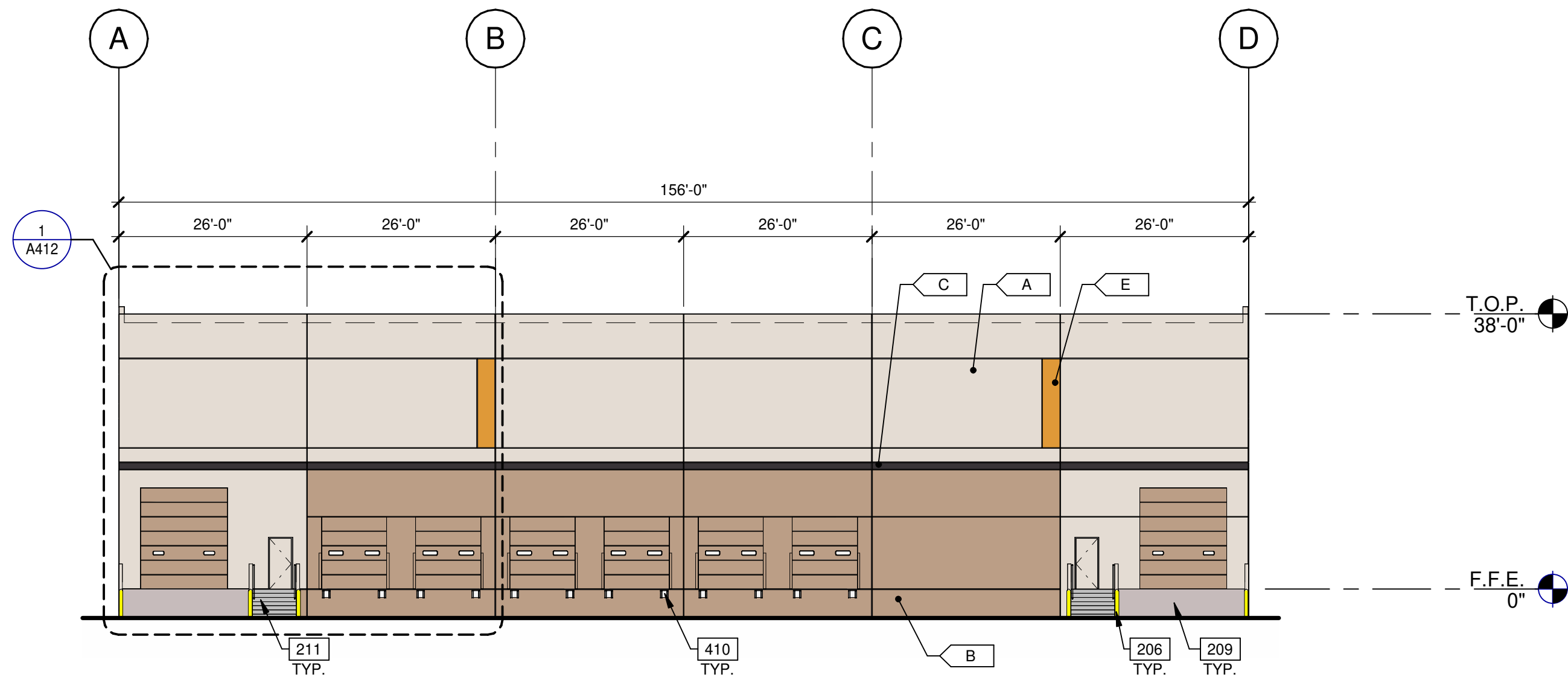
WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



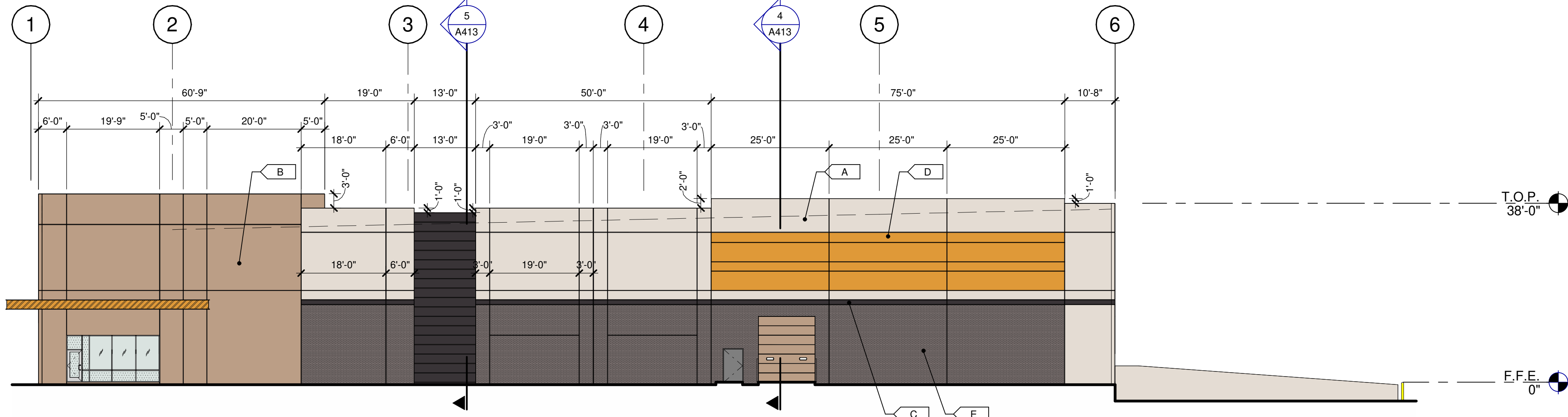
NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

KEYNOTES:

SEE SHEET A010 FOR GENERAL NOTES

- 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
209 CONCRETE RAMP.
211 EXTERIOR CONCRETE STAIR, ALL METAL COMPONENTS TO BE GALVANIZED.
213 KNOCK-OUT PANEL FOR FUTURE WINDOWS OR DOORS.
401 CONCRETE WALL, PAINTED.
403 3/4" V-REVEAL.
404 CONCRETE WALL JOINT.
405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
410 DOCK BUMPER.
412 LINE OF ROOF BEYOND.
413 THIN BRICK.
422 OVERFLOW EXTING.

MATERIAL PERCENTAGES:

WEST ELEVATION

- CONCRETE: 44%
EVERYDAY WHITE: 30%
COMMERCIAL TAN: 13%
DEEP FOREST BROWN: 1%
GOLD CREST: 13%
STORE FRONT: 18%
THIN BRICK: 15%
STEEL: 4%
METAL PANEL: 19%

NORTH ELEVATION

- CONCRETE: 64%
EVERYDAY WHITE: 47%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 7%
GOLD CREST: 10%
STORE FRONT: 3%
THIN BRICK: 23%
STEEL: 1%
METAL PANEL: 8%
MAN DOOR: 1%

EAST ELEVATION

- CONCRETE: 86%
EVERYDAY WHITE: 59%
COMMERCIAL TAN: 24%
DEEP FOREST BROWN: 2%
GOLD CREST: 1%
OVERHEAD DOORS: 13%
MAN DOORS: 1%

SOUTH ELEVATION

- CONCRETE: 45%
EVERYDAY WHITE: 28%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 7%
GOLD CREST: 10%
STORE FRONT: 3%
THIN BRICK: 26%
STEEL: 1%
METAL PANEL: 22%
OVERHEAD DOOR: 1%
MAN DOOR: 1%

LEGEND

MATERIALS:

- BRICK VENEER - PACIFIC CLAY - DESERT GREY
CONCRETE WALL, PAINTED
METAL CANOPY, PAINTED
BRUSHED ALUMINUM METAL PANEL

GLASS:

- VISION GLASS
TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X-0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE
B COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN'
C SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN
D SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST
E THIN BRICK - PACIFIC CLAY - DESERT GREY
F CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN'

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ARCHITECTURE
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BUILDING MEASUREMENT

MARTENS
DEVELOPMENT COMPANY

THE BRICKYARDS ON ELLSWORTH
BUILDING 4

9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

EXTERIOR ELEVATIONS

REMARKS

DATE
01/05/2023

ISSUED FOR BID

P/APP: D. COUTURE

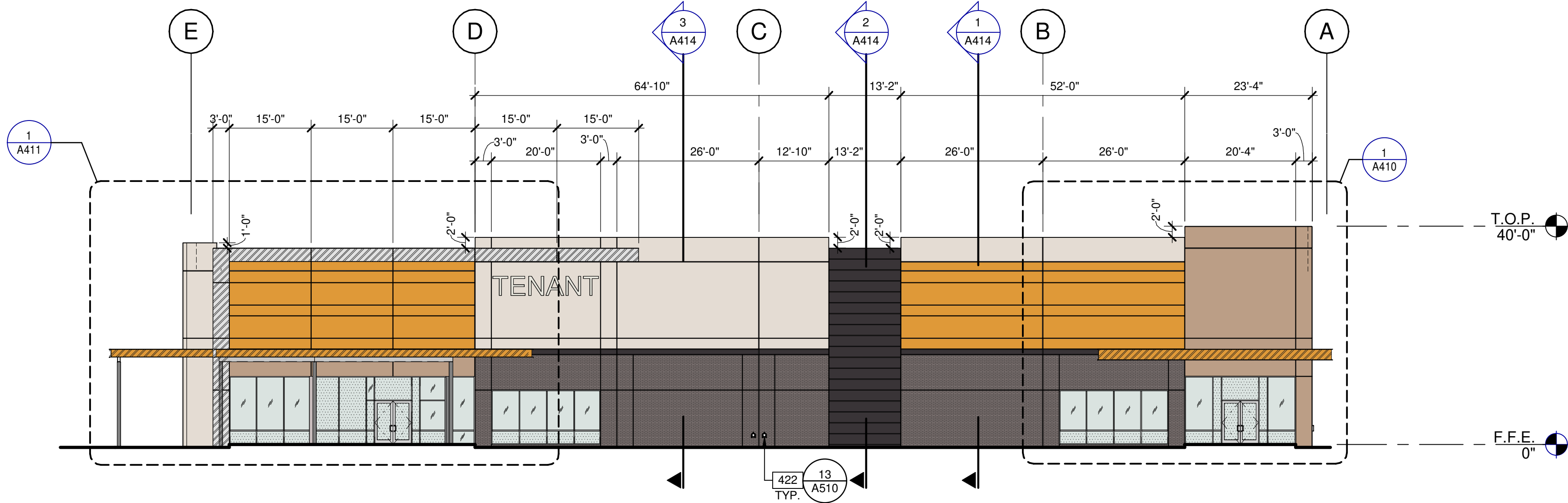
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JOB NO.: PHX22-0166-00

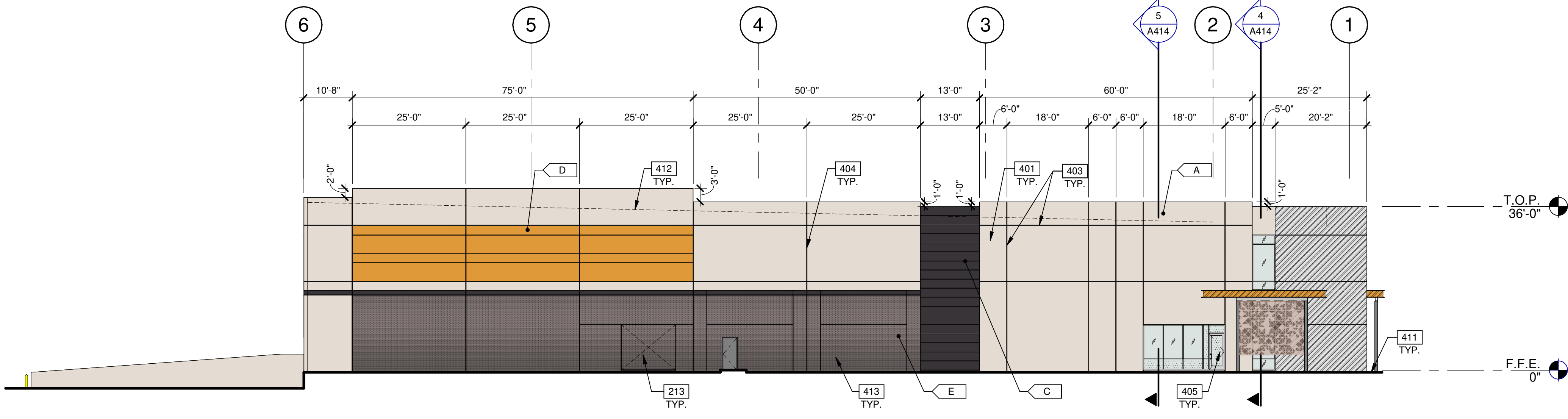
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A210

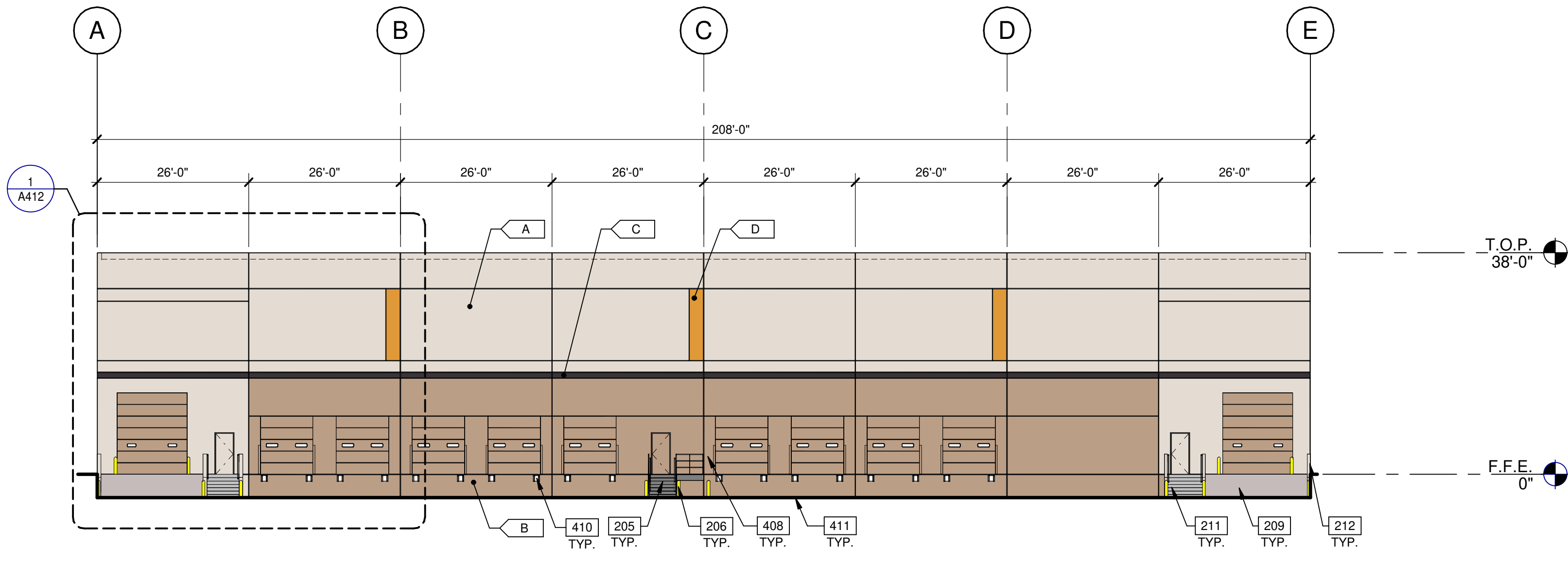
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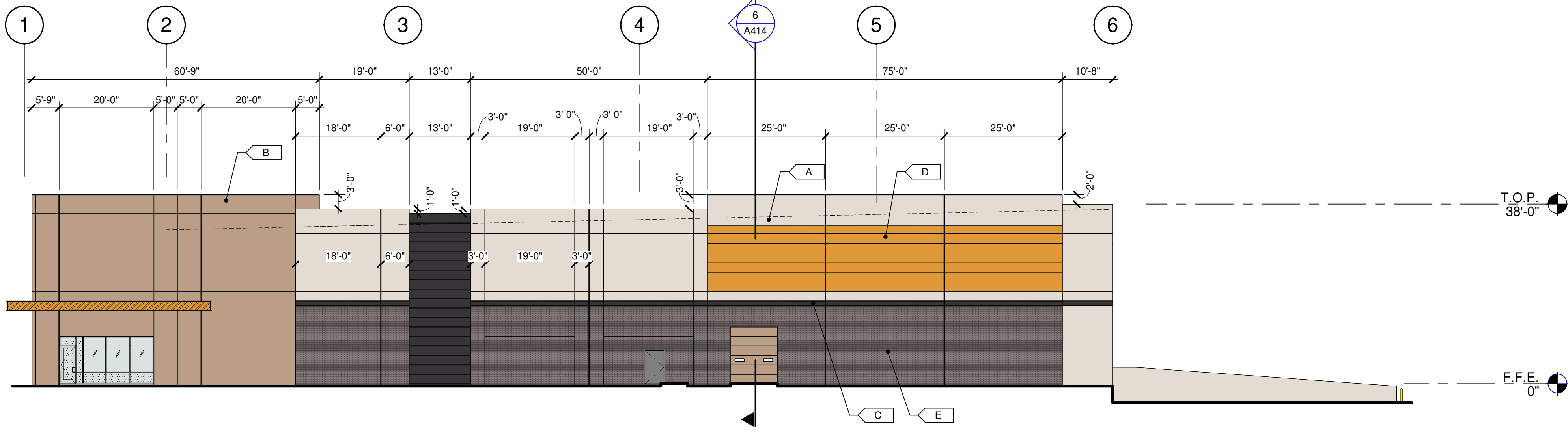
WEST EXTERIOR ELEVATION 1



NORTH EXTERIOR ELEVATION 2



EAST EXTERIOR ELEVATION 3



SOUTH EXTERIOR ELEVATION 4

KEYNOTES:

- SEE SHEET A210 FOR GENERAL NOTES
- 205 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
 - 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 209 CONCRETE RAMP.
 - 211 EXTERIOR CONCRETE STAIR. ALL METAL COMPONENTS TO BE GALVANIZED.
 - 212 CONCRETE SCREEN WALL.
 - 213 KNOCK-OUT PANEL FOR FUTURE WINDOWS OR DOORS.
 - 401 CONCRETE WALL, PAINTED.
 - 403 3/4" V-REVEAL.
 - 404 CONCRETE WALL JOINT.
 - 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 408 DRAIN LEADER, PAINTED TO MATCH ADJACENT WALL.
 - 410 DOCK BUMPER.
 - 411 FINISH GRADE VARIES.
 - 412 LINE OF ROOF BEYOND.
 - 413 THIN BRICK.
 - 422 OVERFLOW EXITING.

MATERIAL PERCENTAGES:

WEST ELEVATION

- CONCRETE: 48%
EVERYDAY WHITE: 21%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 7%
GOLD CREST: 20%
STORE FRONT: 15%
THIN BRICK: 20%
STEEL: 4%
METAL PANEL: 13%

NORTH ELEVATION

- CONCRETE: 64%
EVERYDAY WHITE: 47%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 7%
GOLD CREST: 10%

- STORE FRONT: 3%
THIN BRICK: 23%
STEEL: 1%
METAL PANEL: 8%
MAN DOOR: 1%

EAST ELEVATION

- CONCRETE: 88%
EVERYDAY WHITE: 55%
COMMERCIAL TAN: 27%
DEEP FOREST BROWN: 2%
GOLD CREST: 1%
OVERHEAD DOORS: 13%
MAN DOORS: 1%

SOUTH ELEVATION

- CONCRETE: 47%
EVERYDAY WHITE: 28%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 7%
GOLD CREST: 12%
STORE FRONT: 3%
THIN BRICK: 24%
STEEL: 1%
METAL PANEL: 22%
OVERHEAD DOOR: 2%
MAN DOOR: 1%

LEGEND

MATERIALS:

THIN BRICK - PACIFIC CLAY - 'DESERT GREY' COLOR

CONCRETE WALL, PAINTED

METAL CANOPY, PAINTED

BRUSHED ALUMINUM METAL PANEL

GLASS:

VISION GLASS

TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X-0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE
- B COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN'
- C SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN
- D SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST
- E THIN BRICK - PACIFIC CLAY - 'DESERT GREY'
- F CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN'



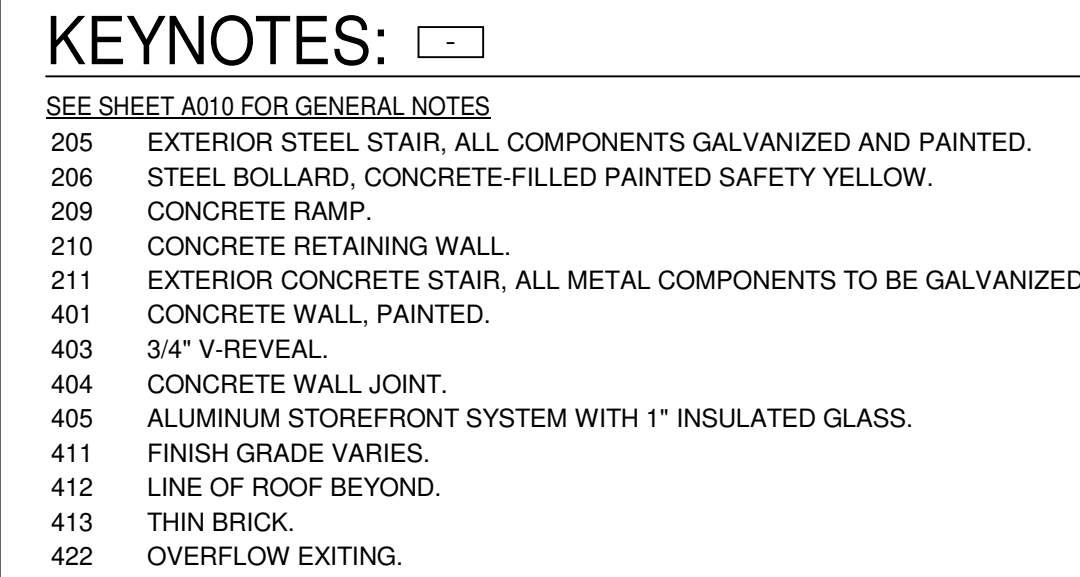
THE BRICKYARDS ON ELLSWORTH
BUILDING 5
9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

EXTERIOR ELEVATIONS

DATE	ISSUED FOR BID	REMARKS
01/05/2023		

PAPM:	D. COUTURE
DRAWN BY:	MV/AB/TO/CA/CGRH
JOB NO.:	PHX22-0166-00

SHEET
A210



WEST ELEVATION

CONCRETE- 49%
EVERYDAY WHITE- 23%
COMMERCIAL TAN- 0%
DEEP FOREST BROWN- 6%
GOLD CREST- 20%
STORE FRONT- 14%
THIN BRICK- 24%
STEEL- 3%
METAL PANEL- 10%
NORTH ELEVATION

NORTH ELEVATION

CONCRETE- 63%
EVERYDAY WHITE- 47%
COMMERCIAL TAN- 0%
DEEP FOREST BROWN- 6%
GOLD CREST- 10%

STORE FRONT- 4%
THIN BRICK- 24%
STEEL- 1%
METAL PANEL- 7%
MAN DOOR- 1%

EAST ELEVATION

CONCRETE- 84%
EVERYDAY WHITE- 55%
COMMERCIAL TAN- 26%
DEEP FOREST BROWN- 2%
GOLD CREST- 1%
OVERHEAD DOORS- 15%

SOUTH ELEVATION

CONCRETE- 46%
EVERYDAY WHITE- 27%
COMMERCIAL TAN- 0%
DEEP FOREST BROWN- 7%
GOLD CREST- 12%
STORE FRONT- 2%

THIN BRICK- 26%
STEEL- 1%
METAL PANEL- 22%
OVERHEAD DOOR- 2%
MAN DOOR- 1%

MATERIALS:



THIN BRICK - PACIFIC CLAY - 'DESERT GREY' COLOR

	CONCRETE WALL, PAINTED
--	------------------------

METAL CANOPY, PAINTED

GLASS:

VISION GLASS

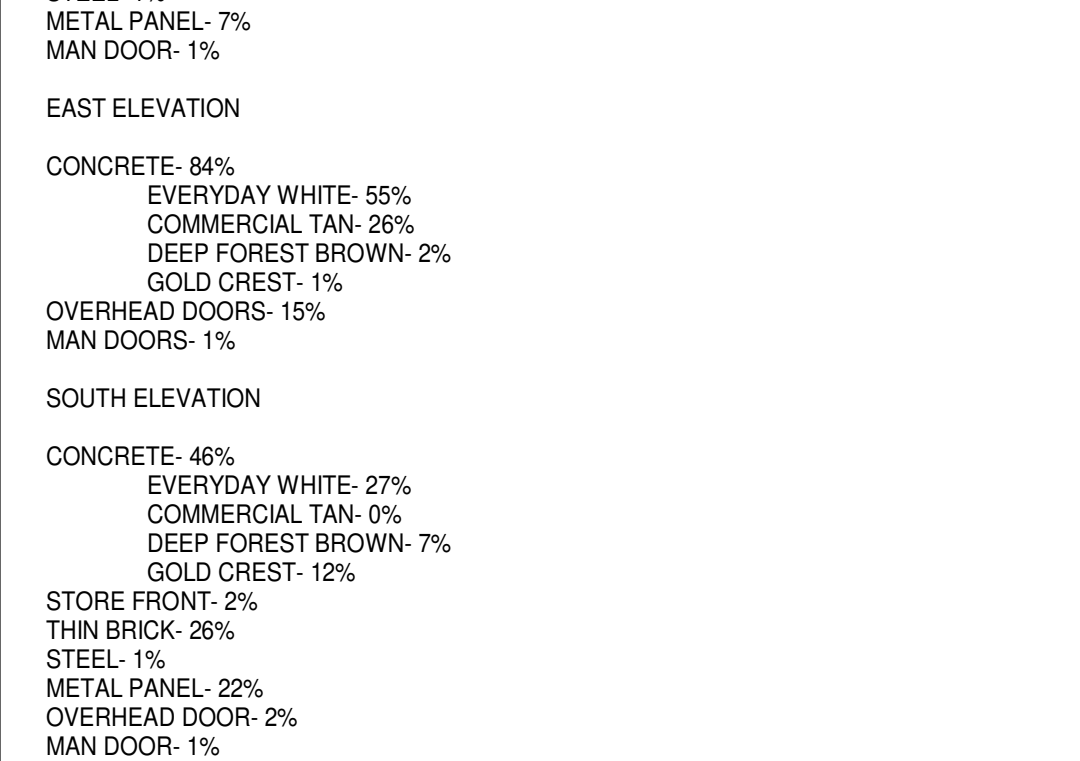
TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X<0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

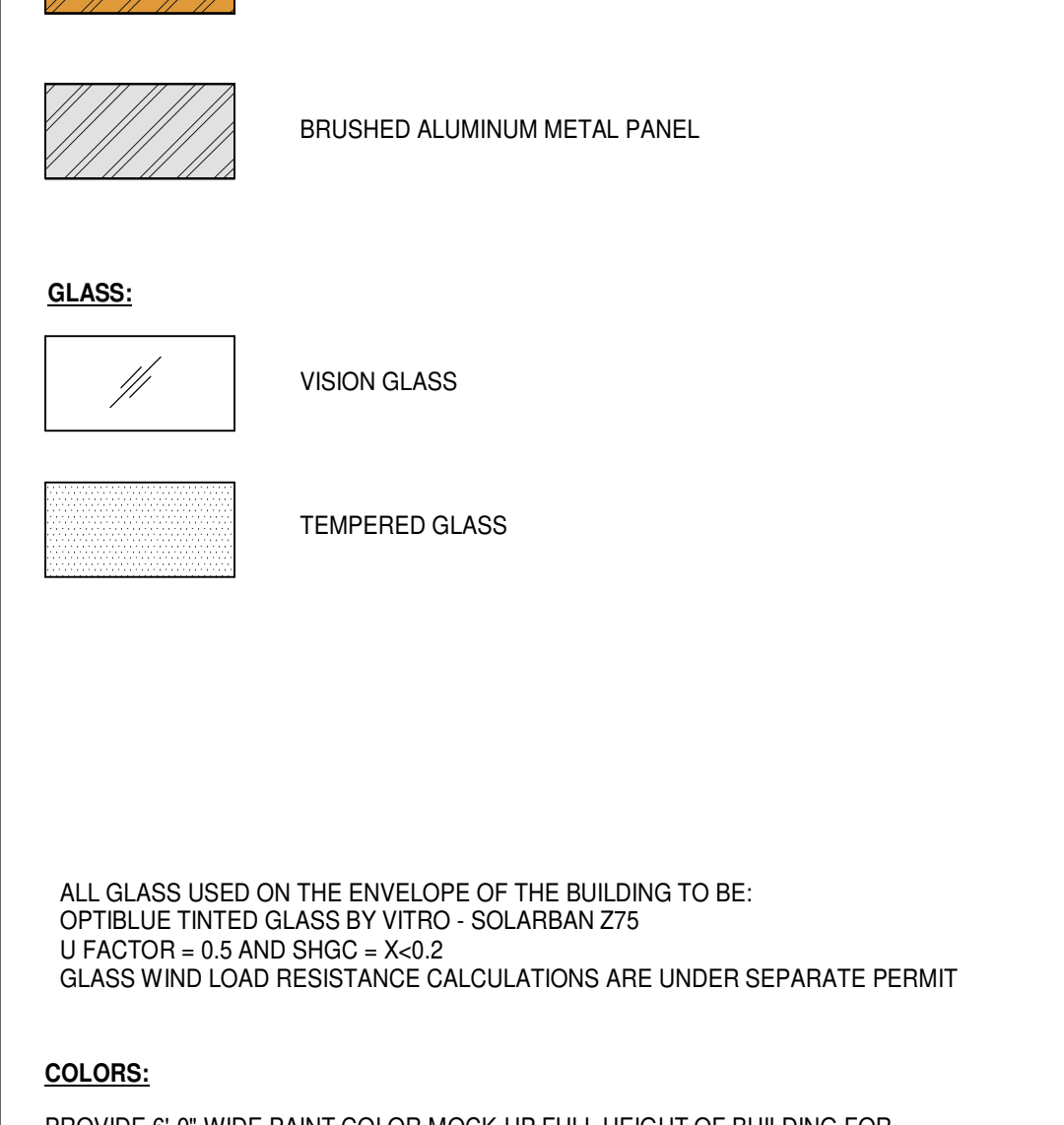
COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

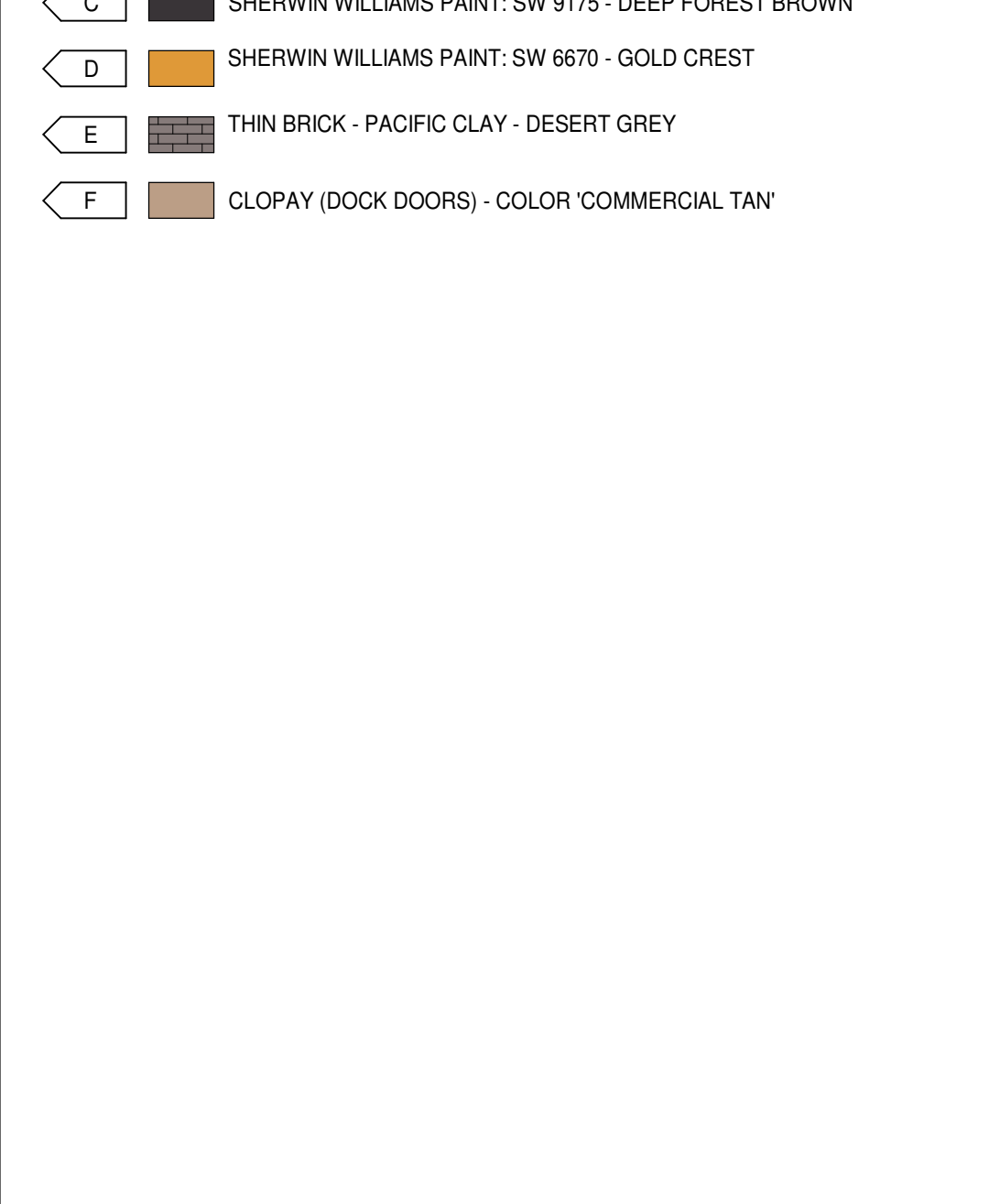
A		SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE
B		COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN'
C		SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN
D		SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST
E		THIN BRICK - PACIFIC CLAY - DESERT GREY
F		CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN'



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

WARE.MAI.COMB

ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT



THE BRICKYARDS ON ELLSWORTH

BUILDING 6

9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

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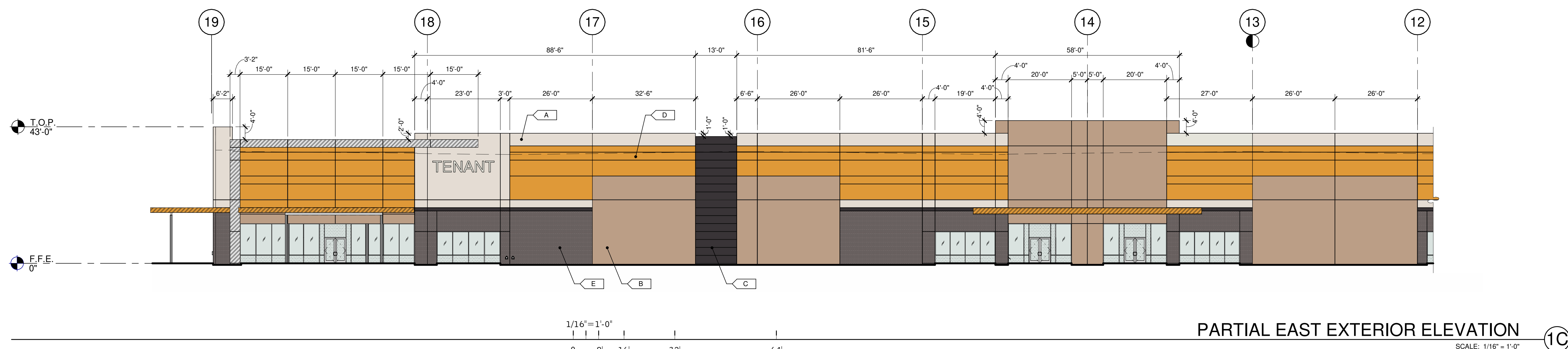
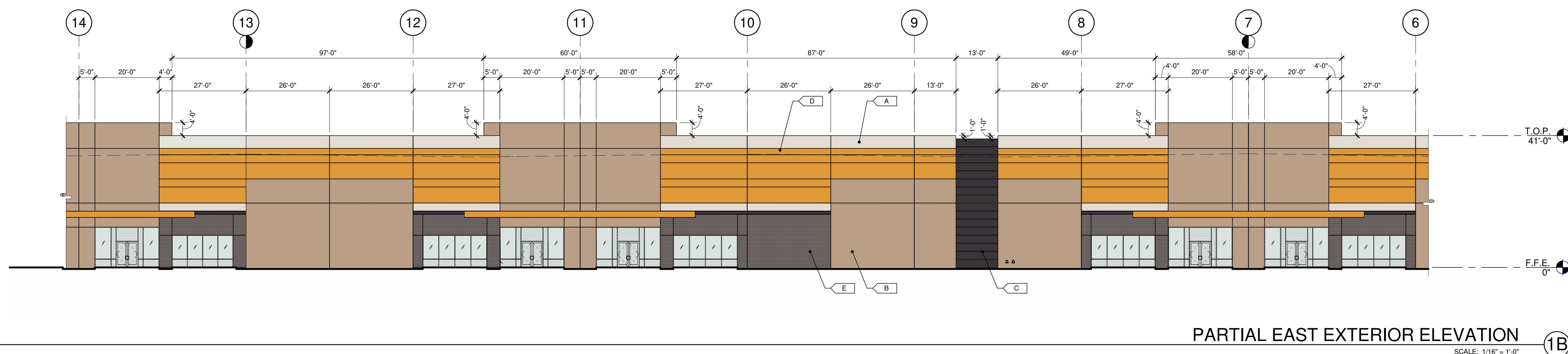
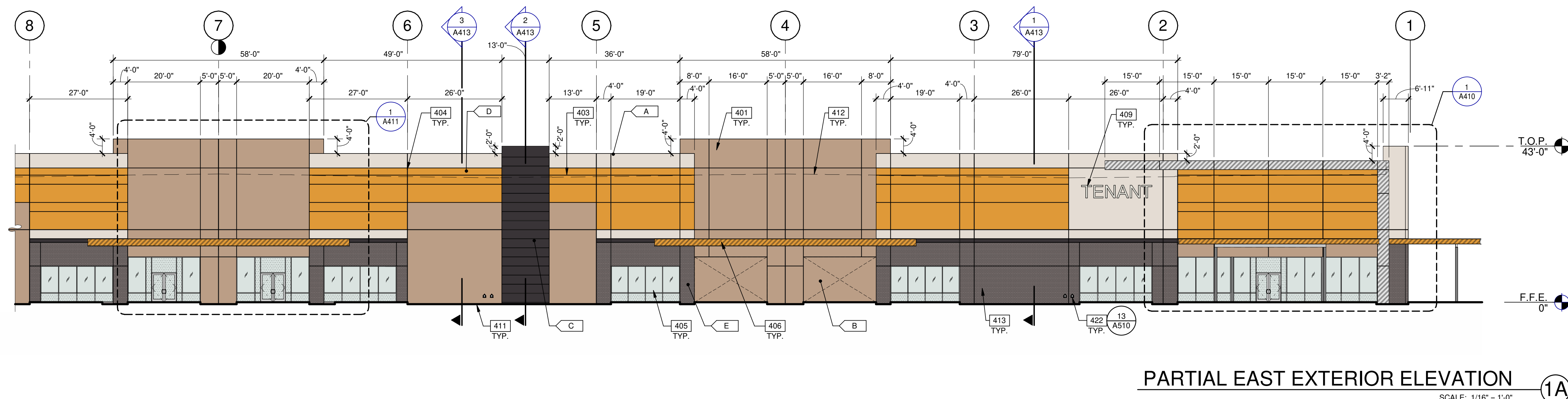
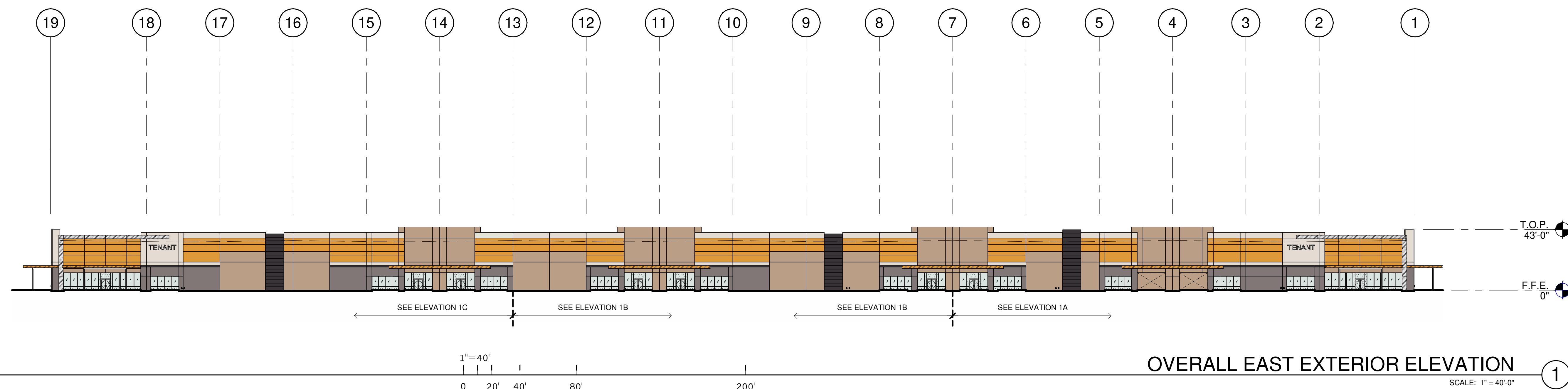
PA/PM:	D. COUTURE
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DRAWN BY.: MV/AB/TP/GA/CG/BH

JOB NO :	PHY22.0166.00
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SHEE

A210

KEYNOTES:

SEE SHEET A010 FOR GENERAL NOTES

- 401 CONCRETE WALL, PAINTED.
402 3/4" V-REVEAL.
403 CONCRETE WALL JOINT.
404 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
405 METAL CANOPY, PAINTED.
406 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
407 FINISH GRADE VARIES.
408 LINE OF ROOF BEYOND.
409 THIN BRICK.
410 QWFR1 QW FXITING

MATERIAL PERCENTAGES:

EAST ELEVATION

CONCRETE- 66%
EVERYDAY WHITE- 6%
COMMERCIAL TAN- 32%
DEEP FOREST BROWN- 5%
GOLD CREST- 23%
STORE FRONT- 12%
THIN BRICK- 11%
STEEL- 9%
METAL PANEL- 2%

LEGEND

MATERIALS:

- | | |
|--|---|
|  | THIN BRICK - PACIFIC CLAY - DESERT GREY COLOR |
|  | CONCRETE WALL, PAINTED |
|  | METAL CANOPY, PAINTED |
|  | BRUSHED ALUMINUM METAL PANEL |

GLASS:

- | | |
|---|----------------|
|  | VISION GLASS |
|  | TEMPERED GLASS |

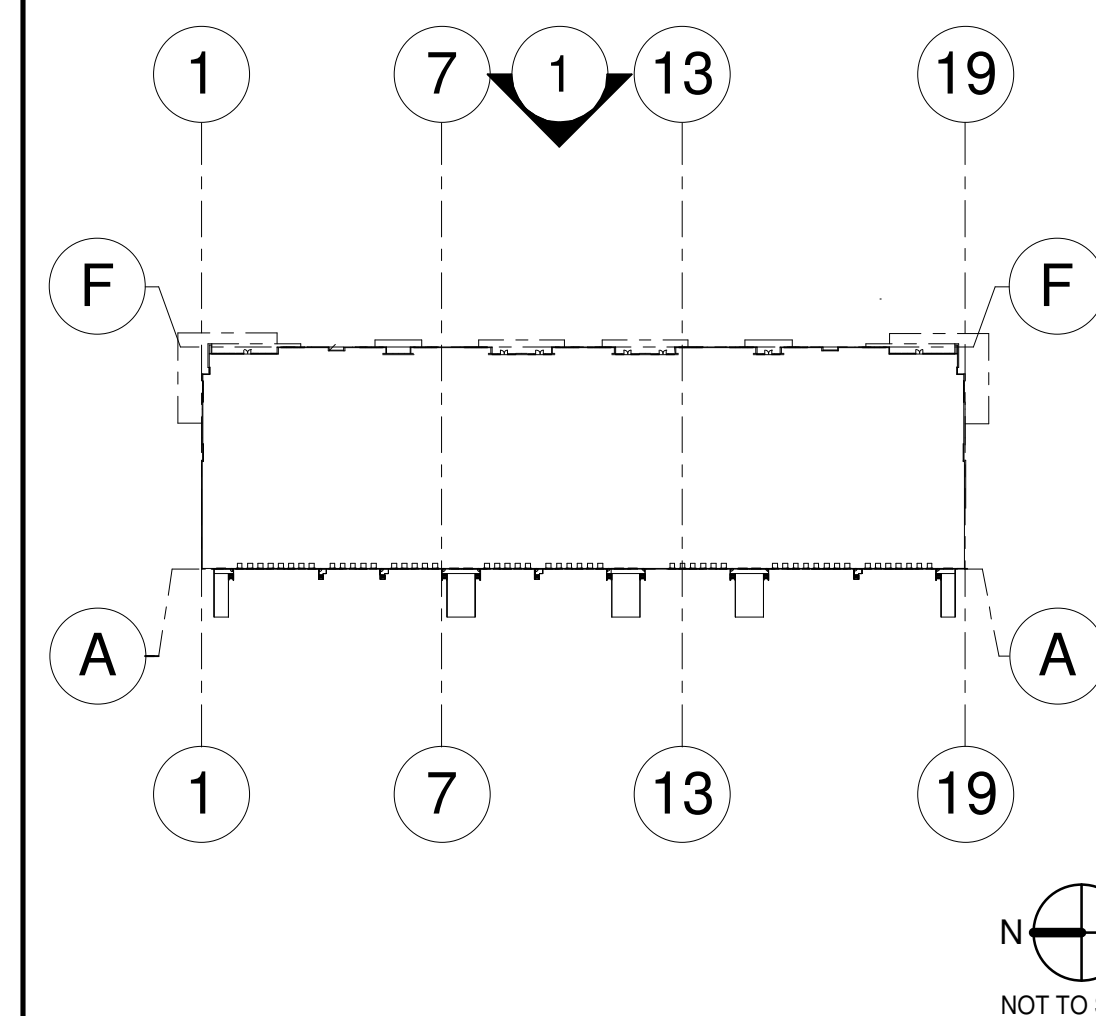
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X<0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- | | | |
|---|---|---|
| A |  | SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE |
| B |  | COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN' |
| C |  | SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN |
| D |  | SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST |
| E |  | THIN BRICK - PACIFIC CLAY COLOR 'DESERT GREY' |
| F |  | CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN' |

KEY PLAN



WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

2777 E. Camelback Rd, Suite #325
Phoenix, AZ, 85016
P 480.767.4001



THE BRICKYARDS ON ELLSWORTH
BUILDING 7

9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

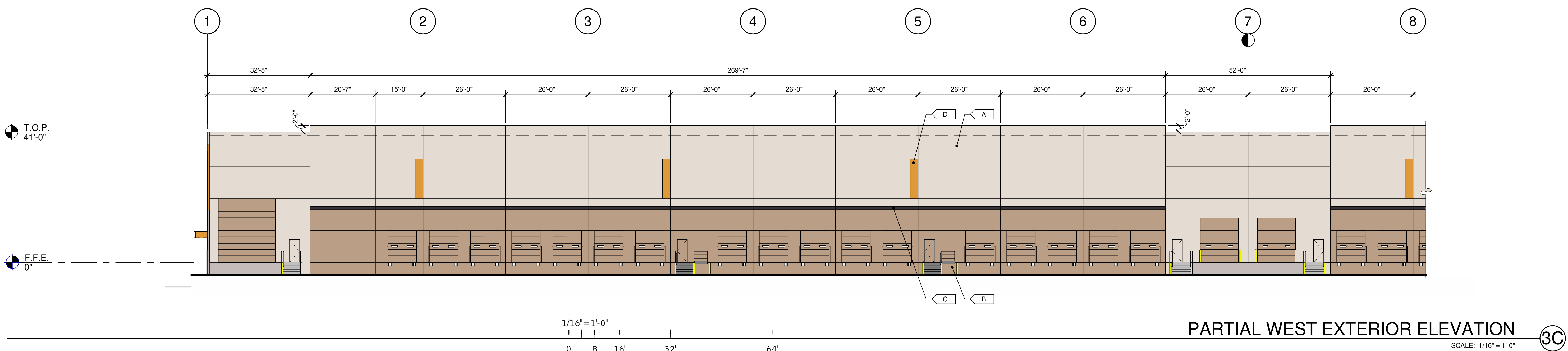
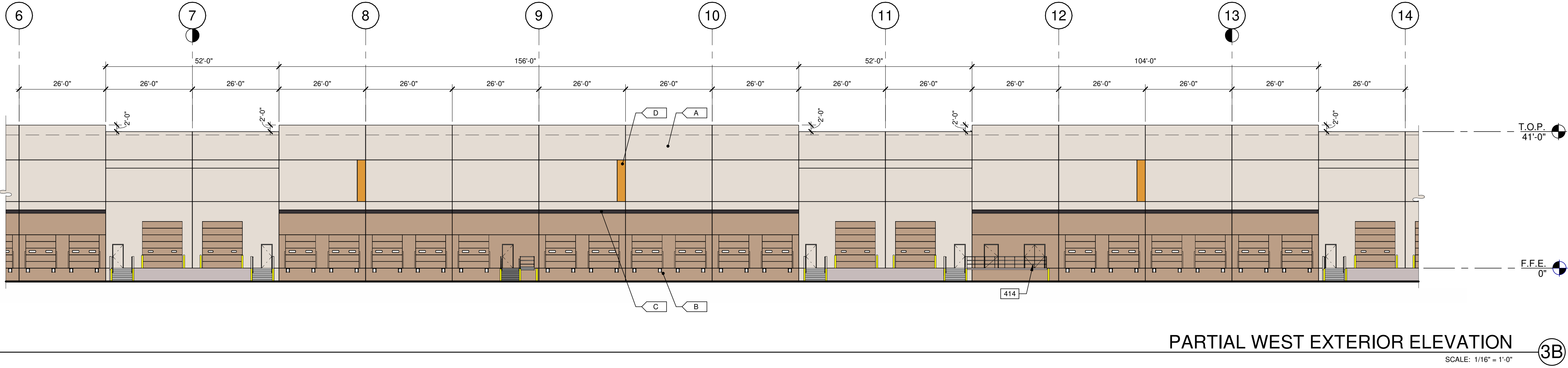
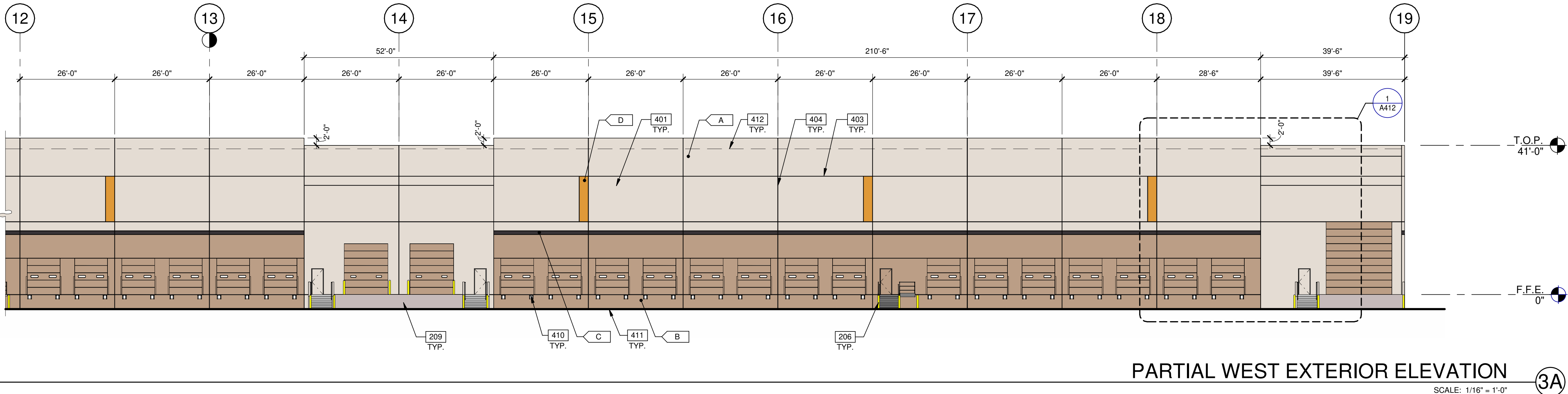
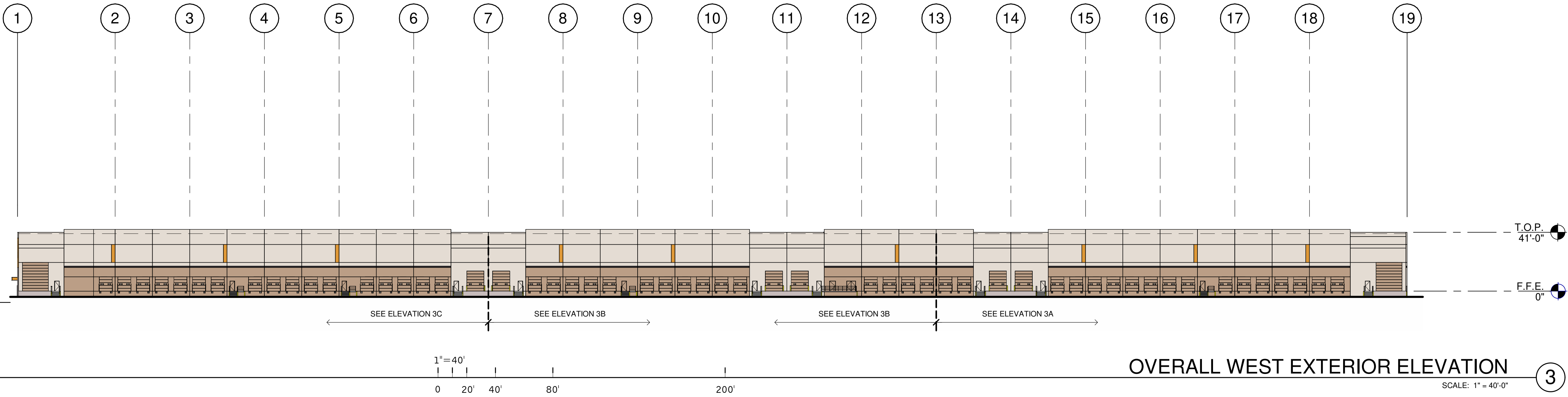
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PA/PM:	D. COUTURE
DRAWN BY.:	MV/AB/TD/CA/CG
JOB NO.:	PHX22-0166-00

SHEET

A210

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KEYNOTES:

SEE SHEET A010 FOR GENERAL NOTES

- 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 209 CONCRETE RAMP.
- 401 CONCRETE WALL, PAINTED.
- 403 3/4" V-REVEAL.
- 404 CONCRETE WALL JOINT.
- 410 DOCK BUMPER.
- 411 FINISH GRADE VARIES.
- 412 LINE OF ROOF BEYOND.
- 414 REMOVABLE GUARDRAIL FOR FORKLIFT LOADING/UNLOADING.

MATERIAL PERCENTAGES:

WEST ELEVATION

- CONCRETE- 85%
- EVERYDAY WHITE- 59%
- COMMERCIAL TAN- 23%
- DEEP FOREST BROWN- 2%
- GOLD CREST- 1%
- OVERHEAD DOORS- 14%
- MAN DOORS- 1%

LEGEND

MATERIALS:

- THIN BRICK - PACIFIC CLAY - 'DESERT GREY' COLOR
- CONCRETE WALL, PAINTED
- METAL CANOPY, PAINTED
- BRUSHED ALUMINUM METAL PANEL

GLASS:

- VISION GLASS
- TEMPERED GLASS

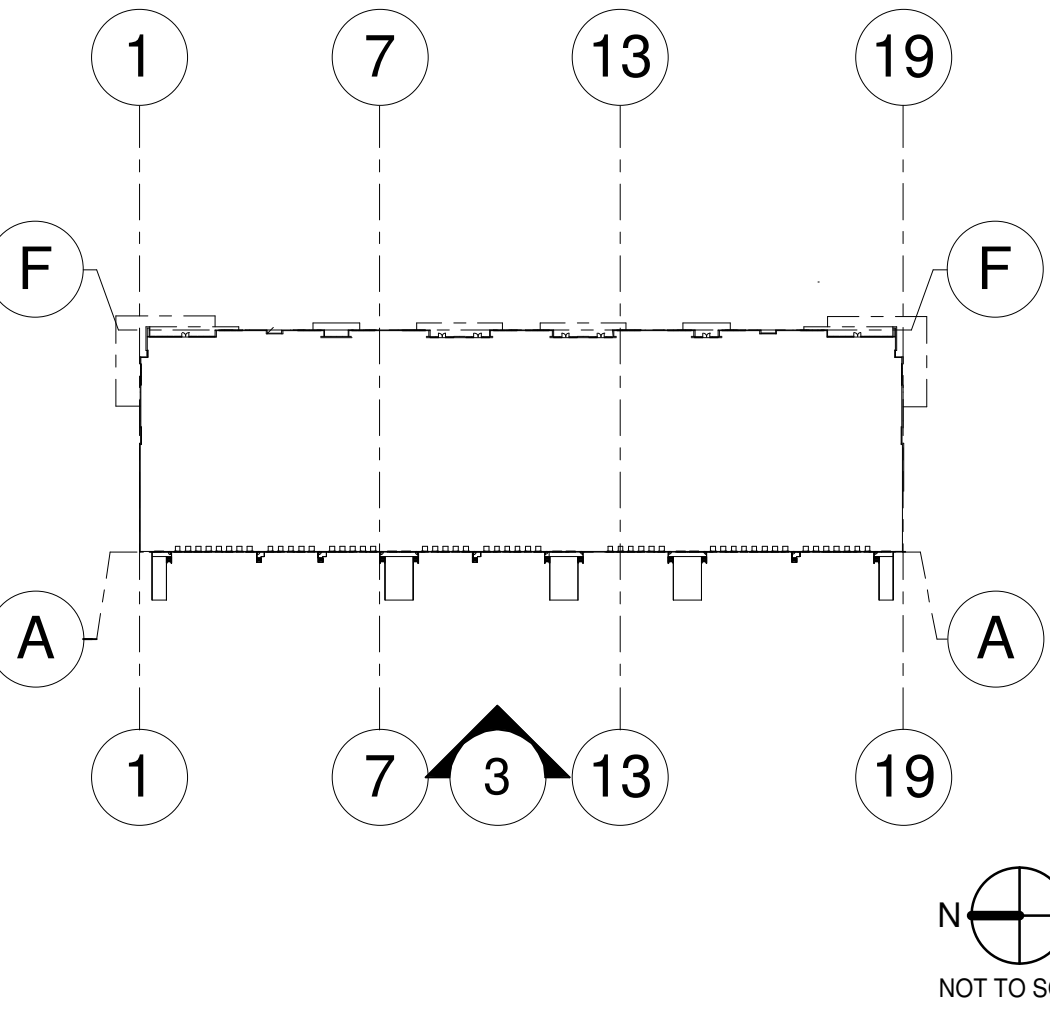
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OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X-0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE
- B COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN'
- C SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN
- D SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST
- E THIN BRICK - PACIFIC CLAY COLOR 'DESERT GREY'
- F CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN'

KEY PLAN



THE BRICKYARDS ON ELLSWORTH
BUILDING 7
9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

EXTERIOR ELEVATIONS

DATE
01/05/2023

ISSUED FOR BID

P.A.P.M.: D. COUTURE

DRAWN BY: MVA/BD/CA/CGRH

JOB NO.: PHX22-0166-00

SHEET

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PWD VC-80-C COVER C/C

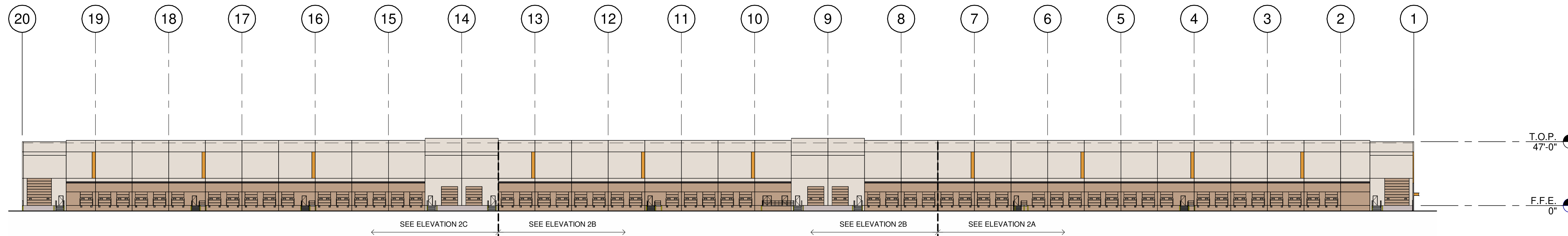


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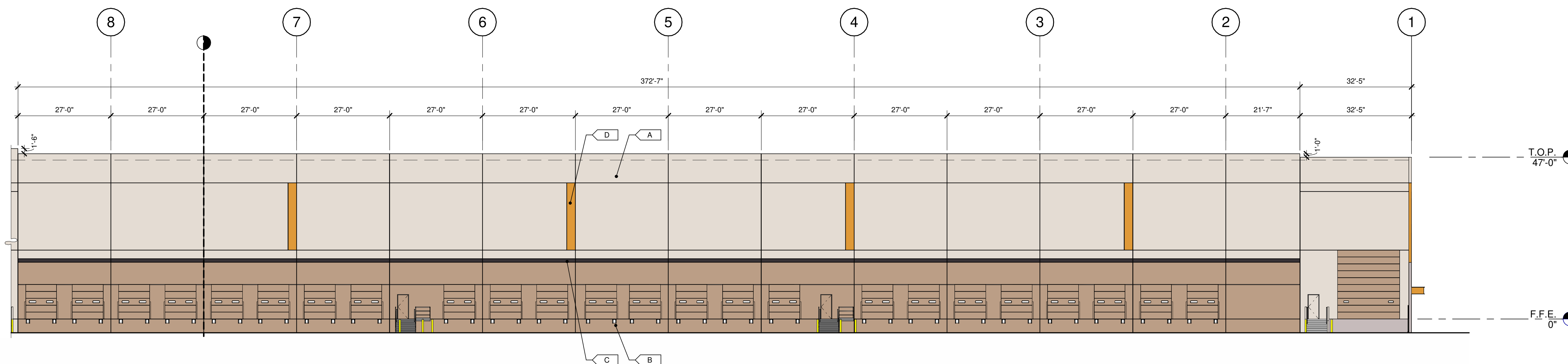


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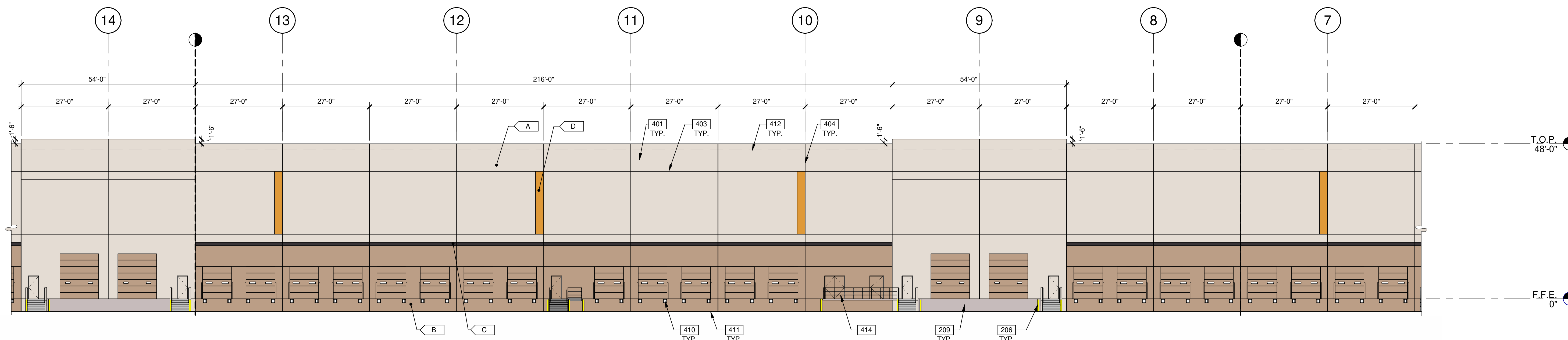
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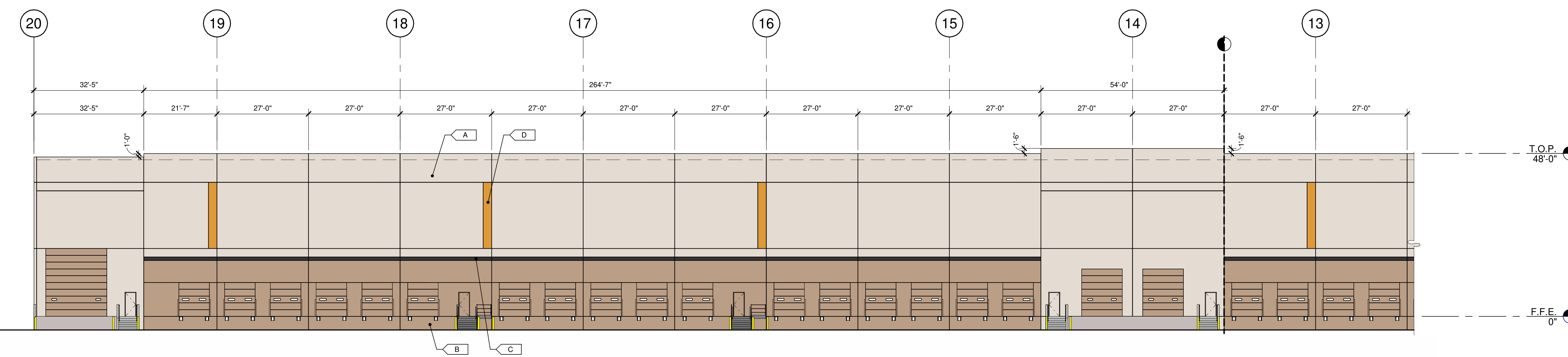
OVERALL EAST EXTERIOR ELEVATION



PARTIAL EAST EXTERIOR ELEVATION



PARTIAL EAST EXTERIOR ELEVATION



PARTIAL EAST EXTERIOR ELEVATION

KEYNOTES:

SEE SHEET A010 FOR GENERAL NOTE

- 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW
209 CONCRETE RAMP.
401 CONCRETE WALL, PAINTED.
403 3/4" V-REVEAL.
404 CONCRETE WALL JOINT.
410 DOCK BUMPER.
411 FINISH GRADE VARIES.
412 LINE OF ROOF BEYOND.
414 REMOVABLE GUARDRAIL FOR FORKLIFT LOADING/UNLOADING

MATERIAL PERCENTAGES:

EAST ELEVATION

CONCRETE- 88%
EVERYDAY WHITE- 62%
COMMERCIAL TAN- 23%
DEEP FOREST BROWN- 2%
GOLD CREST- 1%
OVERHEAD DOORS- 11%
MAN DOORS- 1%

LEGEND

MATERIALS

- | | |
|---|---|
|  | THIN BRICK - PACIFIC CLAY - 'DESERT GREY' COLOR |
|  | CONCRETE WALL, PAINTED |
|  | METAL CANOPY, PAINTED |

- 
- BRUSHED ALUMINUM METAL PANEL

GLASS

- | | |
|---|----------------|
|  | VISION GLASS |
|  | TEMPERED GLASS |

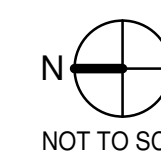
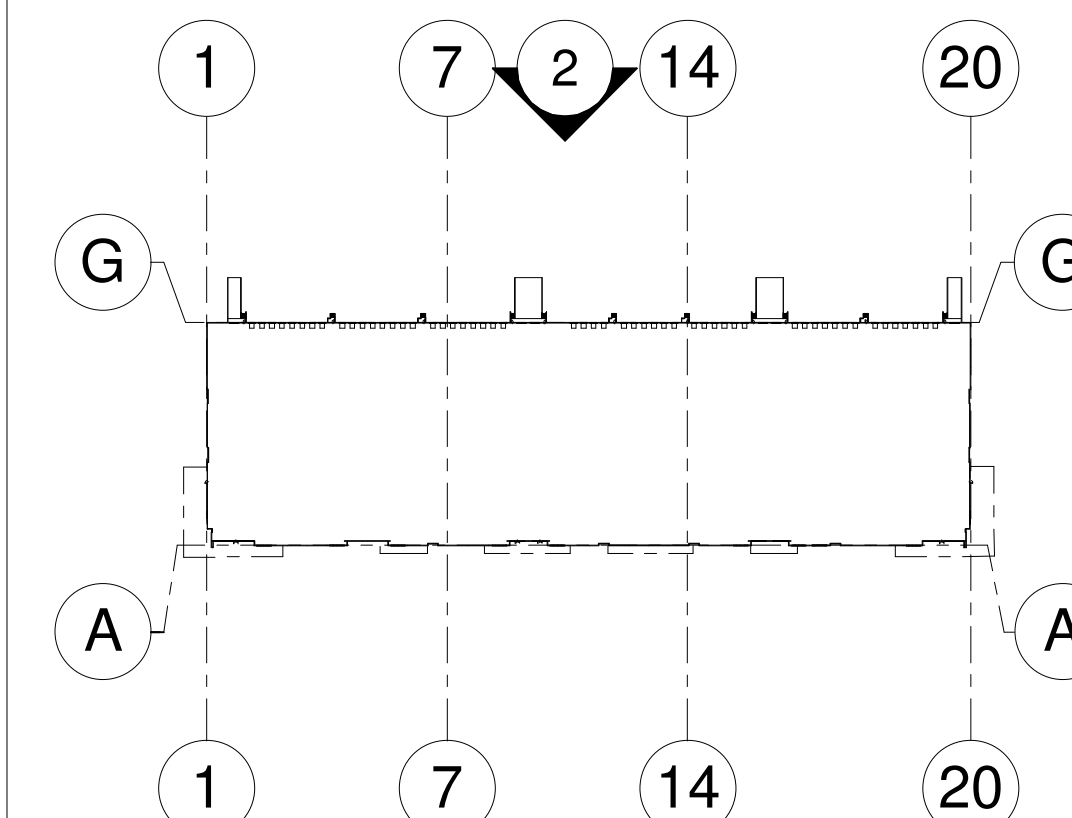
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OPTIBLUE TINTED GLASS BY VITRO - SOLARBAN Z75
U FACTOR = 0.5 AND SHGC = X<0.2
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- | | | |
|---|---|---|
| A |  | SHERWIN WILLIAMS PAINT: SW 6077 - EVERYDAY WHITE |
| B |  | COLOR TO MATCH CLOPAY COLOR 'COMMERCIAL TAN' |
| C |  | SHERWIN WILLIAMS PAINT: SW 9175 - DEEP FOREST BROWN |
| D |  | SHERWIN WILLIAMS PAINT: SW 6670 - GOLD CREST |
| E |  | THIN BRICK - PACIFIC CLAY - DESERT GREY |
| F |  | CLOPAY (DOCK DOORS) - COLOR 'COMMERCIAL TAN' |

KEY PLAN



WARE MALCOMB

ARCHITECTURE CIVIL ENGINEERING 2777 E. Camelback Rd. Suite #325
PLANNING BRANDING Phoenix, AZ, 85016
INTERIORS BUILDING MEASUREMENT P 480.767.1001



THE BRICKYARDS ON ELLSWORTH
BUILDING 8

9253 EAST WILLIS ROAD
MESA ARIZONA 85212

EXTERIOR ELEVATIONS

	DATE
	01/05/2023

PA/PM:	D. COUTURE
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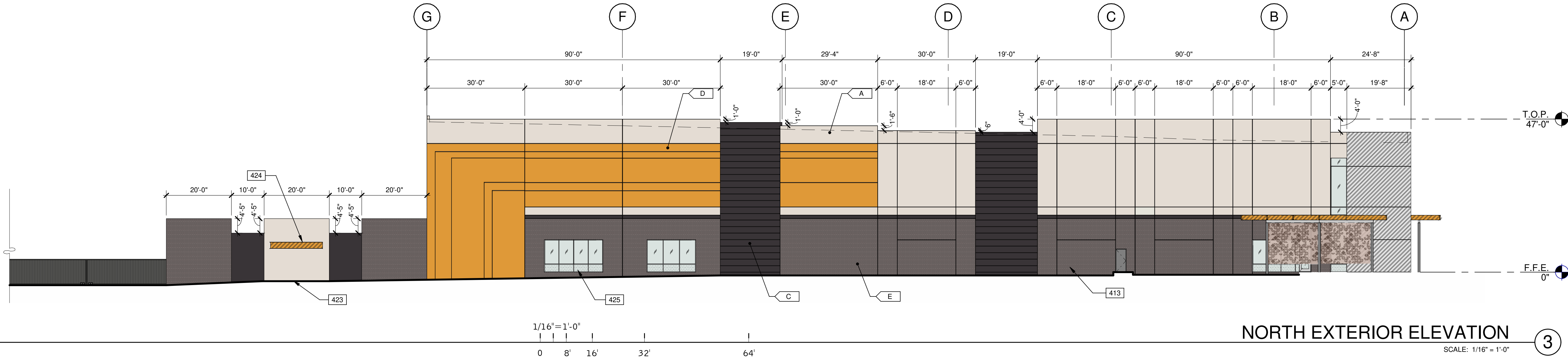
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JOB NO.:	PHX22-0166-00
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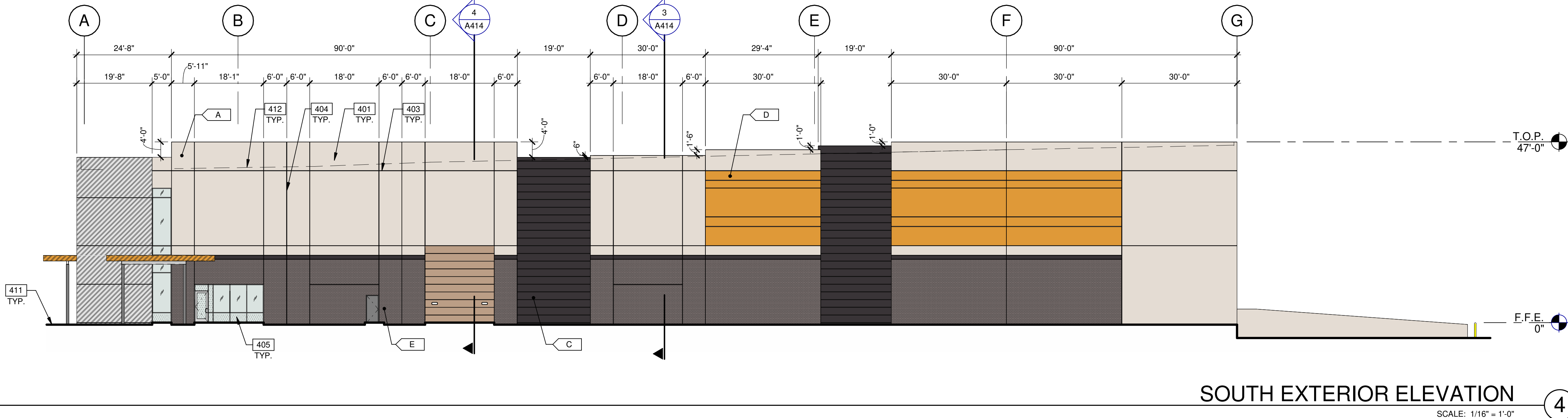
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NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

3



SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

4

KEYNOTES:

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411 FINISH GRADE VARIES.
412 LINE OF ROOF BEYOND.
413 THIN BRICK.
423 SMOKERS AREA.
424 SMOKERS CANOPY.
425 GLAZING TO BE SPANDREL GLASS.

MATERIAL PERCENTAGES:

NORTH ELEVATION

- CONCRETE: 88%
EVERYDAY WHITE: 41%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 13%
GOLD CREST: 12%

STORE FRONT: 2%

- THIN BRICK: 24%
STEEL: 1%
METAL PANEL: 6%
MAN DOOR: 1%

SOUTH ELEVATION

- CONCRETE: 66%
EVERYDAY WHITE: 41%
COMMERCIAL TAN: 0%
DEEP FOREST BROWN: 13%
GOLD CREST: 12%

STORE FRONT: 2%

- THIN BRICK: 22%
STEEL: 1%
METAL PANEL: 6%
OVERHEAD DOOR: 2%
MAN DOOR: 1%

LEGEND

MATERIALS:

- THIN BRICK - PACIFIC CLAY - DESERT GREY COLOR
CONCRETE WALL, PAINTED
METAL CANOPY, PAINTED
BRUSHED ALUMINUM METAL PANEL

GLASS:

- VISION GLASS
TEMPERED GLASS

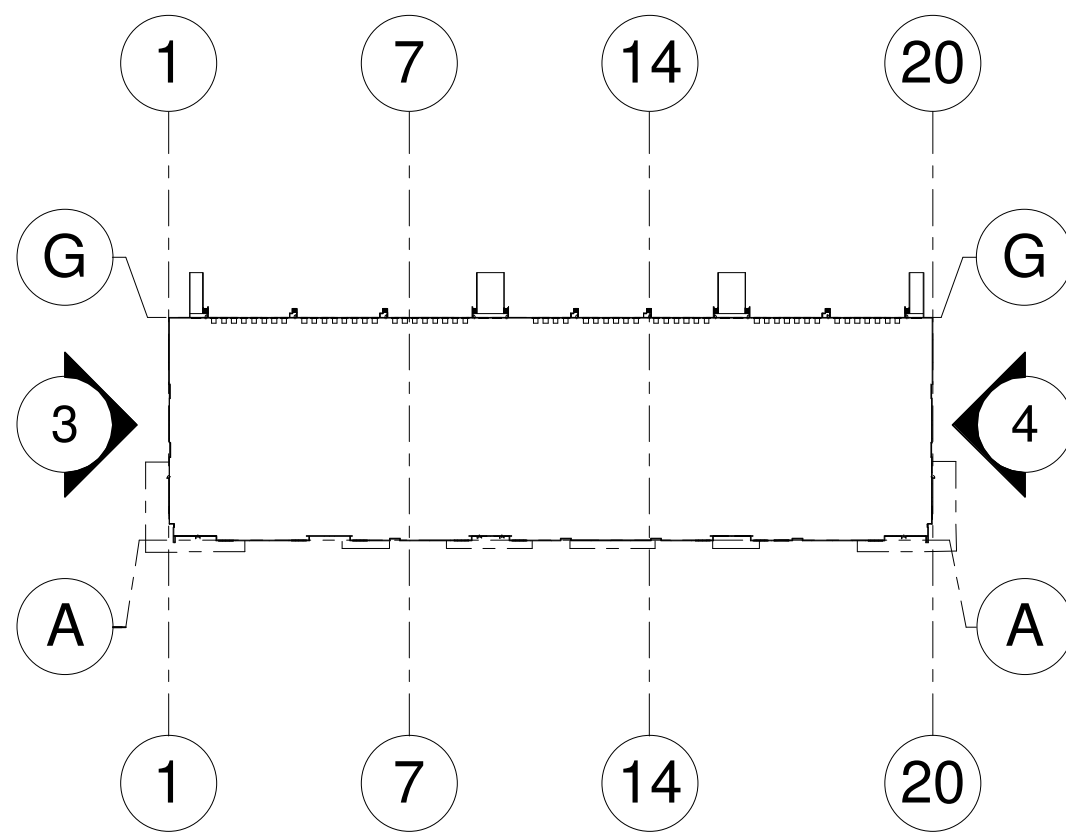
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KEY PLAN



WARE MALCOMB

2777 E Camelback Rd. Suite #325
Phoenix, AZ 85016
P: 480.767.1001

ARCHITECTURE
PLANNING
INTERIORS
BRANDING
BUILDING MEASUREMENT

MARTENS
DEVELOPMENT COMPANY

THE BRICKYARDS ON ELLSWORTH
BUILDING 8
9253 EAST WILLIS ROAD
MESA, ARIZONA 85212

EXTERIOR ELEVATIONS

REMARKS

ISSUED FOR BID

DATE
01/05/2023

P/PM: D. COUTURE
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JOB NO.: PHX22-0166-00

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