

NARRATIVE REPORT FOR VILLAS ON BASELINE

Located in Mesa, Arizona.

Formal Application for Rezoning and Site Plan Review and Approval



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**NARRATIVE REPORT
FOR “VILLAS ON BASELINE”**

TABLE OF CONTENTS	PAGE
1. APPLICATION REQUEST	3
2. LOCATION AND DESCRIPTION OF SURROUNDING AREA	3
3. COMPLIANCE WITH GENERAL PLAN & ZONING	4
4. OPERATIONAL ASPECTS OF USE	4
5. PROPOSED INFRASTRUCTURE	4
6. DEVELOPMENT SCHEDULE	5
7. CONCLUSION	5

Appendix A:

- Figure 1 – Aerial Photo
- Figure 2 – Parcel Map
- Figure 3 – Proposed General Plan Land Use
- Figure 4 – Zoning Map
- Figure 5 – Preliminary Site Plan

1. APPLICATION REQUEST

BFH Group is delighted to present to the City of Mesa this application with corresponding narrative and exhibits for the Preliminary Site Plan submittal and approval. Per request by the applicant, the purpose of the narrative is to request for rezoning application and Site Plan Approval to the proposed 2.04 acre townhouse residential development located at 1820 E. Baseline Road, Mesa, AZ 85204, more specifically APN: 139-09-003D. The proposed development is intended to be 29 residential units with a proposed gross density of 14.50 du/ac.

2. LOCATION AND DESCRIPTION OF SURROUNDING AREA

The property is located on the north side of East Baseline Road approximately 1100 feet west of North Gilbert Road. It is currently vacant land.

Immediately west of the proposed site are existing commercial office buildings that are owned and maintained by BDS Investment Group, LLC. To the south, across Baseline Road, are large retail shops and restaurants including Fry's Food as the anchor unit. To the east of the site are existing commercial retail shops and restaurants owned by various owners as part of the existing Mesa Commons development. Coordination efforts have already been initiated with adjacent property owners. To the north of the site is an existing high density residential development owned by several owners called Suntree.

The local retail, offices and restaurants are considered assets to this site, not to mention a residential development would help spur commercial activity in this area. The residential buildings have been arranged around the perimeter of the site with a central drive aisle. The drive proposes a secondary access point to the west near the middle of the site to allow for trash and fire vehicular circulation. The layout design opens the entire site to pedestrian access to the adjacent commercial and offices. The site proposes 2-story townhouse style units each with a private 2-car garage throughout the entire development. The townhouse units feature a 5' private rear yard/patio to the perimeter wall. Required private outdoor space will be provided to every residential unit.



3. COMPLIANCE WITH GENERAL PLAN & ZONING

As already discussed, the property is surrounded on three sides by existing developments. All surrounding properties, including the subject parcel, fall under the City of Mesa General Plan designation as “Mixed Use Activity District”. On the north, are found several existing multi-family residential subdivision including Suntree, which is currently zoned RM-2. To the east, are located more existing multi-family residential developments that are all currently zoned RM-3. (See Figure 3 – General Plan Land Use; Figure 4 – Zoning Map)

The property is currently zoned AG per the City of Mesa. Based on previous discussion with City staff and per the development standards for this property, it is understood that the developer will need to rezone the property for Site Plan Approval for this property to be developed as a multi-family residential use with 29 proposed units. This would be required by the City of Mesa development standards. It is further understood by the applicant that the property has been vacant undeveloped land for years and considering the current conditions of the surrounding area, AG is not an appropriate land use designation for this property.

The development meets the City of Mesa Zoning Ordinance Table 11-32-3.A, for required on site parking. This is achieved with 2-car garages and onsite parking areas. The total required parking for the site is $29 \times 2.1 \text{ stalls/unit} = 60.9$ or 61 stalls. The proposed parking will be as follows $29 \times 2 \text{ stalls per unit} + 6 \text{ open stalls} = 64 \text{ total stalls}$.

Based on review of the area, and the current General Plan Land Use, residential development is an agreeable use for this property. The location is ideal as it sits adjacent to existing shops and restaurants, central to several elementary schools and high schools within the Mesa School District, close proximity to both the US 60 and 101, and the site provides a unique residential product that is much needed within the City and this area. The property has sat vacant for many years, aggregating trash, debris, transients, as well as nuisance vegetation. Development of this property will not only be a tremendous boost to the character of the area, but also will make the area safer and more appealing to current and future residents. The proposed development *Villas on Baseline* will continue to support the City of Mesa’s goals, policies, development standards and strategies as set forth in the General Plan and Zoning by promoting a safe, superior and unique living experience.

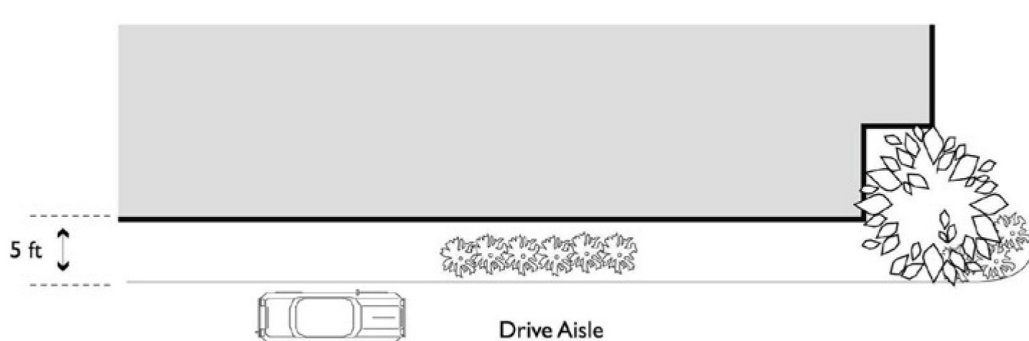
It is important for the developer to note that there are several zoning ordinance standards that will be slightly deviated from through this zoning application thus resulting in a PAD Overlay request. Below is a list of each standard, why the deviation is requested, and how the developer intends to compensate for the variation.

PLANNED AREA DEVELOPMENT STANDARDS

RM-4 (MIXED USE ACTIVITY DISTRICT; NEIGHBORHOOD DISTRICT)

CURRENT STANDARD	PROPOSED STANDARD
REDUCTION OF THE FOUNDATION BASE FROM 5' MINIMUM	FOUNDATION BASE = 3' ALONG BUILDING GARAGE FRONTS; 5' MIN EVERYWHERE ELSE.
PRIVATE PATIO MIN. DIMENSION = 10 ft	PRIVATE PATIO MIN. DIMENSION = 5 ft
SIDE SETBACK = 15' PER STORY	SIDE SETBACK = 10' MINIMUM
MIN. ON-LOT BUILDING SETBACK = 30 FT	MIN. ON-LOT BUILDING SETBACK = 20 FT

REDUCTION OF FOUNDATION BASE: Per City of Mesa Zoning Ordinance 11-33-5(A)(2)(b), *A minimum 5-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall adjacent to drive aisles as illustrated.*



It is proposed that along the frontage of the units there will be a varying distance from the face of the building to face of curb. The minimum distance will be 3', instead of 5'.

The reduction to this standard is only requested for the portion of the buildings where the garage fronts onto the street and does not affect all sections. It is important to note that all other scenarios, such as the side of the building facing the street, the foundation base minimums are compliant to this standard. The reason for the request is due to the

“alley loading” layout which is more cohesive to a fluid and ample open space plan focusing the community to “front yards” rather than the streets. Considering this, the developer requests deviation to this standard in order to provide a more robust and abundant open space to promote community interaction and superior living experience.

PRIVATE PATIO MINIMUM DIMENSION: The proposed units at *Villas at Baseline* are all 21 ft wide. If the developer were to propose a minimum dimension of 10 ft for the patio areas as shown, this would equate to 210 sf per unit, however the minimum required open space per unit is 150 sf, per MZO Table 11-5-5. The location that the developer is proposing the 5 ft patios is only within the interior of the site where the front doors to the units face one another. Ultimately, only 16 units total are proposed to incorporate 5’ private patios while the remaining 13 will propose 10’ deep patios and are compliant with the standard. At all these locations, the residents are fortunate to enjoy an additional 10’ or more beyond the patios that is essentially all their own with lush landscaping and a sidewalk that connects to adjacent amenities including pickle ball court and ramadas. All residences within the site provide 5 ft patios that will boast a total of 105 sf of private open space, which is noted it is below the minimum standard. However, the average private open space of all units combined is proposed to be 152 sf/du, which is clearly in excess of the minimum standard. Outside of the private patios, the overall site plan delivers an additional 17,311 sf of community open space with amenities and walkpaths. This equates to approximately 749 sf/du of community open space per unit. The reduction will allow the ample space to provide additional community amenities. In view of the compensation for the deviation, reducing the minimum standard is a mutually beneficial compromise and expands the overall open space presented to the community as a whole, thus offering a superior community experience.

MINIMUM PERIMETER SIDE SETBACK: Per MZO Table 15-5-5, the minimum perimeter side setback is 15’ per story. Considering the proposed units within *Villas on Baseline* are intended to be two-stories, this would indicate the side setback requirement would be 30 feet on both sides of the property’s perimeter. As can be seen by the Site Plan, the width of the overall parcel is a mere 132+/- feet. If the developer were to propose a

minimum setback of 30 ft on both sides of the property as required by the City's development standards for multi-family developments, this would reduce the developable area which homes could be placed to 72 feet. Considering the development will need adequate space for amenities as well as streets, this setback requirement is a significant hindrance to the development. Based on experience and discussion with City of Mesa planning staff, it is understood that the standard 15' setback per story is intended to promote separation between proposed developments and the adjacent property, in particular adjacent to residential developments. To propose a two-story townhome only 10 feet from the lot line overlooking another residence would potentially impose on the privacy of that resident. It should be noted that not only is the developer happy to maintain the 30 foot setback on the north of the property, where the only existing residential development "Suntree" is located, but the proposed 10 foot side perimeter setback would have no impact on these residents. It should further be mentioned, that the developer and his engineer visited the neighbors that would be affected to discuss the proposed development and after speaking with several, none felt that the proposed layout and setbacks would be an issue. Developments to the east and west, where the proposed 10 foot setback would have the most impact, are existing commercial developments where the closest existing buildings are 90+ ft and 33+ ft from the property line, respectively. A reduction to the side perimeter setback in this case would have minimal to zero impact to the existing developments on either side.

ONLOT BUILDING SETBACK: Per MZO Table 15-5-5, the minimum on-lot building setback development standard for multifamily developments is 30 feet. The developer is proposing a reduction to this standard that will only affect 16 units and the remaining 13 will provide 30 feet or more separation complying with the standard. As has been mentioned previously within this narrative, the site has a challenging lot configuration that is narrow and deep, which makes it difficult to maintain all safety and development standards while still maintaining a developable product that will appeal to potential future residents. Based on conversations with the previous owner, adjacent property owners, and City staff, the configuration of this lot and the existing conditions are why it has been difficult to sell or develop over the last decade(s). Although, the City of Mesa

standard is understood and respected by the developer, it should be mentioned that according to the International Residential Code, a proposed building separation less than 30' is acceptable and is consistent with all safety codes. The townhomes proposed have been proposed in other developments within the City with separation as close as 12 feet and will provide the same construction type to comply with all international code. Also, the areas where the proposed reduction is located helps increase the communal amenity areas benefiting the entire development and residents as a whole.

4. OPERATIONAL ASPECTS OF USE

East Baseline Road is intended to remain as is with minor improvements that may include sidewalk and landscaping along its frontage. No significant improvements along East Baseline Road are anticipated at this time.

The site is a proposed multi-family residential community. It is not expected to be gated at the entrance, but will be gated at the emergency access to the west. View fence along East Baseline Road shall be proposed. The balance of the perimeter will be a 6' masonry wall.

The property will be managed by offsite property management. Either the property management or an established HOA will maintain internal driveways, infrastructure, buildings, landscaping, amenities, etc. Typical hours of operation will be 9 am to 5 pm, but considering the nature of the property, it is understood that these hours are not absolute. It is anticipated that the development is intended for newly married / younger family and retiree residents.

5. PROPOSED INFRASTRUCTURE

Electric service is provided by SRP. Domestic Water and sewer will be provided by the City of Mesa. Refuse is by private contract. Police is provided by the City of Mesa. Fire is the City of Mesa. No natural gas is expected be used on this development. All utilities within the site will be privately operated and maintained except for water and sewer mainlines, which an easement will be provided on.

PUBLIC UTILITIES	SERVICE PROVIDERS
Fire Protection	Mesa
Police Protection	Mesa
School District	Mesa Unified School District
Water	Mesa
Wastewater	Mesa
Telephone	Century Link, Cox
Natural Gas	NA
Refuse	Private Contractor
Electric	SRP

As noted, East Baseline Road is fully developed including the sidewalk along the property frontage. It is not expected that the developer will be required to make significant improvements to East Baseline Road except for tying into the existing water and sewer. As part of the improvements to the site, the existing drainage pattern will be slightly modified, however the developer and his engineer will ensure that all onsite retention requirements are met per the City of Mesa Engineering and Design Standards. At time of the Development Application, a full Preliminary Drainage Report shall be provided for approval.

6. DEVELOPMENT SCHEDULE

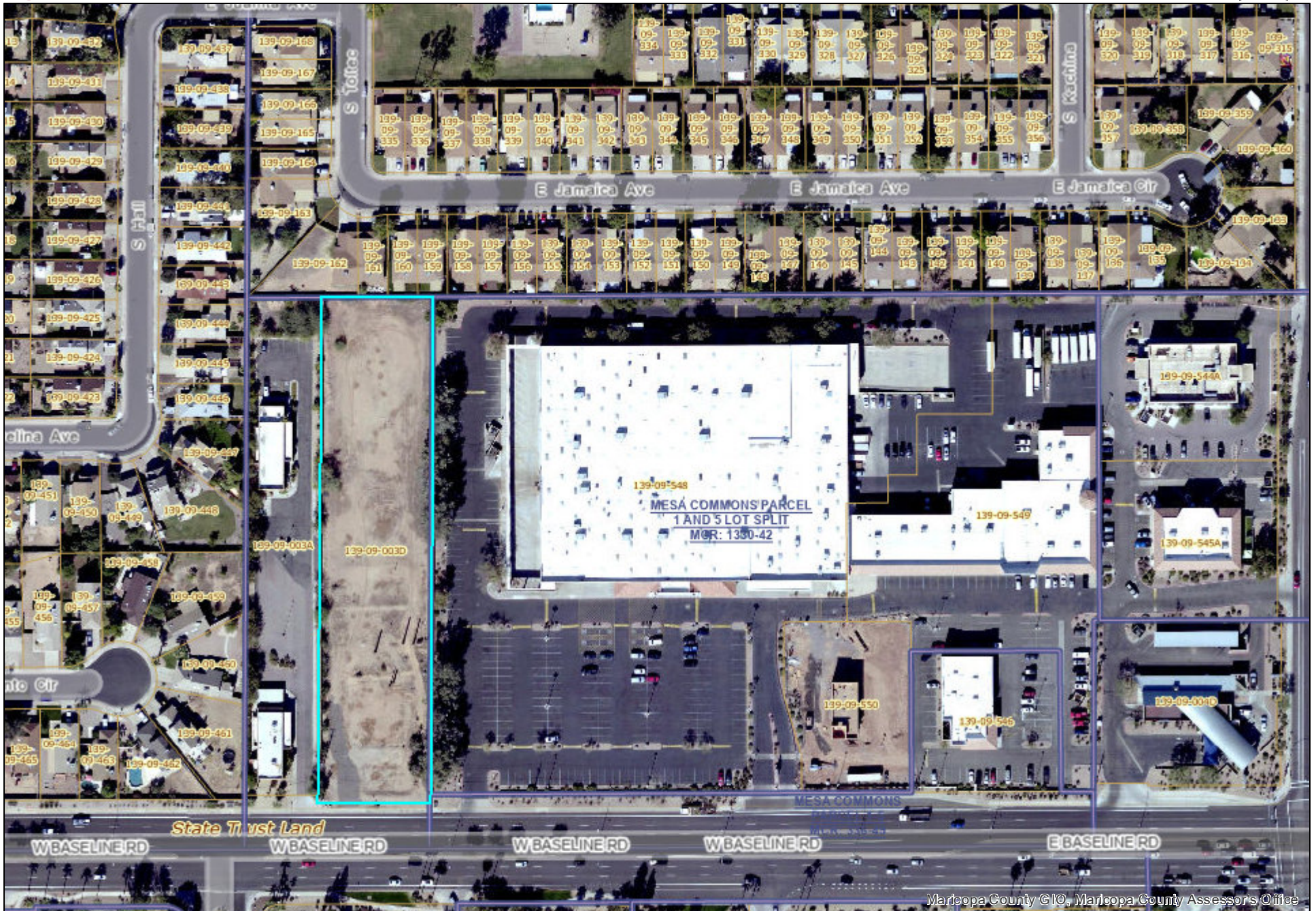
It is not expected that this property will be developed in phases. A development schedule has not been established as of yet, however it is expected that the permit and entitlement process at the City will take approximately 8-12 months for final approvals. At which time, the developer will initiate construction and construction is expected to take another 9-12 months depending on market conditions.

7. CONCLUSION

Villas on Baseline is ideal for this residential development. There is a demand in the area for affordable / attainable housing in Mesa and inadequate supply. More housing in this area will generate a higher demand for commerce, including supermarkets, convenience stores, offices, retail, etc. in the close vicinity of the proposed development. It is the intent and desire of the developer to work hand in hand with the City as well as the neighbors to create a viable development that benefits not only the existing neighborhood, but also the future residents.

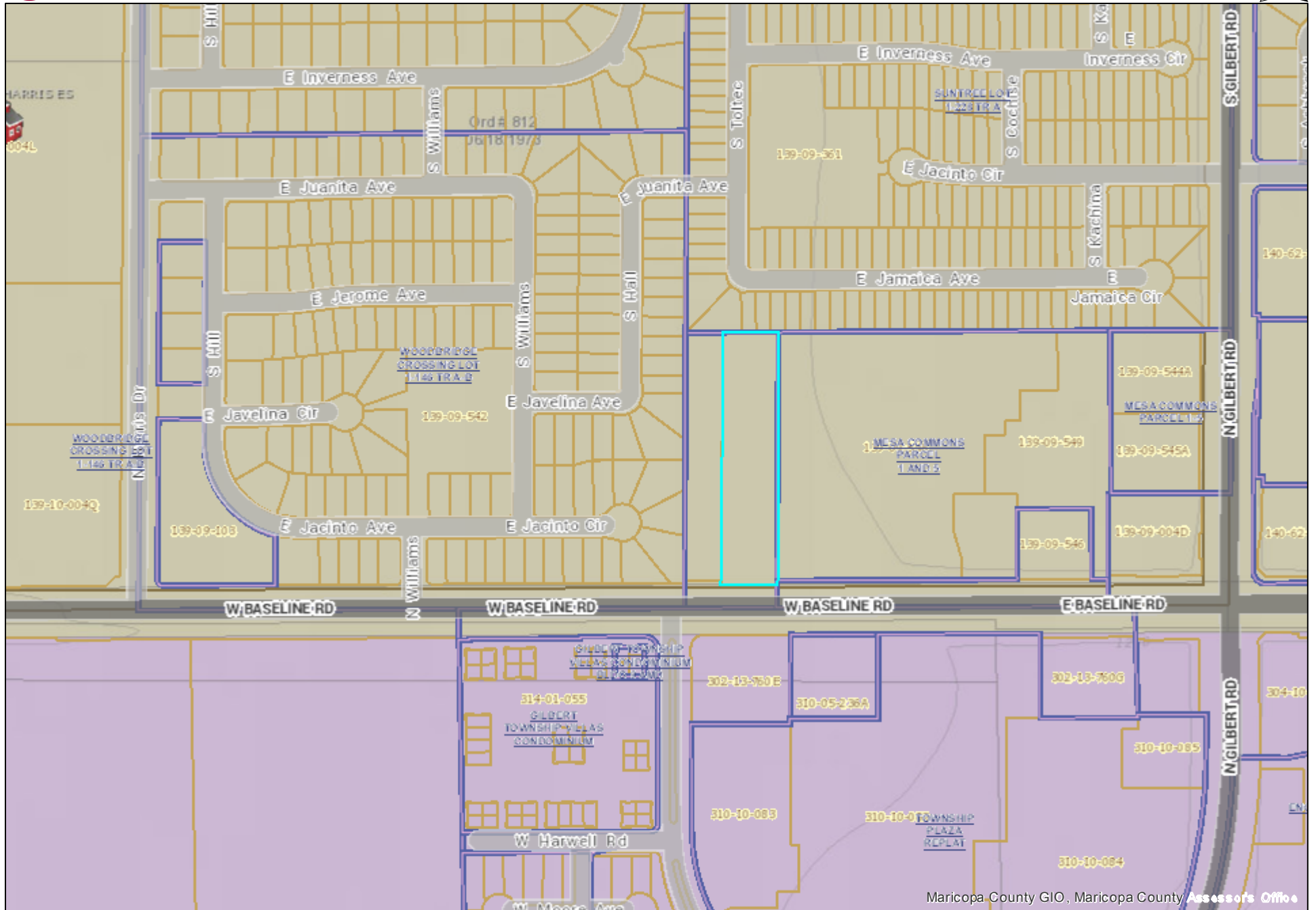


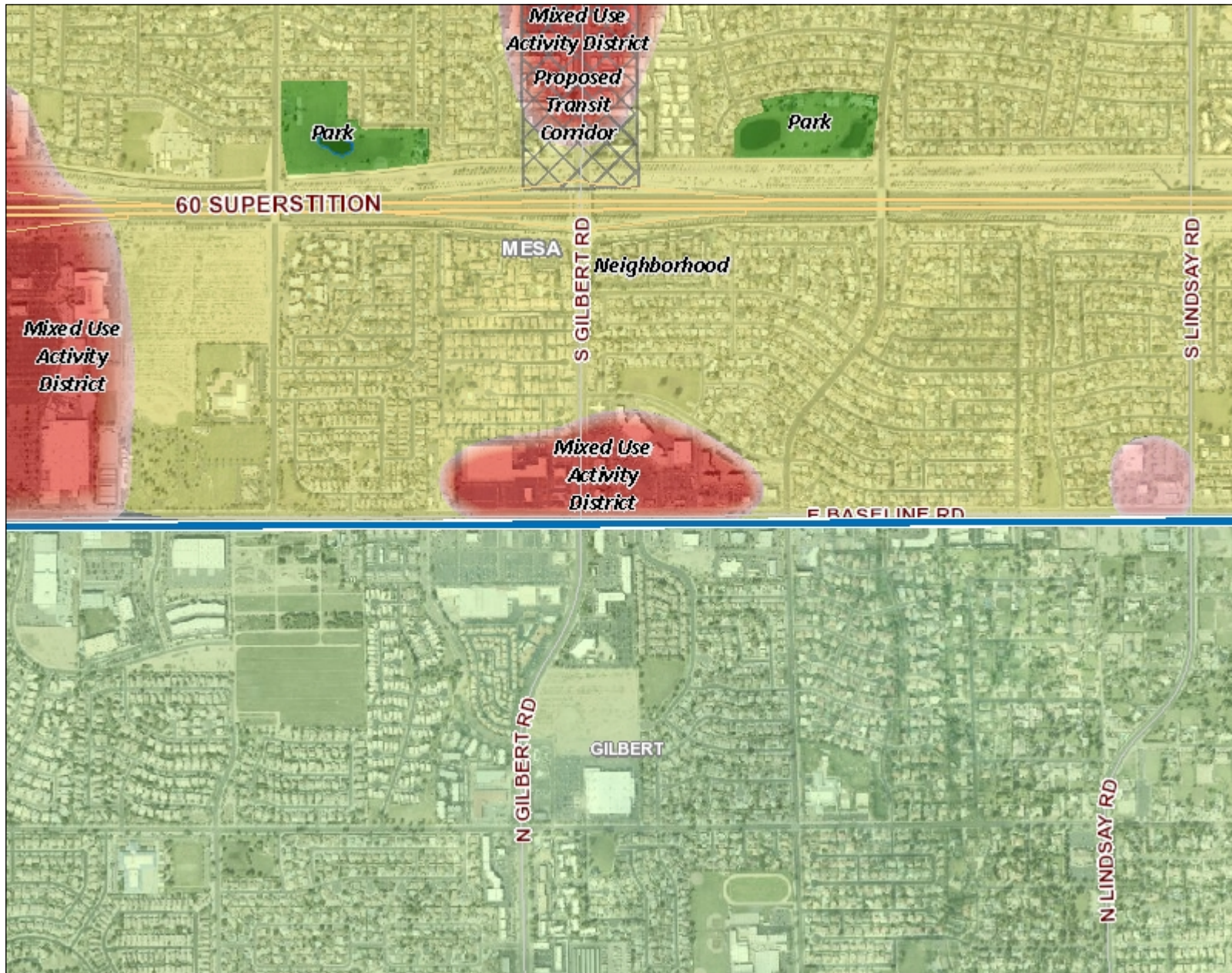
AERIAL MAP





PARCEL MAP





Legend

- Planning Area
- Arterials
 - FRWY
 - ARTL
 - RAMP
- GeneralPlan2040
 - Station Area
 - Transit Corridor
 - Proposed Transit Corridor
 - Downtown
 - Employment
 - Mixed Use Activity District
 - Mixed Use Activity / Employment
 - Mixed Use Community
 - Neighborhood Village
 - Park
 - Neighborhood
 - Specialty
- Standard Resolution
- Regional

Notes

0.6 0 0.29 0.6 Miles

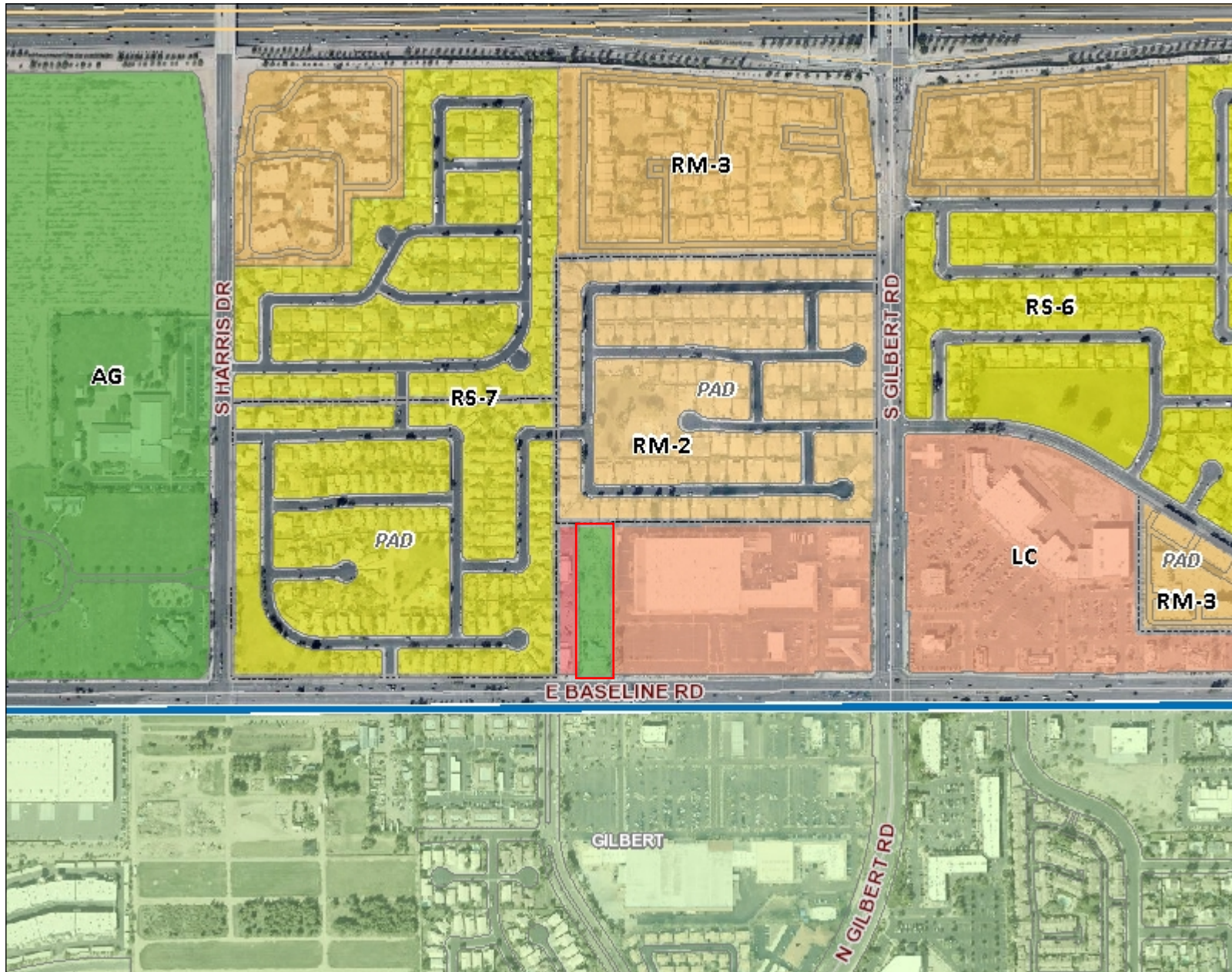


This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Planning & Zoning ZONING MAP



Legend

- Planning Area
- Arterials
 - FRWY
 - ARTL
 - RAMP
- Overlay
 - AF
 - AS
 - BIZ
 - CUP
 - DE
 - DPA
 - HD
 - HL
 - PAD
- Zoning
 - AG
 - DB-1
 - DB-2
 - DC
 - DR-1
 - DR-2
 - DR-3
 - EO
 - LI
 - GI
 - HI
 - ID-1
 - ID-2
 - MX
 - OC
 - LC
 - NC
 - GC

Notes

0.3 0 0.13 0.3 Miles

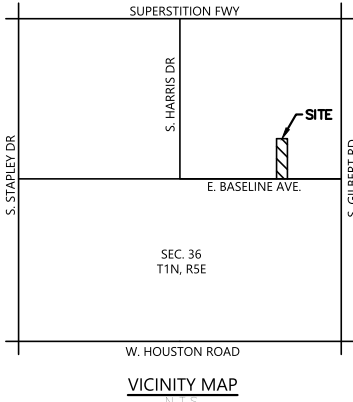
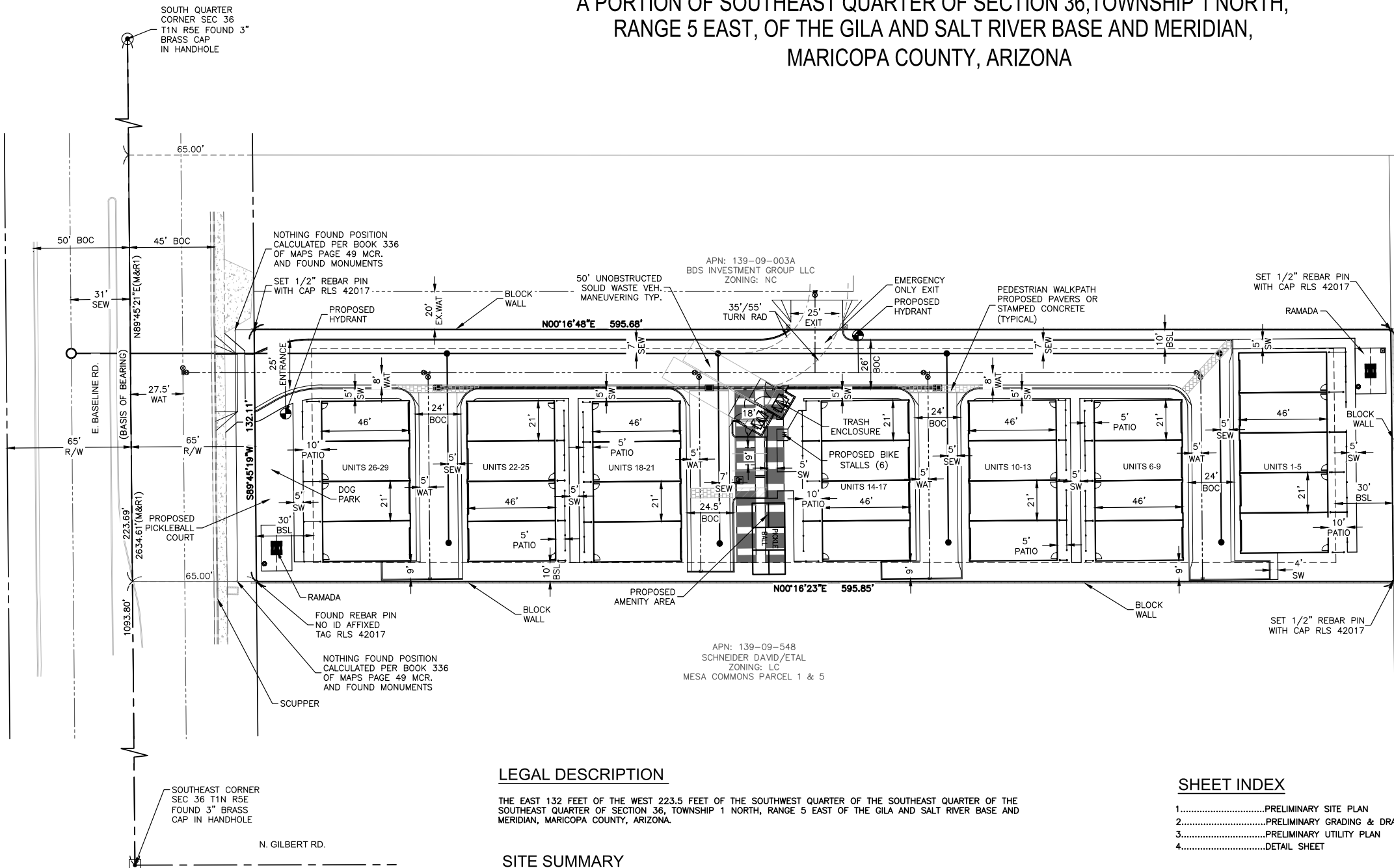


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PRELIMINARY SITE PLAN
FOR
VILLAS ON BASELINE

A PORTION OF SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH,
RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



APPLICANT
RIDGEWAY INVESTMENTS LLC
3214 NORTH UNIVERSITY AVENUE STE 117
PROVO, UTAH, 84604
PHONE: 480-236-6483
CONTACT: RYAN HATCH

ENGINEER
BFH GROUP
3707 EAST SOUTHERN AVENUE
MESA, ARIZONA, 85206
PHONE: 480-734-1446
CONTACT: DAVID M. BOHN

BASIS OF BEARING
THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEARING N89°45'19"E. (ASSUMED BEARING)

BENCHMARK
BRASS TAG FOUND AT THE INTERSECTION OF GILBERT & BASELINE, ALSO BEING THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. ELEVATION = 1234.20' (NAVD 88 DATUM)

PROJECT DESCRIPTION
A PROPOSED MULTI FAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF 29 TOWNHOME UNITS.

TOTAL GROSS ACREAGE = 2.04 AC
TOTAL NET ACREAGE = 1.81 AC

SERVICE PROVIDERS
WATER: CITY OF MESA
SEWER: CITY OF MESA
POLICE: CITY OF MESA
FIRE: CITY OF MESA
ELECTRIC: SALT RIVER PROJECT

LEGAL DESCRIPTION

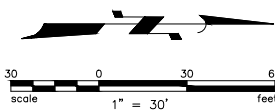
THE EAST 132 FEET OF THE WEST 223.5 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SITE SUMMARY

GROSS SITE AREA: 87,270 S.F. (2.04 ACRES)
NET SITE AREA: 78,682 S.F. (1.81 ACRES)
EXISTING ZONING: AG
PROPOSED ZONING: RM-4 (PAD)
PROPOSED NO. UNITS: 29
PROPOSED NO. BLDGS: 7 TOTAL
ALLOWABLE DENSITY: 30 DU/AC
PROPOSED DENSITY: = 29 DU / 2.04 AC = 14.22 DU/AC
ALLOWABLE BLDG COVERAGE: 55%
PROPOSED BLDG COVERAGE: = 27,782 S.F. = 35.3%
ALLOWABLE LOT COVERAGE: = 55,077 SF = 70%
PROPOSED LOT COVERAGE: = 51,055 SF = 66.6%
MINIMUM OPEN SPACE: = 150 SF/DU = 4,350 SF = 5.53%
PROVIDED OPEN SPACE: = 4,410 SF + 17,311 SF = 27.6%
= 152 SF/DU + 597 SF/DU = 749 SF/DU
PARKING REQUIRED: 2.1 SPACES PER UNIT
2.1 * 29 UNITS = 60.9 = 61 TOTAL STALLS
PARKING PROVIDED: = 2 * 29 UNITS + 6 OPEN STALLS = 64 TOTAL STALLS
BICYCLE PARKING: 6 TOTAL STALLS

SHEET INDEX

- PRELIMINARY SITE PLAN
- PRELIMINARY GRADING & DRAINAGE PLAN
- PRELIMINARY UTILITY PLAN
- DETAIL SHEET



LEGEND

- BOUNDARY LINE
- PROPOSED CURB
- SIDEWALK LINE
- VALLEY GUTTER
- R/W LINE
- EASEMENT LINE
- SECTION LINE
- OTHERS PROPERTY
- REBAR PIN (AS NOTED)
- MEASURED BEARINGS/DISTANCES
- RECORDED BEARINGS/DISTANCES

BFH Group
3707 EAST SOUTHERN AVENUE
MESA, ARIZONA, 85206
PHONE: 480.734.1446

PRELIMINARY SITE PLAN
VILLAS ON BASELINE
1820 E. BASELINE RD., MESA, AZ 85204

Job No.: 00202110120
Drawn By: P.J.
Checked: DB

CALL FOR WORKING DAYS
(602) 263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

DAVID M. BOHN
REGISTERED PROFESSIONAL ENGINEER
ARIZONA U.S.A.
EXPIRES 09/30/2020

JOB NO.
00202110120

Prelim Site Plan

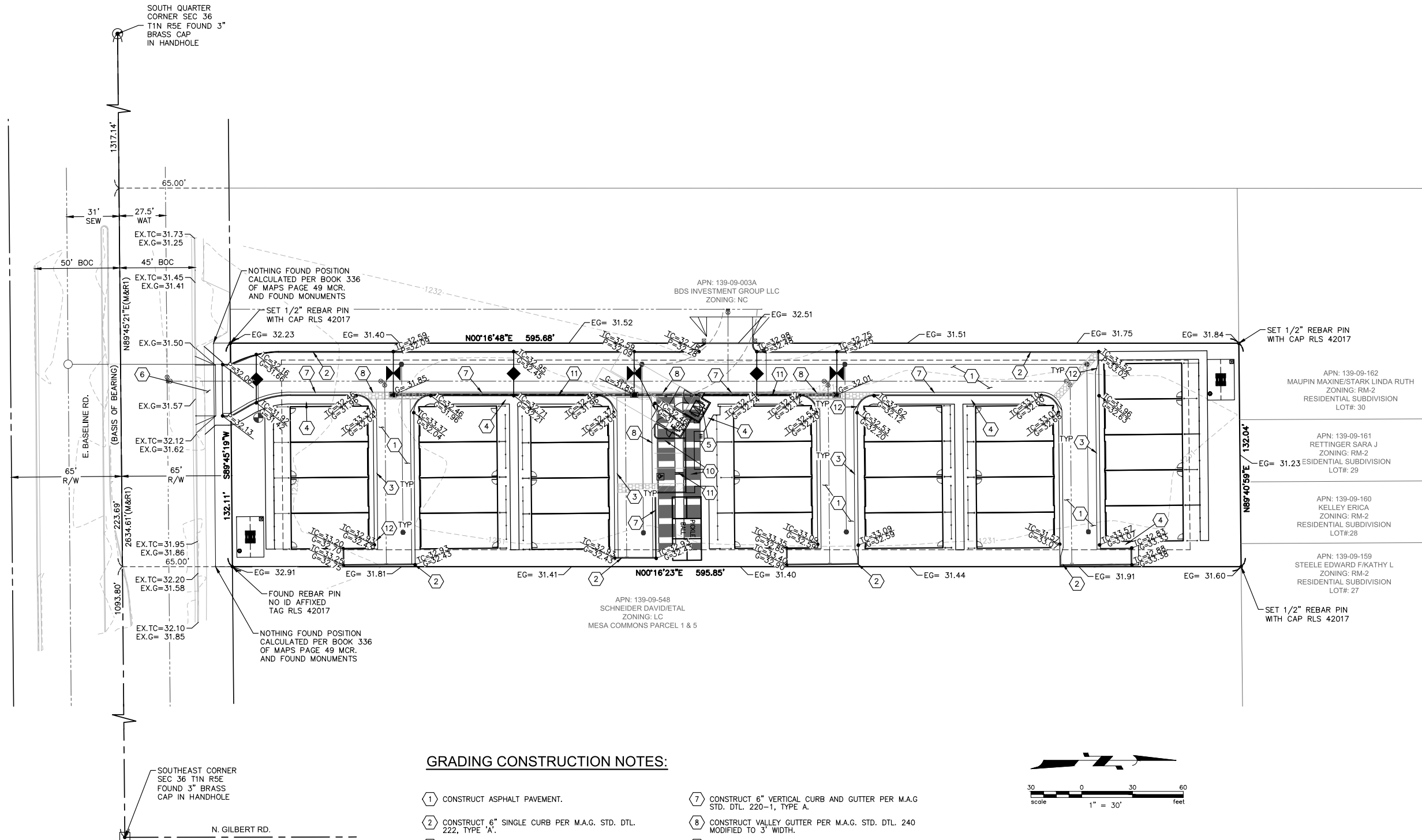
SHEET NO.

1

1 OF 4

NOT APPROVED FOR CONSTRUCTION

PRELIMINARY GRADING & DRAINAGE PLAN



GRADING CONSTRUCTION NOTES:

1. CONSTRUCT ASPHALT PAVEMENT.

2. CONSTRUCT 6" SINGLE CURB PER M.A.G. STD. DTL. 222, TYPE 'A'.

3. CONSTRUCT 4" ROLL CURB PER M.A.G. STD DTL. 220-1 TYPE C.

4. CONSTRUCT 5' WIDE SIDEWALK PER M.A.G. STD. DTL. 230.

5. CONSTRUCT DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS.

6. CONSTRUCT DRIVEWAY ENTRANCE PER C.O.M. STD. DTL. M-42 (30' WIDE)
7. CONSTRUCT 6" VERTICAL CURB AND GUTTER PER M.A.G. STD. DTL. 220-1, TYPE A.

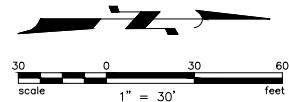
8. CONSTRUCT VALLEY GUTTER PER M.A.G. STD. DTL. 240 MODIFIED TO 3' WIDTH.

9. CATCH BASIN TYPE D PER M.A.G. STD. DTL. 533-1.

10. 10' UNDERGROUND RETENTION.

11. INSTALL 12" HDPE STORM DRAIN PIPE.

12. TRANSITION FROM VERTICAL CURB TO ROLL CURB PER M.A.G. STD. DTL. 221.



LEGEND

- BOUNDARY LINE

PROPOSED CURB

SIDEWALK LINE

VALLEY GUTTER

R/W LINE

HDPE STORM DRAIN PIPE

CATCH BASIN

EASEMENT LINE

SECTION LINE

OTHERS PROPERTY

REBAR PIN (AS NOTED)

MEASURED BEARINGS/DISTANCES

RECORDED BEARINGS/DISTANCES

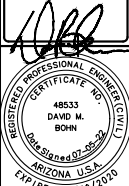
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PRELIMINARY GRADING & DRAINAGE PLAN

VILLAS ON BASELINE
1820 E. BASELINE RD., MESA, AZ 85204

Job No.: 00202110120
Drawn By: P.J.
Checked: DB

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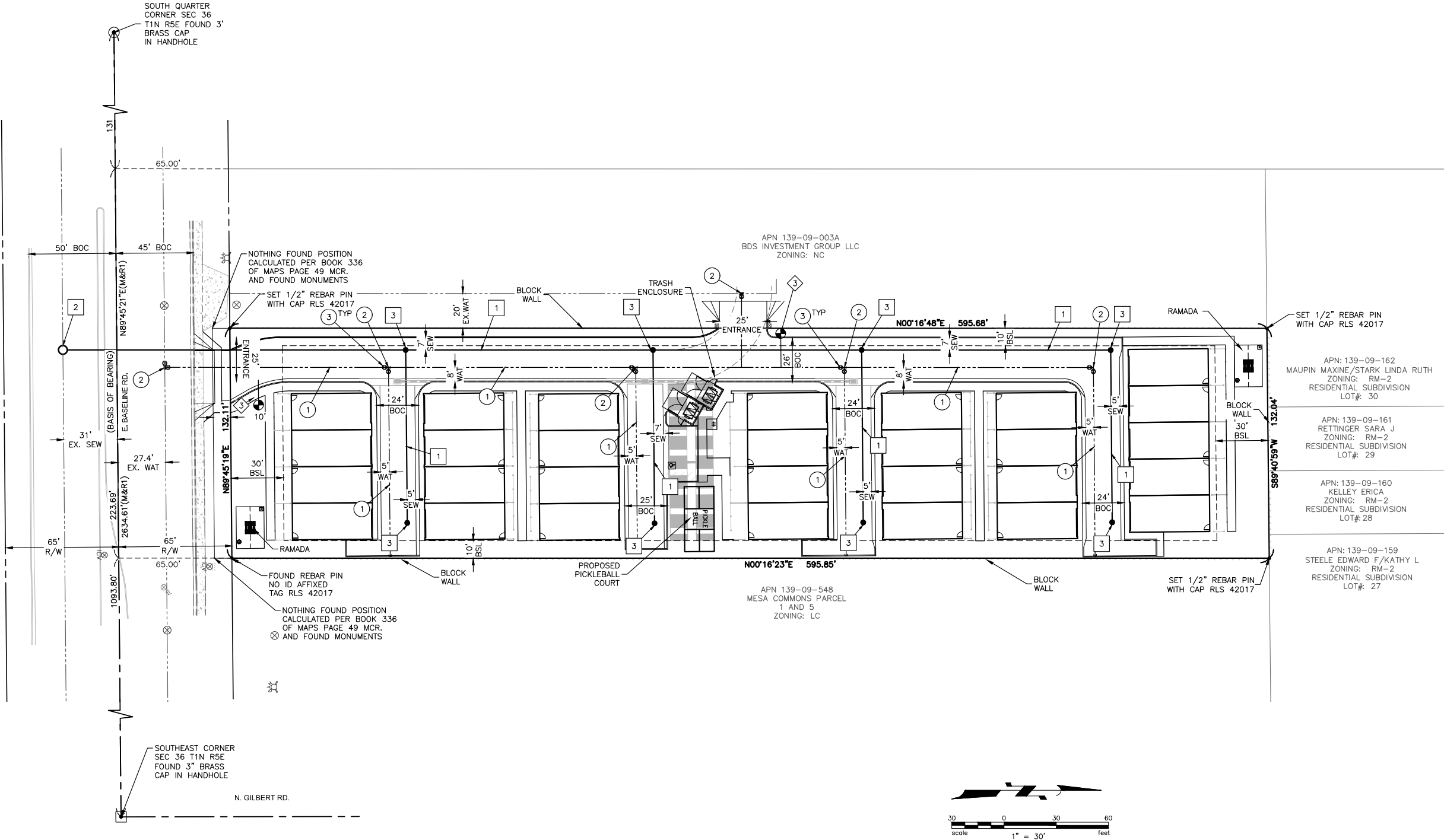
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Prelim G&D Plan

SHEET NO.
2

2 OF 4

PRELIMINARY UTILITY PLAN



SEWER CONSTRUCTION NOTES

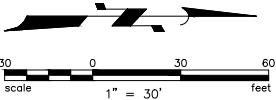
- 1 INSTALL 8" VCP SEWER LINE.
- 2 INSTALL 4' DIAMETER CONCRETE MANHOLE, PER M.A.G. STD. DTL. 420-1.
- 3 INSTALL CLEANOUT PER M.A.G. STD. DTL. 441.

WATER CONSTRUCTION NOTES

- 1 INSTALL 8" WATER LINE
- 2 INSTALL CROSS, BEND, OR TEE, RESTRAIN JOINTS PER M.A.G. STD. DTL. 302-1, 302-2, 303-1, 303-2.
- 3 INSTALL 8" VALVE PER M.A.G. STD DTL. 391-1.

FIRE LINE CONSTRUCTION NOTES

- 3 INSTALL PRIVATE FIRE HYDRANT PER M.A.G. STD. DTL. 360-1.



LEGEND

- BOUNDARY LINE
- PROPOSED CURB
- SIDEWALK LINE
- R/W LINE
- EASEMENT LINE
- SECTION LINE
- OTHERS' PROPERTY
- SEWER LINE
- WATER LINE
- REBAR PIN (AS NOTED)
- (M) MEASURED BEARINGS/DISTANCES
- (R#) RECORDED BEARINGS/DISTANCES

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PHONE: 480.734.1446

PRELIMINARY UTILITY PLAN

VILLAS ON BASELINE

1820 E. BASELINE RD., MESA, AZ 85204

Job No.:	00202110120
Drawn By:	PJ
Checked:	DB

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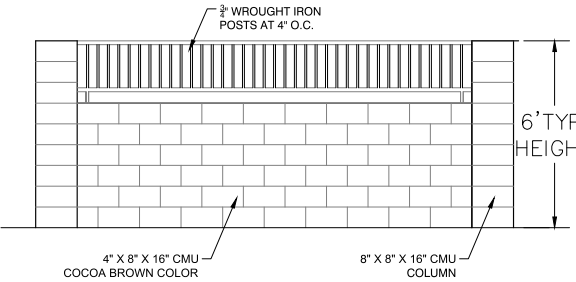
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00202110120
Prelim Utility Plan

SHEET NO.
3

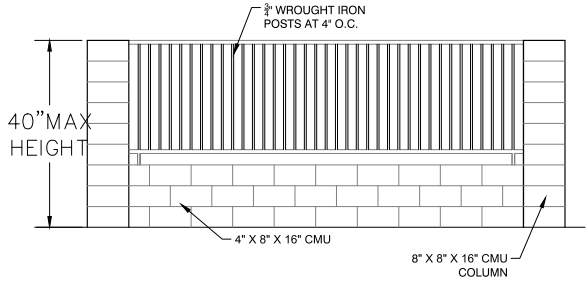
NOT APPROVED FOR CONSTRUCTION

C:\Users\David\Shared Drive\2021\0202210130NILLUS ON BASELINE\DWG\CIVIL\PRELIMINARY\032022\Prelin SPD.dwg, 07/05/2022 6:31:10 AM

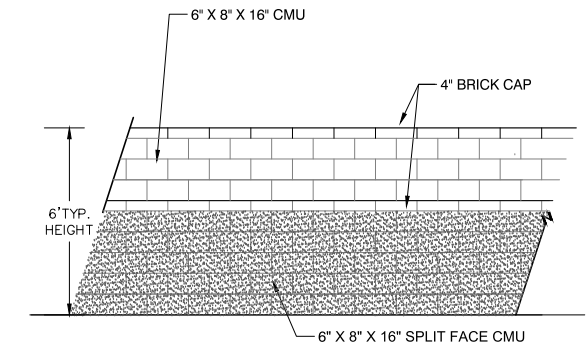
3 SPLIT FACE FREE STANDING WALL
1 1/2" = 1'-0" P-DE-02



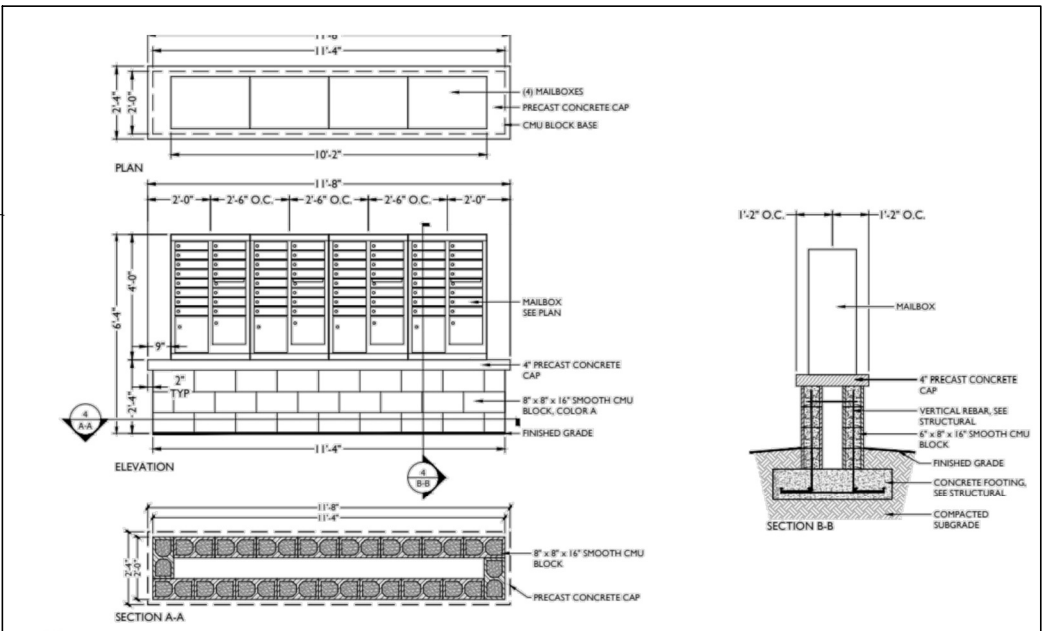
PARTIAL VIEW WALL - W-102
3/8" = 1'-0"



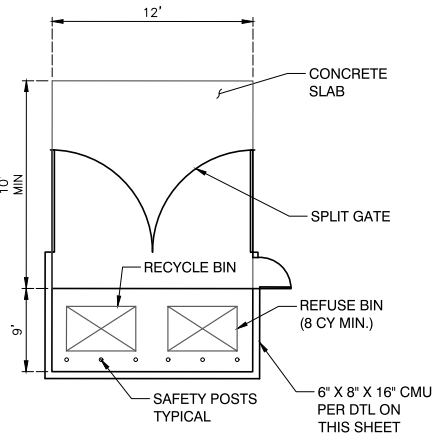
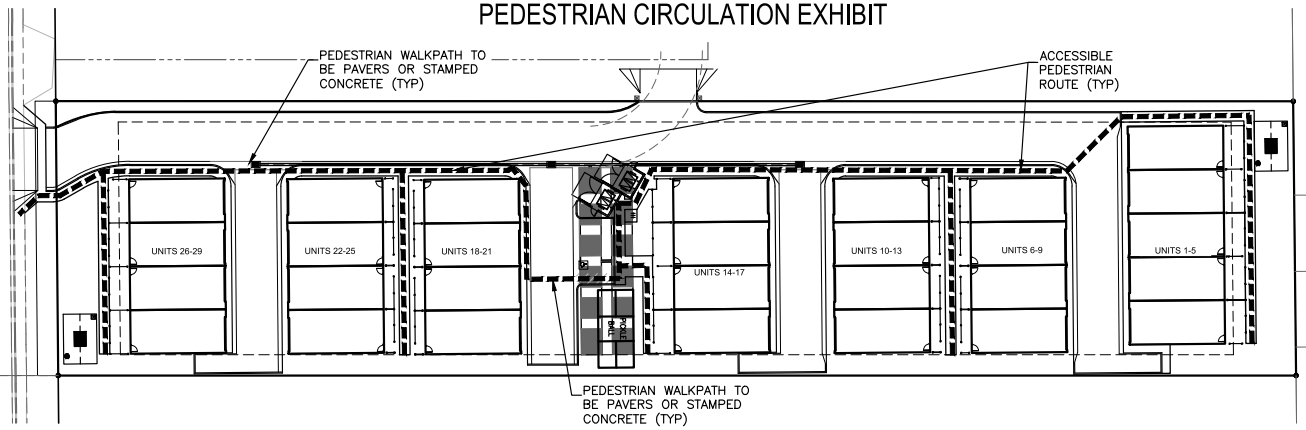
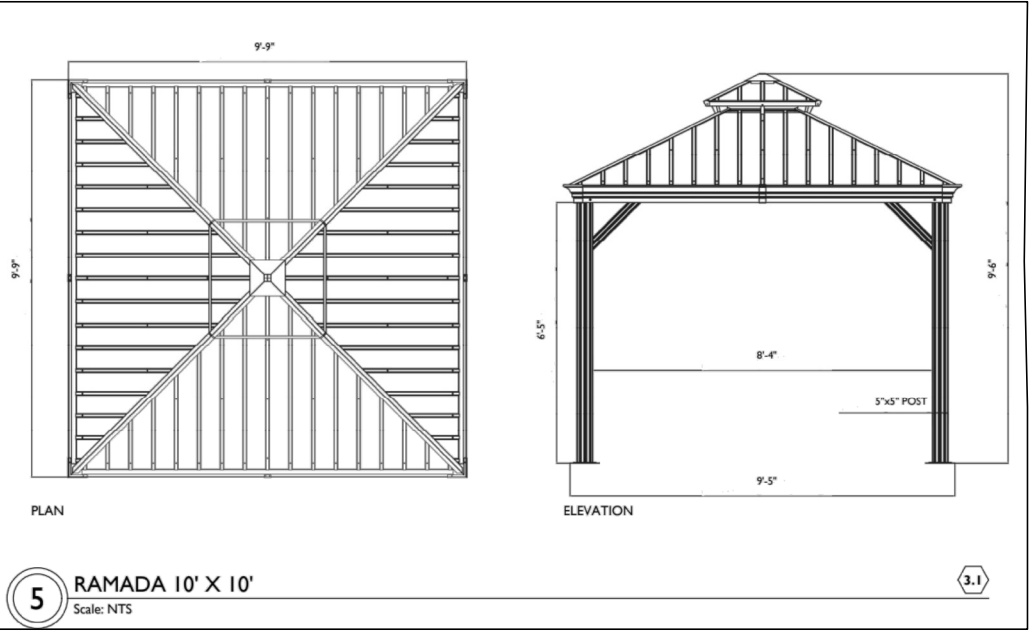
PATIO WALLS - W-105
3/8" = 1'-0"



PERIMETER DECORATIVE WALL - W-101
3/8" = 1'-0"



3 MAILBOX
Scale: 1/2" = 1'-0"



TRASH ENCLOSURE DETAIL
PER C.O.M. M-62.02.1; -.04.1; -.04.2

NOT APPROVED FOR CONSTRUCTION

REVISIONS:

DETAIL SHEET

PROJECT: VILLAS ON BASELINE
1820 E. BASELINE RD., MESA, AZ 85204

Job No.: 00202110120
Drawn By: PJ
Checked: DB

CALL TWO WORKING DAYS
(602) 263-1100
1-800-STAKE-IT
(OUTSIDE ARIZONA COUNTY)

REGISTERED PROFESSIONAL ENGINEER
48333
DAVID M. BOHN
ARIZONA, U.S.A.
EXPIRES 08/31/2026

JOB NO.
00202110120

Prelim Site Plan

SHEET NO.
4

4 OF 4

BFH Group

3707 EAST SOUTHERN AVENUE
MESA, ARIZONA, 85206
PHONE: 480.734.1446

APPENDIX A