



# Planning & Zoning Board



# ZON22-01015



# Request

- Rezone 1.6± acres from AG to GC-PAD
- PAD Modification
- Site Plan Modification

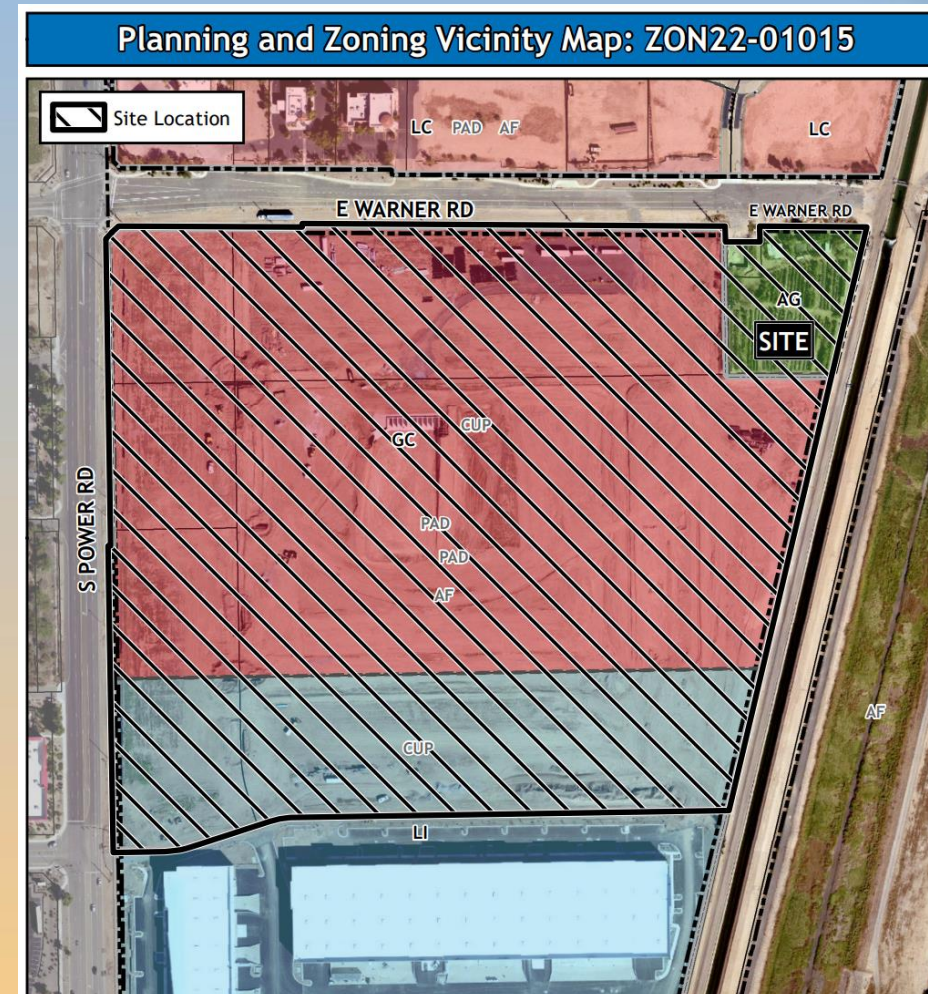






# Location

- SEC of Warner Road and Power Road







# General Plan

## Mixed Use Activity District

- Large-scale commercial centers
- Designed and developed to attract customers from a large radius
- GC is listed as a primary zoning district

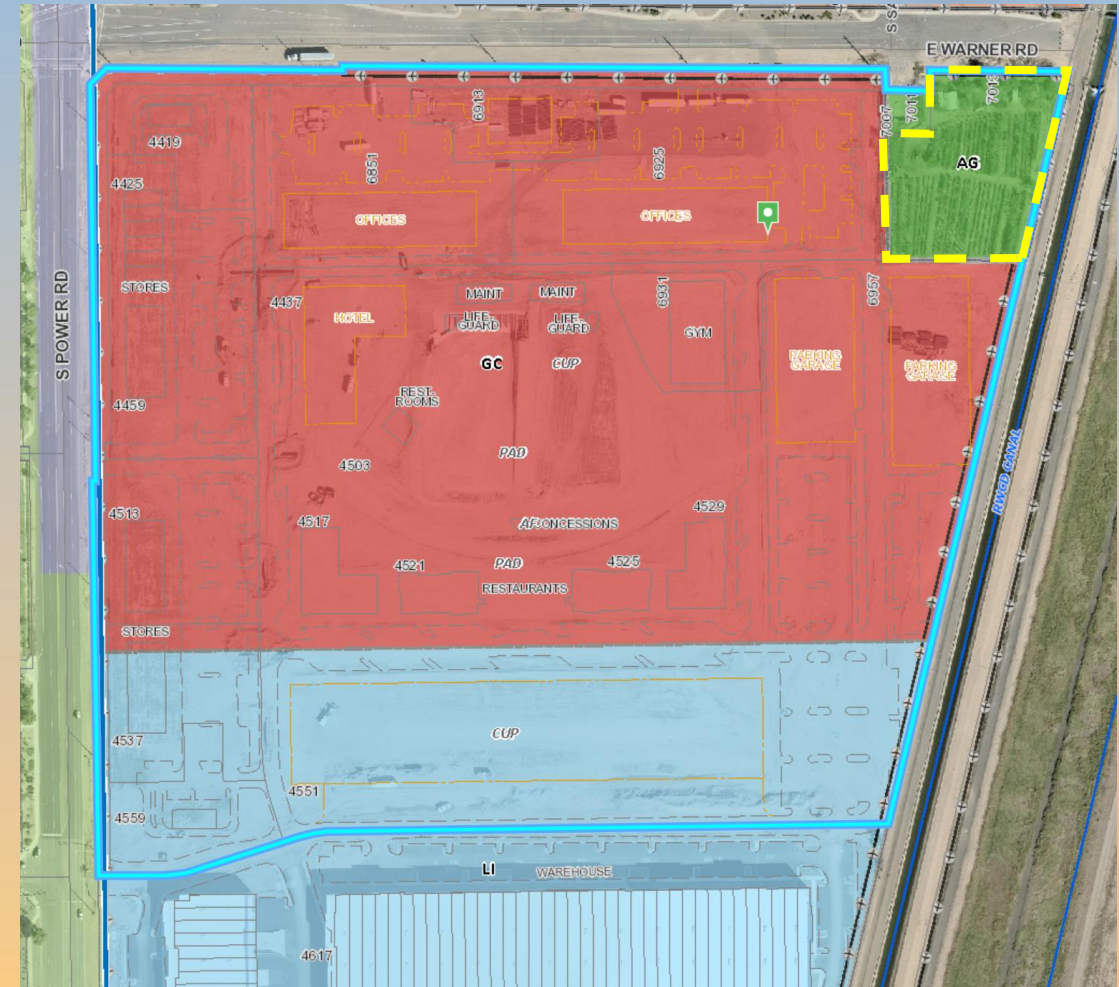






# Zoning

- Agriculture (AG)
- Requested rezone from AG to GC-PAD
- Large-Scale Commercial Recreation is permitted by-right in the GC district







# Site Photos



South from Warner Road





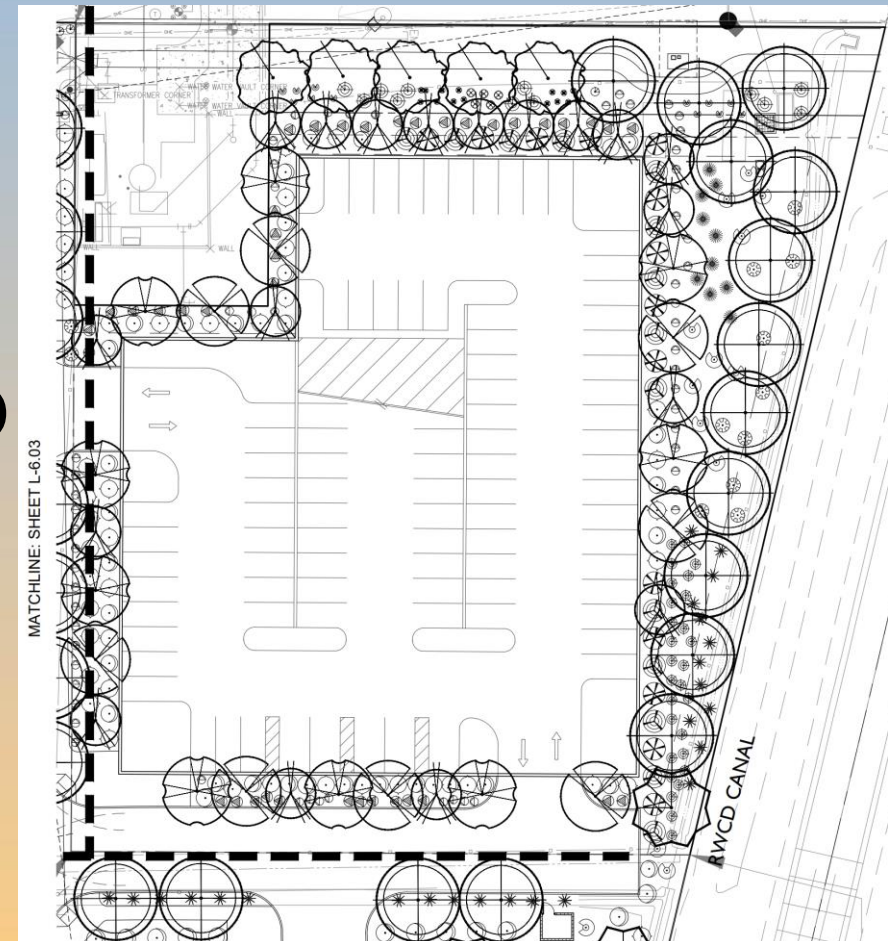
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# Landscape Plan

- Perimeter buffer widths reduced via PAD modification
- Required tree and shrub quantities comply with MZO standards
- Foundation base provided around parking structure



## PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
<b>TREES</b>				
	<i>Acacia aneura</i>	Mulga	24" Box	42
	<i>Acacia farnesiana</i>	Sweet Acacia	24" Box	33
	<i>Caesalpinia cacalaco</i>	Cascalote 'Smoothie'	24" Box	97
	<i>Fraxinus velutina</i> 'Fan Tex'	Fan Tex Ash	24" Box	18
	<i>Quercus virginiana</i>	Cathedral Live Oak	24" Box	73
	<i>Parkinsonia</i> x 'Desert Museum'	Desert Museum Palo Verde	24" Box	90
	<i>Phoenix dactylifera</i>	Date Palm	18" Tall	104
	<i>Pistacia chinensis</i> 'Red Push'	'Red Push' Chinese Pistache	24" Box	18
	<i>Prosopis hybrid</i> 'Phoenix'	Thornless Mesquite	24" Box	213
	<i>Ulmus parvifolia</i>	Chinese Evergreen Elm	24" Box	191
	<i>Vitex agnus-castus</i>	Chaste Tree	24" Box	22

## CITY OF MESA PLANT DATA

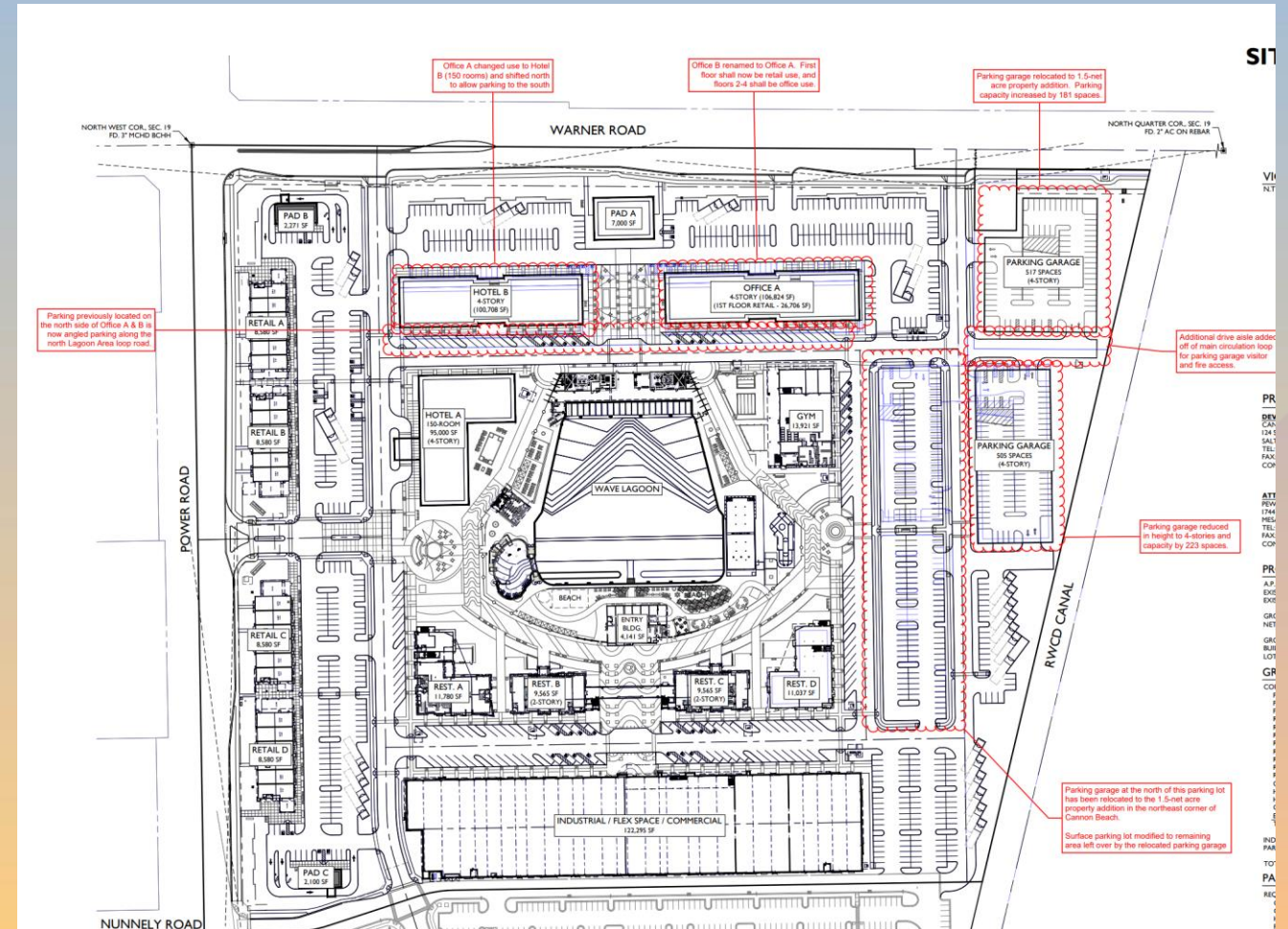
<b>POWER ROAD FRONTAGE (998.5 L.F.)</b>		
1 TREE PER 25 L.F. OF STREET FRONTAGE	40 TREES	40 TREES
<b>WARNER ROAD FRONTAGE (1074 L.F.)</b>		
1 TREE PER 25 L.F. OF STREET FRONTAGE	43 TREES	43 TREES
<b>PROPERTY PERIMETER (1432 L.F.)</b>		
3 NON DECIDUOUS TREE PER 100 L.F. OF ADJACENT PROPERTY LINE	43 TREES	43 TREES
<b>FOUNDATION BASE (8772 L.F.)</b>		
1 TREE PER 50 L.F. OF EXTERIOR BUILDING WALL	176 TREES	267 TREES
10% OF FOUNDATION BASE TREES TO BE 36" BOX SIZE TREES	17 TREES	27 TREES
<b>TREE SIZE</b>		
36" BOX (25% MIN.)	250 TREES	250 TREES
24" BOX (50% MIN.)	500 TREES	753 TREES





# Overall Site Plan Modification

- Relocate the previously approved four-story parking garage to the northeast corner;
- Install surface parking where the four-story parking garage was previously approved;
- Change Office B from a three-story office building to a four-story office building with the first floor reserved for retail uses (previously reserved for office use);
- Change Office A from a three-story office building to a four-story hotel with 150 rooms; and
- Shift surface parking from the north side of the proposed hotel and office building to the south side.





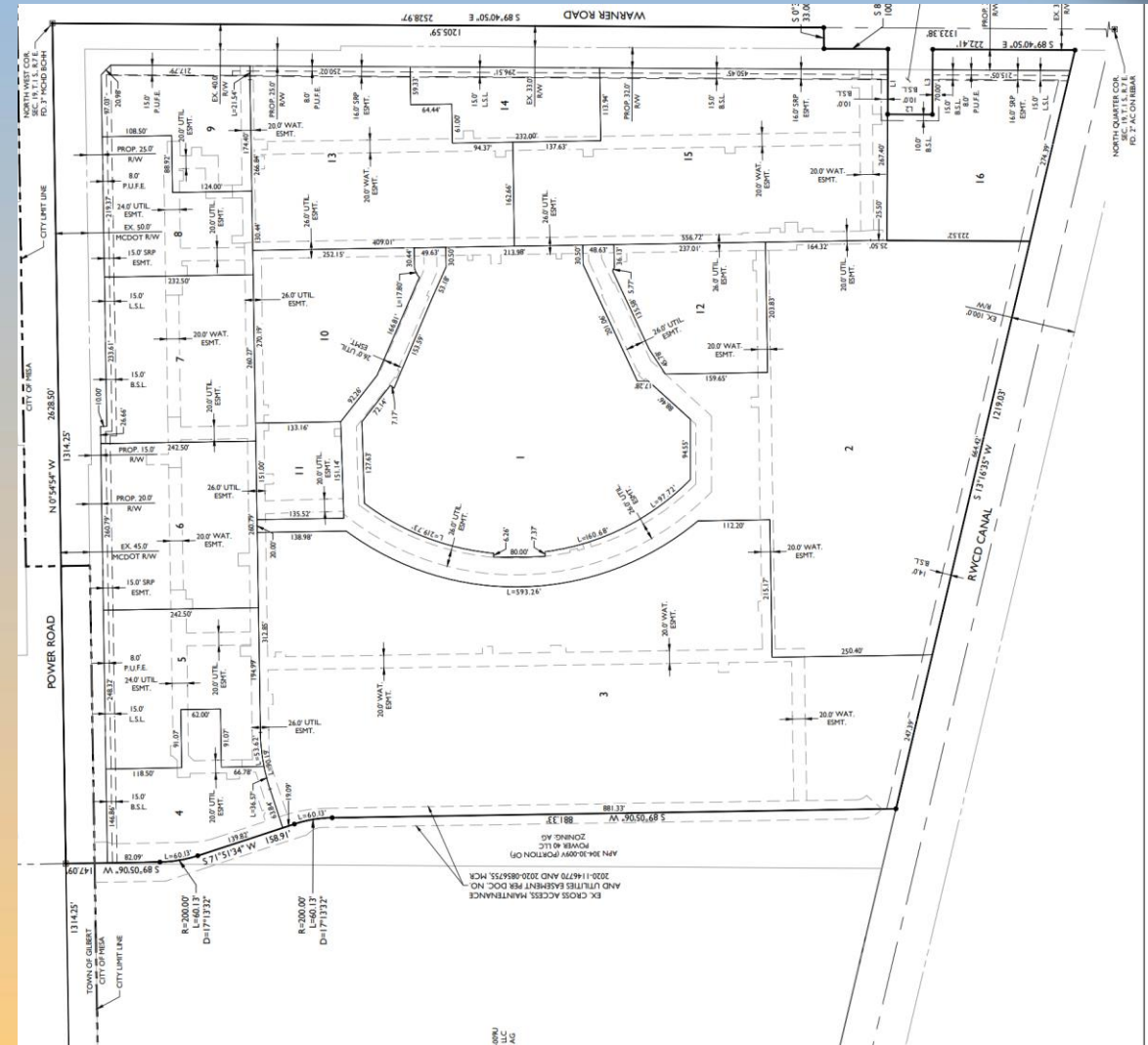


# Planned Area Development

Development Standard	Required GC	Existing PAD	PAD Proposed
<u>Minimum Building Setback – MZO Table 11-6-3.A</u> -Interior side and rear adjacent to non-residential zoning	15 feet per story (60 feet total)	20 feet	<b>10 feet adjacent to the City of Mesa well site;            14 feet adjacent to the Roosevelt Water Conservation District Canal (RWCD)</b>
<u>Required Landscape Yards – MZO Section 11-33-3(B)(2)(a)</u> - Non-single residence uses adjacent to other non-single residence	15' in width	10' in width	<b>0' width (adjacent to the RWCD)</b>



# Preliminary Plat







# Citizen Participation

- Notified property owners within 1,000 feet, HOAs and registered neighborhoods
- Neighborhood meeting held on October 24, 2022, with no citizen attendees
- No comments received





# Findings

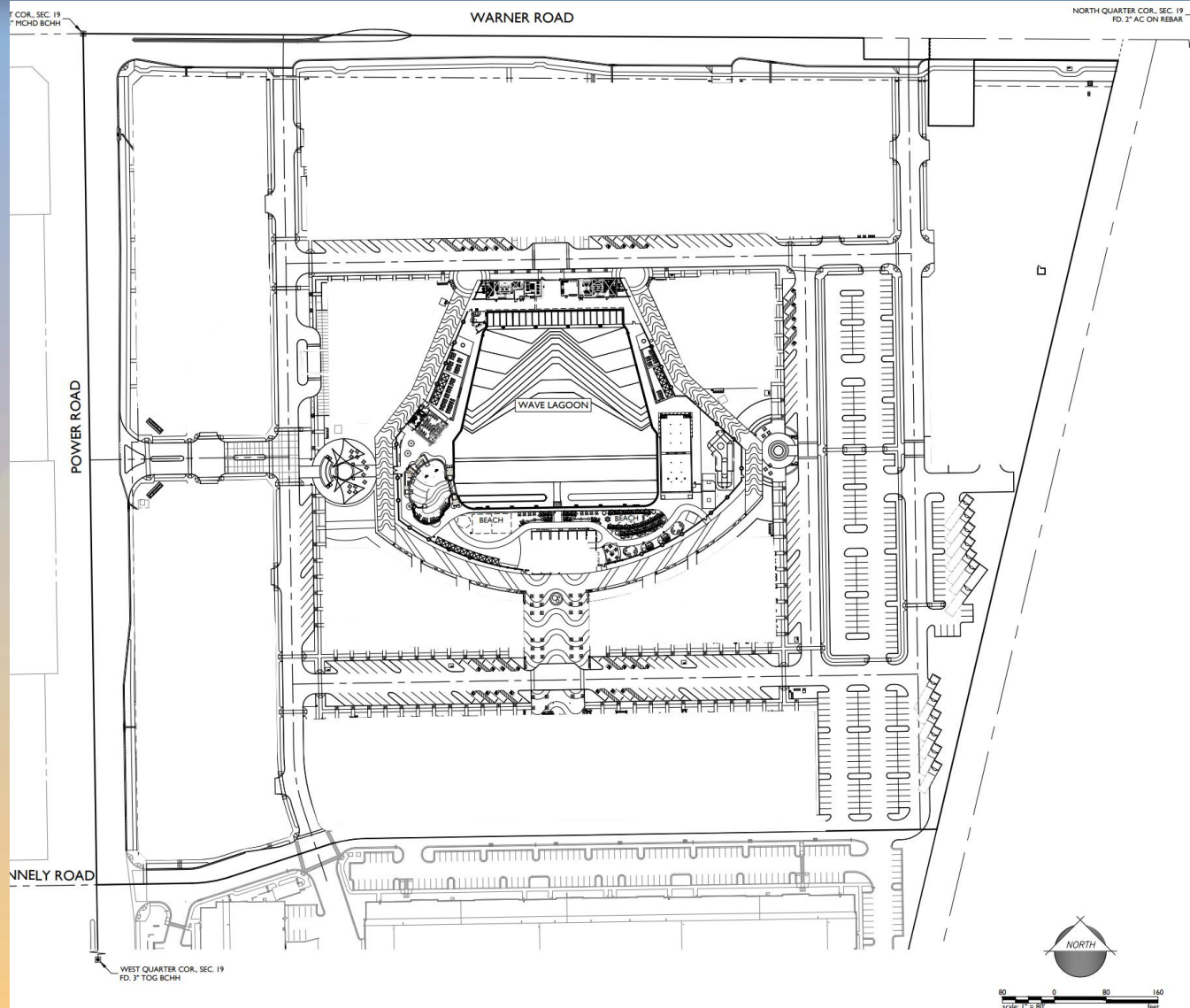
- ✓ Complies with the 2040 Mesa General Plan
- ✓ Criteria in Chapter 22 for a PAD overlay
- ✓ Criteria in Chapter 69 for Site Plan Review and Site Plan Modification
- ✓ Complies with the Subdivision Regulations of Section 9-6-2

*Staff recommends Approval with Conditions*





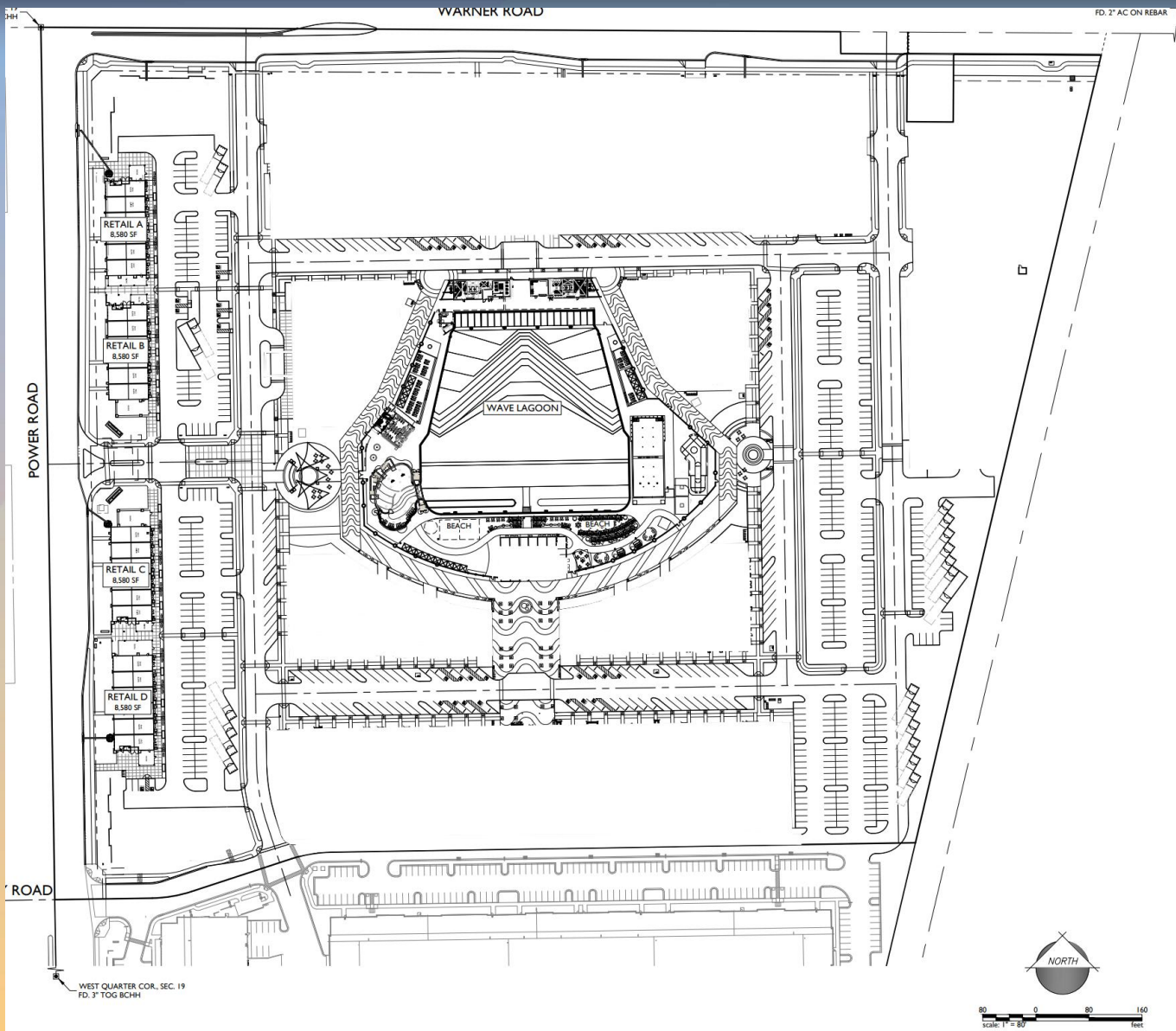
# Planning & Zoning Board



#### PARKING SUMMARY

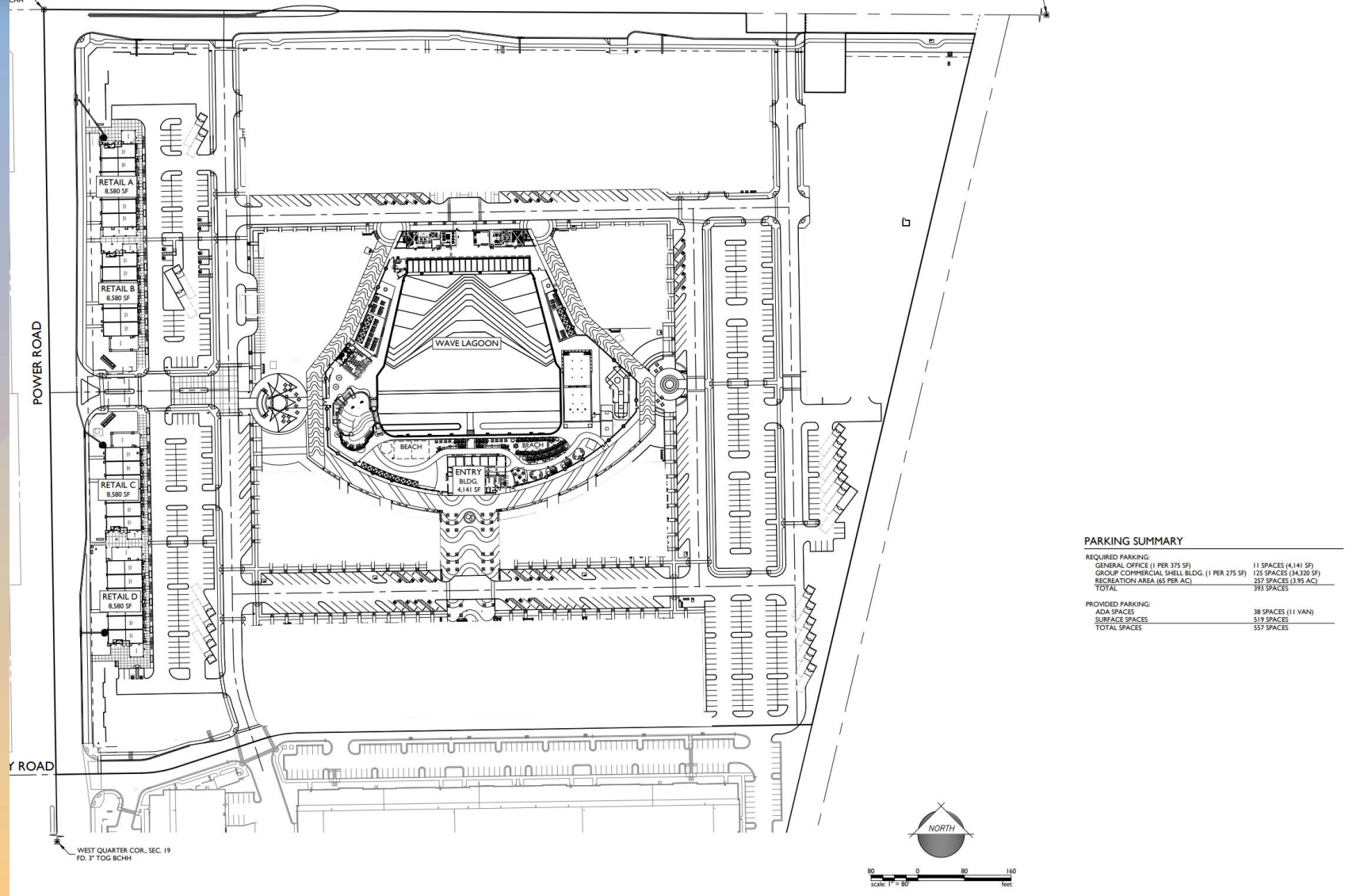
REQUIRED PARKING:	
RECREATION AREA (65 PER AC)	257 SPACES (3.95 AC)
TOTAL	257 SPACES
PROVIDED PARKING:	
ADA SPACES	29 SPACES (7 VAN)
SURFACE SPACES	366 SPACES
TOTAL SPACES	386 SPACES





#### PARKING SUMMARY

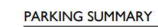
REQUIRED PARKING:	
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	125 SPACES (34,320 SF)
RECREATION AREA (65 PER AC)	257 SPACES (13.95 AC)
TOTAL	382 SPACES
PROVIDED PARKING:	
ADA SPACES	38 SPACES (11 VAN)
SURFACE SPACES	319 SPACES
TOTAL SPACES	557 SPACES



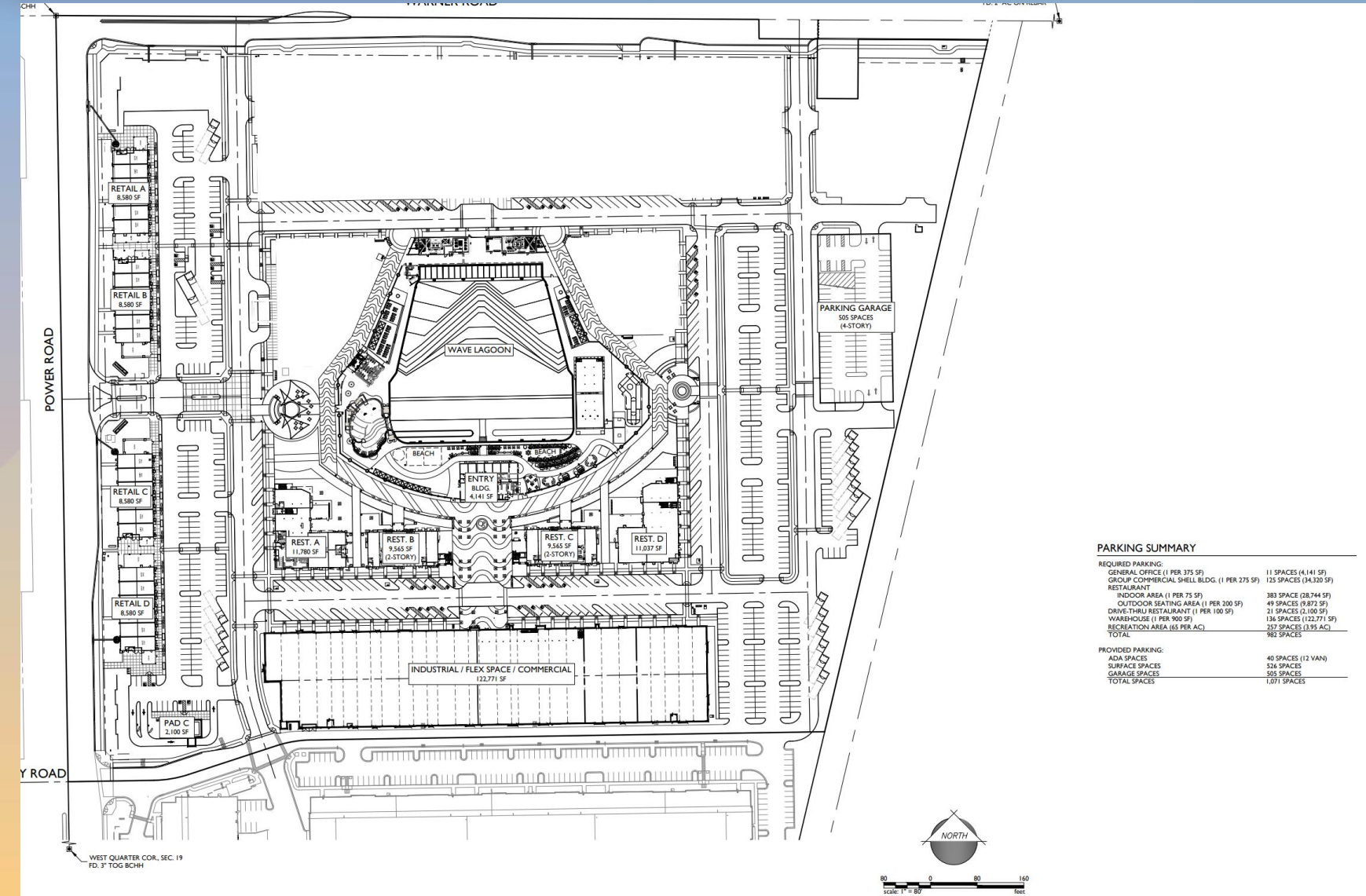
#### PARKING SUMMARY

REQUIRED PARKING:	
GENERAL OFFICE (1 PER 375 SF)	11 SPACES (4,141 SF)
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	125 SPACES (34,320 SF)
RECREATION AREA (65 PER AC)	257 SPACES (3.95 AC)
TOTAL	393 SPACES
PROVIDED PARKING:	
ADA SPACES	38 SPACES (11 VAN)
SURFACE SPACES	519 SPACES
TOTAL SPACES	557 SPACES





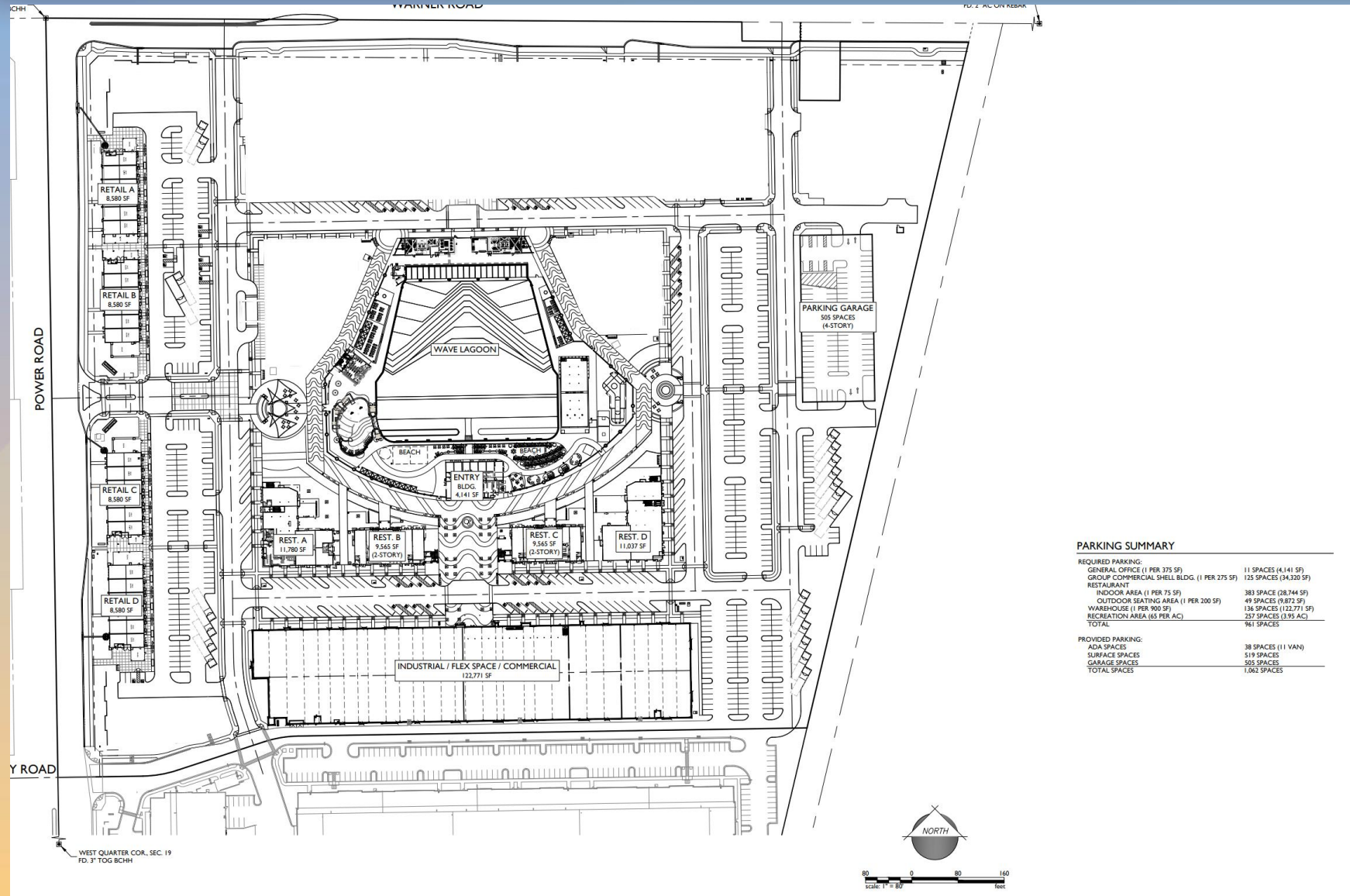
<b>REQUIRED PARKING:</b>	
GENERAL OFFICE (1 PER 375 SF)	11 SPACES (4,141 SF)
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	125 SPACES (34,320 SF)
WAREHOUSE (1 PER 900 SF)	136 SPACES (122,771 SF)
RECREATION AREA (65 PER AC)	257 SPACES (3.95 AC)
<b>TOTAL</b>	<b>529 SPACES</b>
<b>PROVIDED PARKING:</b>	
ADA SPACES	38 SPACES (11 VAN)
SURFACE SPACES	519 SPACES
<b>TOTAL SPACES</b>	<b>557 SPACES</b>



#### PARKING SUMMARY

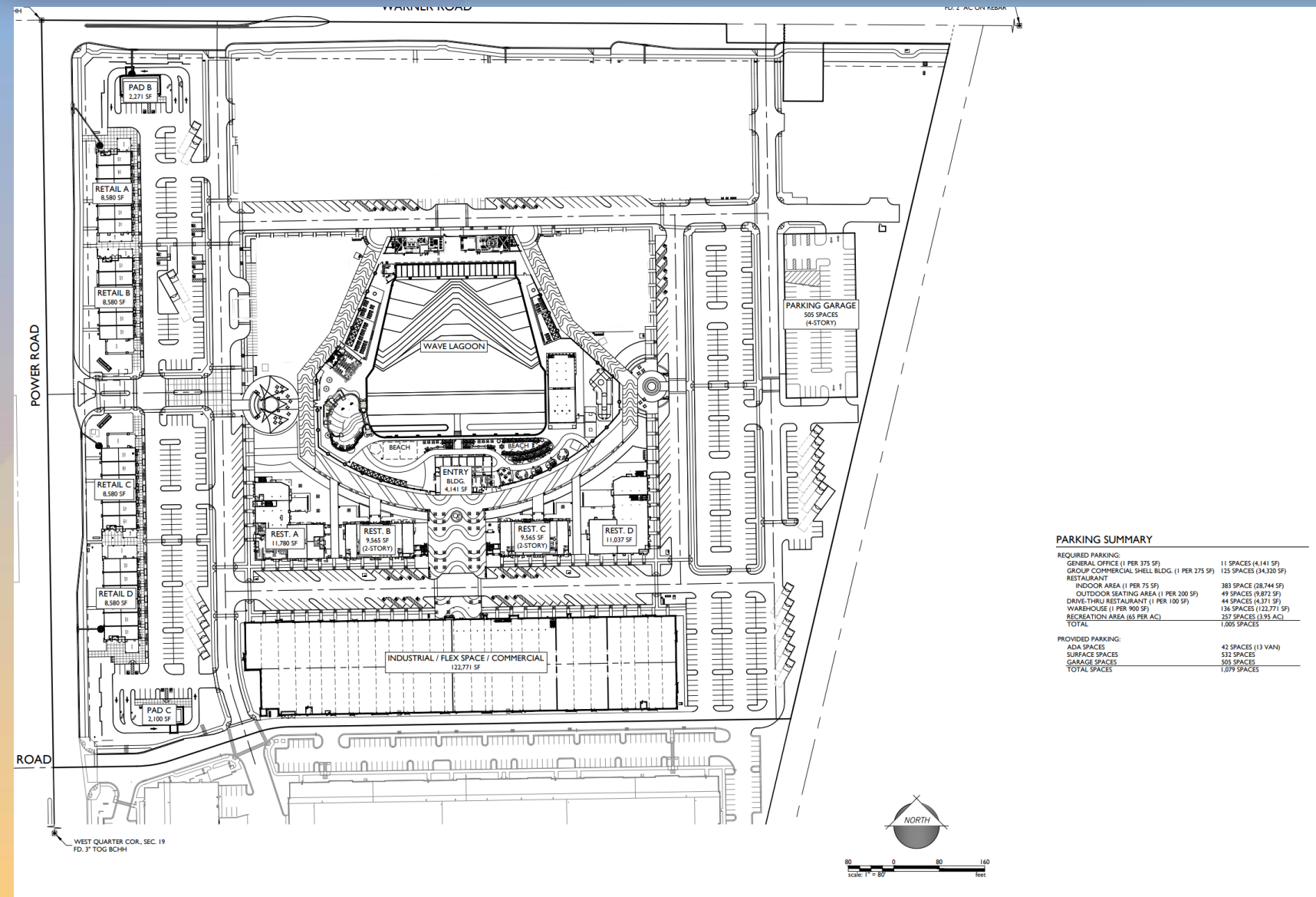
<b>REQUIRED PARKING:</b>		
GENERAL OFFICE (1 PER 375 SF)	11 SPACES (4,141 SF)	
GROUP COMMERCIAL, RETAIL BLDG. (1 PER 375 SF)	125 SPACES (34,320 SF)	
<b>RESTAURANT</b>		
INDOOR AREA (1 PER 75 SF)	383 SPACES (28,744 SF)	
OUTDOOR SEATING AREA (1 PER 200 SF)	49 SPACES (9,872 SF)	
DRIVE-THRU RESTAURANT (1 PER 100 SF)	21 SPACES (2,100 SF)	
WAREHOUSE (1 PER 900 SF)	136 SPACES (122,771 SF)	
RECREATION AREA (65 PER AC)	257 SPACES (3.95 AC)	
<b>TOTAL</b>	<b>982 SPACES</b>	
<b>PROVIDED PARKING:</b>		
ADA SPACES	40 SPACES (12 VAN)	
SURFACE SPACES	526 SPACES	
GARAGE SPACES	505 SPACES	
<b>TOTAL SPACES</b>	<b>1,071 SPACES</b>	





#### PARKING SUMMARY

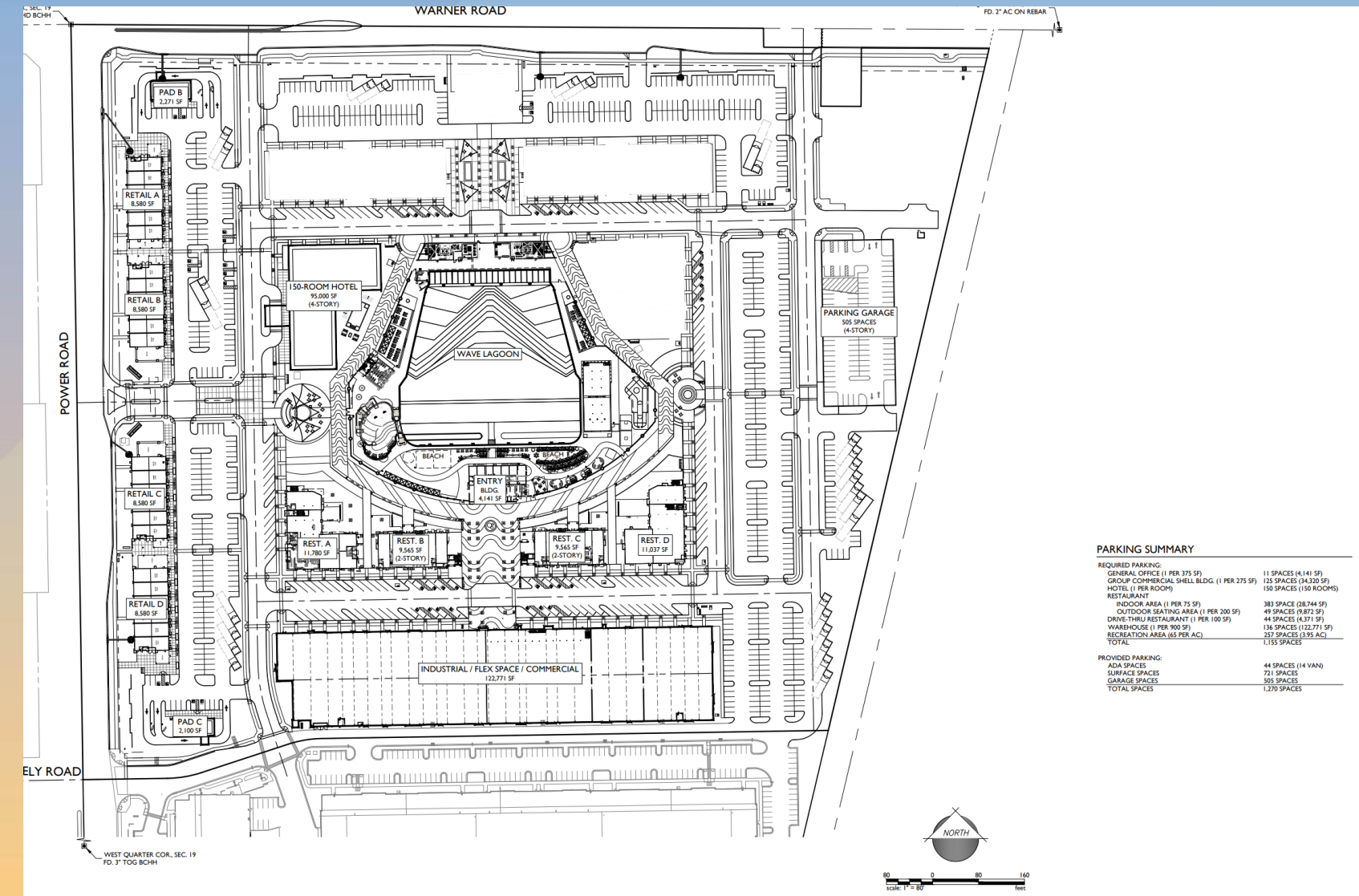
<b>REQUIRED PARKING:</b>		
GENERAL OFFICE (1 PER 375 SF)	11 SPACES (4,141 SF)	
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	125 SPACES (34,320 SF)	
RESTAURANT		
INDOOR AREA (1 PER 75 SF)	383 SPACES (28,744 SF)	
OUTDOOR SEATING AREA (1 PER 200 SF)	49 SPACES (9,872 SF)	
WAREHOUSE (1 PER 900 SF)	136 SPACES (122,771 SF)	
RECREATION AREA (65 PER AC)	327 SPACES (13,95 AC)	
<b>TOTAL</b>	<b>961 SPACES</b>	
<b>PROVIDED PARKING:</b>		
ADA SPACES	38 SPACES (11 VAN)	
SURFACE SPACES	519 SPACES	
GARAGE SPACES	505 SPACES	
<b>TOTAL SPACES</b>	<b>1,062 SPACES</b>	

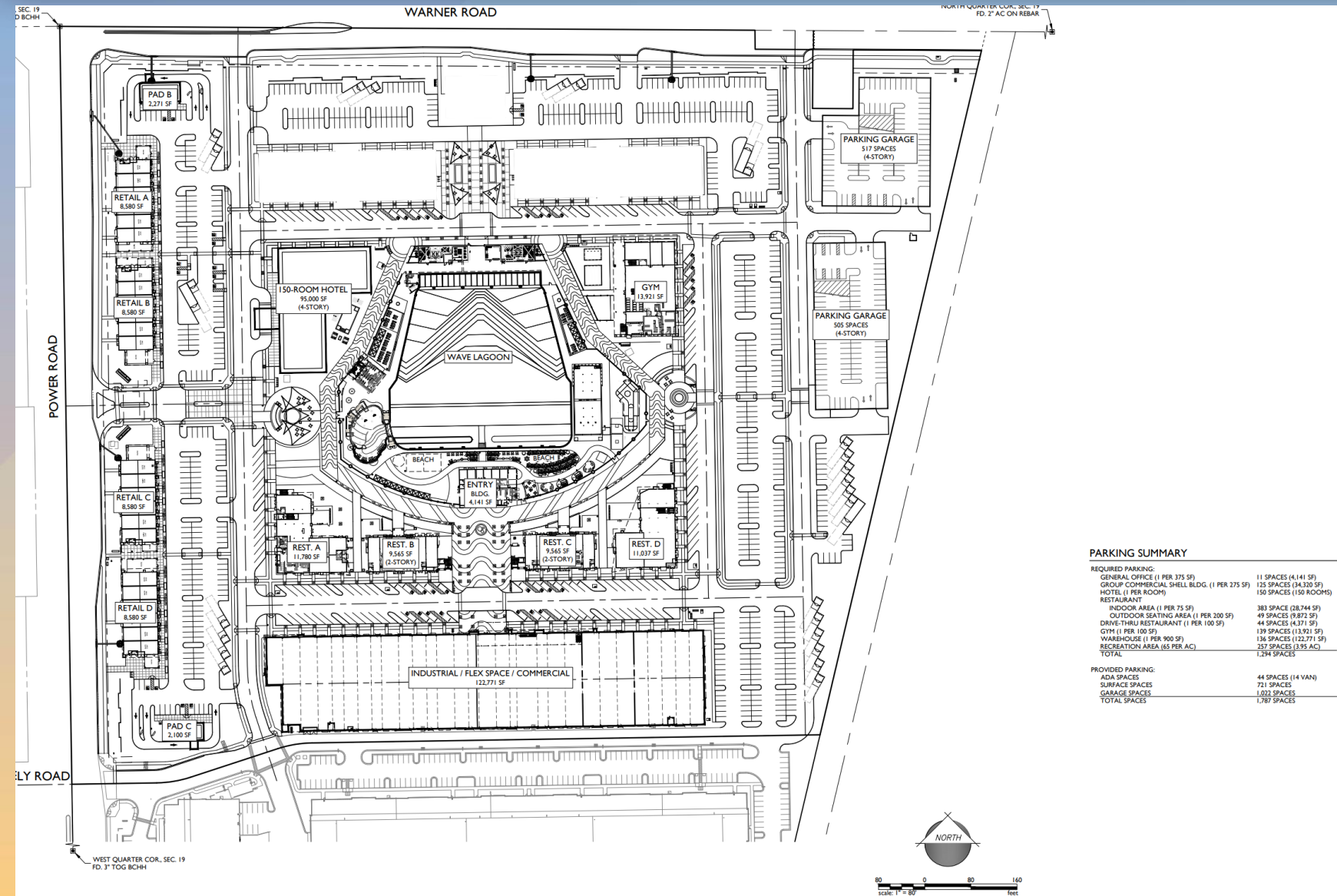


#### PARKING SUMMARY

<b>REQUIRED PARKING:</b>	
GENERAL OFFICE (1 PER 375 SF)	11 SPACES (4,141 SF)
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	125 SPACES (34,320 SF)
RESTAURANT	
INDOOR AREA (1 PER 75 SF)	383 SPACES (28,744 SF)
OUTDOOR SEATING AREA (1 PER 200 SF)	49 SPACES (9,872 SF)
DRIVE-THRU RESTAURANT (1 PER 100 SF)	44 SPACES (4,371 SF)
WAREHOUSE (1 PER 900 SF)	136 SPACES (122,771 SF)
RECREATION AREA (65 PER AC)	257 SPACES (13,95 AC)
<b>TOTAL</b>	<b>1,005 SPACES</b>
<b>PROVIDED PARKING:</b>	
ADA SPACES	42 SPACES (13 VAN)
SURFACE SPACES	532 SPACES
GARAGE SPACES	505 SPACES
<b>TOTAL SPACES</b>	<b>1,079 SPACES</b>



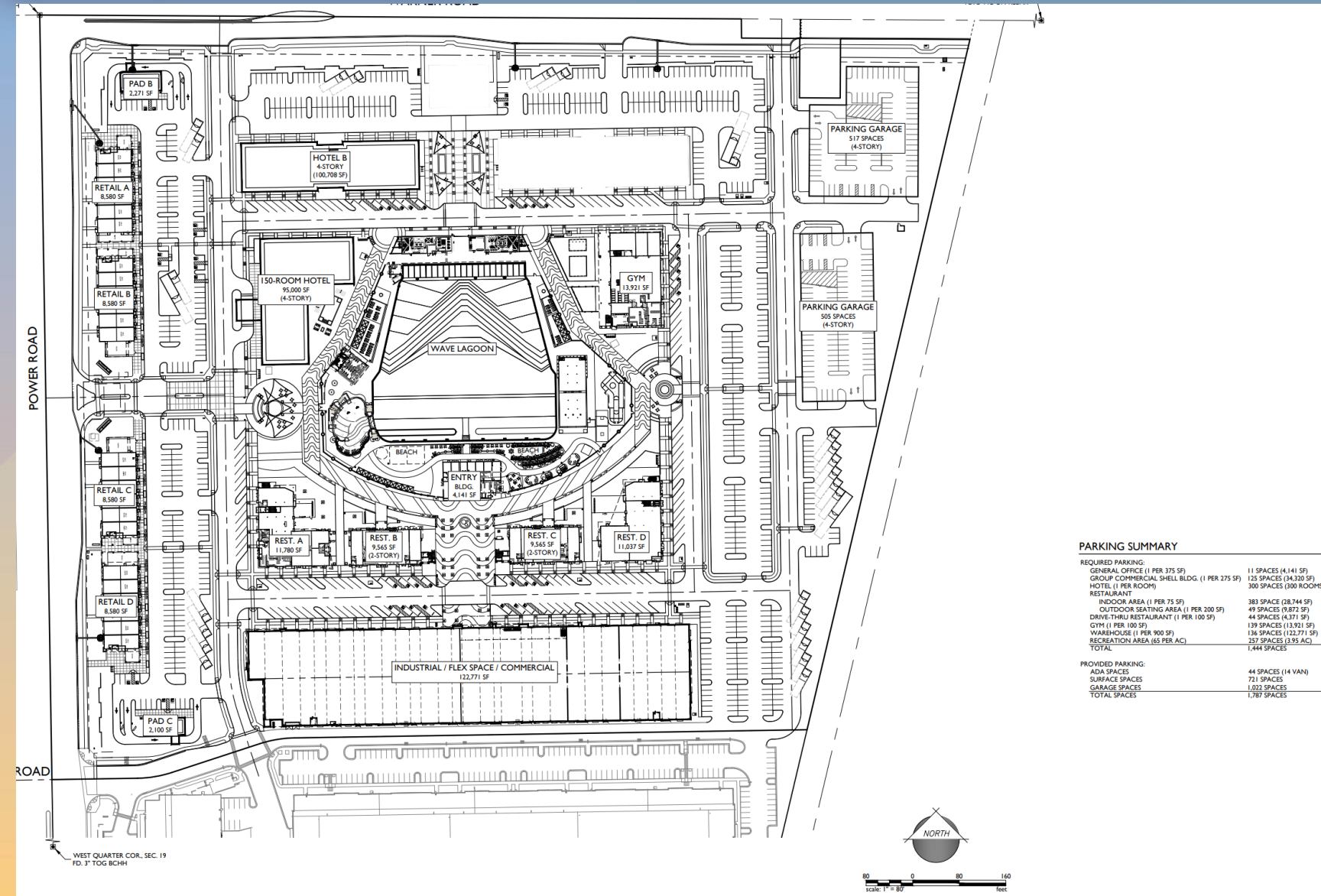


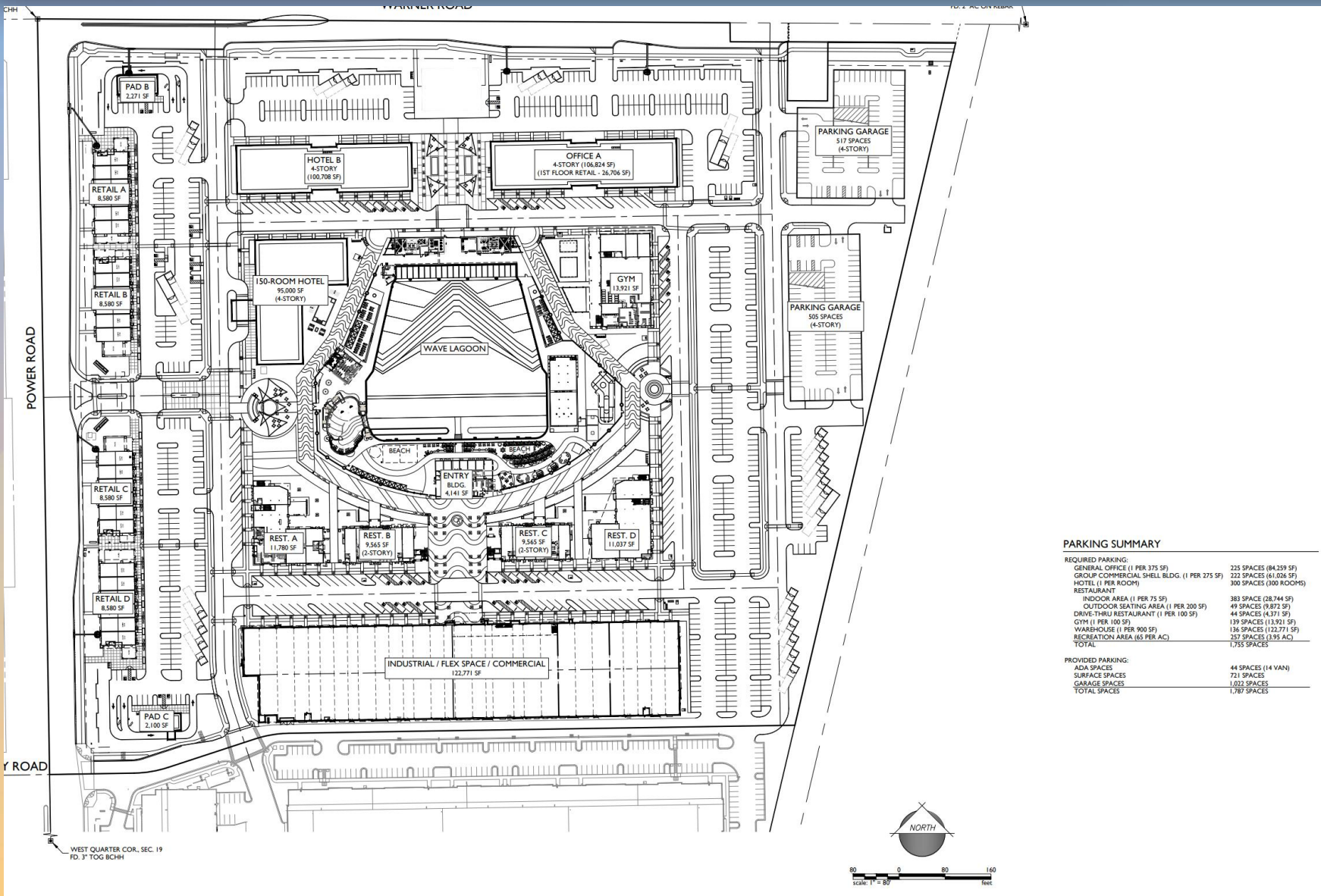


#### PARKING SUMMARY

<b>REQUIRED PARKING:</b>	
GENERAL OFFICE (1 PER 375 SF)	11 SPACES (4,141 SF)
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	125 SPACES (34,320 SF)
HOTEL (1 PER ROOM)	150 SPACES (150 ROOMS)
RESTAURANT	
INDOOR AREA (1 PER 75 SF)	383 SPACES (28,744 SF)
OUTDOOR SEATING AREA (1 PER 200 SF)	49 SPACES (9,872 SF)
DRIVE-THRU RESTAURANT (1 PER 100 SF)	44 SPACES (4,371 SF)
GYM (1 PER 100 SF)	139 SPACES (13,921 SF)
WAREHOUSE (1 PER 900 SF)	136 SPACES (122,771 SF)
RECREATION AREA (65 PER AC)	257 SPACES (3,257 AC)
TOTAL	1,294 SPACES
<b>PROVIDED PARKING:</b>	
ADA SPACES	44 SPACES (14 VAN)
SURFACE SPACES	721 SPACES
GARAGE SPACES	1,002 SPACES
TOTAL SPACES	1,767 SPACES



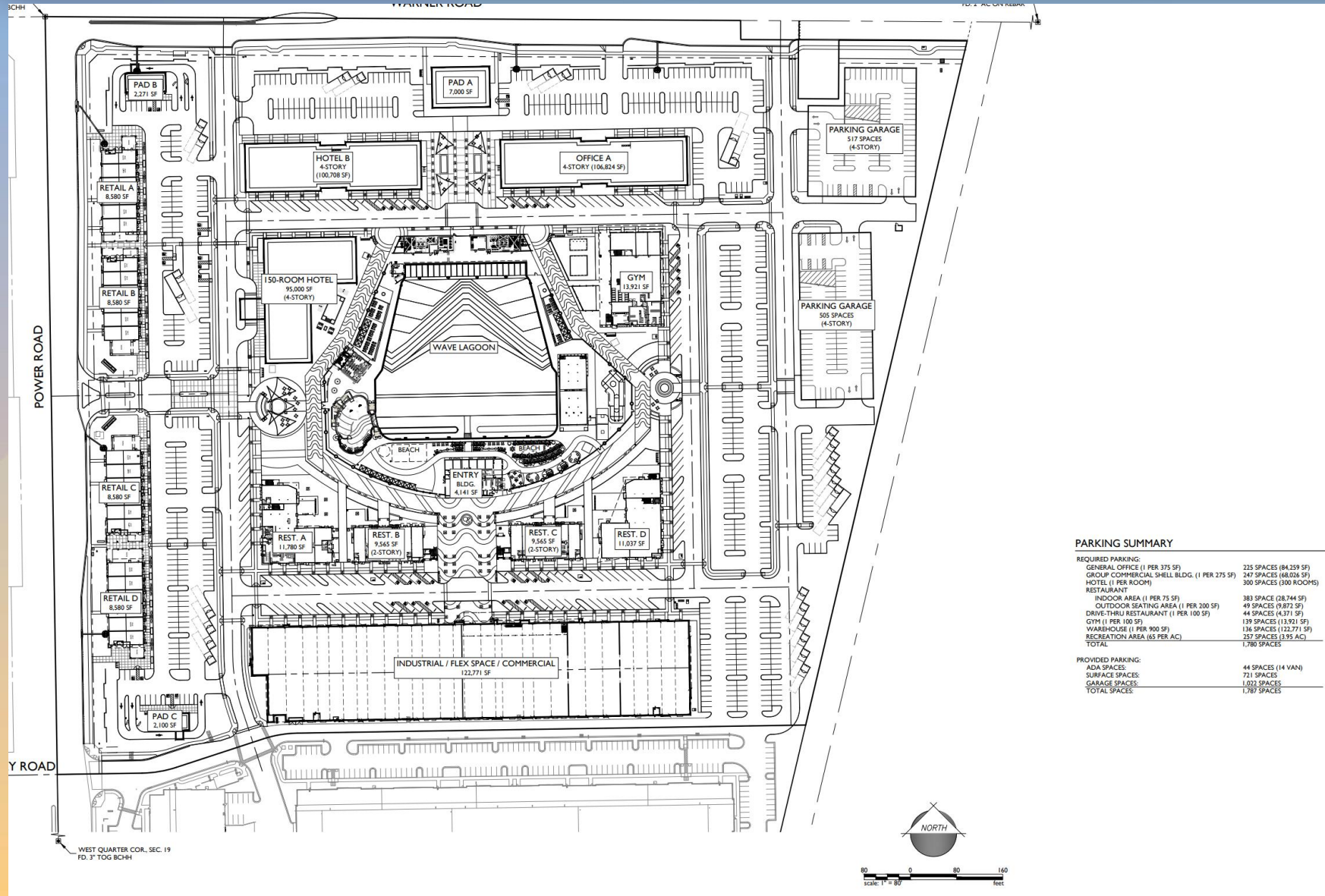




#### PARKING SUMMARY

<b>REQUIRED PARKING:</b>	
GENERAL OFFICE (1 PER 375 SF)	225 SPACES (84,259 SF)
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	222 SPACES (61,026 SF)
HOTEL (1 PER ROOM)	300 SPACES (300 ROOMS)
<b>RESTAURANT</b>	
INDOOR AREA (1 PER 75 SF)	383 SPACES (28,744 SF)
OUTDOOR SEATING AREA (1 PER 200 SF)	49 SPACES (9,872 SF)
DRIVE-THRU RESTAURANT (1 PER 100 SF)	44 SPACES (4,371 SF)
GYM (1 PER 100 SF)	139 SPACES (13,921 SF)
WAREHOUSE (1 PER 900 SF)	136 SPACES (122,771 SF)
RECREATION AREA (65 PER AC)	257 SPACES (3,95 AC)
<b>TOTAL</b>	<b>1,755 SPACES</b>
<b>PROVIDED PARKING:</b>	
ADA SPACES	44 SPACES (14 VAN)
SURFACE SPACES	721 SPACES
GARAGE SPACES	1,022 SPACES
<b>TOTAL SPACES</b>	<b>1,787 SPACES</b>





#### PARKING SUMMARY

<b>REQUIRED PARKING:</b>	
GENERAL OFFICE (1 PER 375 SF)	225 SPACES (84,259 SF)
GROUP COMMERCIAL SHELL BLDG. (1 PER 275 SF)	247 SPACES (68,026 SF)
HOTEL (1 PER ROOM)	300 SPACES (300 ROOMS)
<b>RESTAURANT</b>	
INDOOR AREA (1 PER 75 SF)	383 SPACES (28,744 SF)
OUTDOOR SEATING AREA (1 PER 300 SF)	49 SPACES (9,872 SF)
DRIVE-THRU RESTAURANT (1 PER 100 SF)	44 SPACES (4,371 SF)
GYM (1 PER 100 SF)	139 SPACES (13,921 SF)
WAREHOUSE (1 PER 900 SF)	136 SPACES (122,771 SF)
RECREATION AREA (65 PER AC)	257 SPACES (3.95 AC)
<b>TOTAL</b>	<b>1,780 SPACES</b>
<b>PROVIDED PARKING:</b>	
ADA SPACES	44 SPACES (14 VAN)
SURFACE SPACES	721 SPACES
GARAGE SPACES	1,022 SPACES
<b>TOTAL SPACES</b>	<b>1,787 SPACES</b>