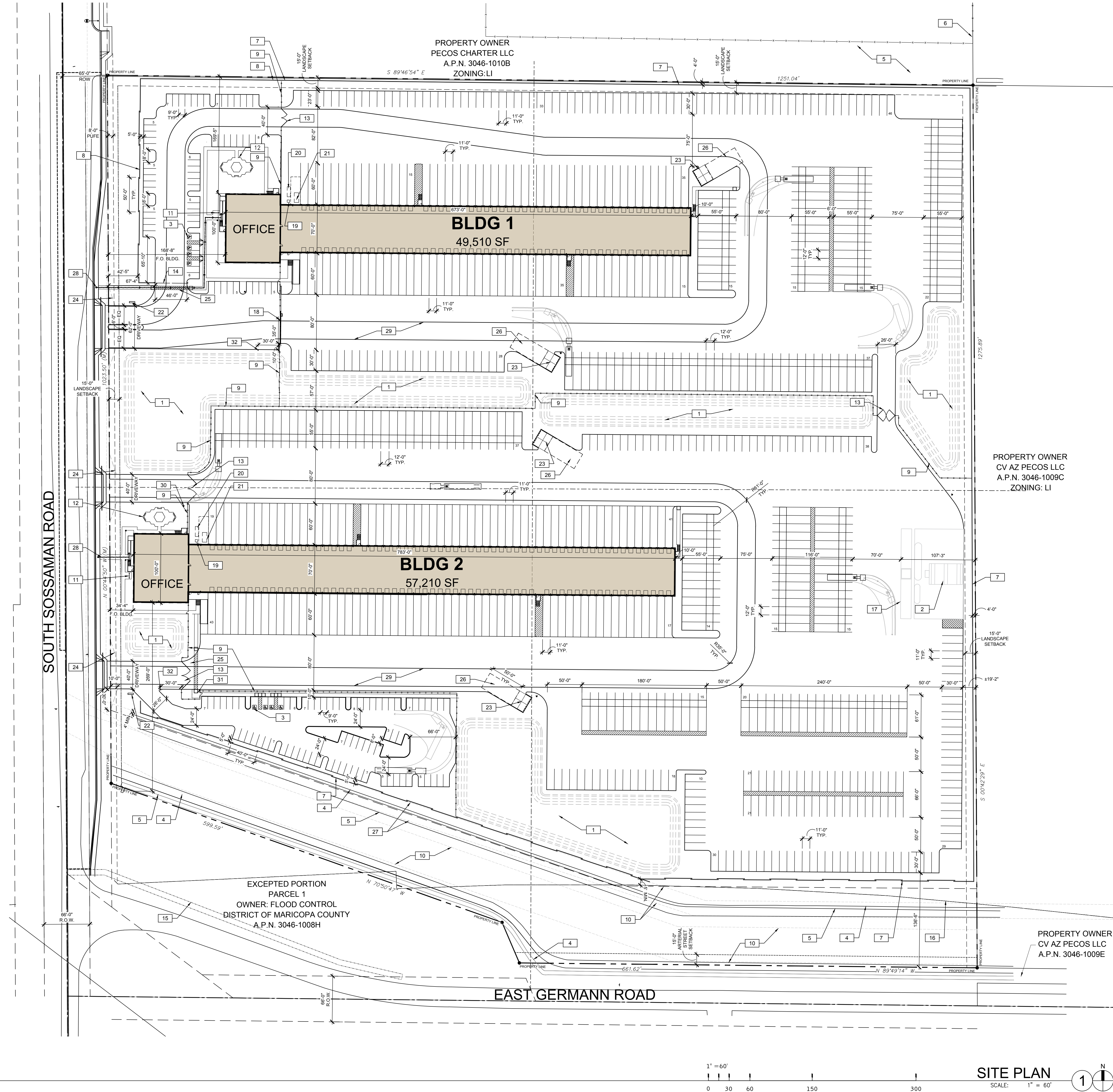


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KEYNOTES

- 1 RETENTION AREA
- 2 FUTURE FUEL TANK AND PUMPING STATION UNDER SEPARATE PERMIT
- 3 TYPICAL ACCESSIBLE PARKING SIGNAGE
- 4 EXISTING CONC. IRRIGATION DITCH
- 5 EXISTING DIRT ROAD
- 6 EXISTING 6'-0" H. CHAIN LINK FENCE
- 7 8'-0" HIGH CMU SCREEN WALL
- 8 3'-0" HIGH CMU SCREEN WALL
- 9 8'-0" HIGH DECORATIVE METAL FENCE
- 10 UNDERGROUND NATURAL GAS PIPELINE EASEMENT
- 11 RIBBON BIKE RACK
- 12 OUTDOOR OPEN SPACE AREA PER MZO SECTION 11-7-3 B
- 13 DECORATIVE METAL SWINGING GATE WITH KNOX-BOX
- 14 BARRIER ARM WITH KNOX-KEY
- 15 8' WIDE COMMUNICATION LINE EASEMENT
- 16 EXISTING RIGHT OF WAY
- 17 TRUCK SCALE
- 18 DECORATIVE SLIDING GATE WITH KNOX BOX PEDESTAL
- 19 GENERATOR
- 20 TRANSFORMER
- 21 RECYCLE COMPACTOR (PAD SIZE: 14'-0" x 40'-0") PER CITY OF MESA DETAIL M62.06
- 22 MONUMENT SIGN BY SEPARATE PERMIT
- 23 DOUBLE TRASH ENCLOSURE PER COM SOLID WASTE STANDARDS M-62.01 THRU M-62.04.02. SEE DETAIL 1/A510
- 24 DRIVEWAY VISIBILITY TRIANGLES
- 25 RAISED STRIPED PEDESTRIAN CROSSING WITH BRICK PAVERS
- 26 50' CLEARANCE FOR SOLID WASTE TRUCKS, SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS. PER COM SOLID WASTE M-62.06
- 27 WATER USE & JOINT WELL AGREEMENT EASEMENT
- 28 PATH OF TRAVEL
- 29 26" WIDE FIRE LANE
- 30 PROPOSED FIRE HYDRANT
- 31 3' METAL PEDESTRIAN GATE
- 32 ACCESS CONTROL PEDESTAL

PROJECT DATA

SITE INFORMATION:

ZONING: LIGHT INDUSTRIAL (LI)
APN: 304-61-008G

GROSS: 34.60 AC (1,507,419 SF)
RETENTION @ 7.54%: 113,717 SF
EASEMENT: 106,720 SF
NET: 34.60 AC (1,288,938 SF)

PROJECT INFORMATION:

MAXIMUM BUILDING HEIGHT
REQUIRED: 40 FT
PROVIDED: 38 FT 6 IN

BUILDING AREA	OFFICE	WAREHOUSE	TOTAL FOOTPRINT
BUILDING 1	8,000 SF	41,510 SF	49,510 SF
BUILDING 2	8,000 SF	49,210 SF	57,210 SF
TOTAL	16,000 SF	90,720 SF	106,720 SF

LOT COVERAGE CALCULATIONS:

LANDSCAPE: 297,600 SF (19.7%)
PAVEMENT: 938,506 SF (62.2%)
HARDSCAPE: 11,480 SF (0.7%)
BUILDING: 106,720 SF (7.1%)
TOTAL COVERAGE = 1,354,276 SF (89.8%)

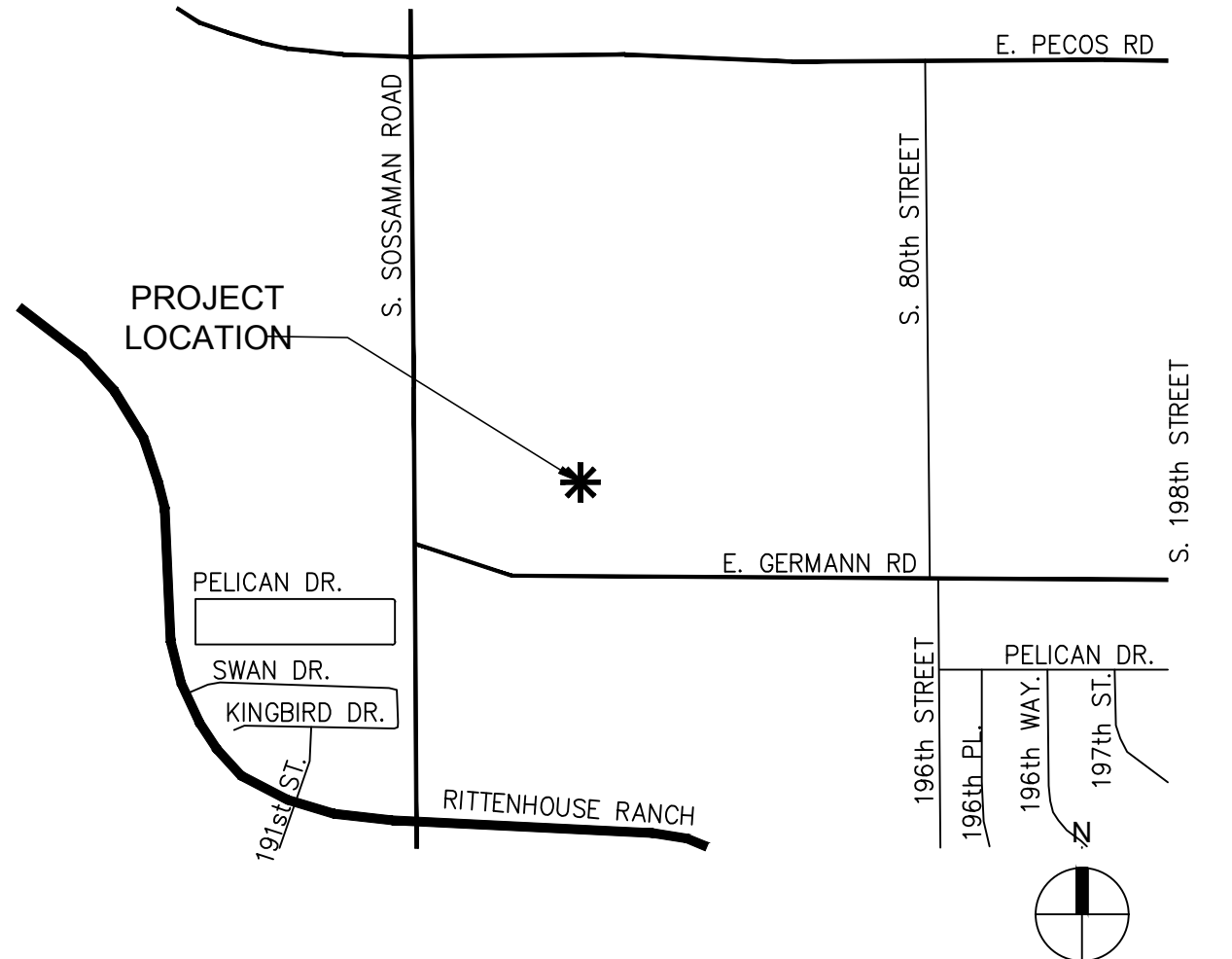
BUILDING 1:	CITY REQUIRED	OWNER REQUIRED	TOTAL PROVIDED
DOCK DOORS / TRAILER BAYS	-	100	64
EMPLOYEE PARKING (1900 SF MIN.)	64	89	74
ACCESSIBLE PARKING	9	9	23
PUP PARKING	32	78	101
TRACTOR PARKING	-	83	9
TRAILER PARKING	-	-	83
BIKE PARKING (1/10 AUTO PARKING MIN.)	8	-	120
BUILDING 2:			
DOCK DOORS / TRAILER BAYS	-	120	80
EMPLOYEE PARKING (1900 SF MIN.)	64	69	4
ACCESSIBLE PARKING	9	3	38
PUP PARKING	32	70	116
TRACTOR PARKING	-	83	9
TRAILER PARKING	-	-	83
BIKE PARKING (1/10 AUTO PARKING MIN.)	8	-	120

OPEN SPACE CALCULATIONS

OPEN SPACE CALCULATIONS:

AREA	SF	OPEN AREA REQUIRED	OPEN AREA PROVIDED
BUILDING 1	49,510 SF	495.1 SF (1%)	887 SF (1.8%)
BUILDING 2	57,210 SF	572.1 SF (1%)	887 SF (1.5%)
TOTAL	106,720 SF	1,067.2 (1%)	1,774 SF (1.6%)

VICINITY MAP



SITE PLAN

SCALE: 1" = 60'

1" = 60'
0 30 60 150 300

SITE PLAN

DATE	REMARKS	DATE	REMARKS
07/07/2023	DESIGN REVIEW		
07/09/2023	SITE PLAN REVIEW		
07/13/2023	DR & SITE PLAN RESUBMITTAL		

PA / PM:	JL
DRAWN BY:	AA/KR
JOB NO.:	PHX22-0141-00

SHEET

A100

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