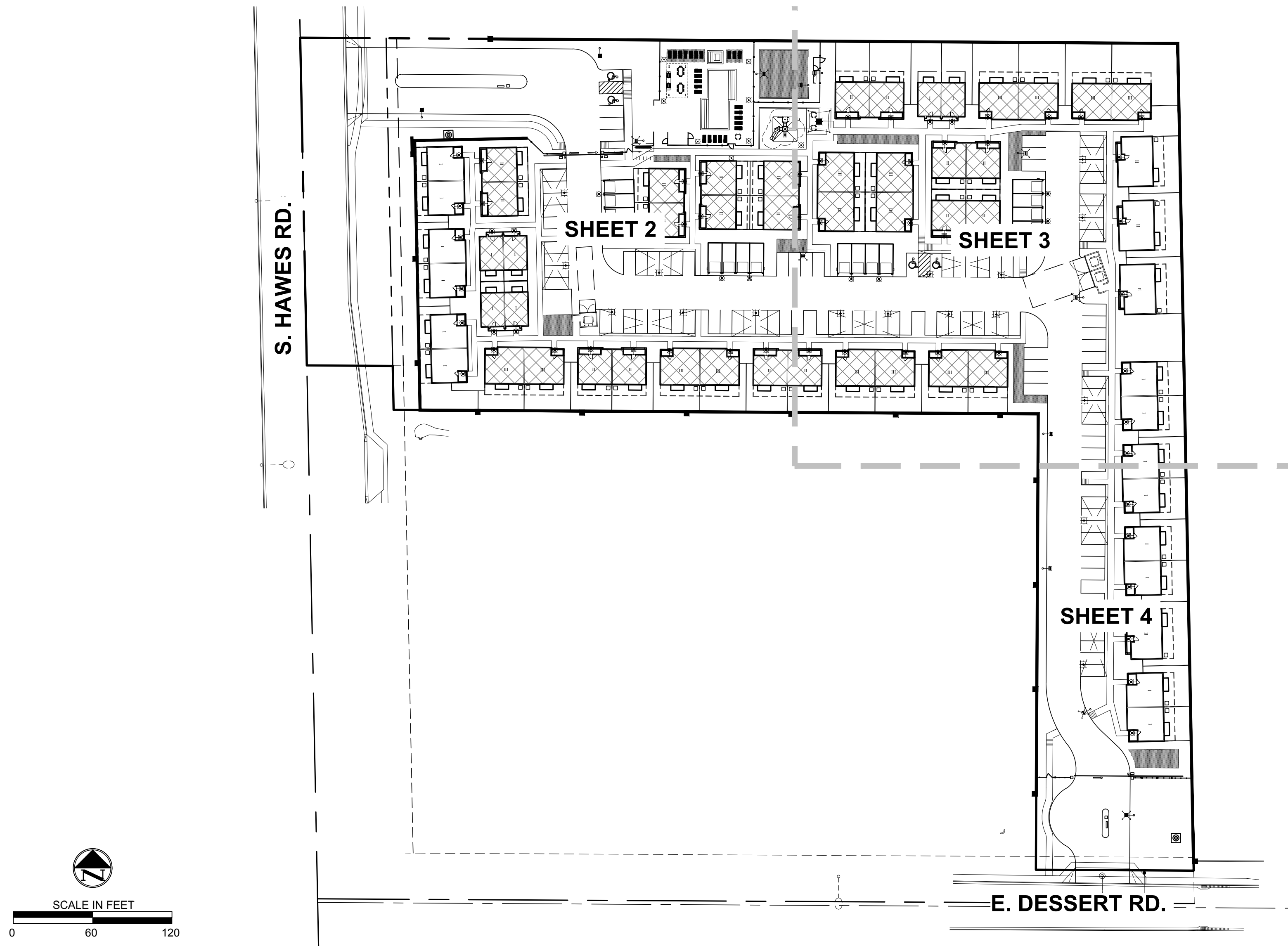


PRELIMINARY GRADING AND DRAINAGE PLANS FOR
EVERGREEN AT HAWES

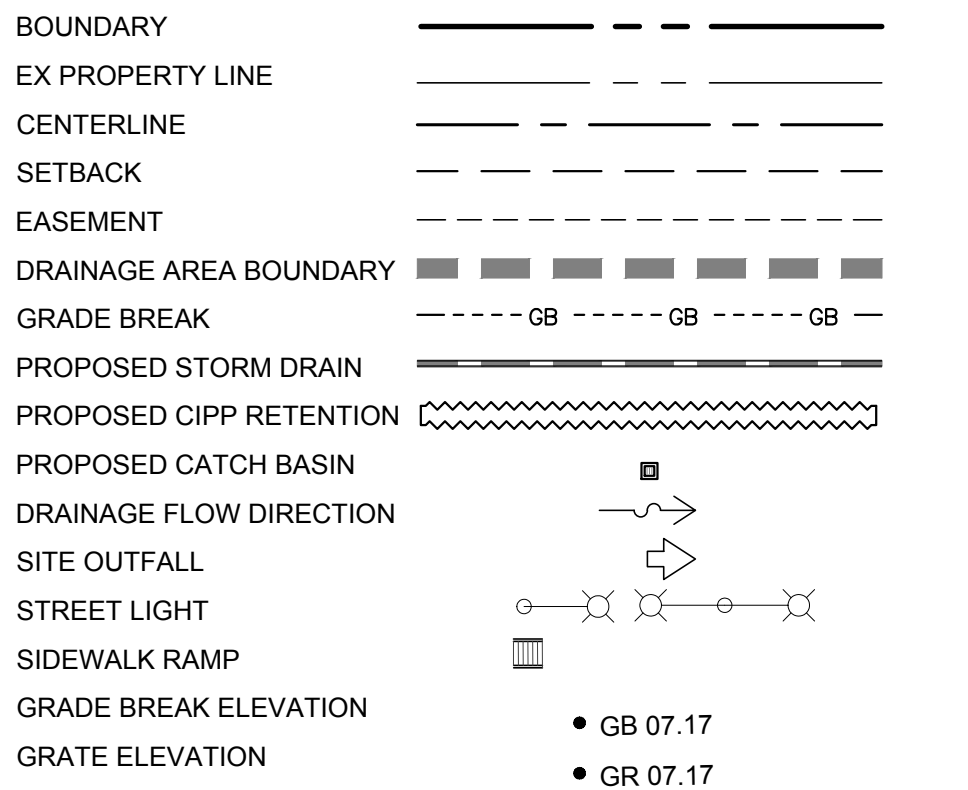
S. HAWES RD. & DESERT LANE
MESA, ARIZONA
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



Required Retention Volume & Time to Drain Calculations						
V _R = C x (P / 12) x A			MF PARCEL AREA =		AC	
V _R = VOLUME REQUIRED			4.66			
C = WEIGHTED RUNOFF COEFFICIENT						
P = RAINFALL DEPTH (NOAA ATLAS 14)						
P = 2.58 IN 100-yr 2-hour						
A = RETAINED AREA						
DRAINAGE AREAS	NET DRAINAGE AREA (SF)	NET DRAINAGE AREA (AC)	RUNOFF COEFFICIENT 'C'	VOLUME REQUIRED (CF)	10' DIAMETER CMP (LF)	VOLUME PROVIDED (CF)
OFFSITE	21,178	0.00		0		
ONSITE						
DA-A	74,610.8	1.71	0.94	15,079	198	15,551
DA-B	48,229.7	1.11	0.94	9,747	130	10,210
DA-C	80,351.6	1.84	0.94	16,239	214	16,808
SUBTOTAL	203,192.1	4.66		41,065	542	42,569
TOTAL		4.66		41,065	542	42,569

Note: Drywells not permitted in Mesa

LEGEND



SHEET LIST

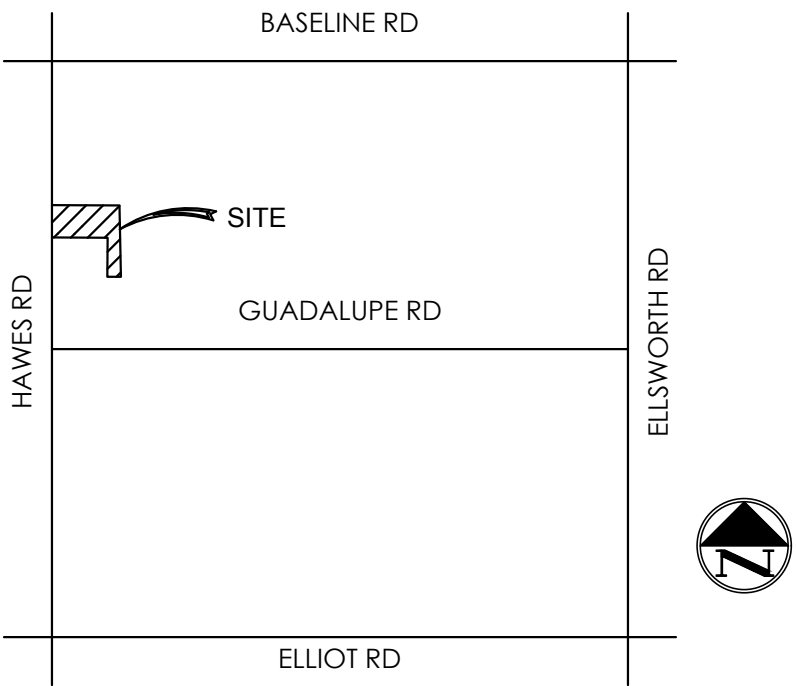
SHEET NO	SHEET TITLE
1	COVER SHEET
2	PRELIMINARY GRADING & DRAINAGE PLAN
3	PRELIMINARY GRADING & DRAINAGE PLAN
4	PRELIMINARY GRADING & DRAINAGE PLAN

SITE INFO

APN:	304-03-946 & 304-03-845A
GROSS AREA:	5.36 AC (233,614 SF)
NET AREA:	4.87 AC (211,942 SF)
PROPOSED UNITS:	58
DENSITY - GROSS:	10.8 DU / AC
DENSITY - NET:	11.9 DU / AC
EXISTING ZONING:	OC & RM-2
PROPOSED ZONING:	RM-2 / PAD
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-FAMILY

ABBREVIATIONS

B/C	BACK OF CURB	IRR	IRRIGATION
BLDG	BUILDING	LS	LANDSCAPE
CIPP	CAST IN PLACE PIPE	OS	OPEN SPACE
CO	CURB OPENING	PIP	PLASTIC IRRIGATION PIPE
DA	DRAINAGE AREA	PROP	PROPOSED
EOP	EDGE OF PAVEMENT	PUE	PUBLIC UTILITY
ESMT	EASEMENT	ESMT	ESMT
EX	EXISTING	ROW	RIGHT-OF-WAY
F/C	FACE OF CURB	SB	SETBACK
FFE	FINISHED FLOOR ELEVATION	SD	STORM DRAIN
GFE	GARAGE FLOOR ELEVATION	S/W	SIDEWALK
		TYP	TYPICAL



VICINITY MAP

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EMAIL: RYANW@COLLECTIVLA.COM

BENCHMARK

BRASS TAG T.C. SW CORNER OF HAWES & BASELINE
ELEV. 1414.58

BASIS OF BEARING

N 01°09'25" WEST - BEING THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 7 EAST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA PER THE DEED OF RECORD AND HAWES CHEUCH SUBDIVISION RECORDED IN BOOK 908, PAGE 19, M.C.R.

FLOOD ZONE

FLOOD ZONE DESIGNATION "X" SHADED PER F.E.M.A. FLOOD INSURANCE RATE MAP, MAP NUMBER 0416C2295L, PANEL 2295 OF 4425, DATED 10/16/2013, AND MAP NUMBER 0416C2760LL, PANEL 2760 OF 4425, DATED 10/16/2013

ZONE "X" SHADED- AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

(THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOD ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.)



EVERGREEN AT HAWES

PRELIMINARY



DATE	DESCRIPTION
04/18/2022	1st REZONE APP
05/03/2022	2nd REZONE APP
08/05/2022	3rd REZONE APP

CHECKED BY: DMW

DRAWN BY: RKF

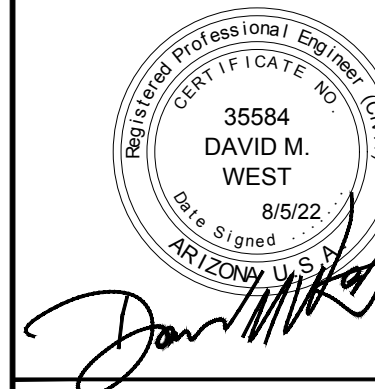
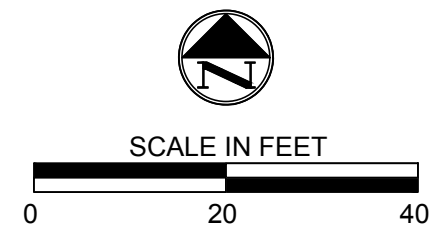
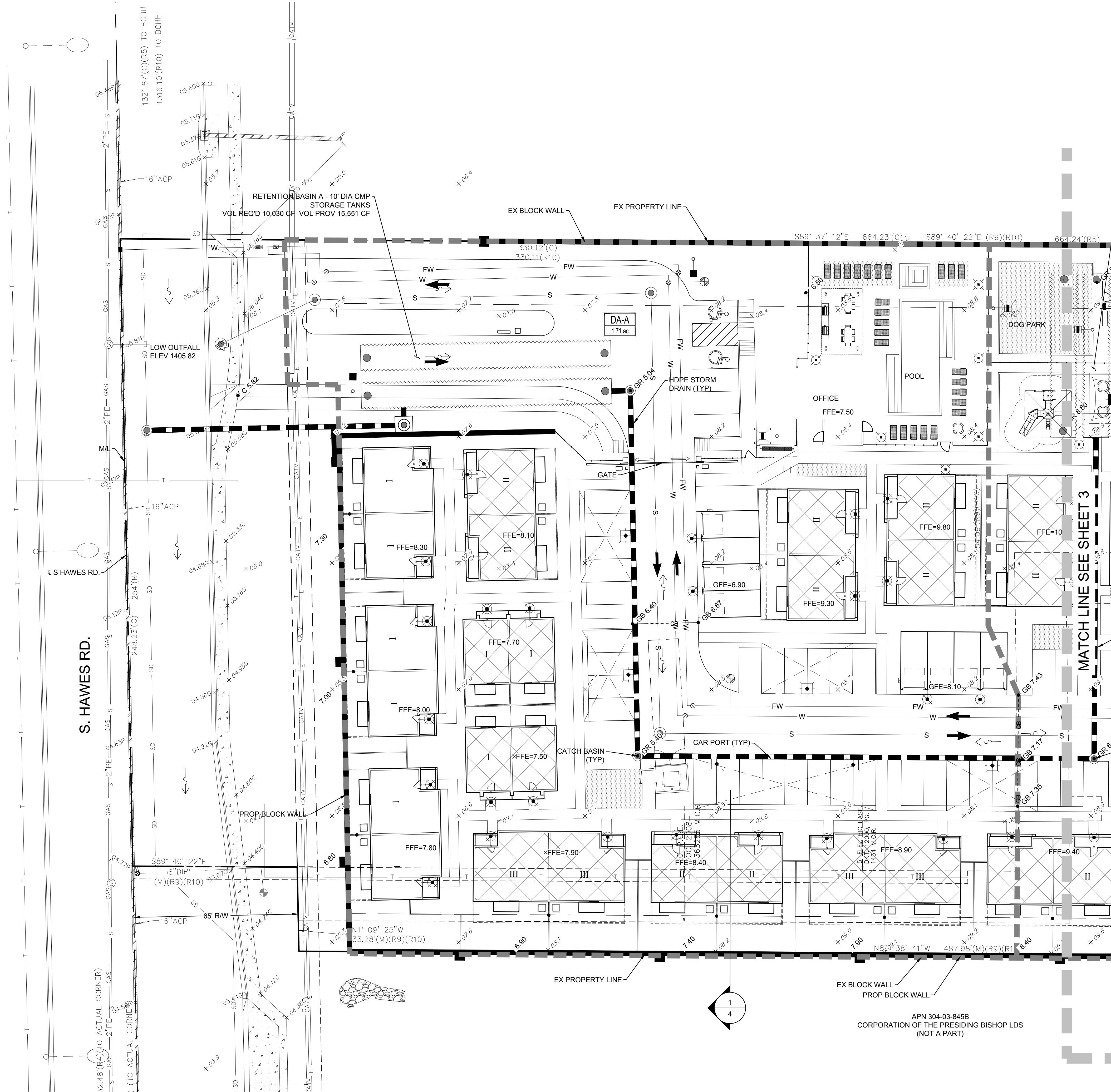
TITLE:
COVER SHEET

SHEET No.

1 of 4

PROJECT No.
1365

Plotted: 08/05/22 - 10:07 AM, By: Mkh
File: M13165_E:\Program of Home_Mead\DWG\Preliminary\13165_Preliminary Grading & Drainage Plan.dwg --2 PRELIMINARY GRADING & DRAINAGE PLAN



EVERGREEN AT
HAWES

PRELIMINARY



DATE	DESCRIPTION
04/18/2022	1st REZONE APP
05/03/2022	2nd REZONE APP
08/05/2022	3rd REZONE APP

CHECKED BY: DMW

DRAWN BY: RKF

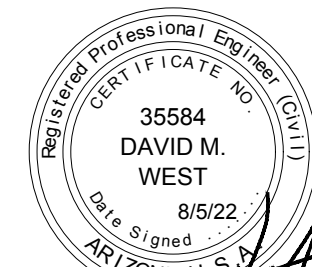
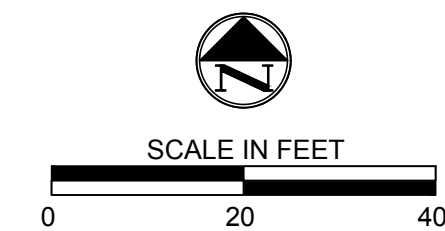
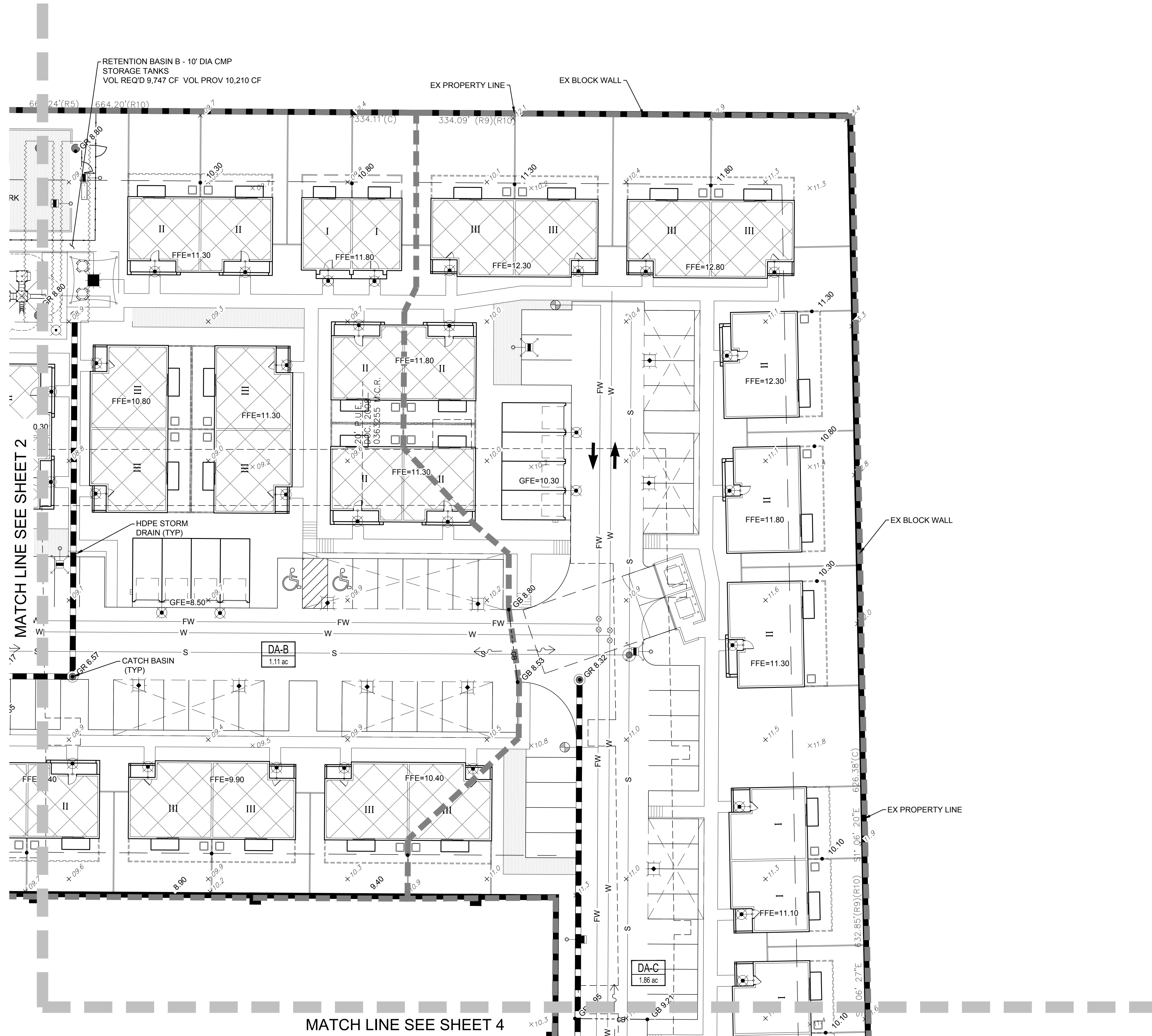
TITLE: PRELIMINARY
GRADING &
DRAINAGE PLAN

SHEET No.

2 of 4

PROJECT No.
1365

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File: M1365_E_Siteplan.dwg, Plot: M1365_E_Siteplan.ctb, Plot Device: HP DesignJet T1100e, Plot Size: 36" x 48", Plot Scale: 1" = 40'



EVERGREEN AT
HAWES

PRELIMINARY



DATE	DESCRIPTION
04/18/2022	1st REZONE APP
05/03/2022	2nd REZONE APP
08/05/2022	3rd REZONE APP

CHECKED BY: DMW

DRAWN BY: RKF

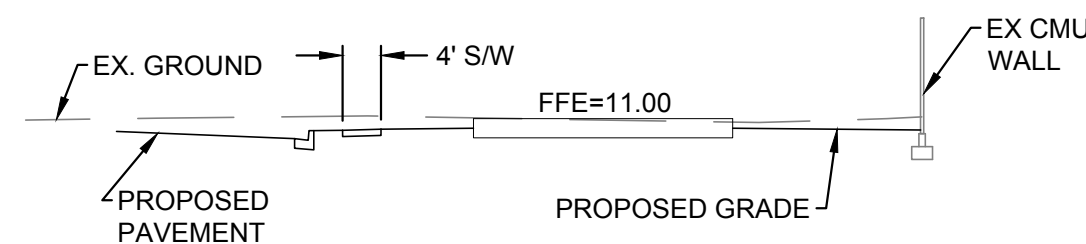
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GRADING &
DRAINAGE PLAN

SHEET No.

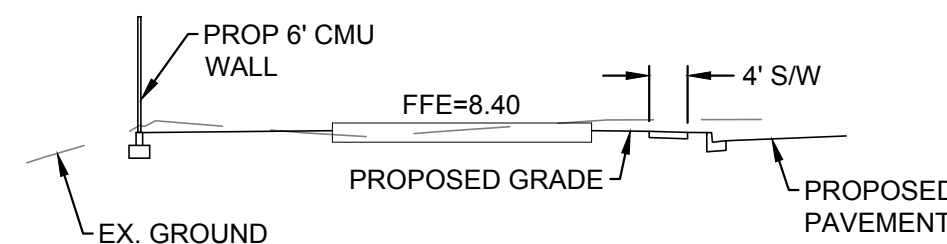
3 of 4

PROJECT No.
1365

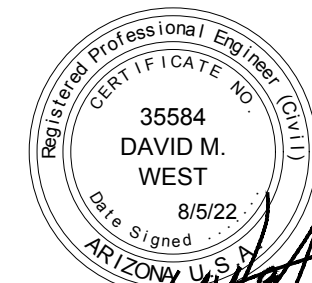
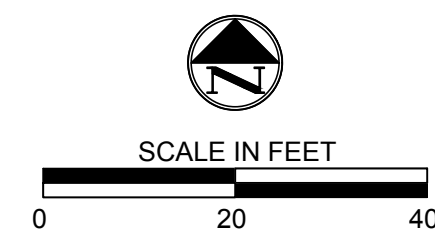
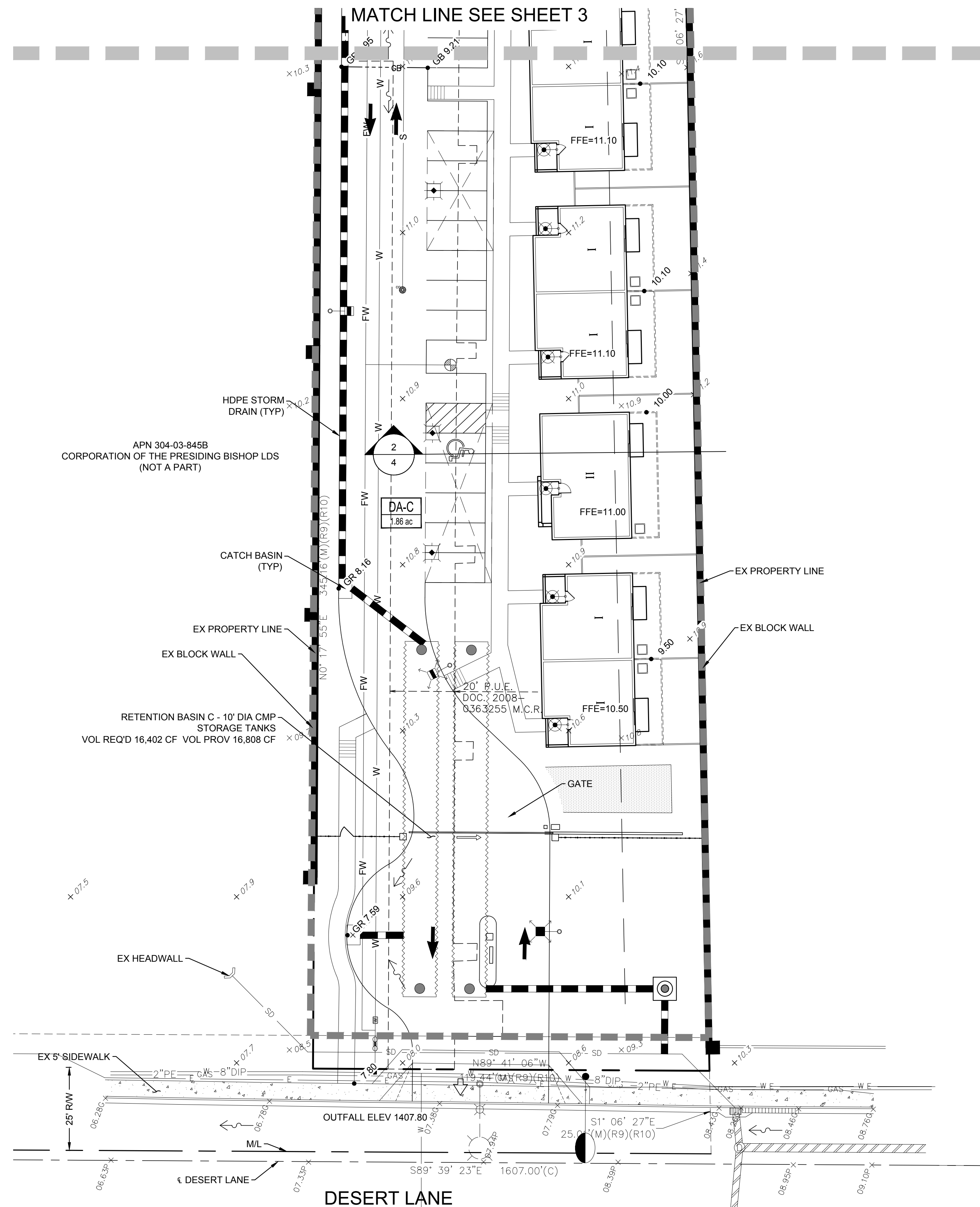
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File: M11586_E_Siteplan.dwg, Plot: M11586_E_Siteplan.ctb, Plot Device: HP DesignJet 500, Plot Date: 8/5/22, Plot Time: 10:07 AM, Plot User: Nshan



SECTION 2
H SCALE 1"=20' V SCALE 1"=10' V



SECTION 1
H SCALE 1"=20' V SCALE 1"=10' V



EVERGREEN AT
HAWES

PRELIMINARY



DATE	DESCRIPTION
04/18/2022	1st REZONE APP
05/03/2022	2nd REZONE APP
08/05/2022	3rd REZONE APP

CHECKED BY: DMW

DRAWN BY: RKF

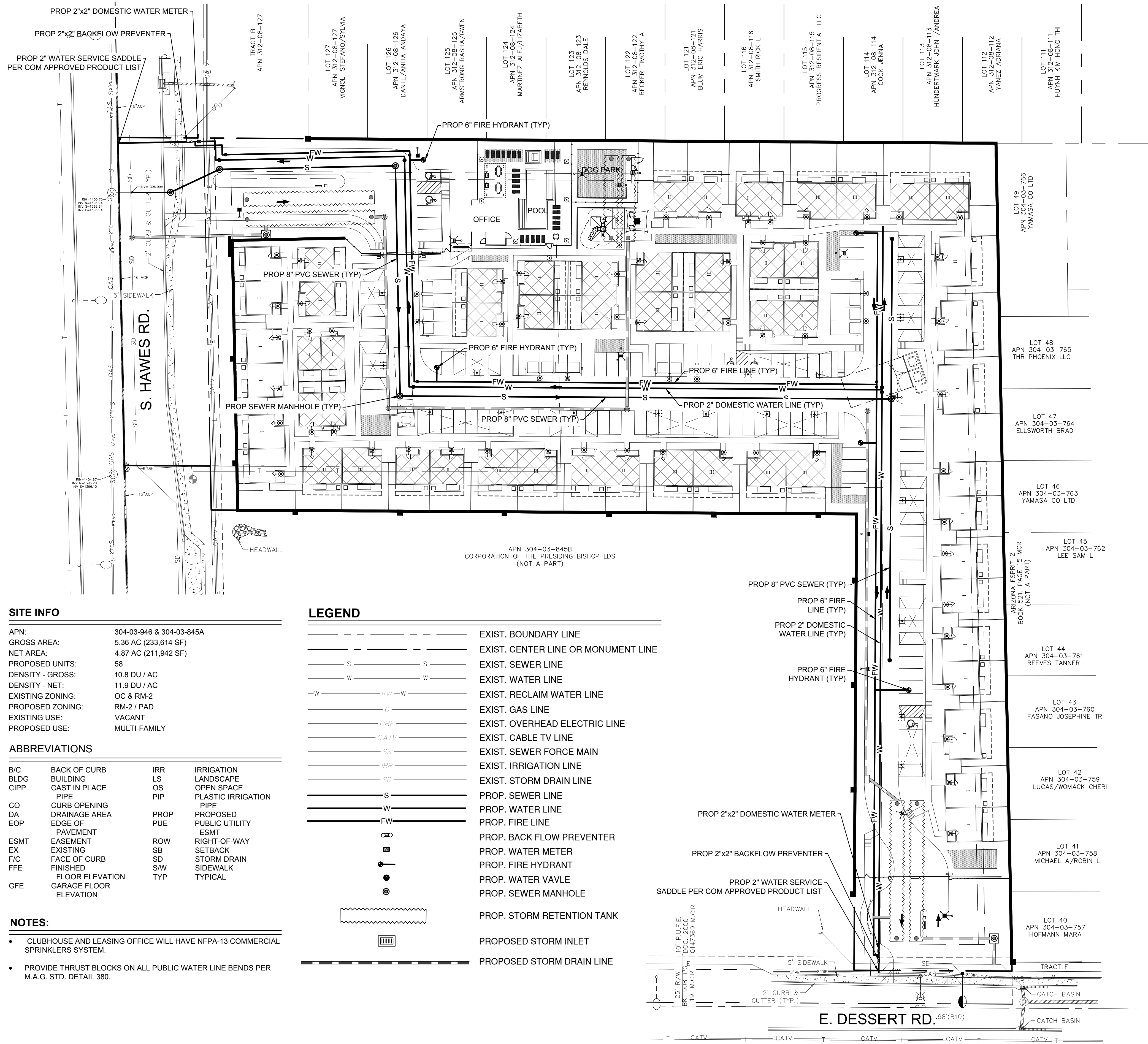
TITLE:
PRELIMINARY
GRADING &
DRAINAGE PLAN

SHEET No.

4 of 4

PROJECT No.
1365

PRELIMINARY UTILITY PLAN FOR
EVERGREEN AT HAWES
S. HAWES RD. & DESERT LANE
MESA, ARIZONA
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

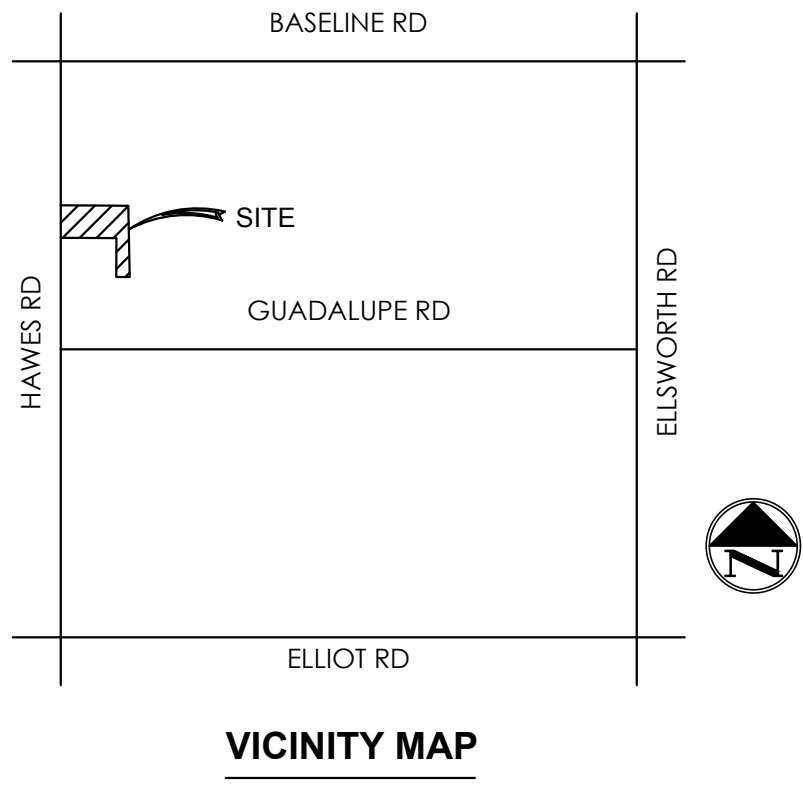
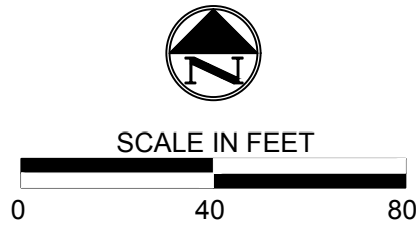


SITE INFO	
APN:	304-03-946 & 304-03-845A
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DENSITY - NET:	11.9 DU / AC
EXISTING ZONING:	OC & RM-2
PROPOSED ZONING:	RM-2 / PAD
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-FAMILY

ABBREVIATIONS			
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BLDG	BUILDING	LS	LANDSCAPE
CIPP	CAST IN PLACE PIPE	OS	OPEN SPACE
CO	CURB OPENING	PIP	PLASTIC IRRIGATION PIPE
DA	DRAINAGE AREA	PROP	PROPOSED
EOP	EDGE OF PAVEMENT	PUE	PUBLIC UTILITY
ESMT	EASEMENT	ROW	RIGHT-OF-WAY
EX	EXISTING	SB	SETBACK
F/C	FACE OF CURB	SD	STORM DRAIN
FFE	FINISHED FLOOR ELEVATION	SW	SIDEWALK
GFE	GARAGE FLOOR ELEVATION	TYP	TYPICAL

- NOTES:**
- CLUBHOUSE AND LEASING OFFICE WILL HAVE NFPA-13 COMMERCIAL SPRINKLERS SYSTEM.
 - PROVIDE THRUST BLOCKS ON ALL PUBLIC WATER LINE BENDS PER M.A.G. STD. DETAIL 380.

LEGEND	
---	EXIST. BOUNDARY LINE
---	EXIST. CENTER LINE OR MONUMENT LINE
---	EXIST. SEWER LINE
---	EXIST. WATER LINE
---	EXIST. RECLAIM WATER LINE
---	EXIST. GAS LINE
---	EXIST. OVERHEAD ELECTRIC LINE
---	EXIST. CABLE TV LINE
---	EXIST. SEWER FORCE MAIN
---	EXIST. IRRIGATION LINE
---	EXIST. STORM DRAIN LINE
---	PROP. SEWER LINE
---	PROP. WATER LINE
---	PROP. FIRE LINE
---	PROP. BACK FLOW PREVENTER
---	PROP. WATER METER
---	PROP. FIRE HYDRANT
---	PROP. WATER VAV
---	PROP. SEWER MANHOLE
---	PROP. STORM RETENTION TANK
---	PROPOSED STORM INLET
---	PROPOSED STORM DRAIN LINE



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BASIS OF BEARING

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FLOOD ZONE

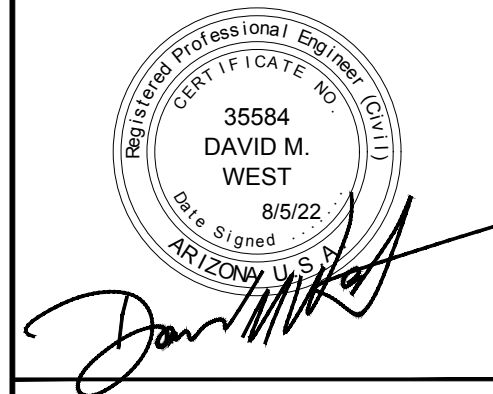
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EVERGREEN AT HAWES

PRELIMINARY



DATE	DESCRIPTION
04/18/2022	1st REZONE APP
05/03/2022	2nd REZONE APP
08/05/2022	3rd REZONE APP
CHECKED BY:	DMW
DRAWN BY:	RKF
TITLE:	PRELIMINARY UTILITY PLAN
SHEET No.	1 of 1
PROJECT No.	1365