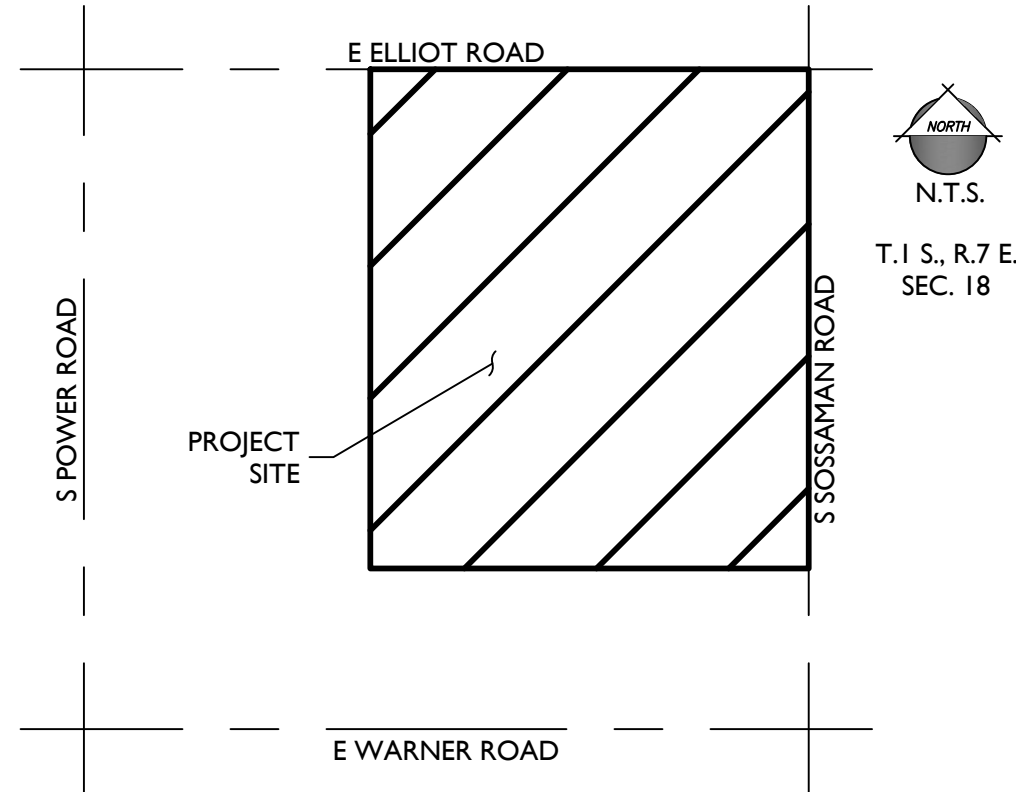


PRELIMINARY PLAT FOR THE BLOCK ON ELLIOT MESA, AZ

A PORTION OF SECTION 18, TOWNSHIP 1 SOUTH,
RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY ARIZONA

VICINITY MAP



OWNER:

MESA AZ INDUSTRIAL OWNER, LLC
18565 JAMBOREE RD, SUITE 200
IRVINE, CA 92612
PHONE: (949) 769-6707
CONTACT: TOM BITNEY
EMAIL: TBITNEY@SHOPOFF.COM

ARCHITECT:

WARE MALCOMB
2777 E CAMELBACK RD, SUITE 325
PHOENIX, AZ 85016
PHONE: (480) 767-1001
CONTACT: KEVIN EVERNHAM
EMAIL: kevernham@waremalcomb.com

CIVIL ENGINEER:

EPS GROUP, INC.
1130 N. ALMA SCHOOL RD, SUITE 120
MESA, ARIZONA 85201
PHONE: (480) 503-2250
CONTACT: JOHN HOLMAN, P.E.
EMAIL: john.holman@epsgruoinc.com

LANDSCAPE ARCHITECT:

GREY | PICKETT
7144 E STETSON DR, SUITE 205
SCOTTSDALE, ARIZONA 85251
PHONE: (480) 609-0009
CONTACT: WENDELL PICKETT
EMAIL: wpickett@greypickett.com

PROJECT DATA

APN: 304-17-05B, 304-17-014L, 304-17-014M
CURRENT LAND USE: AGRICULTURAL
EXISTING GENERAL PLAN: MIXED USE ACTIVITY/EMPLOYMENT
EXISTING ZONING: MC RU-43
GROSS AREA: 273.12 ACRES
NET AREA: 266.77 ACRES

BASIS OF BEARING:

THE MONUMENTED CENTERLINE OF SOSSAMAN ROAD BEING THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 7 EAST.
ASSUMED BEARING: NORTH 01 DEGREES 08 MINUTES 02 SECONDS WEST

BENCHMARK:

CITY OF MESA PUBLISHED BENCHMARK LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF POWER ROAD AND ELLIOT ROAD BRASS TAG IN HEADWALL
CITY OF MESA DATUM NAVD88 ELEVATION: 1327.63 FEET

FLOODPLAIN STATEMENT:

THIS PROJECT IS LOCATED WITHIN ZONE X OF THE F.E.M.A. FLOOD INSURANCE RATE MAP, MAP #04013C2760L, DATED OCT. 16 2013. ZONE X IS DEFINED AS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

GENERAL NOTES

- THIS PLAN IS NOT A CONSTRUCTION DOCUMENT.
- LOT DIMENSIONS ARE APPROXIMATE, FINAL LOT DIMENSIONS SHALL BE PER THE FINAL PLAT.
- ALL ROADS SHALL BE PRIVATE AND SHALL BE CONSTRUCTED TO CITY OF MESA MINIMUM STANDARDS AS MODIFIED HEREIN.
- THIS DEVELOPMENT WILL PROVIDE FOR INSTALLATION OF REQUIRED STREET LIGHTS.
- A MASTER PROPERTY OWNERS ASSOCIATION SHALL BE FORMED FOR THE PROPOSED DEVELOPMENT FOR OWNERSHIP AND MAINTENANCE OF ALL PRIVATE STREETS, LANDSCAPED AREAS, RECREATION AMENITIES, AND MAINTENANCE OF STREETLIGHTS AND SIDEWALKS ALONG PRIVATE STREETS.
- DRAINAGE CONCEPTS ARE SHOWN ON THE PRELIMINARY GRADING PLAN.

UTILITIES AND SERVICES

WATER	CITY OF MESA
SEWER	CITY OF MESA
ELECTRIC	SALT RIVER PROJECT
TELEPHONE	CENTURY LINK / COX
CABLE TV	CENTURY LINK / COX
FIRE	CITY OF MESA
POLICE	CITY OF MESA
NATURAL GAS	CITY OF MESA

PARCEL AREA TABLE		
PARCEL #	AREA (SF)	AREA (AC)
1	414726	9.52
2	568734	13.06
3	1118417	25.68
4	892290	20.48
5	1576013	36.18
6	2191154	50.30
7	1281936	29.43
8	3577434	82.13
TOTAL	11620703	266.77

150 0 150 300
scale: 1" = 150' feet

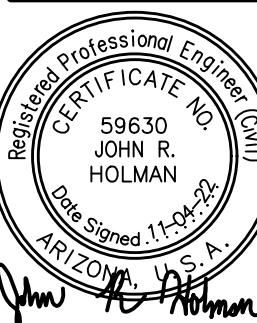
The Block on Elliot

Preliminary Plat Plan

Revisions:



Designer: JLH
Drawn by: GDT



Job No.
22-0222
PP01
Sheet No.
1
of 2

Nov 04, 2022 11:31am S:\Projects\2022\22-0222\Civil_Preliminary Plots\22-0222 - PP02.dwg



Call at least two full working days
before you begin excavation.

ARIZONA 811
Arizona One Stop, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (762-5348)
In Maricopa County: (602)263-1190

Sheet No.
2
of 2

Project: **The Block on Elliot**
7403 E Elliot Rd
Mesa, AZ 85212

Preliminary Plat Plan

EPS
GROUP

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