

Planning and Zoning Board

Meeting Minutes

Mesa City Council Chambers – Upper Level, 57 East 1st Street

Date: January 11, 2023 Time: 4:16 p.m.

MEMBERS PRESENT:

Jeff Crockett
Benjamin Ayers
Jessica Sarkissian*
Troy Peterson
Jeff Pitcher
Genessee Montes

MEMBERS ABSENT:

Shelly Allen

(*Boardmembers and staff participated in the meeting through the use of telephonic and video conference equipment)

STAFF PRESENT:

Mary Kopaskie-Brown
Rachel Nettles
Michelle Dahlke
Evan Balmer
Sean Pesek
Joshua Grandlienard
Chloe Durfee Daniel
Samantha Brannagan
Sarah Staudinger
Pamela Williams

OTHERS PRESENT:

Call Meeting to Order.

Chair Crockett declared a quorum present and the meeting was called to order at 4:16 p.m.

1 Take action on all consent agenda items.

Items on the Consent Agenda

2 Approval of minutes from previous meetings.

***2-a Minutes from the December 14, 2022 study session and regular meeting hearing.**

Boardmember Pitcher motioned to approve the minutes from the December 14, 2022 study session and regular meeting. The motion was seconded by Boardmember Peterson.

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher, Montes

NAYS – None

3 Take action on the following zoning cases:

Boardmember Ayers motioned to approve the consent agenda. The motion was seconded by Boardmember Pitcher.

Zoning Cases: ZON22-01012, ZON22-01061, ZON22-00916, ZON22-00921, and ZON22-01010 and Preliminary Plats The Block on Elliot, and Legacy Gateway Hotels.

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher, Montes

NAYS – None

* * * * *

Note:Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

- *3-a ZON22-01012. “Hawes Crossing Mixed Use Phase 1”.** District 6. Within the 7900 to 8400 blocks of East Elliot Road (south side) and within the 3600 through 3700 blocks of South 79th Street (east side) and within the 3600 through 3700 blocks of South Hawes Road (west side). Located west of Hawes Road and east of Sossaman Road on the south side of Elliot Road (62± acres). Site Plan Review and Special Use Permit. This request will allow for a multiple residence development. Teresa Forsberg, ESG Architecture, applicant; Trammell Crow Company, owner.

Planner: Sean Pesek

Staff Recommendation: Approval with conditions

Summary: This case was on the consent agenda and was not discussed individually.

Boardmember Pitcher motioned to approve Case ZON22-01012. The motion was seconded by Boardmember Peterson.

That: The Board recommends to approve Case ZON22-01012 conditioned upon:

1. Compliance with all conditions of approval for Case No. ZON17-00606 (Ordinance No. 5566).
2. Compliance with the Hawes Crossing Development Agreement No. 3144 (Recorders No. 2020-0381318) and approved master reports.
3. Compliance with the final site plan and landscape plan submitted.
4. Compliance with all requirements of Design Review case DRB22-01013.
5. Prior to issuance of any building permit, the applicant must submit, receive approval of, and record a lot combination to combine parcels 304-30-002H, 304-30-002M, 304-30-002N, and 304-30-003M.
6. All off-site improvements and street frontage landscaping to be installed in the first phase of construction.
7. Site Plan Review through the public hearing process of future development plans for Phase 2, including the commercial development denoted on the conceptual site plan as “Future Retail by Others.”
8. Compliance with all requirements of Chapter 19 of the Zoning Ordinance including:
 - a. Owner must execute the City’s standard Avigation Easement and Release for Phoenix-Mesa Gateway Airport prior to or concurrently with the recordation of the final subdivision map or the issuance of a building permit, whichever occurs first.
 - b. Due to the proximity to Phoenix-Mesa Gateway Airport, any proposed permanent or temporary structure, as required by the FAA, is subject to an FAA filing for review in conformance with CFR Title 14 Part 77 (Form 7460) to determine any effect to navigable airspace and air navigation facilities. A completed form with a response by the FAA must accompany any building permit application for structure(s) on the property.
 - c. Prior to the issuance of any building permit, provide documentation by a registered professional engineer or registered professional architect demonstrating compliance with the noise level reductions required in Section 11-19-5 of the Mesa Zoning Ordinance.
 - d. Provide written notice to future property owners that the project is within two miles of Phoenix-Mesa Gateway Airport.
 - e. All final subdivision plats must include a disclosure notice in accordance with Section 11-19-5(C) of the Zoning Ordinance which must state in part: “This property, due to

its proximity to the Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals.

9. Compliance with all City development codes and regulations, except the modifications to the development standards approved with Case No. ZON17-00606.

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Allen, Peterson, Pitcher

NAYS – None

* * * * *

Note:Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at

www.mesaaz.gov

3-b ZON22-01020. “Costco MDO Building”. District 6. Within the 9400 to 9600 blocks of East Peterson Avenue (south side), within the 3400 block of South 94th Place (east side), and within the 3400 block of South 96th Street (west side). Located north of Elliot Road and east of Ellsworth Road. (12± acres). Site Plan Review. This request will allow for an industrial development. Mary McNear, Beus Gilbert McGroder, PLLC., applicant; SUNBELT HOLDINGS, owner.

Planner: Sean Pesek

Staff Recommendation: Approval with conditions

Summary:

Staff Planner Sean Pesek presented Case ZON22-01020. See attached presentation.

Chair Crockett asked what is the purpose of the Elliot Road Tech Overlay was and if an entity can be opted into it?

Staff Planner Sean Pesek responded that it shortens the entitlement process for developers and that there is an offset to that. There are standards that need to be met if a developer decides to opt into that Technology Corridor Overlay.

Chair Crockett asked if it limits the uses that are allowed on a property.

Staff Planner Sean Pesek responded, yes there are a handful of uses that are outlined in the ordinance for the Elliot Road Tech Corridor, that would not be allowed if the property owner opted in.

Chair Crockett asked if the property owner has not opted in and added that his concern was that Mesa has invested millions of dollars in developing the Elliot Road Tech Corridor, and while he loves Costco, and having them in Mesa, he does not love the idea of having them use this space that is highly desirable for the Elliot Road Tech Corridor. Chair Crockett continued that this is a Site Plan review before the Board and asked if there any is there any basis to support opposing the site plan based on the concerns that he has.

Staff Planner Sean Pesek responded that there is a lot of criteria to look at, and that the section of the code was looked at during the review process, and that staff did not find a basis to recommend denial within that criteria.

Chair Crockett invited the applicant to speak.

Applicant, Mary Grace Mc Near spoke and introduced other members for her team, and stated that this has been a pretty big effort on her team’s part to meet all of staff’s requirements and requests. Mary McNear added that this will be the first ground up MDO warehouse in Arizona for Costco and that they’re excited to join the community in this way and addressed the site plan review criteria, additionally stating that they have worked with Staff Planner Sean Pesek and Principal Planer Evan Balmer closely. She added that they have not opted into the Elliot Road Technology Corridor Overlay, and point out that Section 11-69-5a of the Mesa Zoning Ordinance states that one of the criteria is that the project is consistent with and conforms to

the adopted General Plan, and any applicable sub area or neighborhood plans. Mary McNear stated that the project is permitted under LI ,and that the Elliot Road Technology Corridor Plan would fall under this General Plan Neighborhood sub area plans, that the Board is supposed to analyze and that in this case, because the use is allowed by the underlying zoning, and haven't opted into that overlay, it says except no analysis of the use, if it is permitted in the zoning district on the property. She added that is the closest criteria to be considered with regard to with regard to the use on the property.

Chari Crockett asked what MDO stand for.

It was determined that it stood for Market Delivery Operation.

Applicant Mary McNear continued by explaining that this is a single merchandise transfer building that would employ 75 employees full time and that large or bulky products would go to a direct distribution center where it would be unboxed, checked and set it up for an appointment with the person who ordered it. The item would then queue it for delivery and some people come on carriers and deliver those products out to basically the metro Phoenix area. Mary added that it also has corporate offices in the building, but nothing on the weekend.

Conversation ensued and it was determined that this was the first ground up construction of a Costco MDO building in Arizona, and that other building have been converted. It was also determined that this will serve the east valley and about half of Central Phoenix.

Applicant Mary McNear continued that there have been a lot of changes to conform to the required Design Guidelines, including changes to the site plan mentioning primary access from 94th street and then at the north side of the building onto Peterson, with secondary access on the north. Mary McNear also added that the building met the zoning code requirements, the setbacks exceed the minimums requirements, and that the truck docks have access from the side of the site. She also stated that the orientation of the building and the screening provide a physical and visual separation between the distribution operations and the rest of the building. Mary McNear listed the landscaping plan, design standards for landscaping and varied the roofline and requirements or enhancements that the neighbor to the south, asked us about adding better landscaping as well as, improvements on the facade of the south side and that the changes were made. Applicant Mary McNear concluded by stating that they understand that the Elliot Road Technology Corridor is there and that the City wants that to develop with high tech uses but that this property owner has not opted in and there's only one property owner in the Elliot Road Technology Corridor that has opted in and has taken advantage of that.

Chair Crockett asked if the offices are local offices? Is this any type of corporate office?

Applicant Mary McNear responded that they will employ people who run the operations at the MDO and will be permanent employees there.

Christine Leslie, Director of Real Estate for Costco, added that there will be a regional office representing this area that's going to be housed within this facility and that there is going to be more employees than what is usually in their typical market delivery operations.

Chair Crockett closed the public hearing.

Boardmember Pitcher stated that he concurs with Chairman Crockett, that he loves Costco, but is concerned about the use in this area because it really is an area that the City has tried to set aside for high wage technology related jobs and would put for a “grumbling” approval.

Boardmember Peterson motioned to approve Case ZON22-01020. The motion was seconded by Boardmember Ayers.

That: The Board recommends to approve Case ZON22-01020 conditioned upon:

1. Compliance with final site plan and final landscape plan submitted.
2. Compliance with all requirements of Design Review Case No. DRB22-01111.
3. Compliance with Ordinance No. 4803.
4. Compliance with Ordinance No. 5255.
5. All perimeter landscape improvements, as shown on the Final Landscape Plan submitted, shall be installed with the first phase of development.
6. All off-site improvements and street frontage landscaping to be installed in the first phase of construction.
7. Compliance with all requirements of Chapter 19 of the Zoning Ordinance including:
 - a. Owner must execute the City’s standard Avigation Easement and Release for Phoenix-Mesa Gateway Airport prior to or concurrently with the recordation of the final subdivision map or the issuance of a building permit, whichever occurs first.
 - b. Due to the proximity to Phoenix-Mesa Gateway Airport, any proposed permanent or temporary structure, as required by the FAA, is subject to an FAA filing for review in conformance with CFR Title 14 Part 77 (Form 7460) to determine any effect to navigable airspace and air navigation facilities. A completed form with a response by the FAA must accompany any building permit application for structure(s) on the property.
 - c. Prior to the issuance of any building permit, provide documentation by a registered professional engineer or registered professional architect demonstrating compliance with the noise level reductions required in Section 11-19-5 of the Mesa Zoning Ordinance.
 - d. Provide written notice to future property owners that the project is within 1 mile of Phoenix-Mesa Gateway Airport.
 - e. All final subdivision plats must include a disclosure notice in accordance with Section 11-19-5(C) of the Zoning Ordinance which must state in part: “This property, due to its proximity to the Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals.

Vote: 5-1 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Ayers, Sarkissian, Peterson, Pitcher, Montes

NAYS – Crockett

* * * * *

Note: Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

***3-c ZON22-01061. “Gravity Energy Drinks”.** District 1. Within the 100 block of West McKellips Road (north side) and within the 2000 block of North Center Street (west side). Located north of McKellips Road and west of Center Street. (1± acre). Site Plan Review. This request will allow for a restaurant with drive-thru. Tim Rasnake, Archicon Architecture & Interiors, applicant; Ibnnoor Management LLC, owner.

Planner: Samantha Brannagan

Staff Recommendation: Approval with conditions

Summary: This case was on the consent agenda and was not discussed individually.

Boardmember Pitcher motioned to approve Case ZON22-01061. The motion was seconded by Boardmember Peterson.

That: The Board recommends to approve Case ZON22-01061 conditioned upon:

1. Compliance with final site plan, landscape plan, and elevations submitted.
2. Compliance with all City development codes and regulations.

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher, Montes

NAYS – None

* * * * *

Note:Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

- *3-d ZON22-01064. “Gravity Energy Drinks”.** District 1. Within the 2900 block of East McKellips Road (south side). Located east of Lindsay Road on the south side of McKellips Road. (1± acre). Site Plan Review and a Special Use Permit. This request will allow for a restaurant with a drive-thru. Tim Rasnake, Archicon, Architecture and Interiors, LC applicant; Travis Carter, McKellips Lindsay Equities LLC owner.

Planner: Chloe Durfee Daniel

Staff Recommendation: Approval with conditions

Summary:

Staff Planner Chloe Durfee Daniel presented Case ZON22-01064. See attached presentation.

Chair Crockett invited the applicant to speak.

Applicant Jerry Plank, 555 E. Washington Street, Phoenix spoke and addressed traffic concerns. Applicant Jerry Plank added that he has worked with traffic and that there are some existing driveways and that their driveway is located in between those two driveways. He added that sliding their driveway to the east or to the west would conflict with the driveways across the street, as they come out and make their turn going the opposite direction. Applicant Jerry Plank added that traffic engineers also asked them to put a cross access agreement that leads into the other lot which allows a future development to use their entrance and not have another entrance that conflicts with the one across the street. Mr. Plank added that his project is drive thru only, there is no walk up and no squawk boxes and there is 486 feet of drive-thru space so cars could control themselves on the lot. Mr. Plank stated that his team worked very hard to get a substantial drive-thru that was different than everything else and meets the 50-foot throat criteria that the City wants. Mr. Plank added that due to the configuration, the site can stack cars down that lane without conflicting with anybody coming in or anybody getting through the cross access and that that was thought about, as part of this design.

Boardmember Pitcher stated that the concern is when people come out of the double barrel drive thru there is a choke point, and when the cars exit it could be a second choke point.

Applicant Jerry Plank responded that the cars could be metered by the way timing of the service they receive adding that on the elevations, there are sliding glass doors, and employees carry the product to the car and hand it to them. Mr. Plank added that there are additional people in shade structures along the path around the back that hold iPads and take orders and payments. He also stated that transportation staff didn't believe it was that big of a problem and that a car moving in that direction has never come up.

Chair Crockett asked why the applicant wasn't willing to do that flip the site plan.

Mr. Plank responded that some of the reason had to do with the property next door and that they weren't going to get an entrance onto the main street. And that if they flipped the building, they would have created a much more difficult problem. Mr. Plank also stated that they pushed their building farthest to the west to get it out of what was considered a choke point.

Mr. Plank added that to the east of there, there's very similar uses siting a Sonic, a Filiberto's and that the property next to it would likely be very similar.

Chair Crockett closed the public hearing.

Peter Vargas of the Transportation Department attempted to join virtually.

Property owner Travis Carter read an email response from Peter Vargas after a phone call that said, for our discussion we will plan for the future connectivity to the pad to the east of us from our pad and plan on using our access drive shown on the middle for both pads. Mr. Carter stated that it was their intention to avoid multiple curb cuts and that on their plan, the added internal access drive would allow the pad to the east of them to be able to have back and forth on to McKellips. And that it was through dialogue and discussion, and recommendation from traffic engineering Peter Vargas.

Chair Crockett talked about a sign that was posted in the site.

Property owner Travis Carter clarified that the sign says, "Gravity Energy Drinks coming soon," and that he is the owner of the pad but not the additional pads.

Peter Vargas was unable to join the meeting.

Boardmember Peterson motioned to approve Case ZON22-01064. The motion was seconded by Vice Chair Ayers.

That: The Board recommends to approve Case ZON22-01064 conditioned upon:

1. Compliance with the final site plan submitted.
2. Compliance with all requirements of Design Review Case No. DRB22-00929.
3. Compliance with all City development codes and regulations.
4. Prior to issuance of any building permit, record a cross-access easement with the adjacent property to the east to allow cross access between the two properties.
5. Prior to application for any building permit, apply for and receive approval for an Administrative Use Permit to allow the number of parking spaces to exceed 125% of the minimum required parking spaces or reduce the parking to comply with the Zoning Ordinance.
6. Compliance with all requirements of Chapter 19 of the Zoning Ordinance including:
 - a. Owner must execute the City's standard Avigation Easement and Release for Falcon Field Airport prior to or concurrently with the recordation of the final subdivision map or the issuance of a building permit, whichever occurs first.

- b. Due to the proximity to Falcon Field Airport, any proposed permanent, or temporary structure, as required by the FAA, is subject to an FAA filing, for review in conformance with CFR Title 14 Part 77 (Form 7460) to determine any effect to navigable airspace and air navigation facilities. A completed form with a response by the FAA must accompany any building permit application for structure(s) on the property.
- c. Provide written notice to future property owners that the project is within two miles of Falcon Field Airport.
- d. Prior to issuance of any building permit, provide documentation by a registered professional engineer or registered professional architect demonstrating compliance with the noise level reductions required in Section 11-19-5 of the Mesa Zoning Ordinance.
- e. All final subdivision plats must include a disclosure notice in accordance with Section 11-19-5(C) of the Zoning Ordinance which must state in part: "This property, due to its proximity to the Falcon Field Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals."

Vote: 5-1 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Montes

NAYS – Pitcher

* * * * *

Note: Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also "live broadcasted" through the City of Mesa's website at www.mesaaz.gov

4 Discuss and make a recommendation to the City Council on the following zoning cases:

- *4-a ZON22-00916. “Boomerang Headquarters”.** District 2. Within the 2500 to 2600 blocks of East Southern Avenue (north side). Located west of Lindsay Road on the north side of Southern Avenue. (1± acre). Rezone from Single Residence-43 (RS-43) to Office Commercial with a Bonus Intensity Zone Overlay (OC-BIZ) and Site Plan Review. This request will allow for an office development. Dane Astle, EDIFICE Architecture, applicant; Boomerang Southern, LLC, Boomerang Capital Partners owner.

Planner: Chloe Durfee Daniel

Staff Recommendation: Approval with conditions

Summary: This case was on the consent agenda and was not discussed individually.

Boardmember Pitcher motioned to approve Case ZON22-00916 motion was seconded by Boardmember Peterson.

That: The Board recommends to approve Case ZON22-00916 conditioned upon:

1. Compliance with the final site plan and landscape plan submitted.
2. Compliance with all requirements of Design Review Case No. DRB22-01150.
3. Dedicate the right-of-way and easements required under the Mesa City Code at the time of application for a building permit, at the time of recordation of the subdivision plat, or at the time of the City's request for dedication whichever comes first.
4. Compliance with all City development codes and regulations except the modifications to the development standards as approved with this BIZ and shown in the following table:

MZO Development Standards	Approved
<u>Minimum Required setback for cross drive aisles</u> - Section 11-32-4(A)	33 feet, 6-inches
<u>Minimum Required Landscape Yard</u> - Section 11-33-3(B) -Non-Single Residence Uses Adjacent to Single Residence (North property line)	0 feet
-Non-Single Residence Uses Adjacent to Other Non-Single Residence (East property line) (West property line)	8 feet 8 feet, 6-inches

<u>Minimum Required Building Setback</u> - Section 11-6-3(A) -Interior side and rear adjacent to Non-Residence Districts (West property line)	8 feet, 6-inches
--	------------------

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher, Montes

NAYS – None

* * * * *

Note:Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

- *4-b ZON22-00921. "The Block".** District 6. Within the 7100 to 7600 blocks of East Elliot Road (south side) and within the 3600 to 4200 blocks of South Sossaman Road (west side). Located west of Sossaman Road on the south side of Elliot Road. (273± acres). Rezone from Agriculture (AG) to Light Industrial with a Planned Area Development Overlay (LI-PAD) and Site Plan Review. This request will allow for the development of an industrial business park. Pew & Lake, applicant; B&K Land & Inv Co owner. (Companion case to Preliminary Plat "The Block on Elliott", associated with item *5-a)

Planner: Joshua Grandlienard

Staff Recommendation: Continue to the February 8, 2023 Planning and Zoning Board meeting

Summary: This case was on the consent agenda and was not discussed individually.

Boardmember Pitcher motioned to continue Case ZON22-00921 to the February 8, 2023 Planning and Zoning Board meeting. The motion was seconded by Boardmember Peterson.

That: The Board recommends to continue Case ZON22-00921 to the February 8, 2023 Planning and Zoning Board meeting.

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher

NAYS – None

* * * * *

Note:Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also "live broadcasted" through the City of Mesa's website at www.mesaaz.gov

- 4-c ZON22-00977. "Mountain Bridge Parcel 16".** District 5. Within the 9000 to 9200 blocks of East McKellips Road (south side) and within the 1800 to 2000 blocks of North Ellsworth Road (west side). Located south of McKellips Road and west of Ellsworth Road. (4± acres). Rezone from Neighborhood Commercial with a Planned Area Development Overlay (NC-PAD) to Single Residence-9 with a Bonus Intensity Overlay (RS-9-BIZ). This request will allow for the development of a single residence subdivision. Pew and Lake PLC, applicant; Phoenix Land Division LLC owner.

Planner: Joshua Grandlienard

Staff Recommendation: Approval with conditions

Summary:

Staff Planner Joshua Grandlienard presented Case ZON22-00977. See attached presentation.

Chair Crockett invited the applicant to speak.

Assistant Planning Director Rachel Nettles added a point of clarification that this request is just the rezone, and that site plan is purely conceptual; the applicant would have to come back at a later date for a preliminary plat.

Applicant Sean Lake 1744 S. Val Vista, presented. See attached presentation.

Chair Crockett opened the public hearing.

Diane Desmond, 1852 N Red Cliff spoke, and added that she is a three-time Blandford homeowner but has concerns for the back of this project citing traffic, lights and gate noise. Ms. Desmond stated that she was speaking on behalf of additional neighbors who also paid \$25 to \$35,000 premiums to back up to that, knowing that there would be a commercial site. But that she is disappointed that because he couldn't sell that as commercial, that he's now asking to change and develop it residentially. Ms. Desmond also stated that the view that she will have now will be houses and they will be living in a construction site for a couple of years while this is going on. Ms. Desmond express that neighbors joked it would be great coffee shop, or a little wine bar that they could all walk to, but that they definitely did not want another gas station.

Nathan Wexel, 1939 N. Atwood, spoke and stated that he is at the corner of Yeager that he had concern regarding the 23 houses causing an increase in traffic. Mr. Wexel added that people are generally in favor "of this" and that he doesn't want to have a gas station, a grocery store, or dry-cleaning stating that he wanted construction traffic to come in through the access that's going to be the emergency access. Mr. Wexel stated that he would rather see houses in there than gas station.

Chair Crockett added read a comment that was submitted:

Lorraine Nelson, 1824 N. Bernard- We bought our home in Canyon Preserve. We were told the referenced property was zoned for commercial development, namely a

grocery store. A grocery store is sorely needed. There are many housing developments and custom homes from Thomas Road to Brown Road and Signal Butte Road to the 202. Please do not approve this housing subdivision as we are in desperate need of a grocery store.

Chair Crockett stated that was all the public comments he had and closed the public hearing. He invited Mr. Lake back up to respond to the public comments.

Mr. Lake responded, noting the public outreach and working with the neighbors that people would much prefer to see the residential over commercial development. Mr. Lake cited that Mr. Blandford put up a chain link fence to stop people from cutting through using that road and added that with a residential development, there would be significantly less traffic, and produce far less lighting which he feels is more compatible with the area. Mr. Lake also added that they will work with the to not interrupt those neighbors that live there.

Chair Crockett asked if the owner of the property could control with what is built there.

Mr. Lake stated that the owner could, but that this location is a quiet area, but an eatery, or commercial business is not an appropriate. Mr. Lake added that they think of the use as a much quieter, less intense, less intrusive, more compatible project. Mr. Lake also added that Mr. Blandford is trying to do the right thing and sell it to the right person himself to do something quality as opposed to selling to make a greater profit.

Boardmember Pitcher asked what the general size a neighborhood grocery store would be?

Applicant Sean Lake responded that a Walmart Neighborhood Market will typically go on something about seven to eight acres and that they like to have accessory stores. Mr. Lake added that the Fry's on McKellips and Stapley is probably at about 20 acres.

Conversation ensued and Mr. Lake stated that the lighting would be consistent with what has been done with the rest of Mountain Bridge.

Boardmember Sarkissian stated that she lives in this area, not in the neighborhood, but in that intersection and there they were hoping for a little boutique but, as been pointed out by Mr. Lake and others is that the access issues off the Ellsworth Road is a major issue that is going to deter that. Boardmember Sarkissian added that as you head down McKellips Road it's not going to draw commercial because that easterly direction is heading towards Crismon Road and is not serving a population to go further than Ellsworth Road. She added that it is really difficult and even if we were to get a boutique shop, ice cream, or wine shop, the issue becomes is they are going have to pay for the development of that, and a smaller entity like that is not going to be able to afford to do to do that, her my opinion. Boardmember Sarkissian added that she would love something there with access to where she lives but doesn't believe that that is actually going to be a feasible use of that site, and so therefore it is reasonable that it is going back to the residential as it was before.

Boardmember Pitcher motioned to approve Case ZON22-00977. The motion was seconded by Boardmember Montes.

That: The Board recommends approval of Case ZON22-00977 conditioned upon:

1. Dedicate the right-of-way and easements required under the Mesa City Code at the time of application for any building permit, at the time of recordation of a subdivision plat, or at the time of the City's request for dedication, whichever comes first.
2. Prior to the issuance of a building permit, obtain approval of and record a final subdivision plat for the subject parcels.
3. Prior to issuance of a building permit, obtain approval of an Administrative Review for product approval of the proposed homes.
4. Compliance with all City development codes and regulations, except the modifications to the development standards as approved with this BIZ and shown in the following table:

Development Standards	Approved
<u>Minimum Lot Area</u> – <i>MZO Table 11-5-3.A.1</i>	6,000 square feet
<u>Minimum Lot Width</u> – <i>MZO Table 11-5-3.A.1</i>	50 feet
<u>Building setbacks (Minimum Yards)</u> – <i>MZO Table 11-5-3.A.1</i>	Front (enclosed livable areas, porches, and porte cocheres) and side loaded garages– 10 feet Front Garages Only – 18 feet Street side – 5 feet only when adjacent to minimum 8 foot wide landscape tract Interior Side: minimum either side – 5 feet Interior Side: minimum aggregate of 2 sides – 10 feet Interior Rear – 15 feet only when adjacent to minimum 10 foot wide landscape tract

	Rear Yard Next to Arterial Road – 15 feet only when adjacent to minimum 10 foot wide landscape tract
<u>Garage Front Distance from Primary Building Front –</u> <i>MZO Section 11-5-3(B)(4)(a)</i>	Forward facing garages shall be located at least two (2) feet behind the primary wall facing the street, and never less than the required garage setback.
<u>3-Car Garages allowed –</u> <i>MZO Section 11-5-3(B)(4)</i>	3- car garages are permitted but only when designated as a tandem 3-car or side-loaded 3-car garage
<u>Minimum Front Porch Dimensions</u> <i>MZO Section 11-5-3(B)(3)(a)</i>	Minimum Depth of 3 feet from façade to posts or column, minimum width of 6 feet
<u>Elevation Material Calculations –</u> <i>MZO Section 11-5-3(B)(7)</i>	For Spanish Elevations only, buildings may contain less than two primary exterior materials.

- 5) Prior to approval of the preliminary plat, the property owner will provide the City a landscape plan showing enhanced monumentation along the corner of McKellips Road and Ellsworth Road, with a depth greater than 28 feet, which will include landscaping, and may include monument signage, public art, or a combination thereof, for review and approval.

Vote: 5-1 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Ayers, Sarkissian, Peterson, Pitcher, Montes

NAYS – Crockett

* * * * *

Note: Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

- *4-d ZON22-01010. "Legacy Gateway Hotels".** District 6. Within the 9600 to 9900 blocks of East Williams Field Road (north side). Located north of Williams Field Road and west of the State Route 24 Gateway Freeway. (11± acres). Council Use Permit, Site Plan Review; and Special Use Permit. This request will allow for the development of multiple hotels and a retail pad. Gammage and Burnham, applicant; Mesa BA Land, LLC, owner. (Companion case to Preliminary Plat "Legacy Gateway Hotels", associated with item *5-b)

Planner: Joshua Grandlienard

Staff Recommendation: Approval with conditions

Summary: This case was on the consent agenda and was not discussed individually.

Boardmember Pitcher motioned to approve Case ZON22-01010. The motion was seconded by Boardmember Peterson.

That: The Board recommends to approve Case ZON22-01010 conditioned upon:

1. Compliance with the final site plan submitted.
2. Compliance with the landscape plan submitted.
3. Compliance with the Preliminary Plat submitted.
4. Compliance with all requirements of the Subdivision Regulations.
5. Compliance with all requirements of Design Review, DRB22-01074.
6. Dedicate the right-of-way and easements required under the Mesa City Code at the time of application for a building permit, or at the time of the City's request for dedication whichever comes first.
7. Compliance with all requirements of Chapter 19 of the Zoning Ordinance including:
 - a. Owner must execute the City's standard Avigation Easement and Release for Phoenix-Mesa Gateway Airport prior to or concurrently with the recordation of the final subdivision map or the issuance of a building permit, whichever occurs first.
 - b. Due to the proximity to Phoenix-Mesa Gateway Airport, any proposed permanent, or temporary structure, as required by the FAA, is subject to an FAA filing, for review in conformance with CFR Title 14 Part 77 (Form 7460) to determine any effect to navigable airspace and air navigation facilities. A completed form with a response by the FAA must accompany any building permit application for structure(s) on the property.
 - c. Provide written notice to future property owners that the project is within one mile of Phoenix-Mesa Gateway Airport.
 - d. Prior to issuance of any building permit, provide documentation by a registered professional engineer or registered professional architect demonstrating compliance with the noise level reductions required in Section 11-19-5 of the Mesa Zoning Ordinance.
 - e. All final subdivision plats must include a disclosure notice in accordance with Section 11-19-5(C) of the Zoning Ordinance which must state in part: "This property, due to its proximity to the Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals."

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher

NAYS – None

* * * * *

Note:Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

5 Discuss and take action on the following preliminary plats:

- *5-a The Block on Elliot.** District 6. Within the 7100 to 7600 blocks of East Elliot Road (south side) and within the 3600 to 4200 blocks of South Sossaman Road (west side). Located west of Sossaman Road on the south side of Elliot Road. (273± acres). Preliminary Plat. This request will allow for the development of an industrial business park. Pew & Lake, applicant; B&K Land & Inv Co owner. (Companion case to ZON22-00921, associated with item * 4-b).

Planner: Josh Grandlienard

Staff Recommendation: Continue to the February 8, 2023 Planning and Zoning Board meeting

Summary: This case was on the consent agenda and was not discussed individually.

Boardmember Pitcher motioned to continue the preliminary plat “The Block on Elliot” to the February 8, 2023 Planning and Zoning Board meeting. The motion was seconded by Boardmember Peterson.

That: The Board recommends to continue preliminary plat “The Block on Elliot” to the February 8, 2023 Planning and Zoning Board meeting.

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher

NAYS – None

* * * * *

Note: Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

- *5-b Legacy Gateway Hotels.** District 6. Within the 9600 to 9900 blocks of East Williams Field Road (north side). Located north of Williams Field Road and west of the State Route 24 Gateway Freeway. (11± acres). Preliminary Plat. This request will allow for the development of multiple hotels and a retail pad. Gammage and Burnham, applicant; Mesa BA Land, LLC, owner (Companion case to ZON22-01010, associated with item * 4-d)

Planner: Joshua Grandlienard

Staff Recommendation: Approval with conditions

Summary: This case was on the consent agenda and was not discussed individually.

Boardmember Pitcher motioned to approve preliminary plat “Legacy Gateway Hotels”. The motion was seconded by Boardmember Peterson.

That: The Board recommends to approve preliminary plat “Legacy Gateway Hotels” conditioned upon:

1. Compliance with the final site plan submitted.
2. Compliance with the landscape plan submitted.
3. Compliance with the Preliminary Plat submitted.
4. Compliance with all requirements of the Subdivision Regulations.
5. Compliance with all requirements of Design Review, DRB22-01074.
6. Dedicate the right-of-way and easements required under the Mesa City Code at the time of application for a building permit, or at the time of the City's request for dedication whichever comes first.
7. Compliance with all requirements of Chapter 19 of the Zoning Ordinance including:
 - a. Owner must execute the City's standard Avigation Easement and Release for Phoenix-Mesa Gateway Airport prior to or concurrently with the recordation of the final subdivision map or the issuance of a building permit, whichever occurs first.
 - b. Due to the proximity to Phoenix-Mesa Gateway Airport, any proposed permanent, or temporary structure, as required by the FAA, is subject to an FAA filing, for review in conformance with CFR Title 14 Part 77 (Form 7460) to determine any effect to navigable airspace and air navigation facilities. A completed form with a response by the FAA must accompany any building permit application for structure(s) on the property.
 - c. Provide written notice to future property owners that the project is within one mile of Phoenix-Mesa Gateway Airport.
 - d. Prior to issuance of any building permit, provide documentation by a registered professional engineer or registered professional architect demonstrating compliance with the noise level reductions required in Section 11-19-5 of the Mesa Zoning Ordinance.
 - e. All final subdivision plats must include a disclosure notice in accordance with Section 11-19-5(C) of the Zoning Ordinance which must state in part: “This property, due to its proximity to the Phoenix-Mesa Gateway Airport, will

experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals.”

Vote: 6-0 (Boardmember Allen, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher

NAYS – None

* * * * *

Note:Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov

6 Adjournment.

Boardmember Peterson motioned to adjourn the meeting. The motion was seconded by Boardmember Pitcher.

Vote: 6-0 (Boardmember Montes, absent)

Upon tabulation of vote, it showed:

AYES – Crockett, Ayers, Sarkissian, Peterson, Pitcher

NAYS – None

The City of Mesa is committed to making its public meetings accessible to persons with disabilities. For special accommodations, please contact the City Manager's Office at (480) 644-3333 or AzRelay 7-1-1 at least 48 hours in advance of the meeting.

Si necesita asistencia o traducción en español, favor de llamar al menos 48 horas antes de la reunión al (480) 644-2767.

Respectfully submitted,

Michelle Dahlke
Principal Planner

* * * * *

Note: Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov



Planning & Zoning Board



ZON22-01020



Request

- Site Plan Review
- To allow for an industrial development





Location

- North of Elliot Road
- East of Ellsworth Road
- East side of 94th Place
- South side of Peterson Ave
- West side of 96th Street

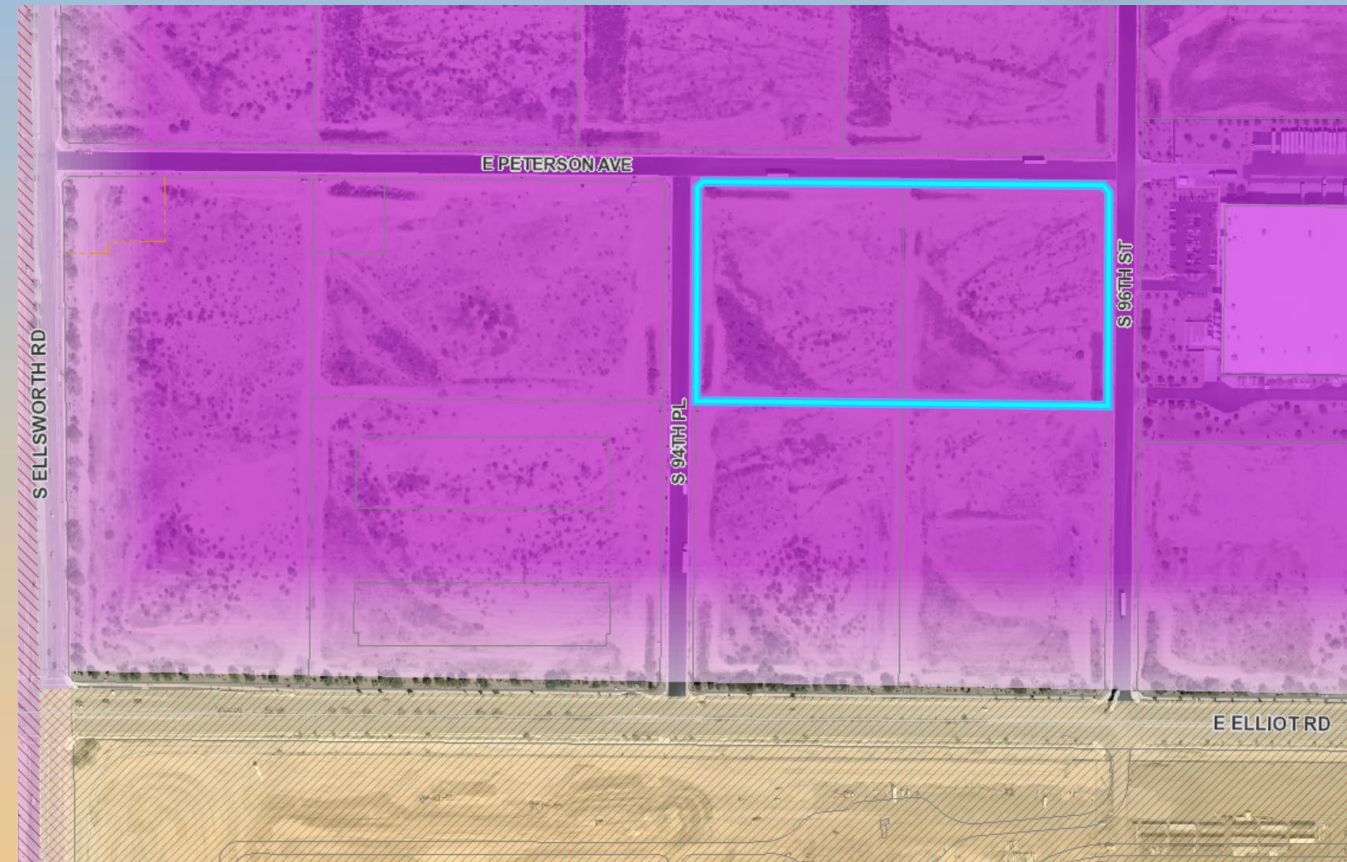




General Plan

Employment

- Wide range of employment in high-quality settings





Zoning

- Light Industrial with a Planned Area Development overlay (LI-PAD-PAD)
- Proposed use is permitted by right in the underlying zone





Site Photos

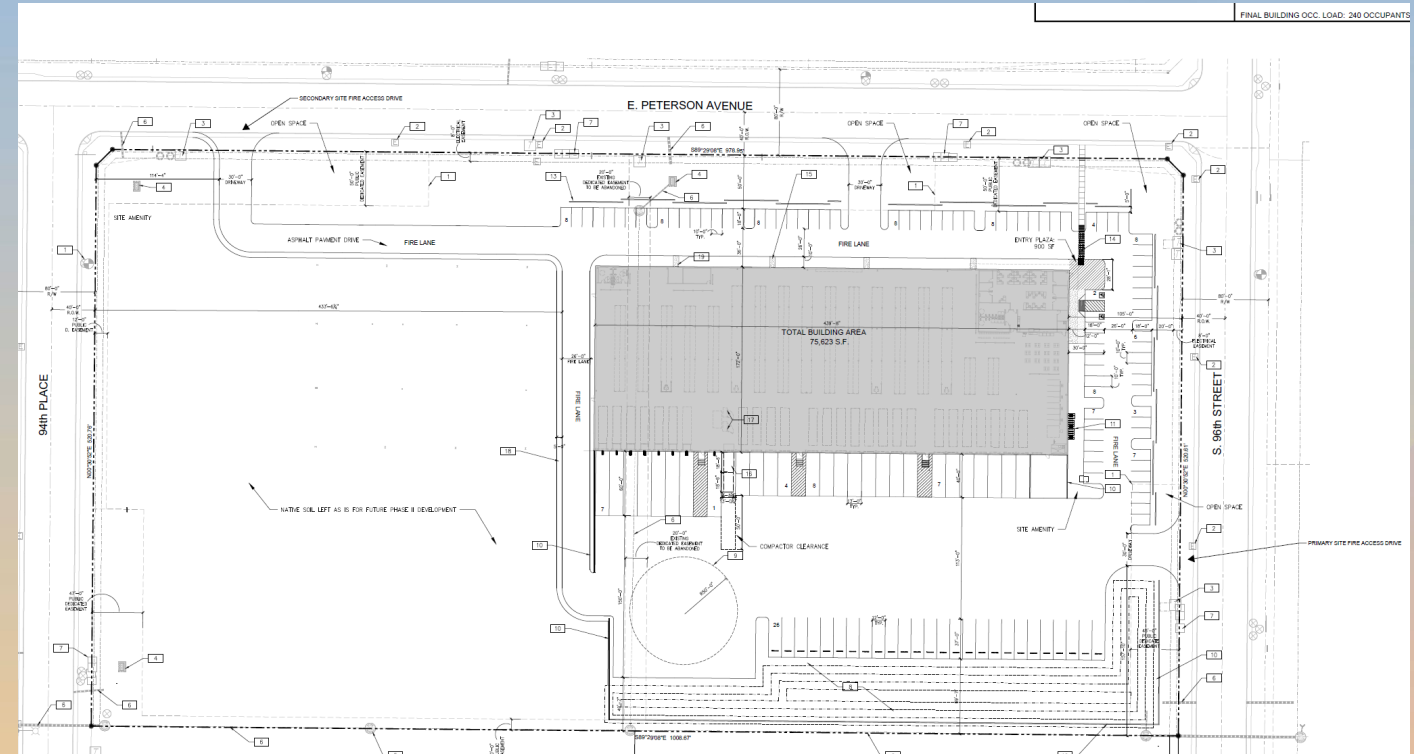


Looking south from Peterson Ave



Site Plan

- 72,623 SF building
- Loading bays and trailer parking on the south side
- 8' screening for truck docks
- Access from Peterson and 96th Street
- 84 parking spaces provided





Landscape Plan



SYMBOL

TREES:



BOTANICAL NAME COMMON NAME

SIZE

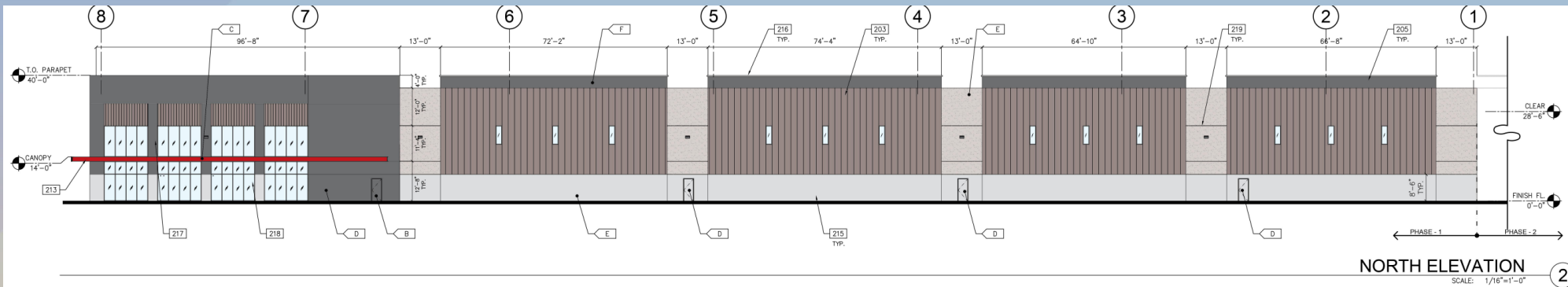
QTY

COMMENTS

<i>Caesalpinia mexicana</i> Mexican Bird of Paradise	15 gal 24" box	16 14	STANDARD
<i>Chitalpa tashkentensis</i> Chitalpa	15 gal	44	STANDARD
<i>Pistachia chinensis</i> 'Red Push' Red Push Pistahe	24" box	30	STANDARD
<i>Prosopis chilensis</i> Thornless Chilean Mesquite	24" box	26	MULTI-TRUNK
<i>Quercus virginiana</i> Live Oak	24" box 36" box	24 25	STANDARD STANDARD

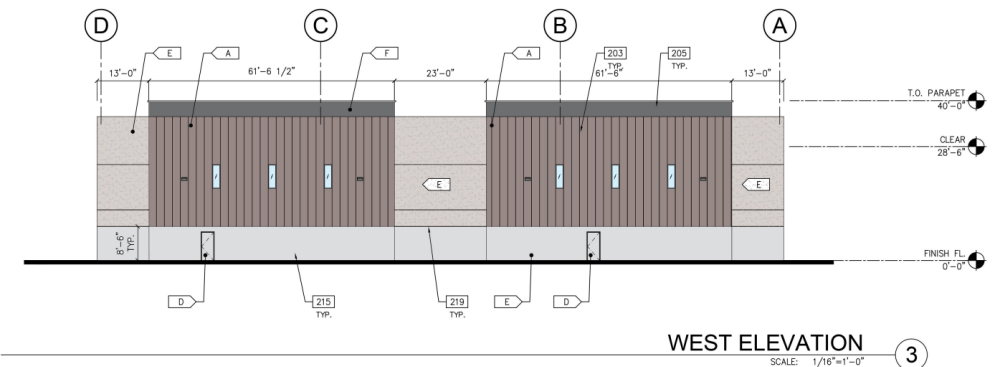
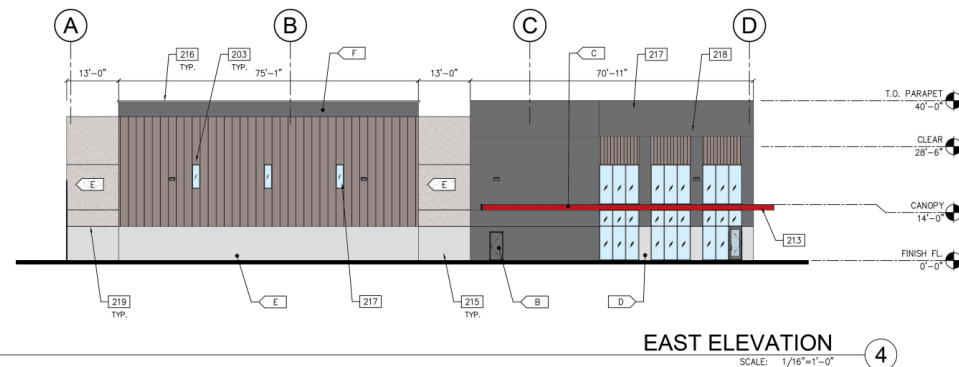


Elevations



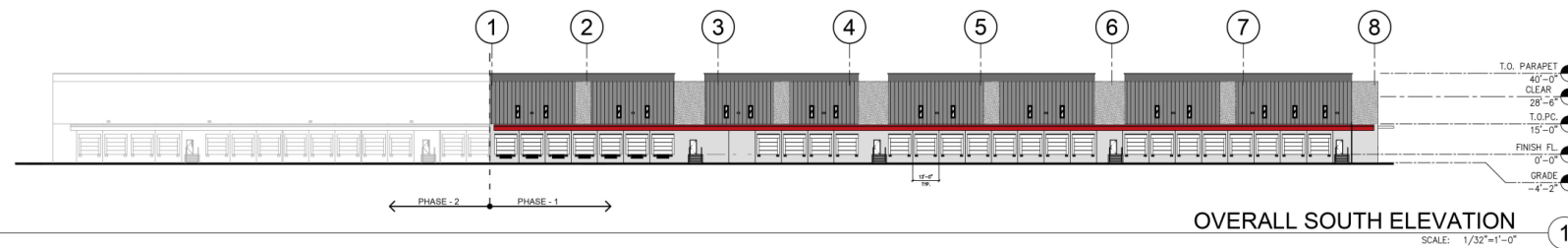
ACM PANEL: 300 SF (4%)
T3 PANEL: 2,237.2 SF (33%)
CONC.: 3,517.4 SF (52%)
OPENING: 716.3 SF (11%)
TOTAL: 6,771.1 SF

ACM PANEL: 492 SF (7%)
T3 PANEL: 3,310.5 SF (50%)
CONC.: 2,762 SF (42%)
OPENING: 72 SF (1%)
TOTAL: 6,636.5 SF





Elevations



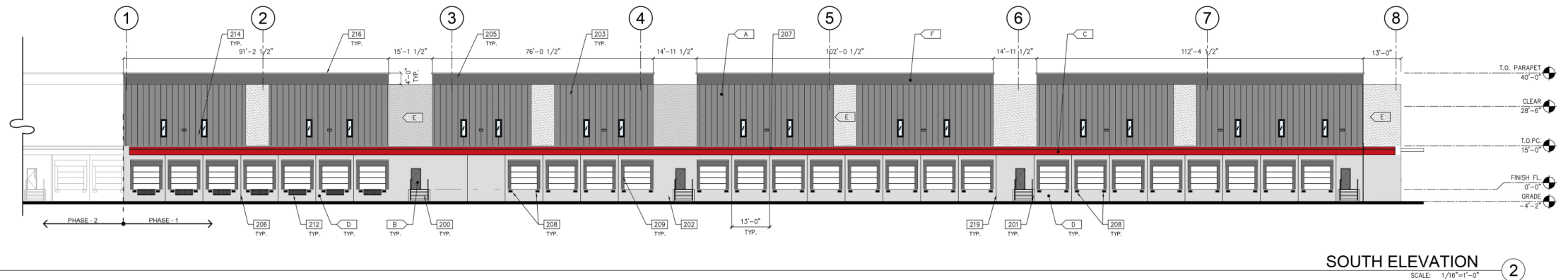
[211]	ROLL-UP DOOR
[212]	DOOR LEVELER
[214]	WALL PACK MOUNTED
[216]	METAL WALL CAP FLASHING
[219]	REVEAL - 3/4" V GROOVE

COLORS

[A]	BASE COLOR: METALLIC CHAMPAGNE
[B]	SECONDARY COLOR: MISTIQUE PLUS
[C]	ACCENT COLOR: COTSCOT RED
[D]	ACCENT COLOR: NATURAL
[E]	SMOOTH CONCRETE
[F]	ACCENT COLOR: CHARCOAL

NOTE: PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW

ACM PANEL:	1,518 SF	(8%)
T3 PANEL:	7,303 SF	(38%)
STEEL DOORS:	3,972 SF	(21%)
CONC.:	6,380 SF	(33%)
OPENING:	204 SF	(1%)
TOTAL:	19,173 SF	





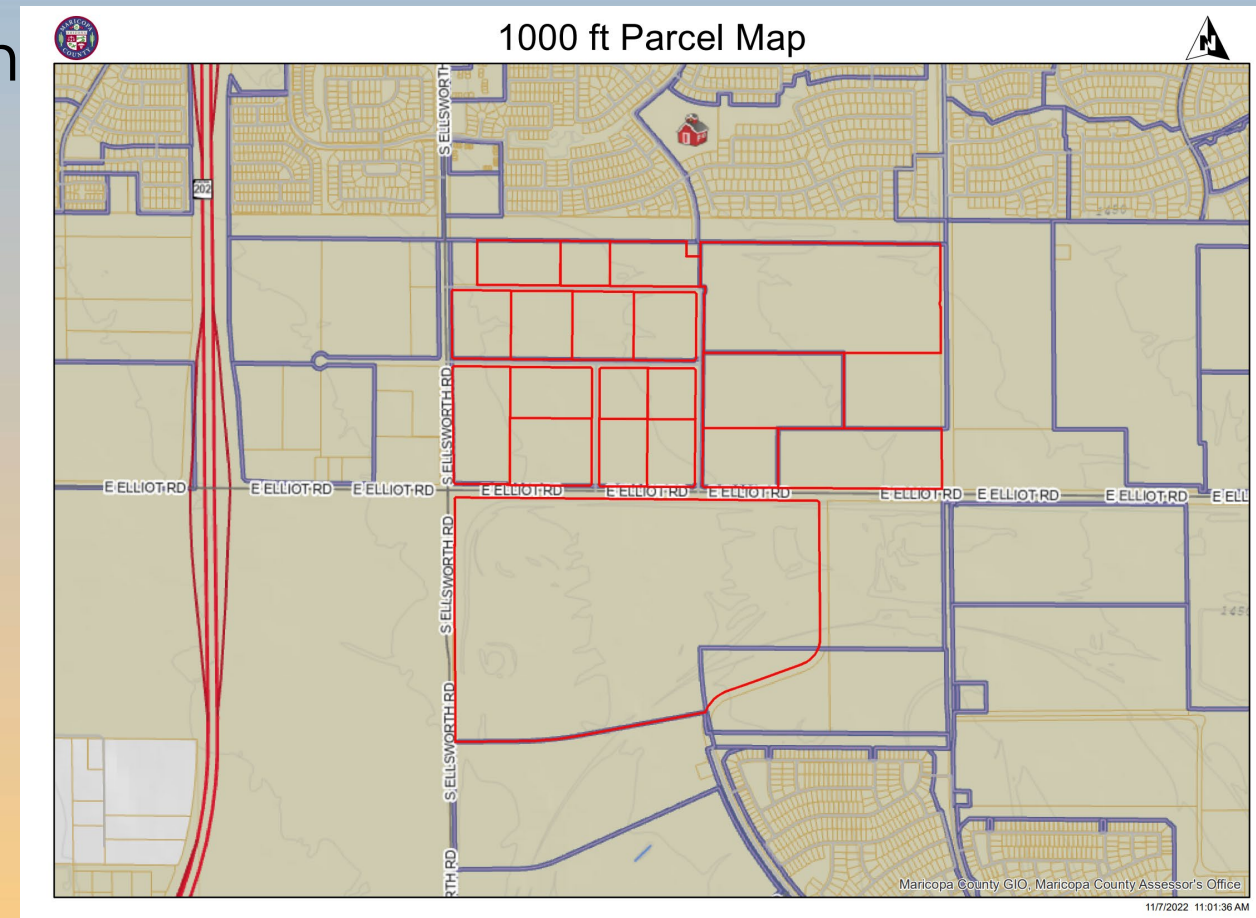
Rendering





Citizen Participation

- Notified property owners within 1,000 feet, HOAs and registered neighborhoods
- Applicant sent neighborhood outreach letters on November 8, 2022
- One response was received





Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Gateway Strategic Development Plan
- ✓ Criteria in Chapter 69 for Site Plan Review

Staff recommend Approval with Conditions



Planning & Zoning Board



Costco Distribution Center

PLANNING & ZONING BOARD HEARING | JANUARY 11, 2023

Agenda

1. Project Background
2. Development Plan
3. Design
4. Neighborhood Input
5. Closing

Project Background

- Proposed Costco Distribution Center
 - Single merchandise transfer building
 - Office for center operations
- Location
 - Peterson Avenue between 94th Place and 96th Street



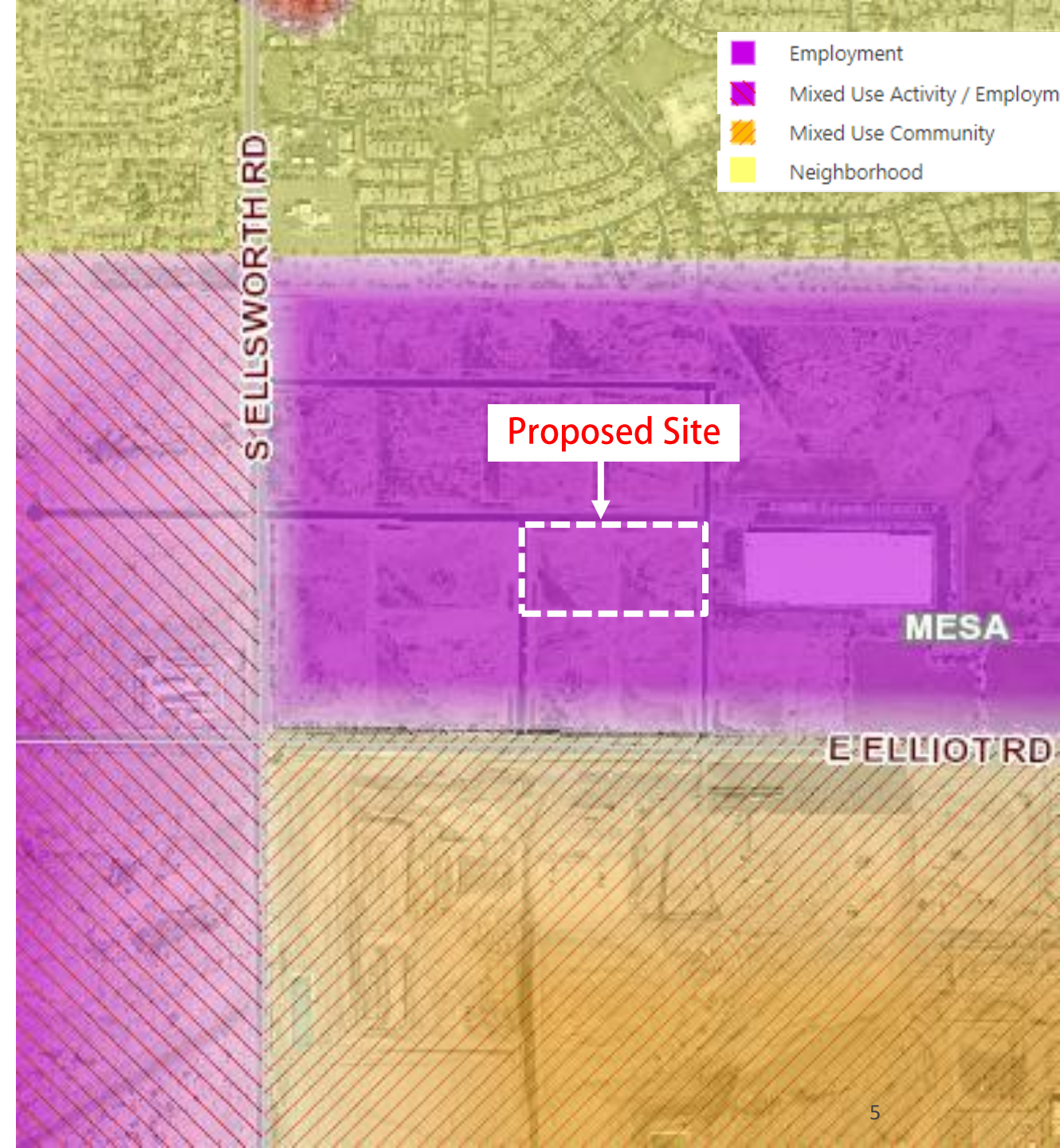
Project Background

- Existing Use: Vacant
- Zoning District: Light Industrial (LI) PAD
 - Proposed development is consistent with standards and requirements for LI GP designation
- Surrounded by other currently vacant and developed properties zoned LI PAD



Project Background

- Mesa 2040 General Plan: Employment
- Surrounded by other currently vacant and developed properties that are designated Employment



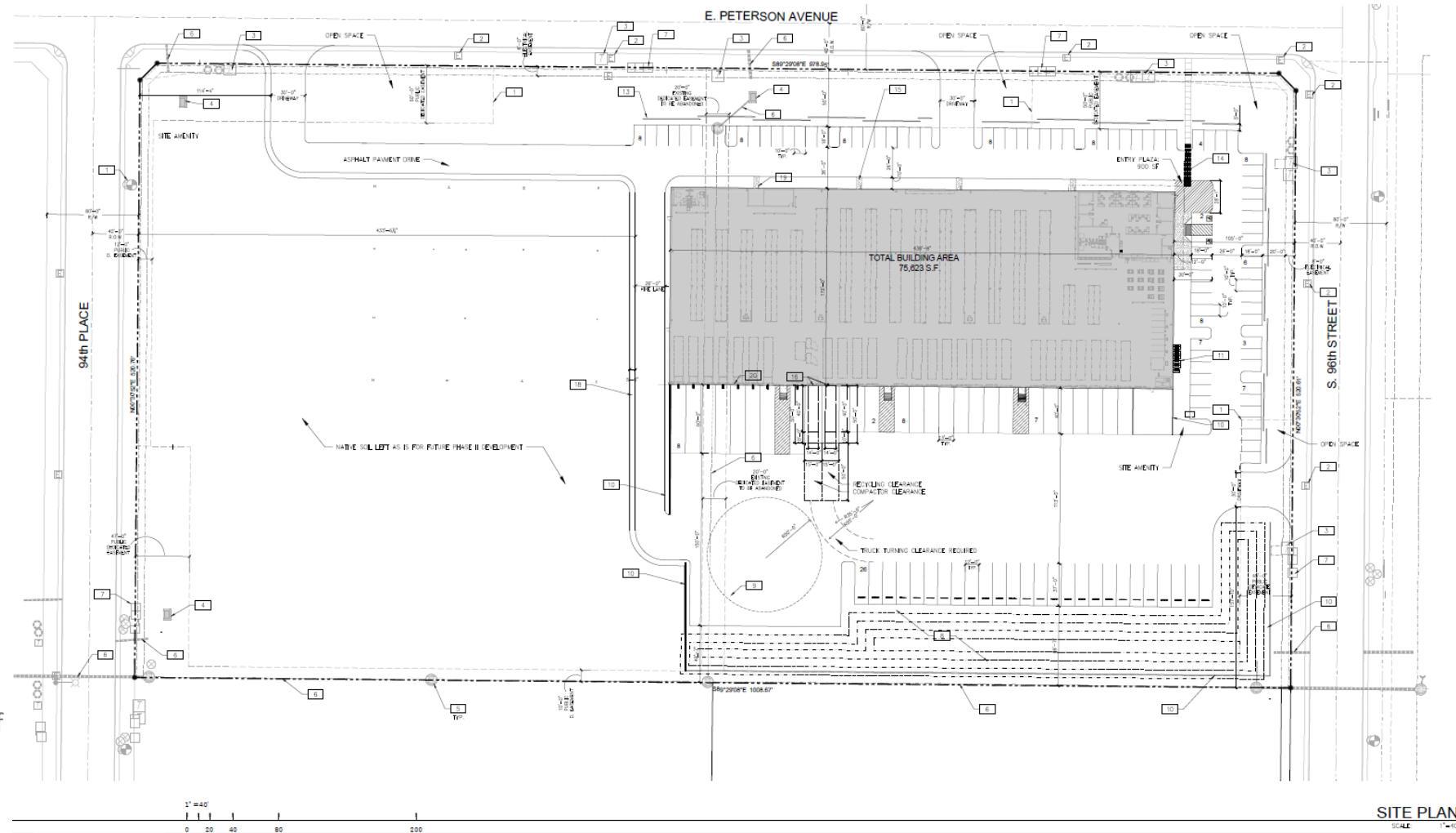
Development Plan

94th PLACE



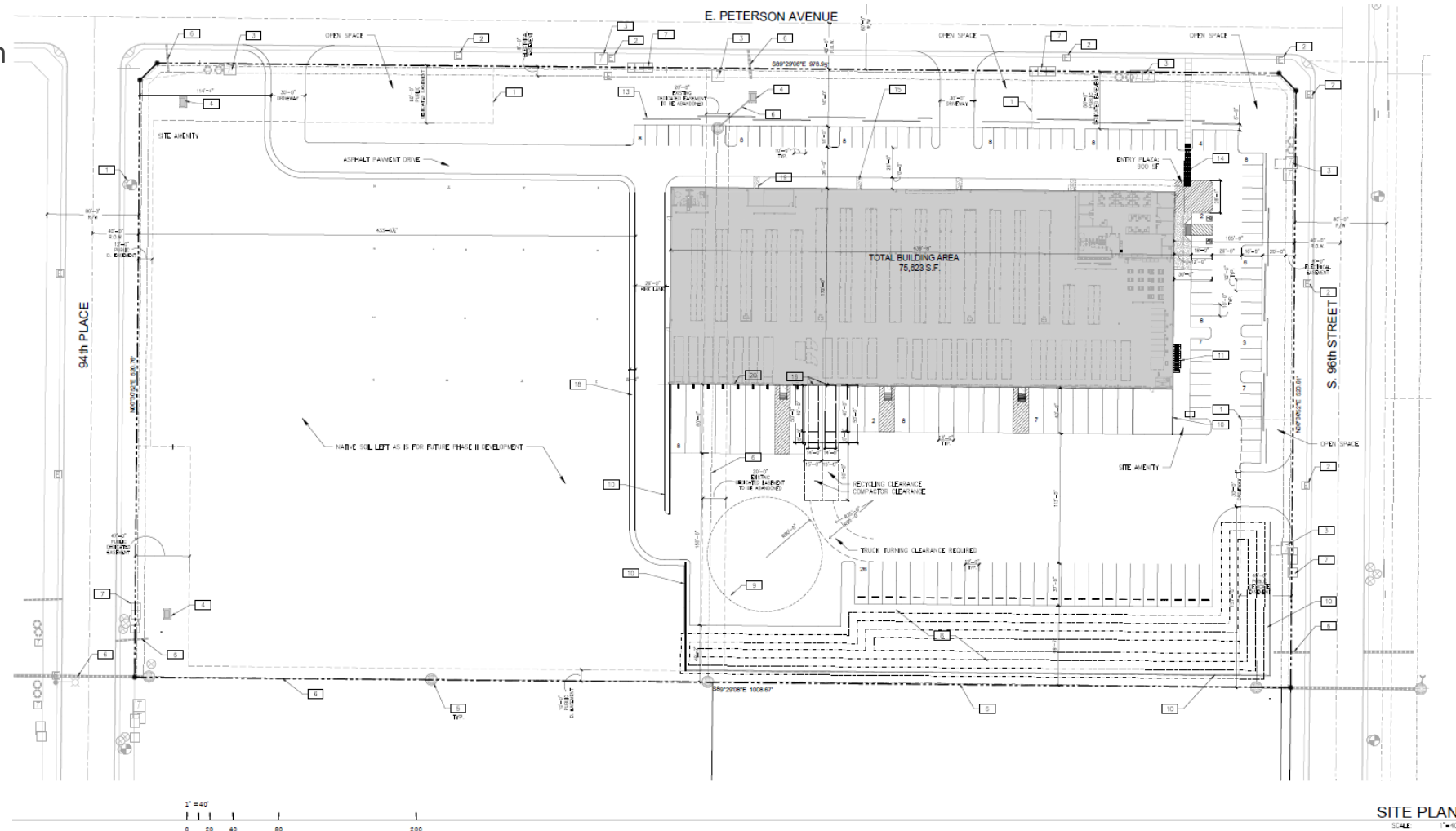
Site Plan

- Total site area
 - 540,077 SF / 12.40 acres
- Total building area
 - 75,623 SF
- Building height
 - 40' to parapet
 - 34'6" to ridge
 - Max height allowed: 40'
- Setbacks
 - Front: 104'
 - Required: 20'
 - Street-Facing Side: 105'
 - Required: 20'
 - Interior Side: 459'6"
 - Required: 1' of setback for each foot of building height with minimum 20' setback
 - Rear: 259'7"
 - Required: 1' of setback for each foot of building height with minimum 20' setback

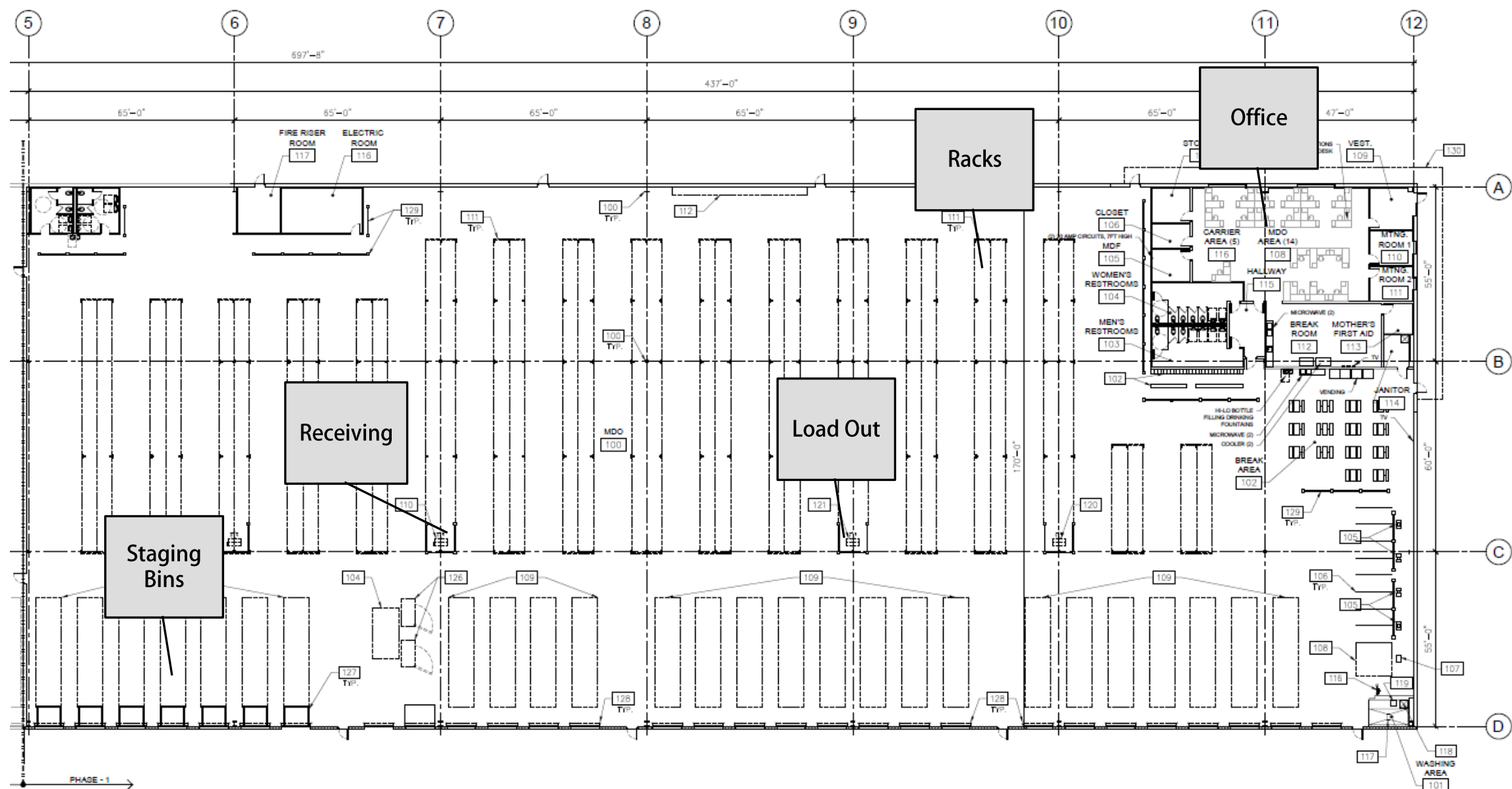


Site Plan

- Access
 - Driveways on Peterson Ave and 96th St
- Parking Spaces: 103
 - Accessible: 2
 - Regular: 84
 - Van delivery: 26
 - Required: 84
- Bicycle Parking Spaces: 12
 - Required: 12
- Pedestrian access through walkway off Peterson Ave
- Truck Docks: 25
 - Regular: 17
 - Large: 8
- Screening walls around site

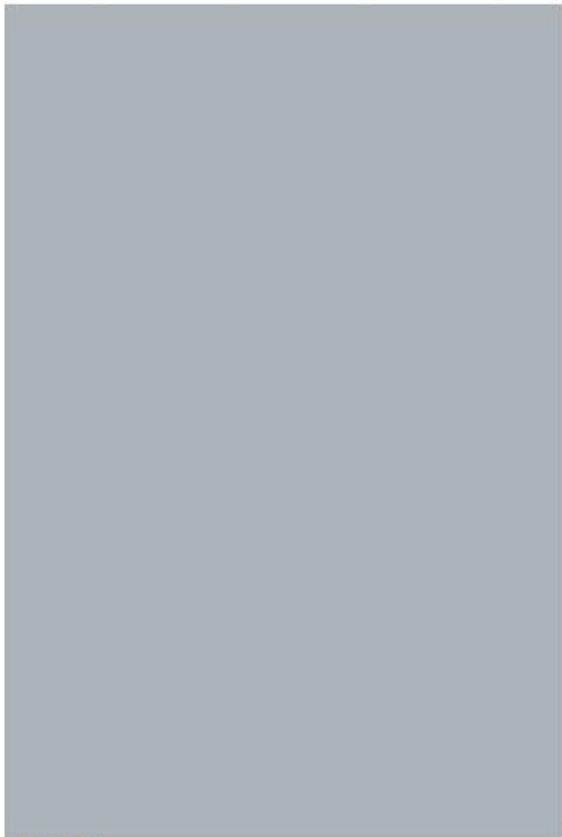


Floor Plan



Design

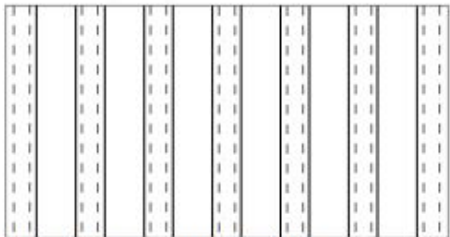
Materials and Colors



MFR: VITRO
TYPE: 1" INSULATED GLAZING
COLOR: SOLAR GRAY WITH SOLARBAN (2)



SANDSTONE
EIFS FINISH:
COLOR: SANDSTONE



MFR: METAL SALES MANUFACTURING
TYPE: T3 METAL WALL PANEL
COLOR: REF. ELEVATIONS



MFR: ARCADIA
TYPE: SATIN
COLOR: AC-2 CLEAR ANODIZED



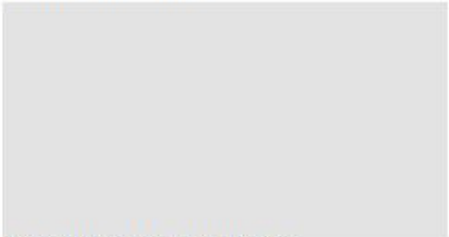
MFR: SHERWIN-WILLIAMS
TYPE: SATIN
COLOR: METALLIC CHAMPAGE



MFR: SHERWIN-WILLIAMS
TYPE: SATIN
COLOR: CHARCOAL



MFR: SHERWIN-WILLIAMS
TYPE: SATIN
COLOR: COSTCO RED

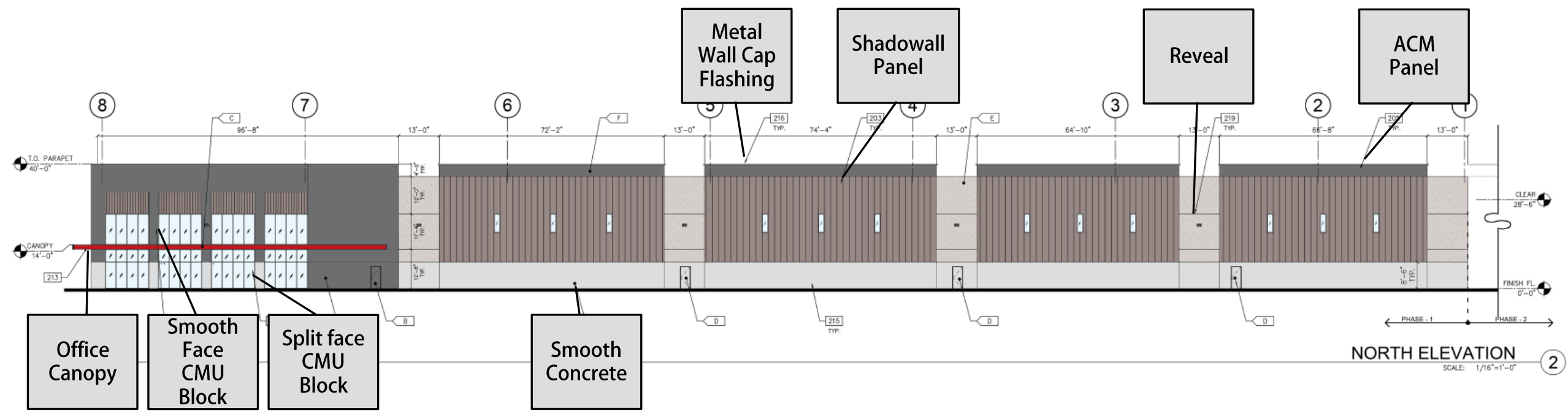


TYPE: NATURAL CONCRETE FINISH
COLOR: NATURAL GRAY

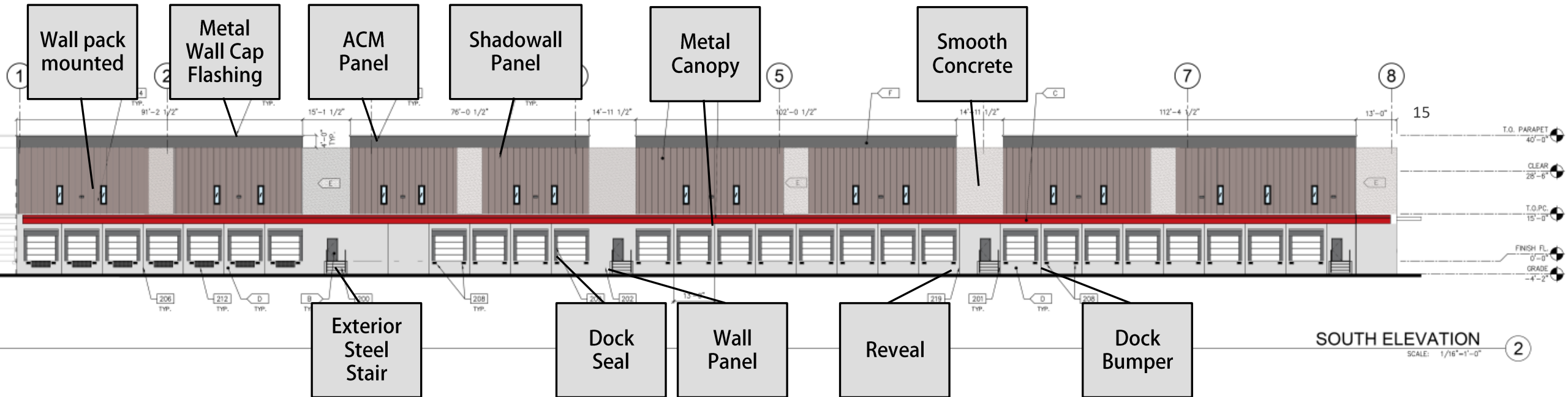
Materials and Colors



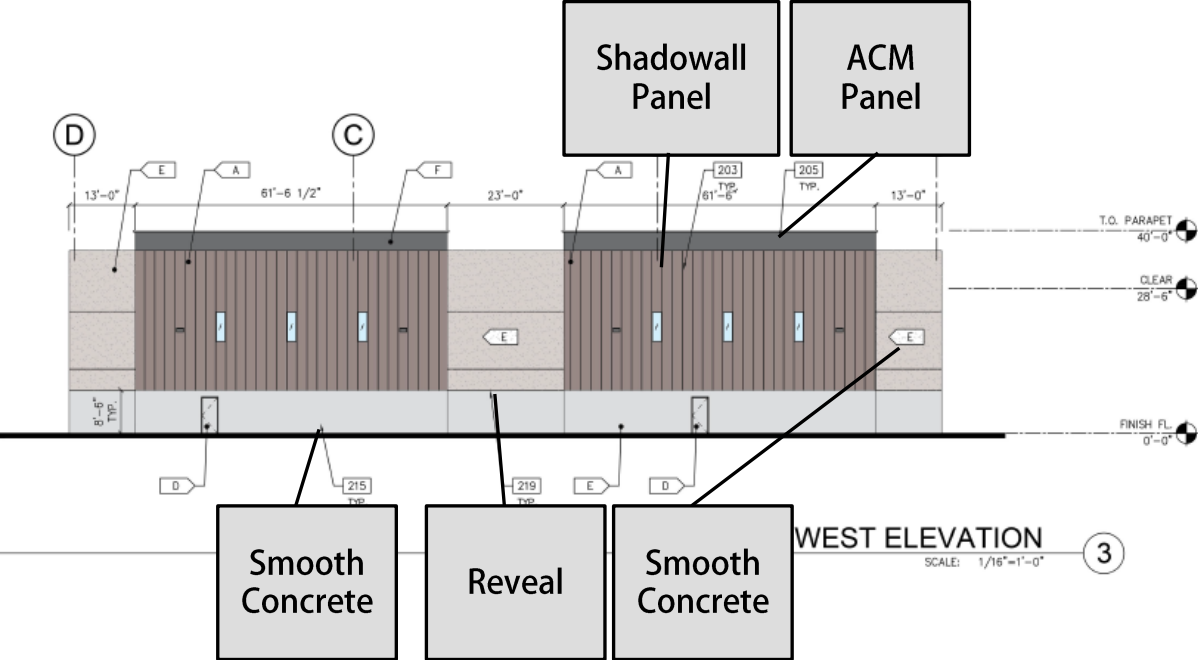
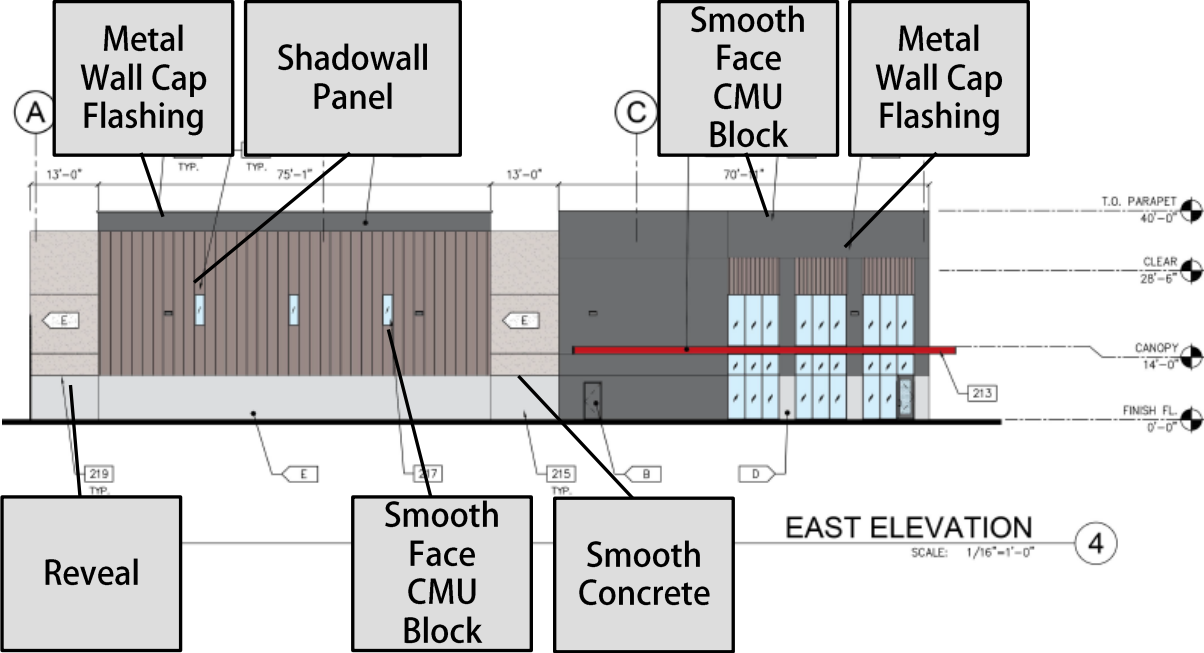
Elevations



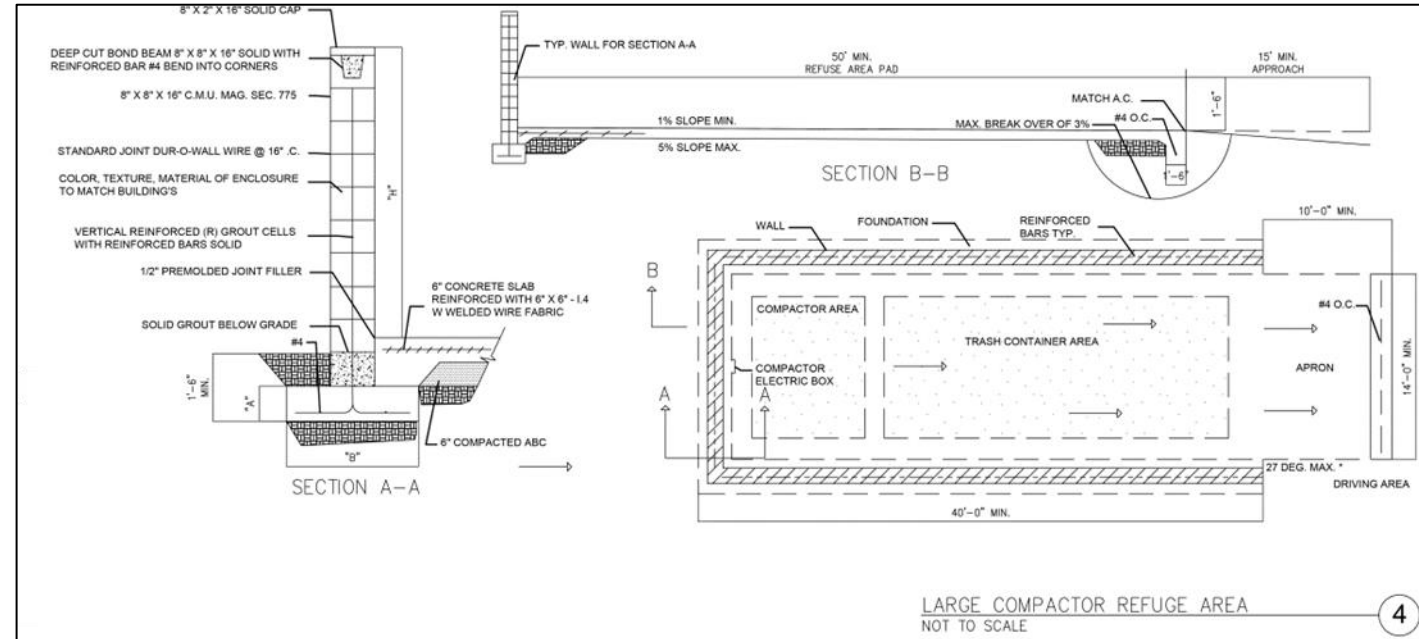
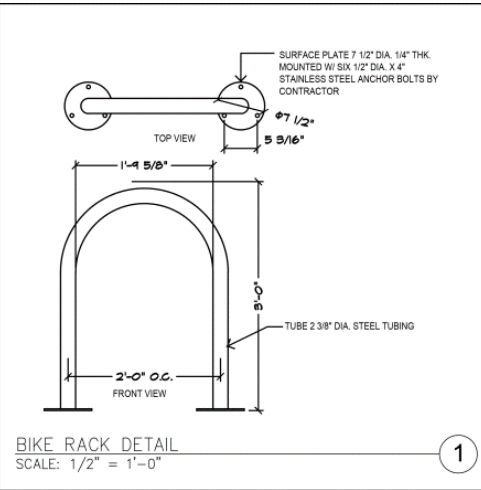
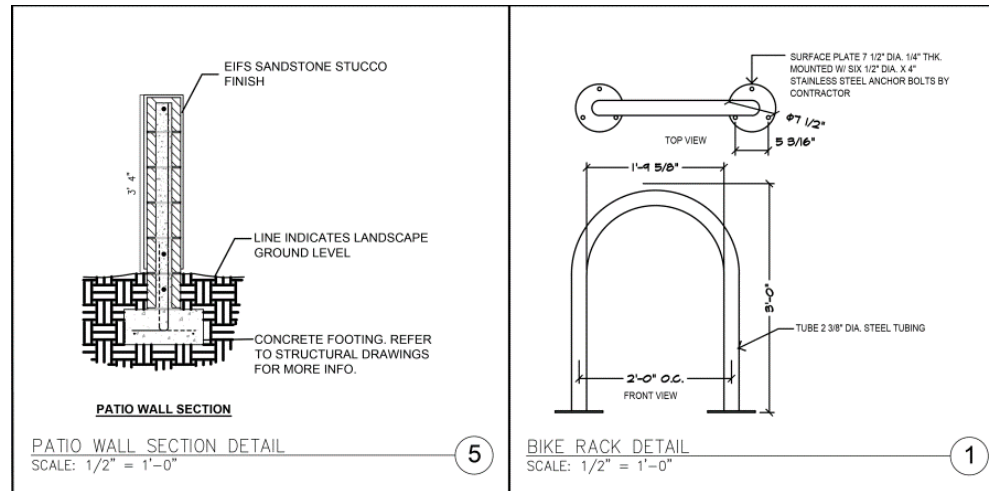
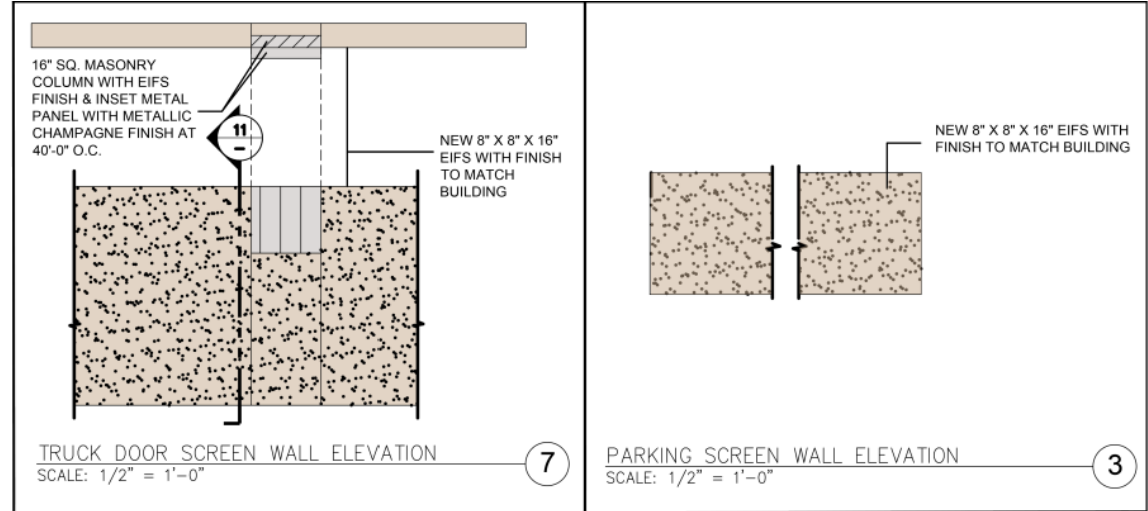
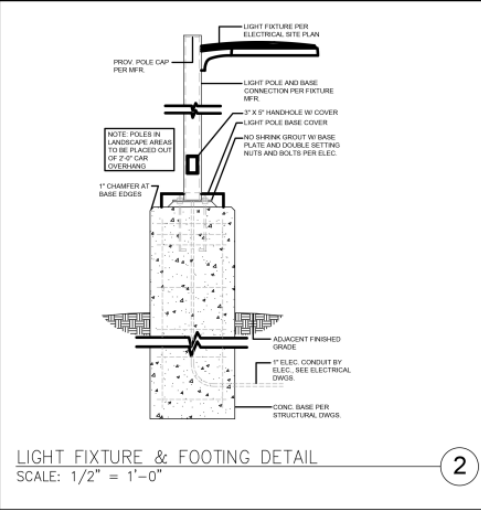
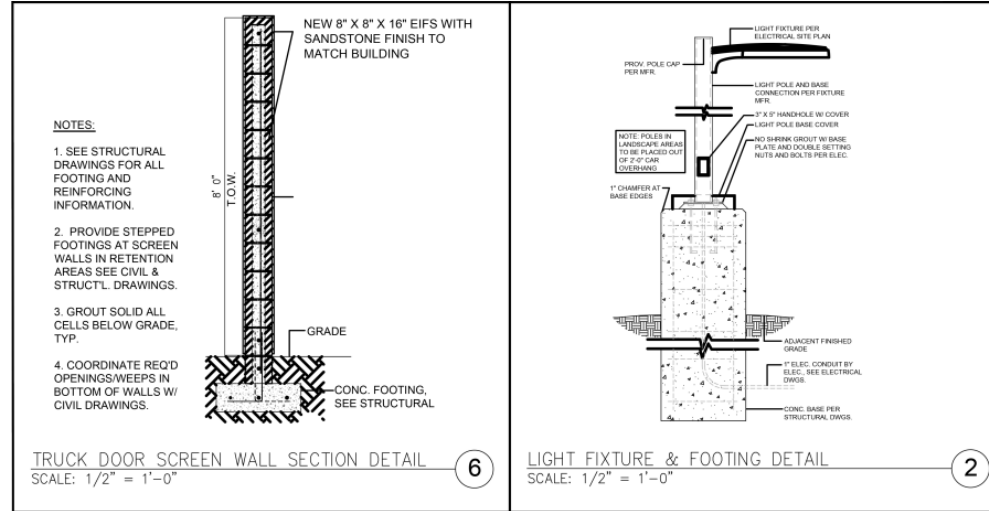
Elevations



Elevations



Design



Landscape Plan

- Total Live Coverage: 52.14%
 - Required: 50%
- Variation in landscaping materials:
 - Trees
 - Cacti
 - Shrubs
 - Groundcover

	Street Frontage 2,057.36 Linear Feet (LF)			Perimeter (Adjacent Property) 1,042.71 LF			Building Foundation 870 LF			Parking		
	Required	Provided	Total	Required	Provided	Total	Required	Provided	Total	Required	Provided	Total
Trees	1 @ 25'	1 @ 25'	83	3 @ 100'	3 @ 100'	32	1 @ 50'	1 @ 50'	17	1 per island	1 per island	15
Shrubs	6 per tree	6 per tree	489	20 @ 100'	20 @ 100'	214	-	-	-	3 per tree	3 per tree	45



Design Summary

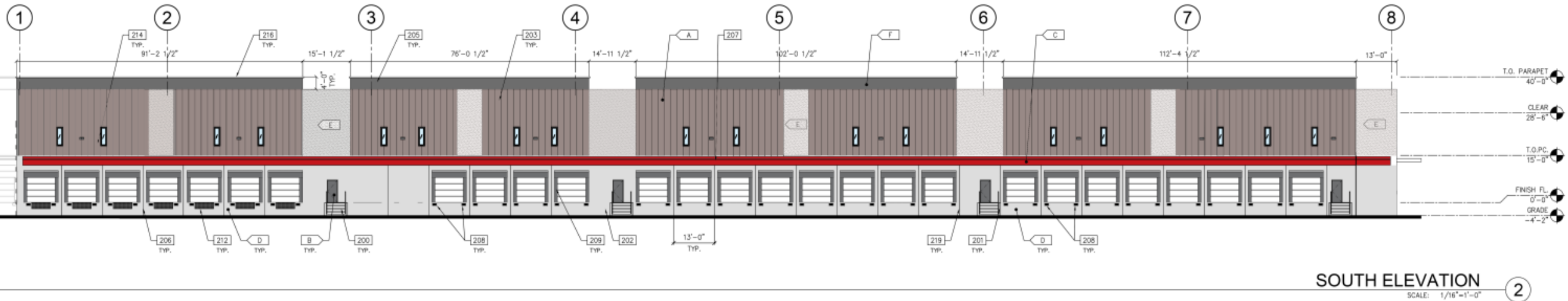
- 3 colors used throughout
- Variation in architectural materials and finishing
 - Concrete wall panels
 - Shadowwall panels
 - Metal canopy
 - Variety of window sizes and glazing
- Varied roof lines



Neighborhood Input

Neighborhood Input

- 1 neighborhood comment
 - Limited variation on the southern façade
 - High visibility of the retention basin on the south side of the site
- Updates made:
 - Additional materials incorporated
 - Additional window elements added
 - 8-foot screen wall on southern boundary
 - Additional trees as perimeter landscaping



SOUTH ELEVATION
SCALE: 1/16"=1'-0"

2

Closing

- Seeking design approval
- Property already zoned for Light Industrial
- Proposed distribution center will provide sufficient design features to contribute to the character of the area.





Planning and Zoning Board



ZON22-01064



Request

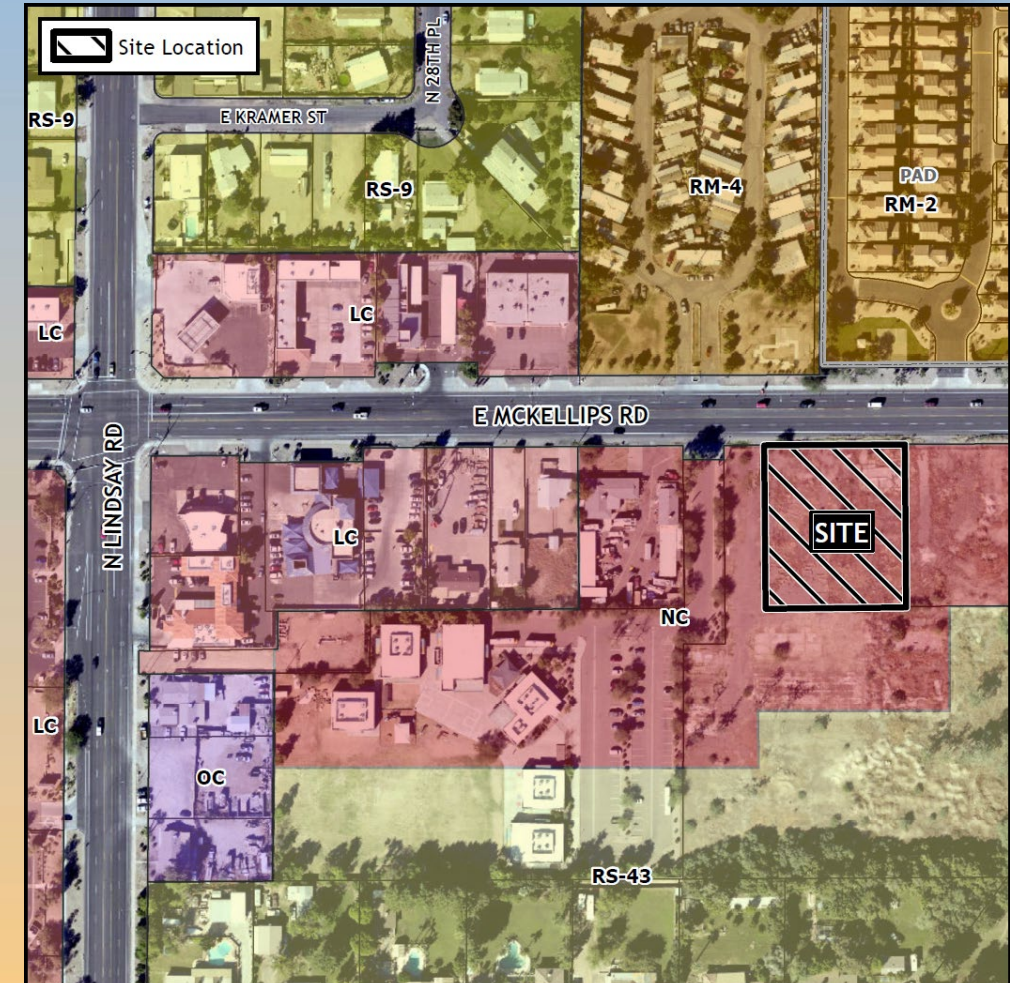
- Site Plan Review
- Special Use Permit (SUP)
- To allow a restaurant with a drive thru





Location

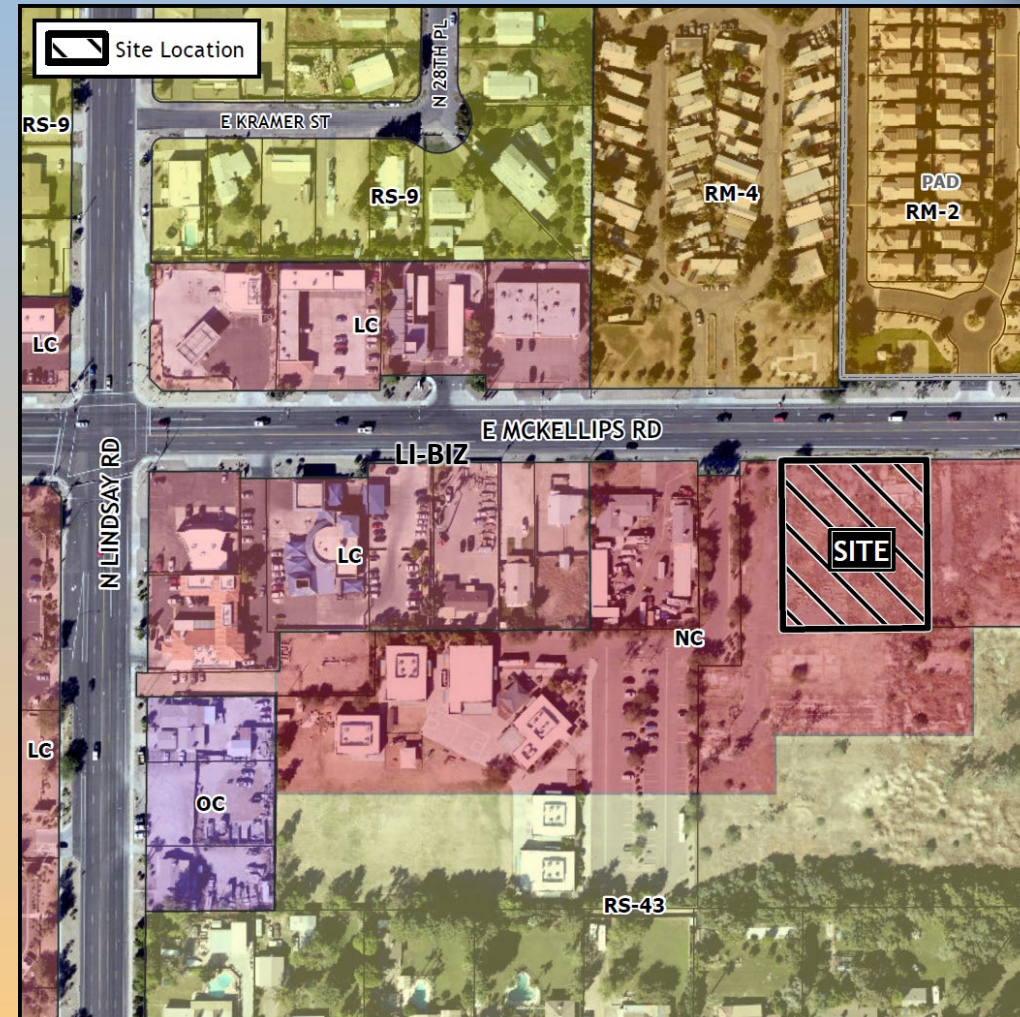
- South of McKellips Road
- East of Lindsay Road





Zoning

- Neighborhood Commercial
 - Drive thru allowed with a SUP

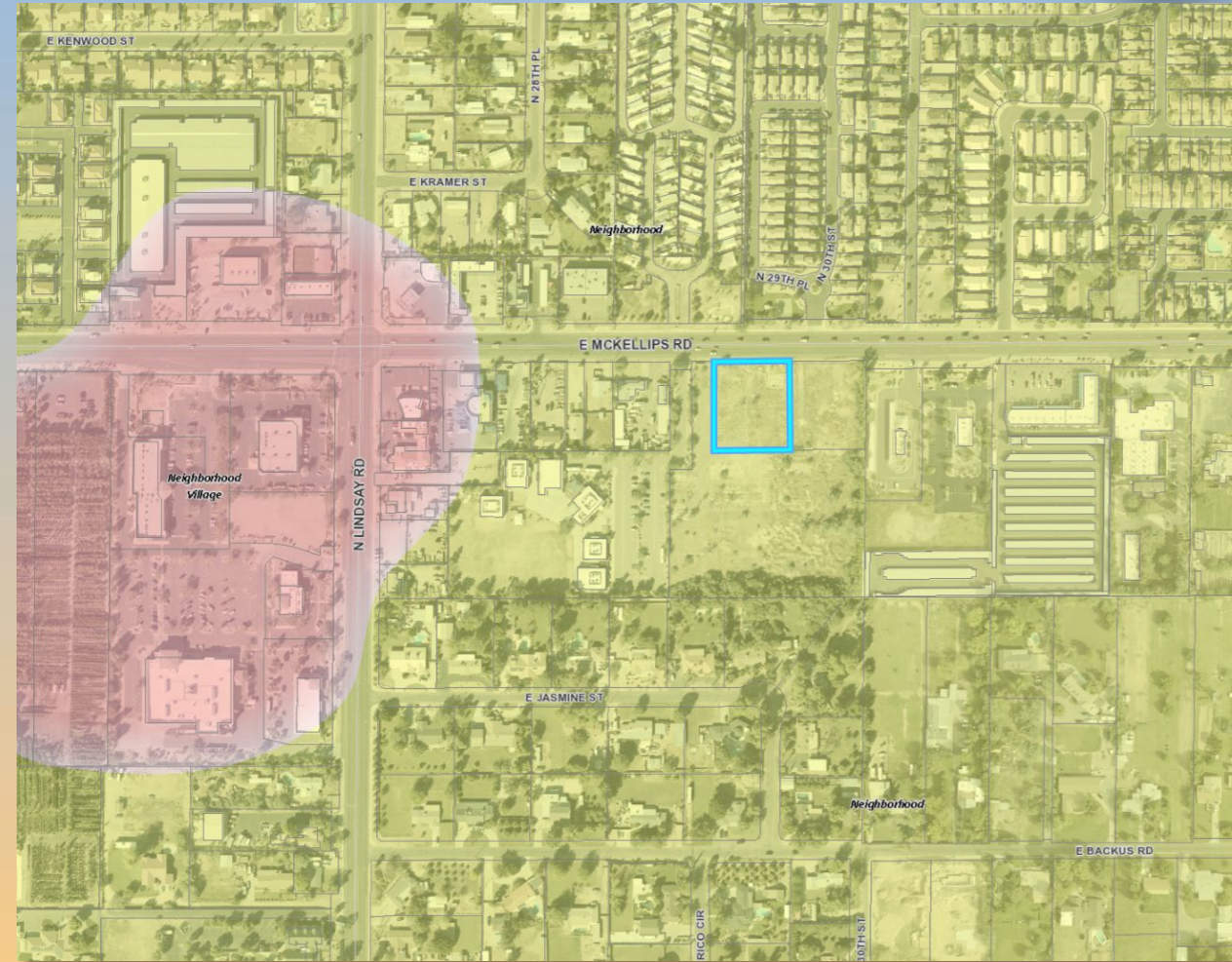




General Plan

Neighborhood

- Provide safe place for people to live and enjoy their surrounding community





Site Photos



Looking south from McKellips Road

[illegible]



Landscape Plan

LANDSCAPE LEGEND

TREES
PISTACIA X 'RED-PUSH'
RED PUSH PISTACHE
36" BOX (QTY. 12)

ACACIA ANEURA
MULGA (SRP/APS APPROVED)
24" BOX (QTY. 14)

ULMUS PARVIFOLIA
CHINESE ELM (MATCHING)
24" BOX (QTY. 6)

ACACIA SALICINA
WILLOW ACACIA
24" BOX (QTY. 21)

LARGE SHRUBS
TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON (QTY. 8)

TECOMA STANS
YELLOW BELLS
5 GALLON (QTY. 8)

MEDIUM SHRUBS
EREMOPHILA MACULATA
VALENTINE BUSH
5 GALLON (QTY. 54)

ACCENTS
HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (QTY. 52)

HESPERALOE PARVIFLORA
YELLOW YUCCA
5 GALLON (QTY. 54)

ECHINOCACTUS GRUSONII
GOLDEN BARREL CACTUS
10" ROUND (MATCHING) (QTY. 31)

AGAVE DESMETTIANA
SMOOTH AGAVE
5 GALLON (QTY. 40)

GROUND COVER
LANTANA MONTEVIDEENSIS
GOLD MOUND
1 GALLON (QTY. 125)

LANTANA MONTEVIDEENSIS
TRAILING PURPLE
1 GALLON (QTY. 38)

EREMOPHILA GLABRA
'MINEW GOLD'
5 GALLON (QTY. 70)

VINES
PODRAHIA RICASOLINA
PINK TRUMPET VINE
5 GALLON (QTY. 5)

1/2" SCREENED ROCK PROS MAHOGANY
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

MCKELLIPS ROAD

(1 TREE 6 SHRUBS PER 25 L.F.T.)
PROPERTY LINE = 205'
8 TREES REQUIRED (2-36" BOX, 8-24" BOX)
8 TREES PROVIDED (4-36" BOX, 4-24" BOX)
48 SHRUBS REQUIRED
77 SHRUBS PROVIDED

EAST PROPERTY LINE

(1 TREE 4 SHRUBS PER 25 L.F.T.)
PROPERTY LINE = 232'
9 TREES REQUIRED (5-24" BOX)
9 TREES PROVIDED (8-24" BOX)
36 SHRUBS REQUIRED
150 SHRUBS PROVIDED

WEST PROPERTY LINE

(1 TREE 4 SHRUBS PER 25 L.F.T.)
PROPERTY LINE = 232'
9 TREES REQUIRED (5-24" BOX)
9 TREES PROVIDED (8-24" BOX)
36 SHRUBS REQUIRED
36 SHRUBS PROVIDED

SOUTH PROPERTY LINE

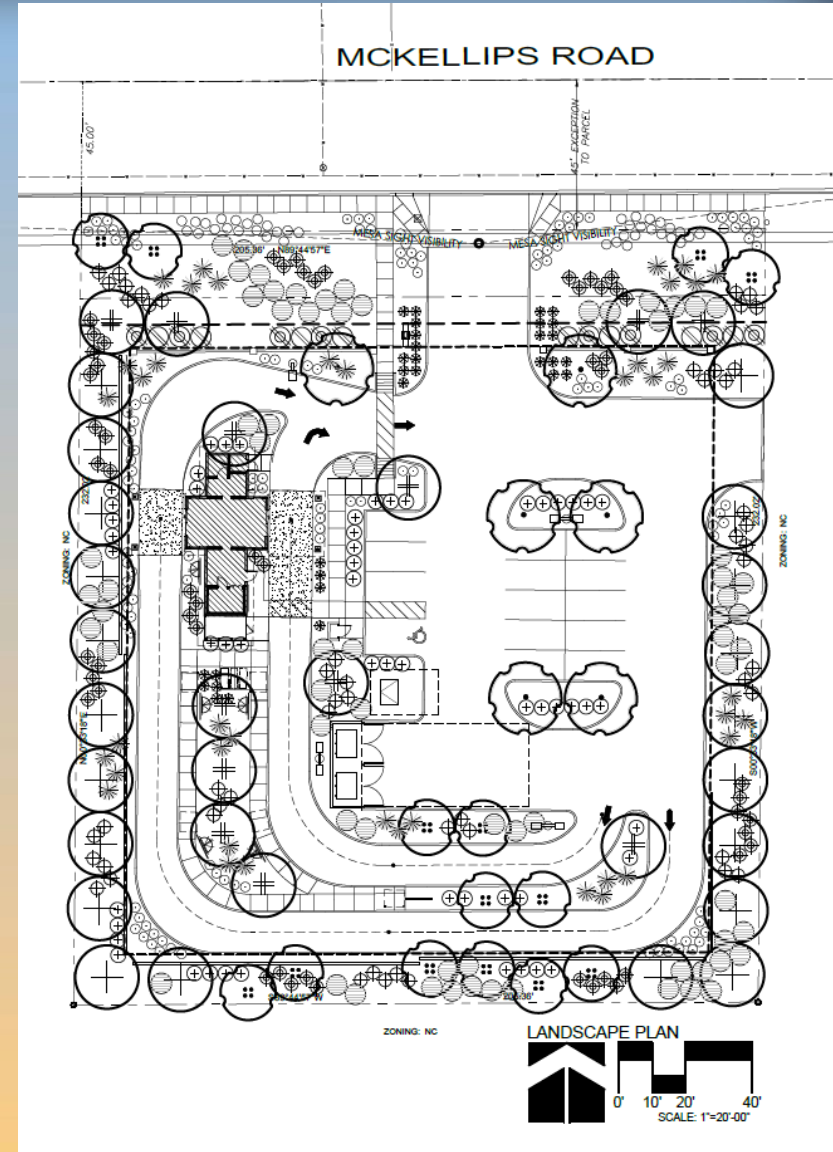
(1 TREE 4 SHRUBS PER 25 L.F.T.)
PROPERTY LINE = 205'
8 TREES REQUIRED (4-24" BOX)
8 TREES PROVIDED (8-24" BOX)
32 SHRUBS REQUIRED
38 SHRUBS PROVIDED

PARKING LOT LANDSCAPE

(8 ISLANDS)
(14 STALLS)
6 TREES REQUIRED (1-36" BOX, 5-24" BOX)
6 TREES PROVIDED (2-36" BOX, 4-24" BOX)
18 SHRUBS REQUIRED
18 SHRUBS PROVIDED

FOUNDATION PLANTING

(180 L.F.T.)
3 TREES REQUIRED (3-36" BOX)
3 TREES PROVIDED (3-36" BOX)
15 SHRUBS REQUIRED
22 SHRUBS PROVIDED





Renderings





Renderings





Special Use Permit

Section 11-70-5(E): Special Use Permit Required Findings



#1 Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plans and/or policies;



#2 The location, size, design, and operating characteristics of the proposed project are consistent with the purpose of the district where it is located and conform with the General Plan and any other applicable plans and/or policies;



#3 The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, the greater neighborhood, or the general welfare of the City; and

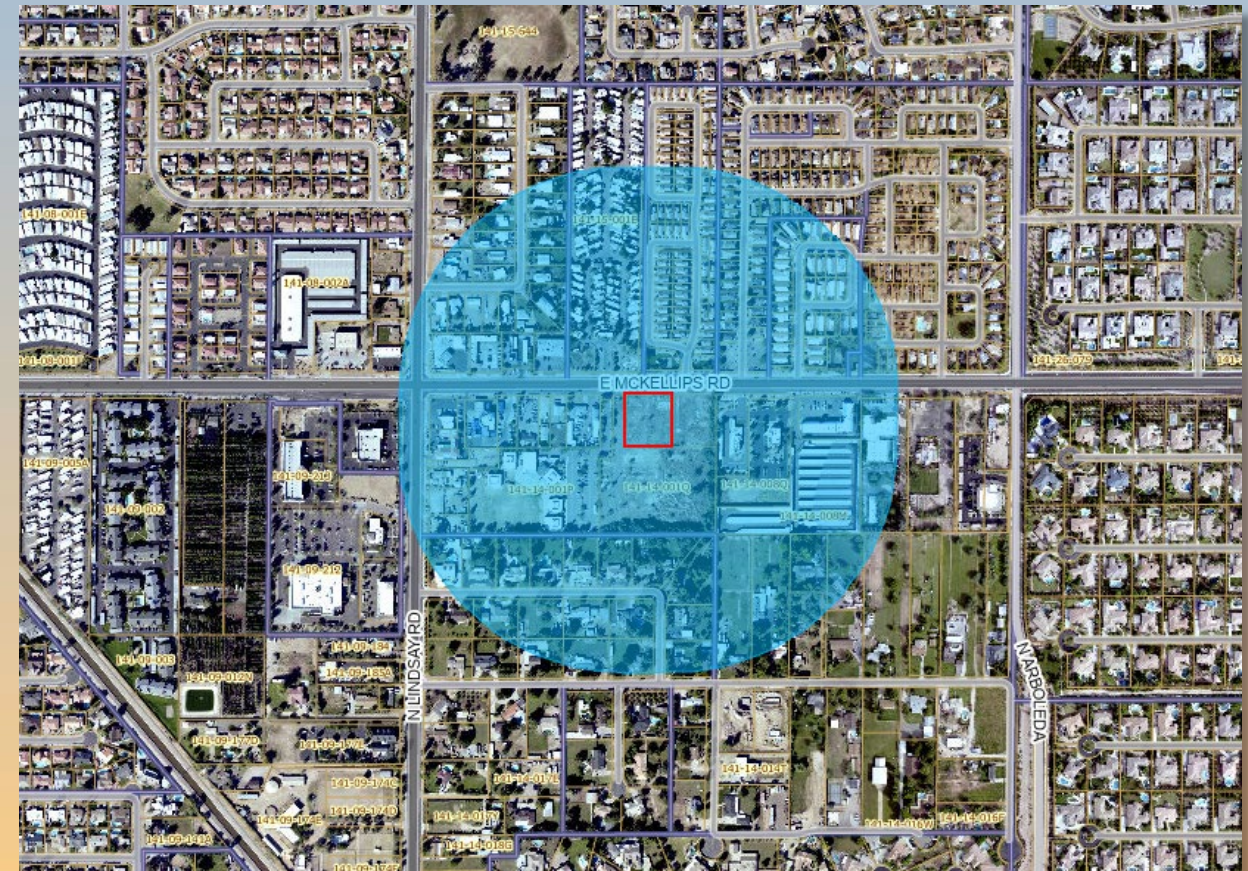


#4 Adequate public services, public facilities and public infrastructure are available to serve the proposed project



Citizen Participation

- Notified property owners within 1,000 feet, HOAs and registered neighborhoods
- Held one neighborhood meeting with one attendee who asked a few questions but was overall excited for the project





Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Criteria in Chapters 69 for Site Plan Review
- ✓ Complies with review criteria in Chapter 70 of the MZO for a Special Use Permit

Staff recommends Approval with Conditions



Planning and Zoning Board



Planning and Zoning Board



ZON22-00977



Request

- Rezone from NC-PAD to RS-9-BIZ
- Conceptual Site plan to allow for the development of a single residence subdivision within the Desert Uplands Subarea

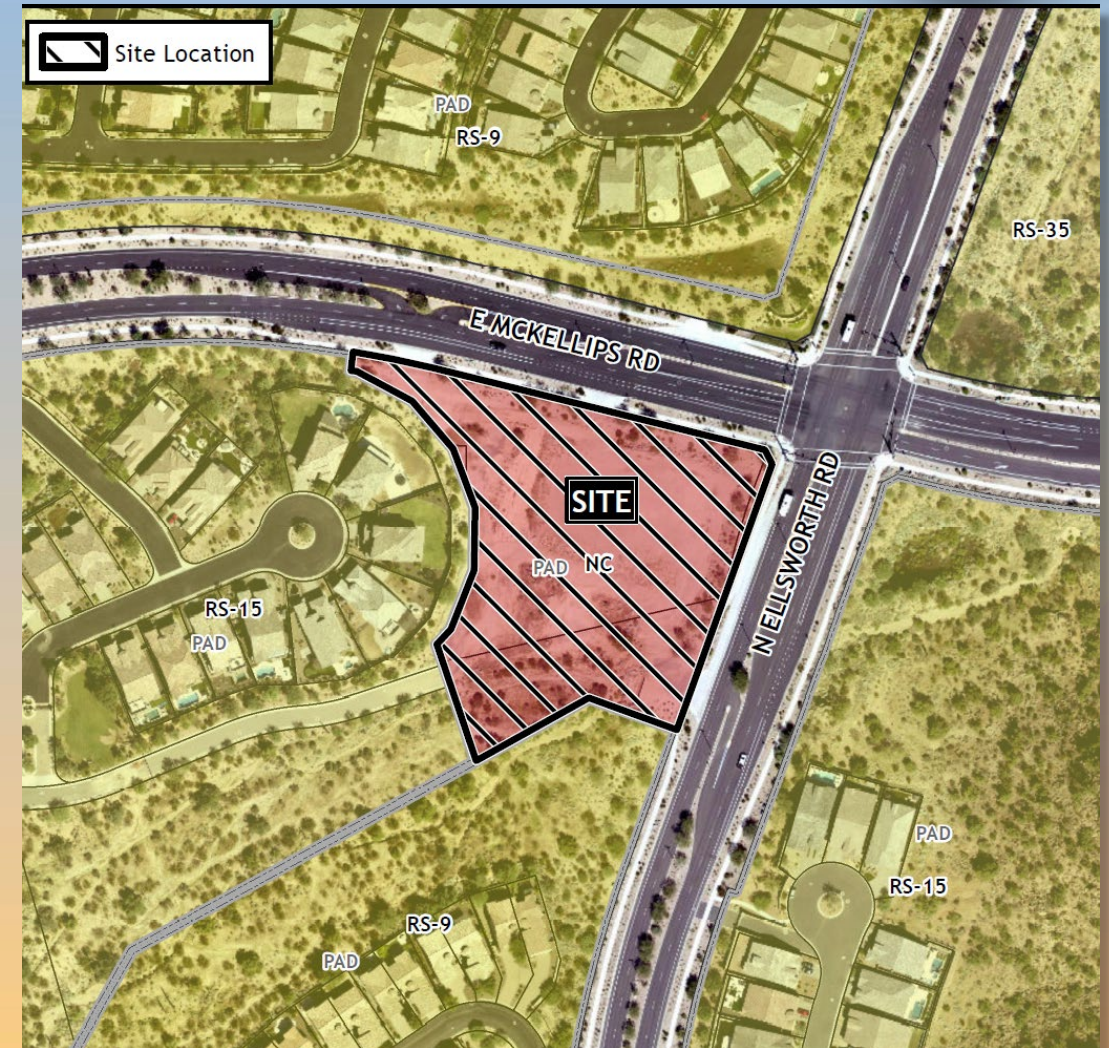
Enclave at Mountain Bridge (Parcel 16) Mesa, Arizona





Location

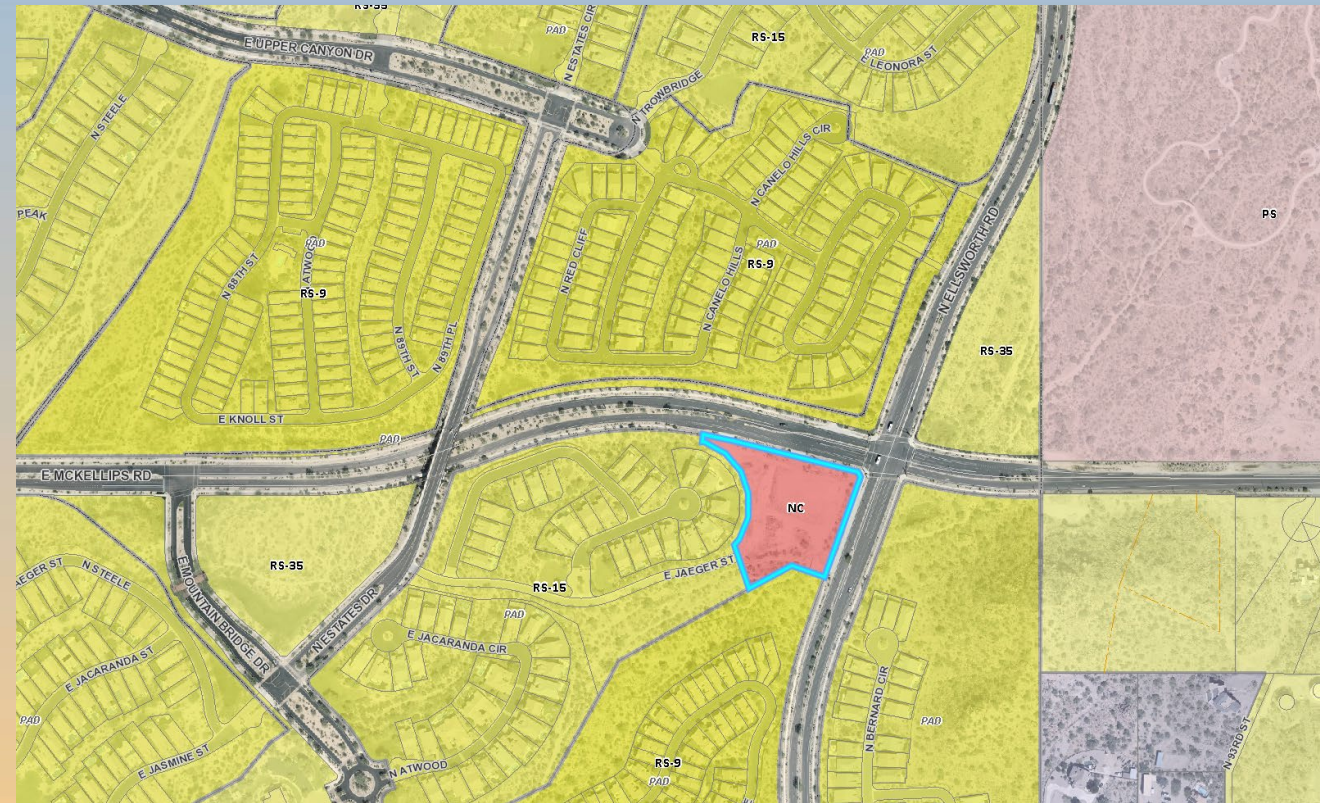
- South of McKellips Road
- West of Ellsworth Road





Zoning

- Currently within NC-PAD zoning District
- Rezone proposed to RS-9-BIZ
- Single Residence allowed within the RS-9-BIZ zone

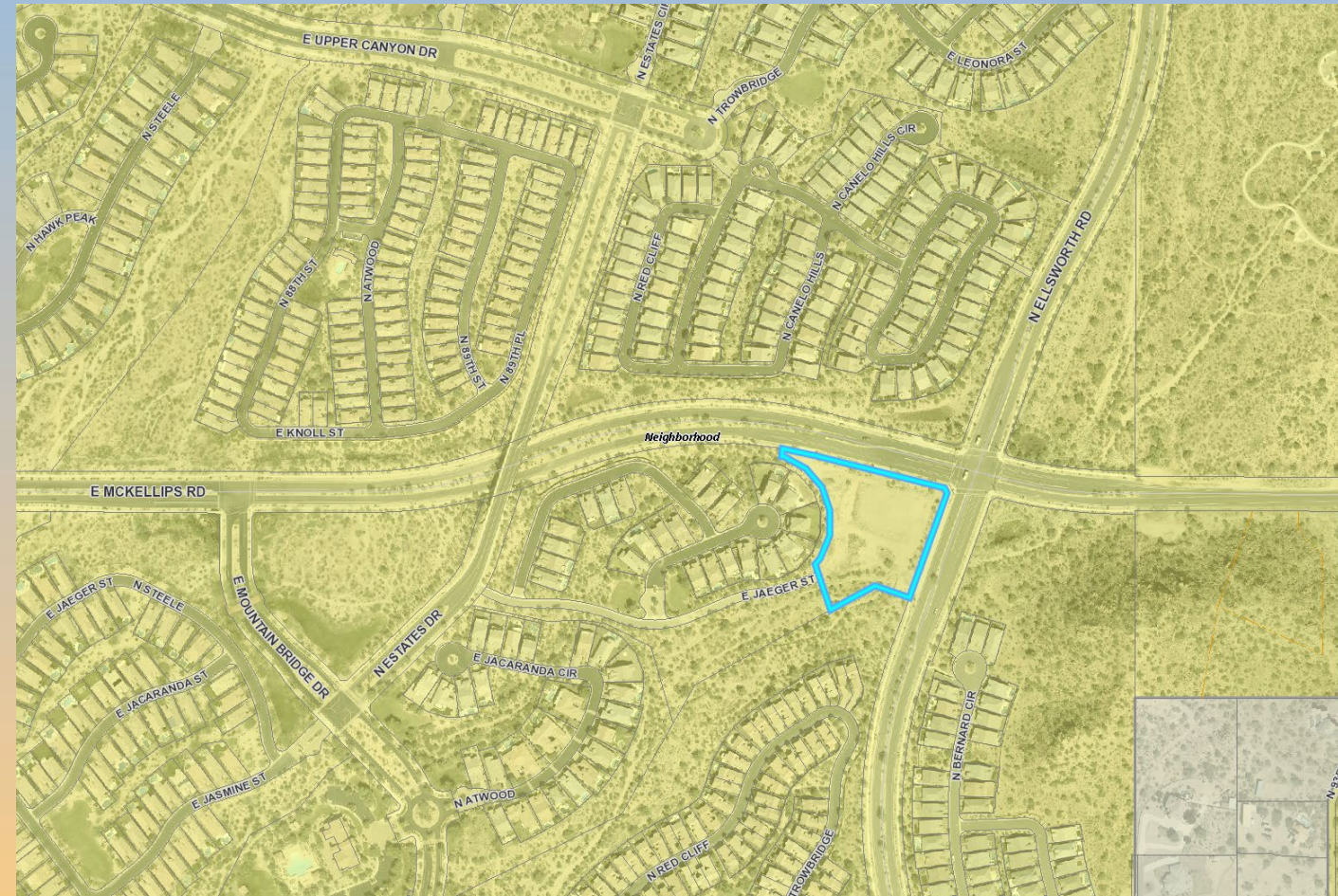




General Plan

Neighborhood

- Provide for a wide range of housing opportunities in high-quality settings.





Site Photos



Looking south from McKellips Road



Site Photos



Looking west from Ellsworth Road
























Conceptual Site Plan





Conceptual Landscape Plan

PLANT LEGEND				
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QT
TREES				
	<i>Acacia aneura</i>	Mulga	24" Box	
	<i>Parkinsonia x 'Sonoran Emerald'</i>	Sonoran Emerald Palo Verde	24" Box	2
	<i>Prosopis hybrid 'Pisum'</i>	Thornless Mesquite	24" Box	
	<i>Olneya tesota</i>	Ironwood	24" Box	
SHRUBS/ACCENTS				
	<i>Agave chrysantha</i>	Golden Flowered Agave	5 Gal	7
	<i>Cassipouia palmeriana</i>	Red Bird of Paradise	5 Gal	35
	<i>Callitriche californica</i>	Big Fairy Duster	5 Gal	9
	<i>Ceanothus glaucus</i>	Sageo	6" Spacer	9
	<i>Dasylirion wheeleri</i>	Desert Spoon	5 Gal	48
	<i>Edmonstonea gracilis</i>	Golden Barrel Cactus	5 Gal	29
	<i>Encelia farinosa</i>	Brittlebush	5 Gal	45
	<i>Ferocactus wislizeni</i>	Cholla	5 Gal	-
	<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal	45
	<i>Larrea tridentata</i>	Crocodile Bush	5 Gal	36
	<i>Leucophyllum frutescens 'Rio Bravo'</i>	Rio Bravo Sage	5 Gal	15
	<i>Leucophyllum frutescens 'Cinmar'</i>	Cinmar Texas Sage	5 Gal	-
	<i>Opuntia violacea 'Santa Rita'</i>	Purple Frocky Pear	5 Gal	-
GROUNDCOVERS				
	<i>Dialium greggii</i>	Trailing Indigo Bush	1 Gal	64
	<i>Lantana montevidensis</i>	Trailing Purple Lantana	1 Gal	10
INERT MATERIALS				
	3/4" Screened Decomposed Granite, in all planting areas. Table Mass Brown or Approved Equal, 2" Depth Min.			
	Landscape Restoration Area See Note on Planting Plan			





Elevations



PLAN 1700 SPANISH ELEVATION



Bonus Intensity Zone

Development Standard	MZO Required	BIZ Proposed
<u>Minimum Lot Area –</u> <i>MZO Table 11-5-3.A.1</i>	9,000 square feet	6,000 square feet
<u>Minimum Lot Width –</u> <i>MZO Table 11-5-3.A.1</i>	75 feet	50 feet



Bonus Intensity Zone

Development Standard	MZO Required	BIZ Proposed
<u>Building setbacks (Minimum Yards) –</u> <i>MZO Table 11-5-3.A.1</i>		
	Front (enclosed livable areas, porches, and porte cocheres) and side loaded garages – 15 feet	Front (enclosed livable areas, porches, and porte cocheres) and side loaded garages– 10 feet
	Garages and carports (front and side yards) – 25 feet	Front Garages Only – 18 feet
	Street side – 10 feet	Street side – 5 feet only when adjacent to minimum 8 foot wide landscape tract
	Interior Side: minimum either side – 7 feet	Interior Side: minimum either side – 5 feet
	Interior Side: minimum aggregate of 2 sides – 20 feet	Interior Side: minimum aggregate of 2 sides – 10 feet
	Interior Rear – 30 feet	Interior Rear – 15 feet only when adjacent to minimum 10 foot wide landscape tract
	Rear Yard Next to Arterial Road – 30'	Rear Yard Next to Arterial Road – 15 feet only when adjacent to minimum 10 foot wide landscape tract



Bonus Intensity Zone

Development Standard	MZO Required	BIZ Proposed
<u>Garage Front Distance from Primary Building Front –</u> <i>MZO Section 11-5-3(B)(4)(a)</i>	Forward facing garages shall be located at least three (3) feet behind the primary wall facing the street, and never less than the required garage setback.	Forward facing garages shall be located at least two (2) feet behind the primary wall facing the street, and never less than the required garage setback.
<u>3-Car Garages allowed –</u> <i>MZO Section 11-5-3(B)(4)</i>	Not permitted	Yes, with a tandem 3-car or side-loaded 3rd stall
<u>Minimum Front Porch Dimensions</u> <i>MZO Section 11-5-3(B)(3)(a)</i>	Min depths of 6 feet from façade to posts, minimum width of 8 feet	Minimum depth of 3 feet from façade to posts or column, minimum width of 6 feet
<u>Elevation Material Calculations –</u> <i>MZO Section 11-5-3(B)(7)</i>	Buildings must contain at least 2 kinds of primary exterior materials and at least one material must be used on at least 15% of the front facade	For Spanish Elevations only, buildings may contain less than two primary exterior materials



Citizen Participation

- Notified property owners within 500 feet, HOAs and registered neighborhoods
- No comments received by staff





Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Criteria in Chapter 69 for Site Plan Review
- ✓ Complies with review criteria in Chapter 21 for a BLZ overlay

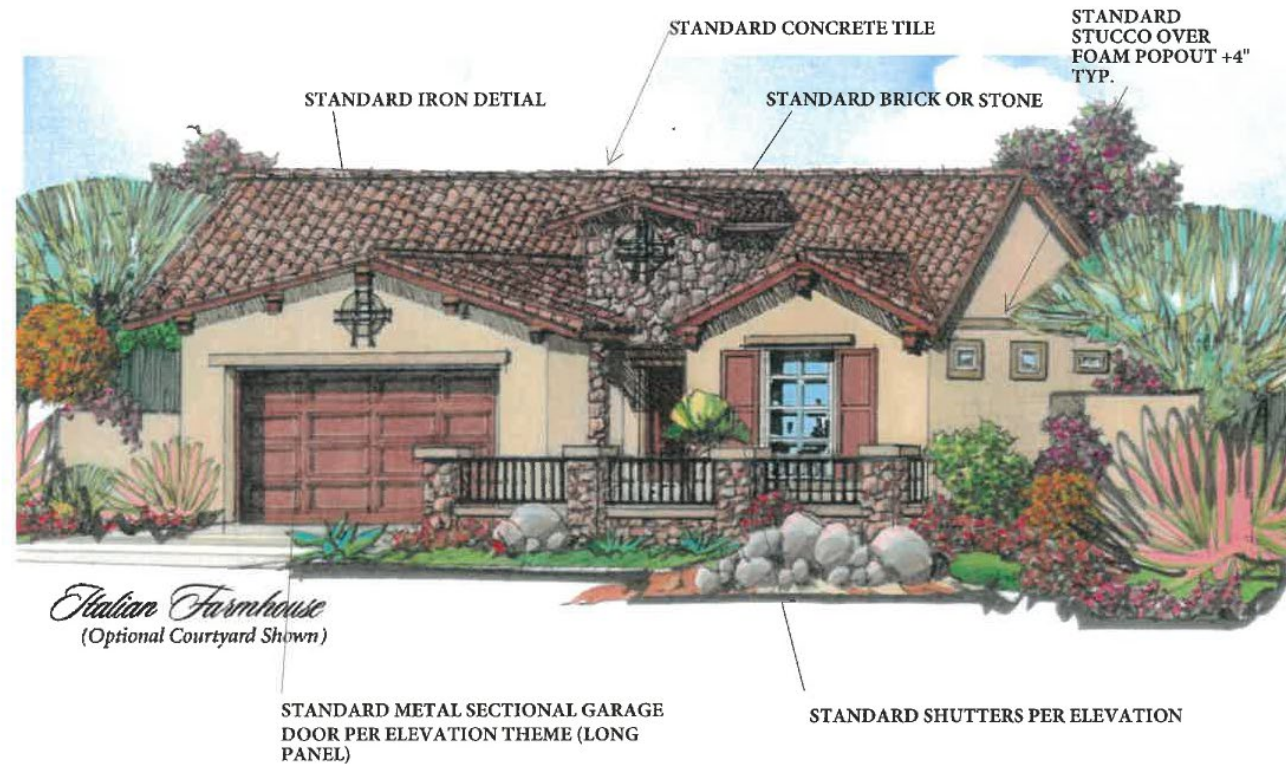
Staff recommends Approval with Conditions



Planning and Zoning Board



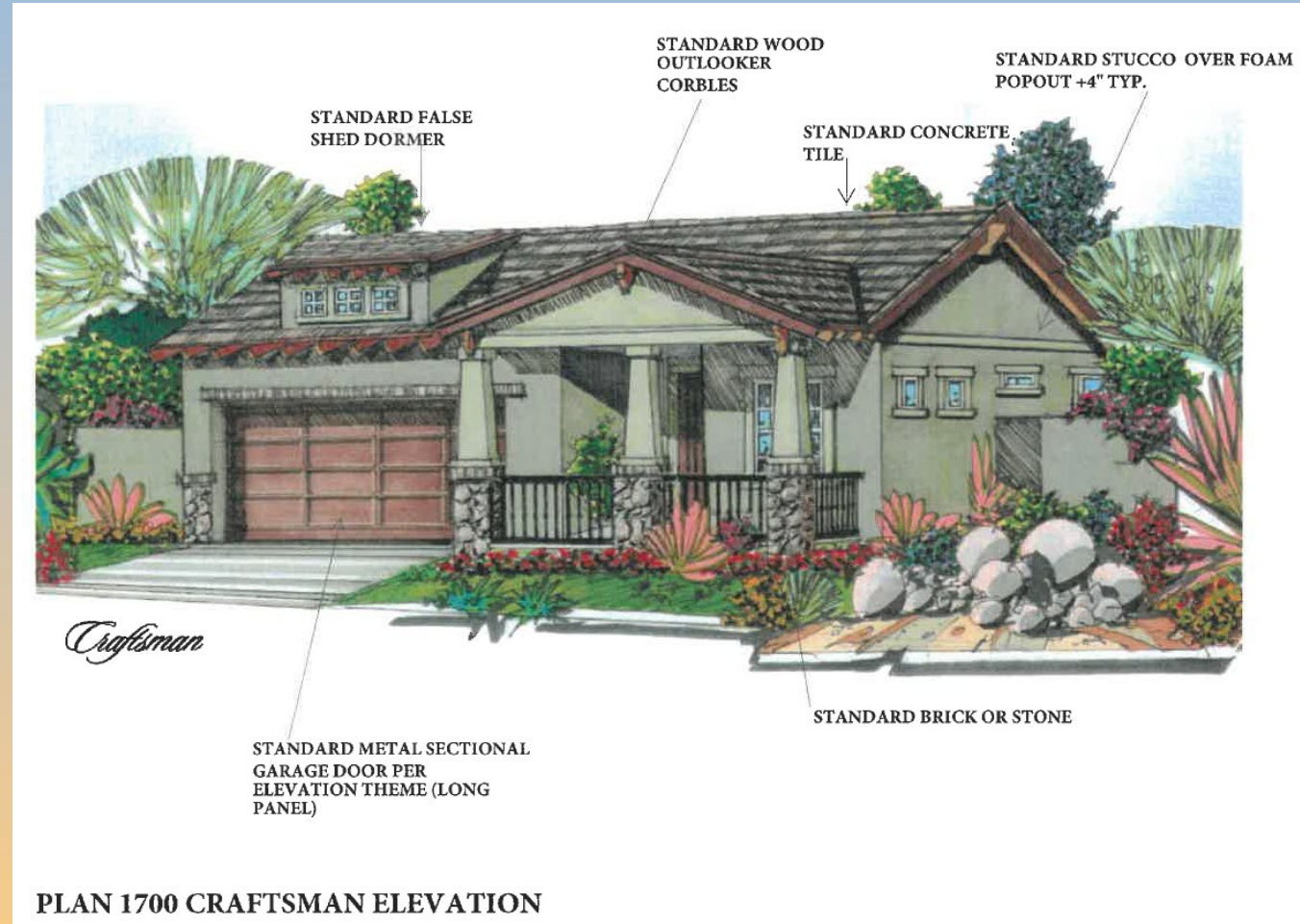
Elevations



PLAN 1700 ITALIAN FARMHOUSE ELEVATION



Elevations





Elevations



PLAN 1700 ANDALUSIAN ELEVATION



Elevations



PLAN 1700 COUNTRY FRENCH ELEVATION



Elevations





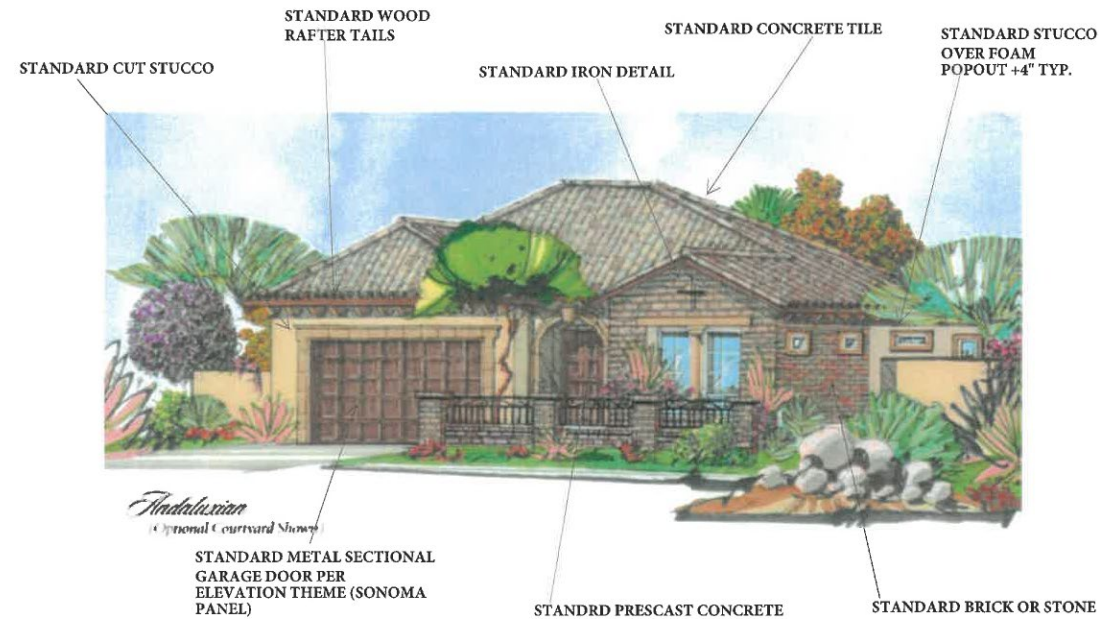
Elevations



PLAN 1900 ITALIAN FARMHOUSE ELEVATION



Elevations



PLAN 1900 ANDALUSIAN ELEVATION



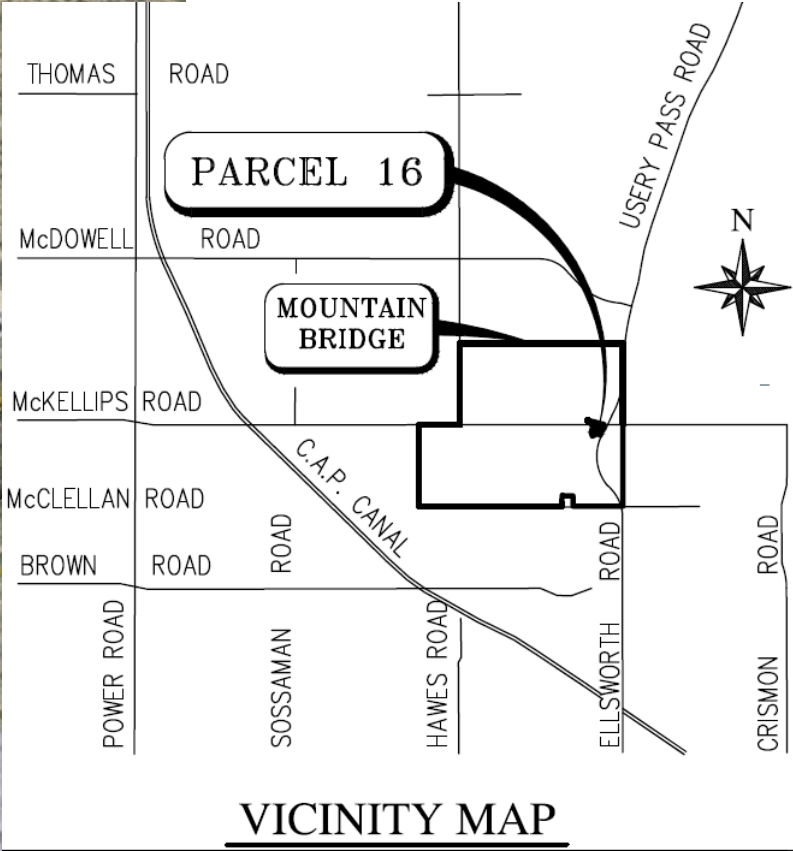
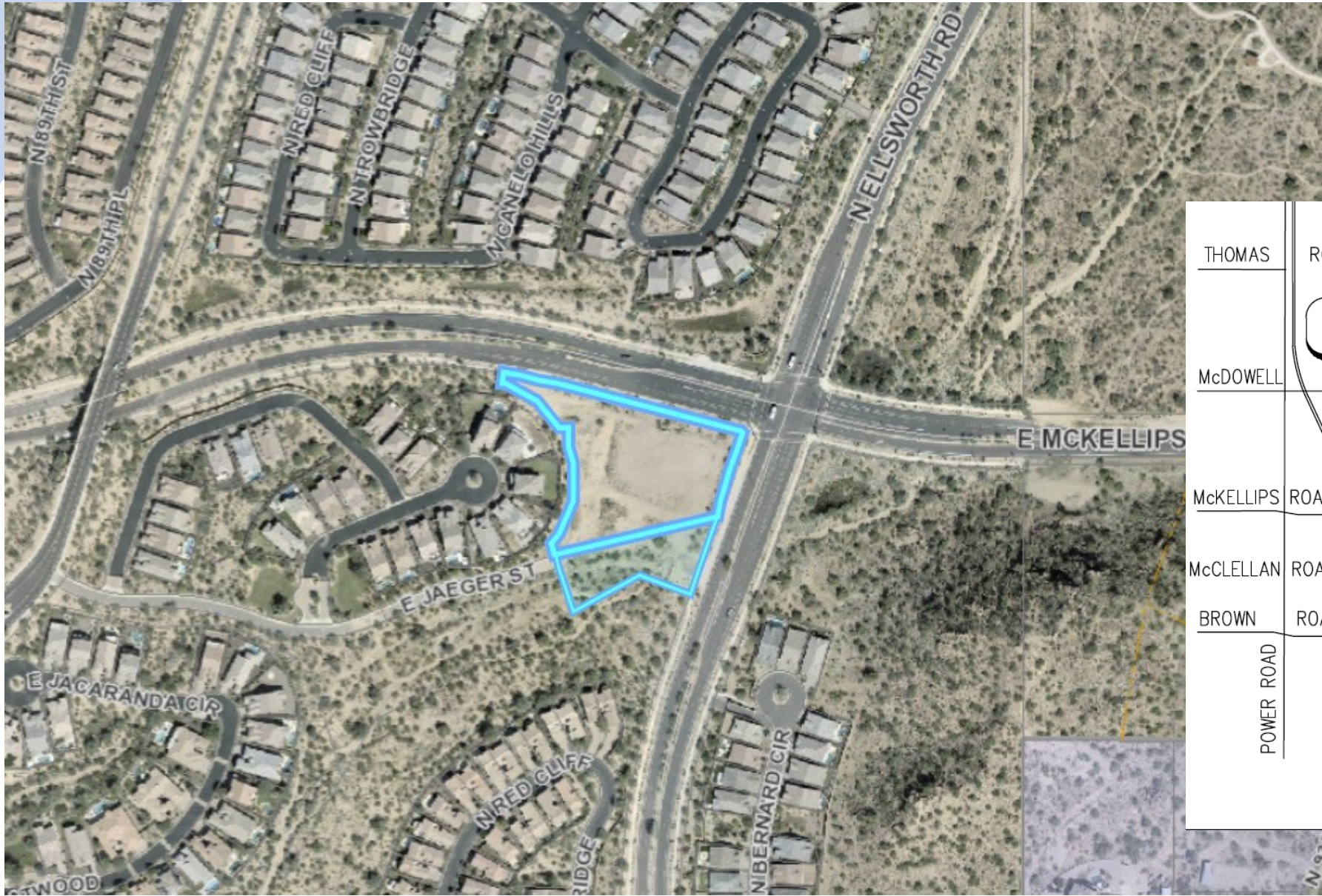
Enclave at Mountain Bridge


by

Blandford Homes

Southwest corner of Ellsworth & McKellips

ZON22-00977






B. Specific Purposes of Each District.

1. *NC Neighborhood Commercial.* To provide areas for locally oriented retail and service uses that serve the surrounding residential trade area within a ½ to two (2) mile radius. Typical uses include, but are not limited to retail stores, grocery-store-anchored shopping centers, drug stores, restaurants and cafes, gas stations, and convenience stores. Other compatible uses include small-scale medical and professional offices, personal services, as well as public and semi-public uses. large commercial development buildings are not appropriate in the Neighborhood Commercial District according to the Mesa General Plan.

Examples of allowed uses:

- Day Care Centers
 - Automobile maintenance centers
 - Kennels
 - Drive-Thru facilities
 - Pawn Shops
 - Wedding Venues
 - Multifamily / attached single family
- 



General Plan Designation:
Neighborhood

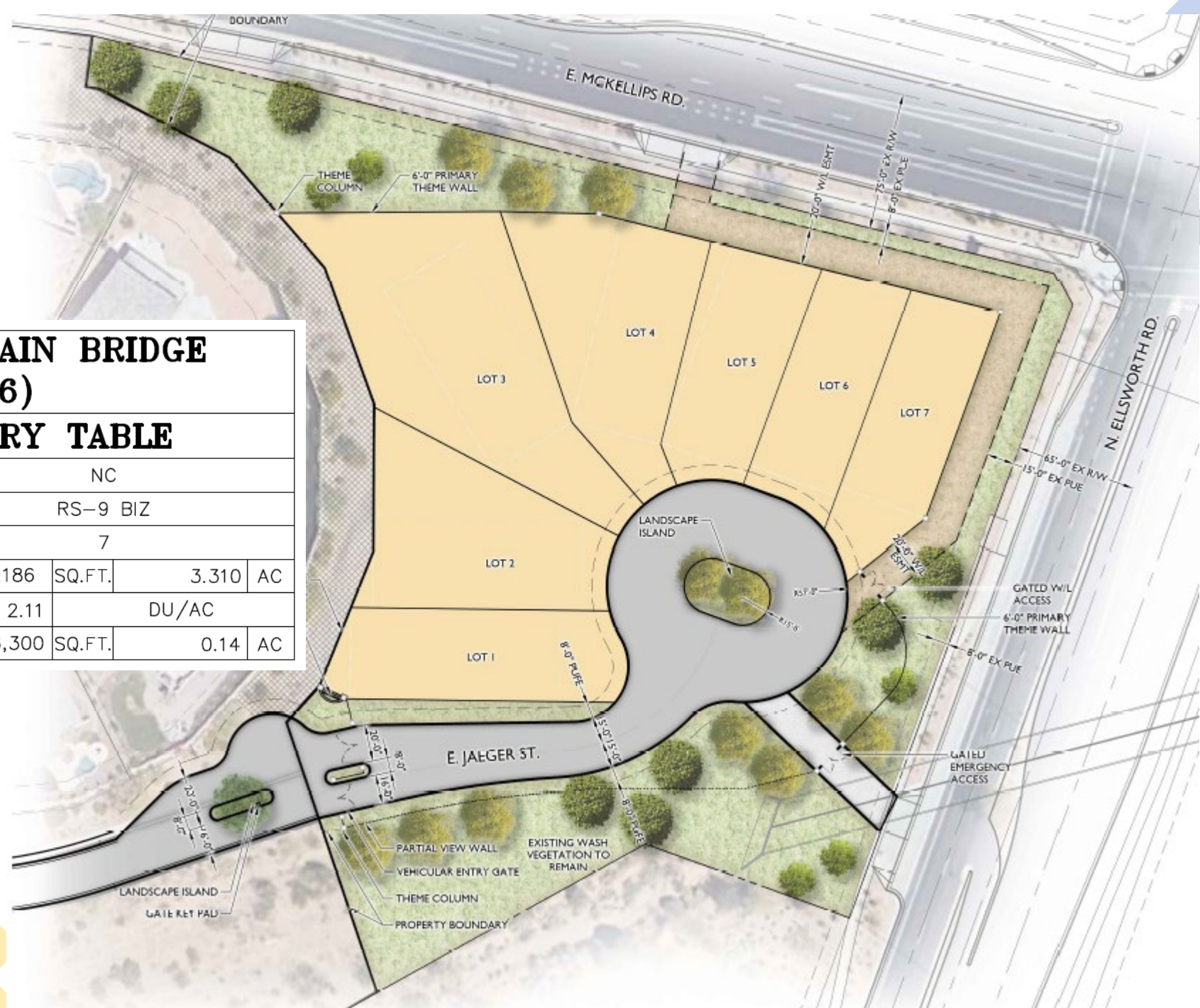
Request to City of Mesa

Rezone from
Neighborhood Commercial (NC)
to
Residential 9,000 lot RS-9 BIZ

ENCLAVE AT MOUNTAIN BRIDGE (PARCEL 16)				
LAND USE SUMMARY TABLE				
EXISTING ZONING	NC			
PROPOSED ZONING	RS-9 BIZ			
TOTAL NUMBER OF LOTS	7			
TOTAL AREA	144,186	SQ.FT.	3.310	AC
TOTAL GROSS DENSITY	2.11	DU/AC		
MIN. LOT SIZE	6,300	SQ.FT.	0.14	AC

LAND USE SUMMARY TABLE

EXISTING ZONING	NC			
PROPOSED ZONING	RS-9 BIZ			
TOTAL NUMBER OF LOTS	7			
TOTAL AREA	144,186	SQ.FT.	3.310	AC
TOTAL GROSS DENSITY	2.11	DU/AC		
MIN. LOT SIZE	6,300	SQ.FT.	0.14	AC



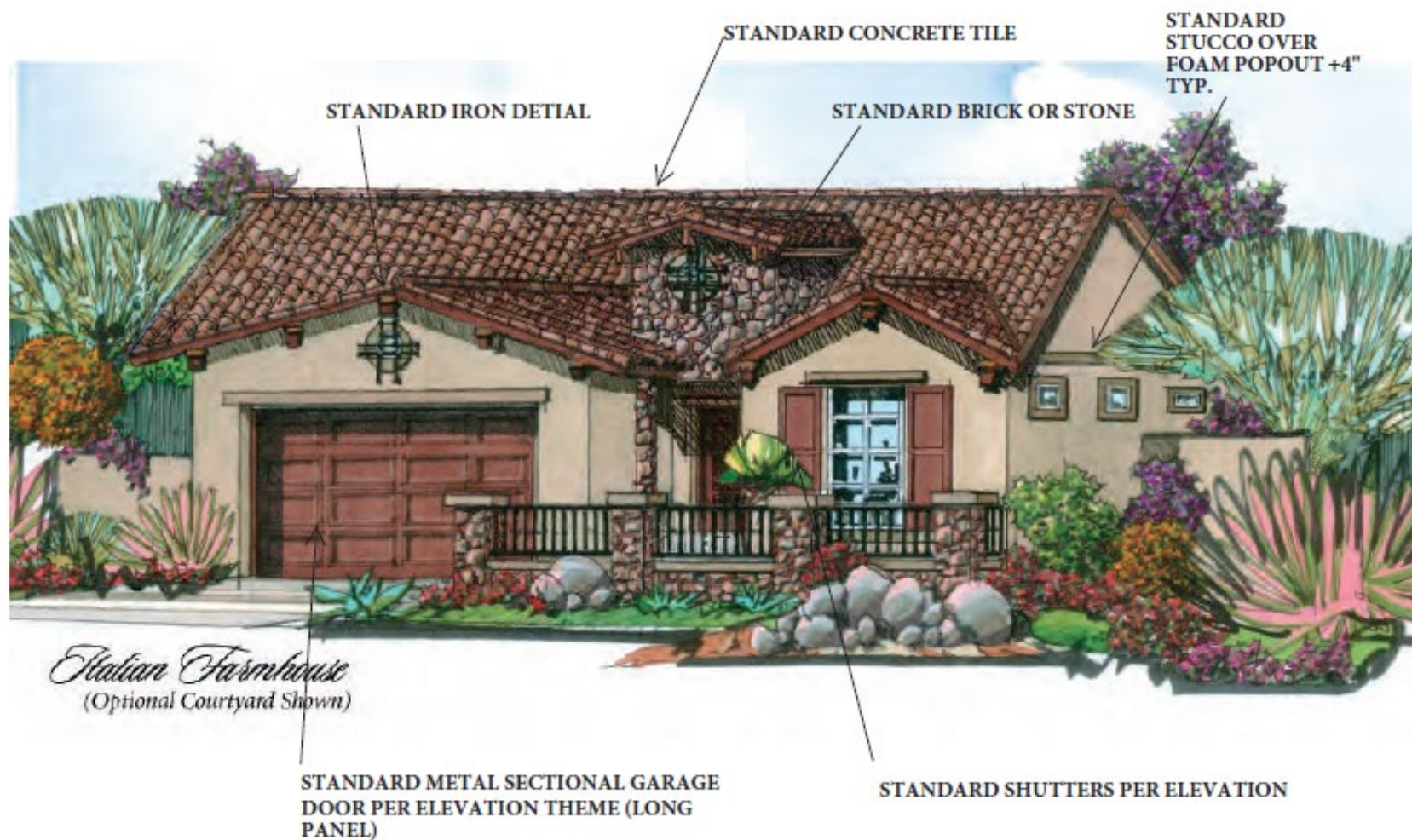


Exterior Elevations

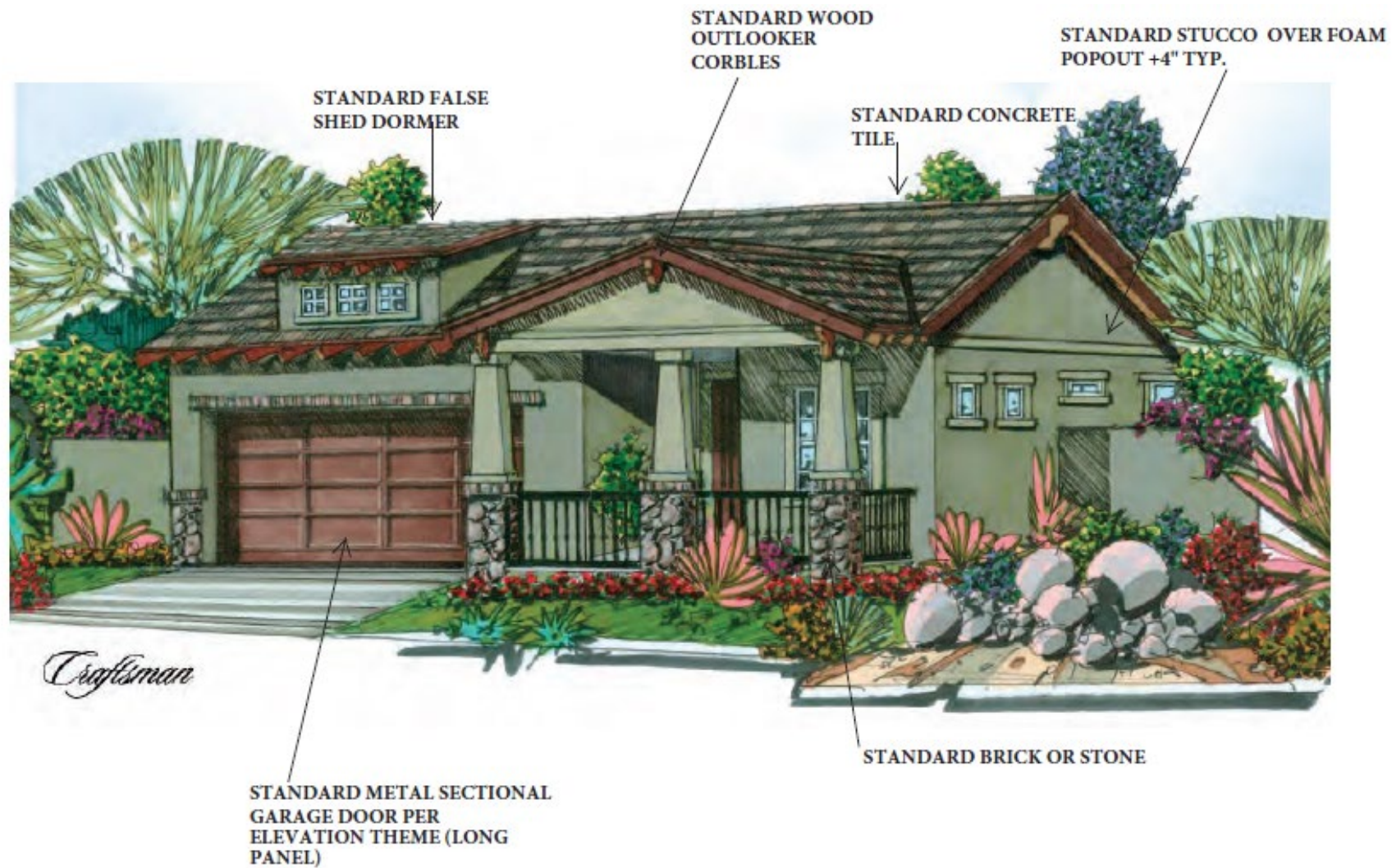


PLAN 1700 SPANISH ELEVATION

BLANDFORD HOMES

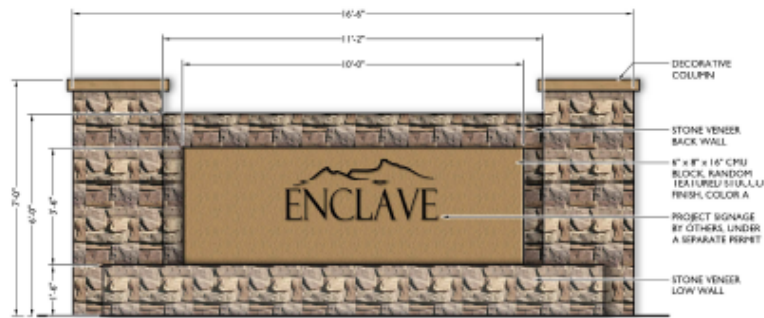


PLAN 1700 ITALIAN FARMHOUSE ELEVATION

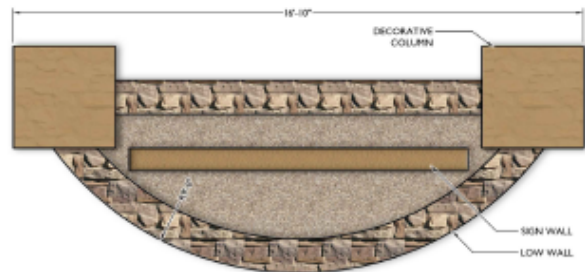


PLAN 1700 CRAFTSMAN ELEVATION

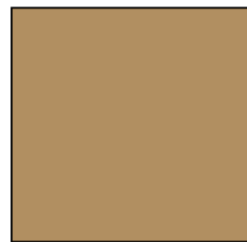
BLANDFORD HOMES



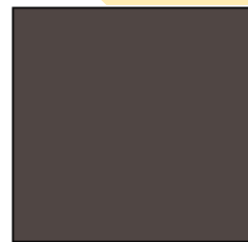
ELEVATION



PLAN



COLOR A
Color: DET6152 Maple View
by Dunn Edwards, OAE



COLOR B
Color: DET680 Espresso Macchiato
by Dunn Edwards, OAE

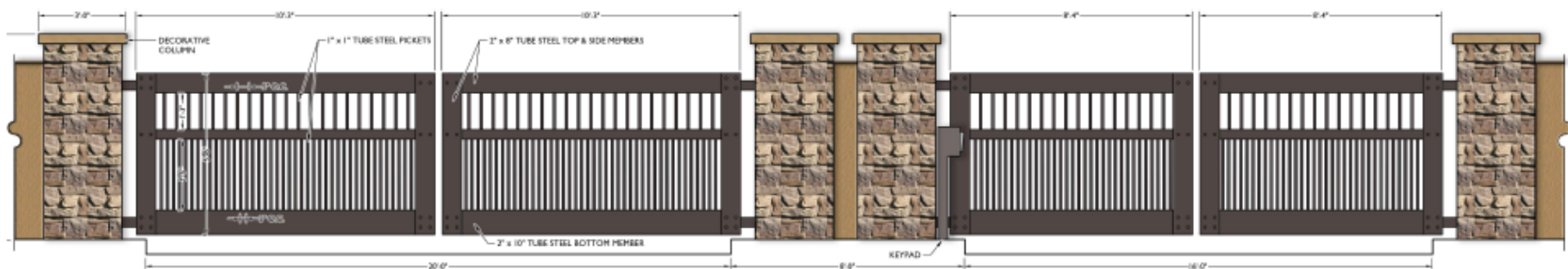


STONE VENEER
Cypress Ridge, Color: Orchard
by El Dorado Stone, OAE

NOTE:
ALL STEEL SHALL BE PAINTED COLOR B UNLESS OTHERWISE NOTED

1 ENTRY MONUMENT

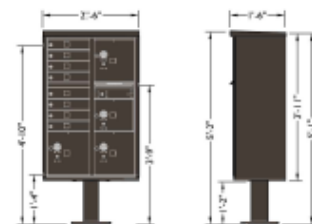
Scale: 1/2" = 1'-0"



ELEVATION

MAILBOX NOTES:

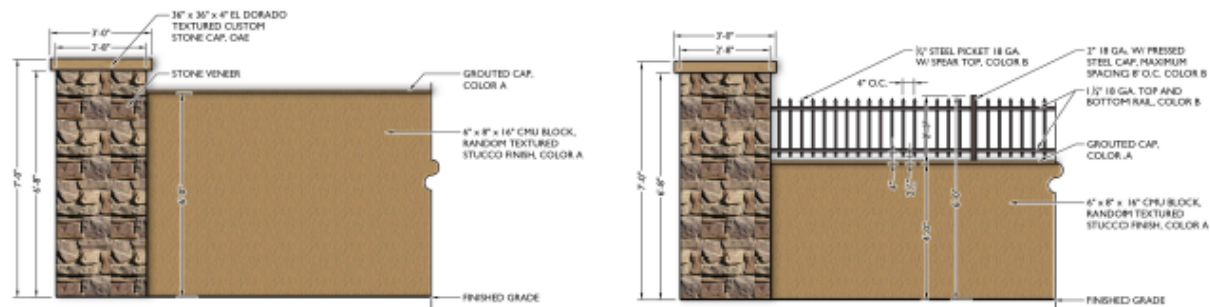
- PEDESTAL MAILBOX W/BIGHT SPACES AND FOUR PARCEL DROPS (1570-BT6)
- COLOR SHALL BE DARK BRONZE AS PER MANUFACTURER'S WEBSITE



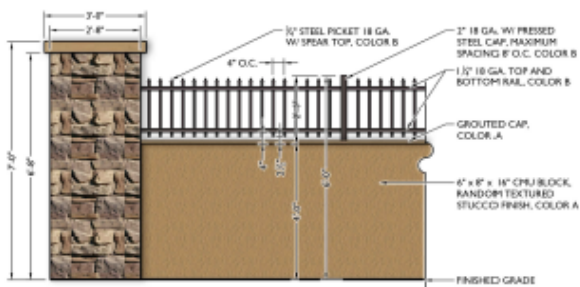
ELEVATION

2 VEHICULAR ENTRY

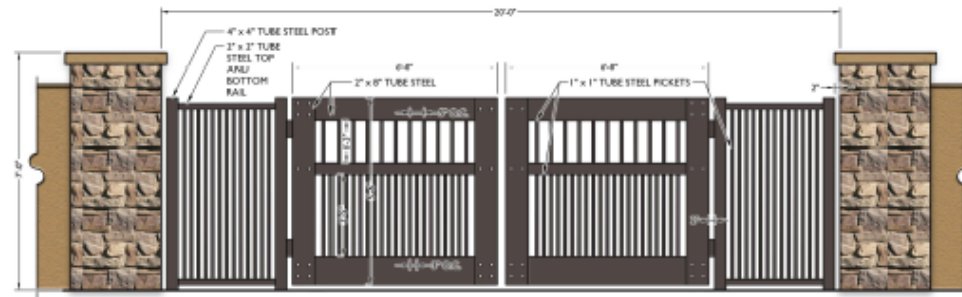
Scale: 1/2" = 1'-0"



ELEVATION



ELEVATION



ELEVATION

4 PRIMARY THEME WALL

Scale: 1/2" = 1'-0"

5 PARTIAL VIEW WALL

Scale: 1/2" = 1'-0"

6 MAINTENANCE ACCESS GATE

Scale: 1/2" = 1'-0"

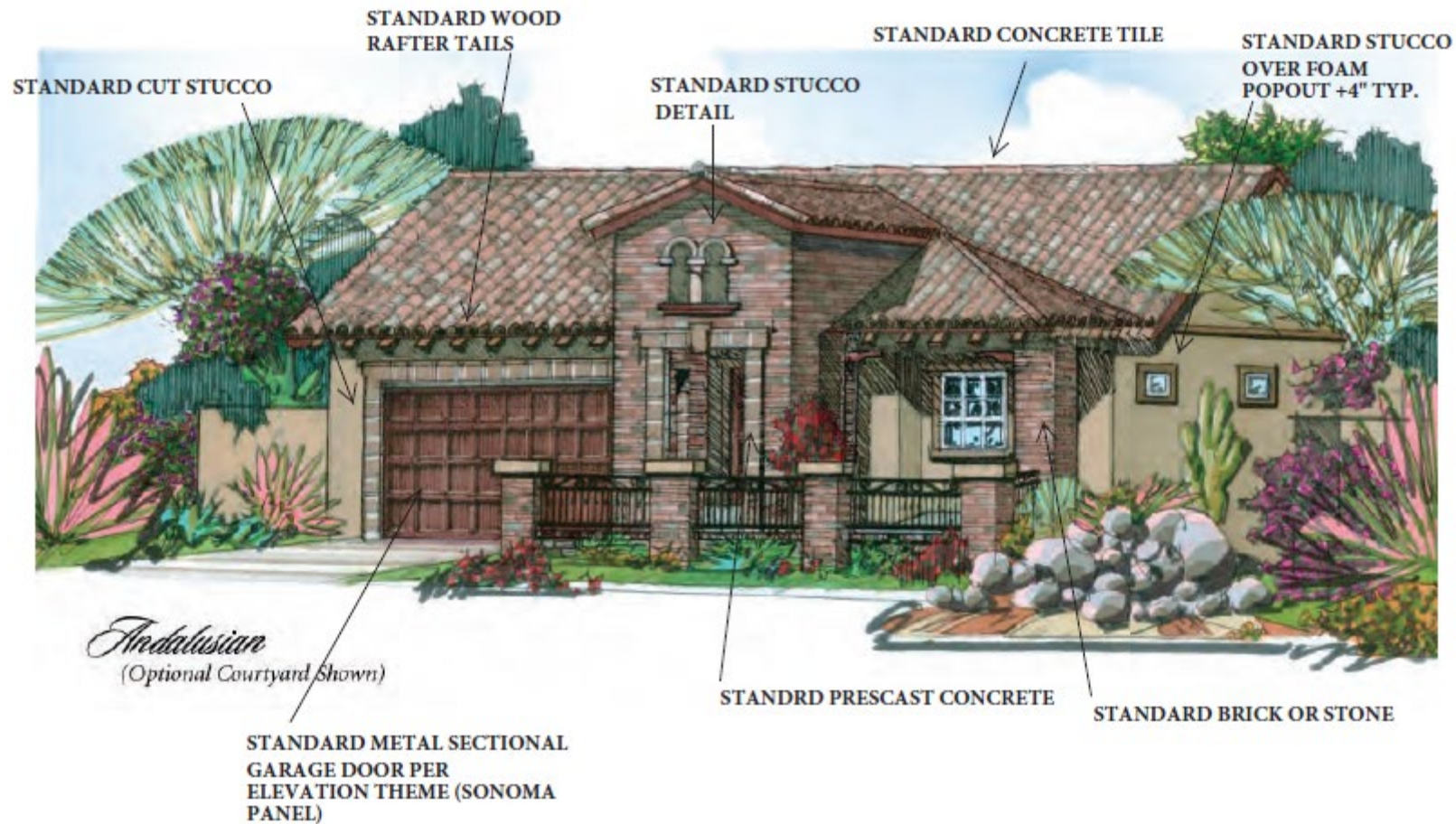
Comments or Questions?

Pew & Lake, PLC.

Sean B. Lake sean.lake@pewandlake.com

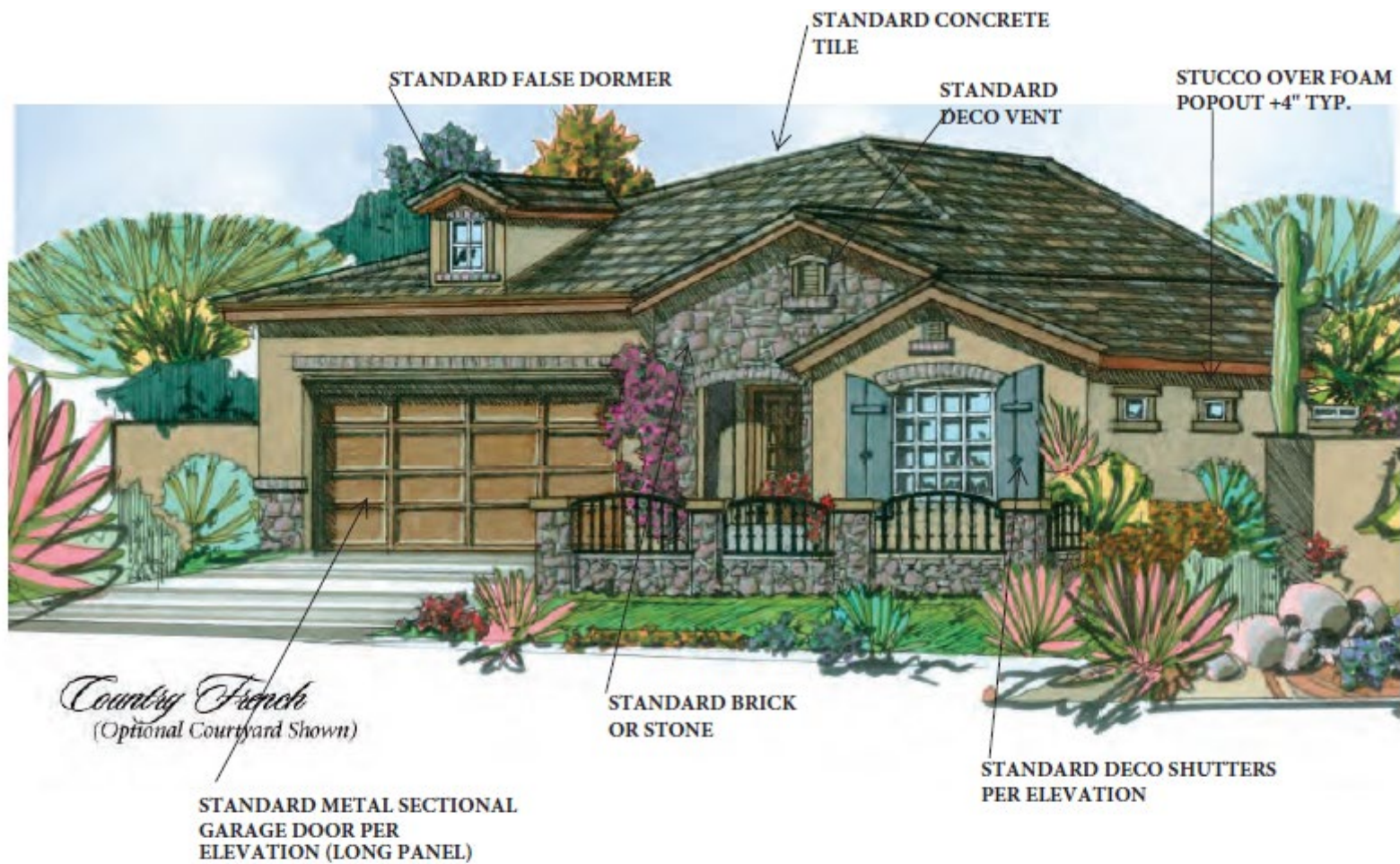
Sarah Fitzgerald sarah.fitzgerald@pewandlake.com

Phone: 480-461-4670



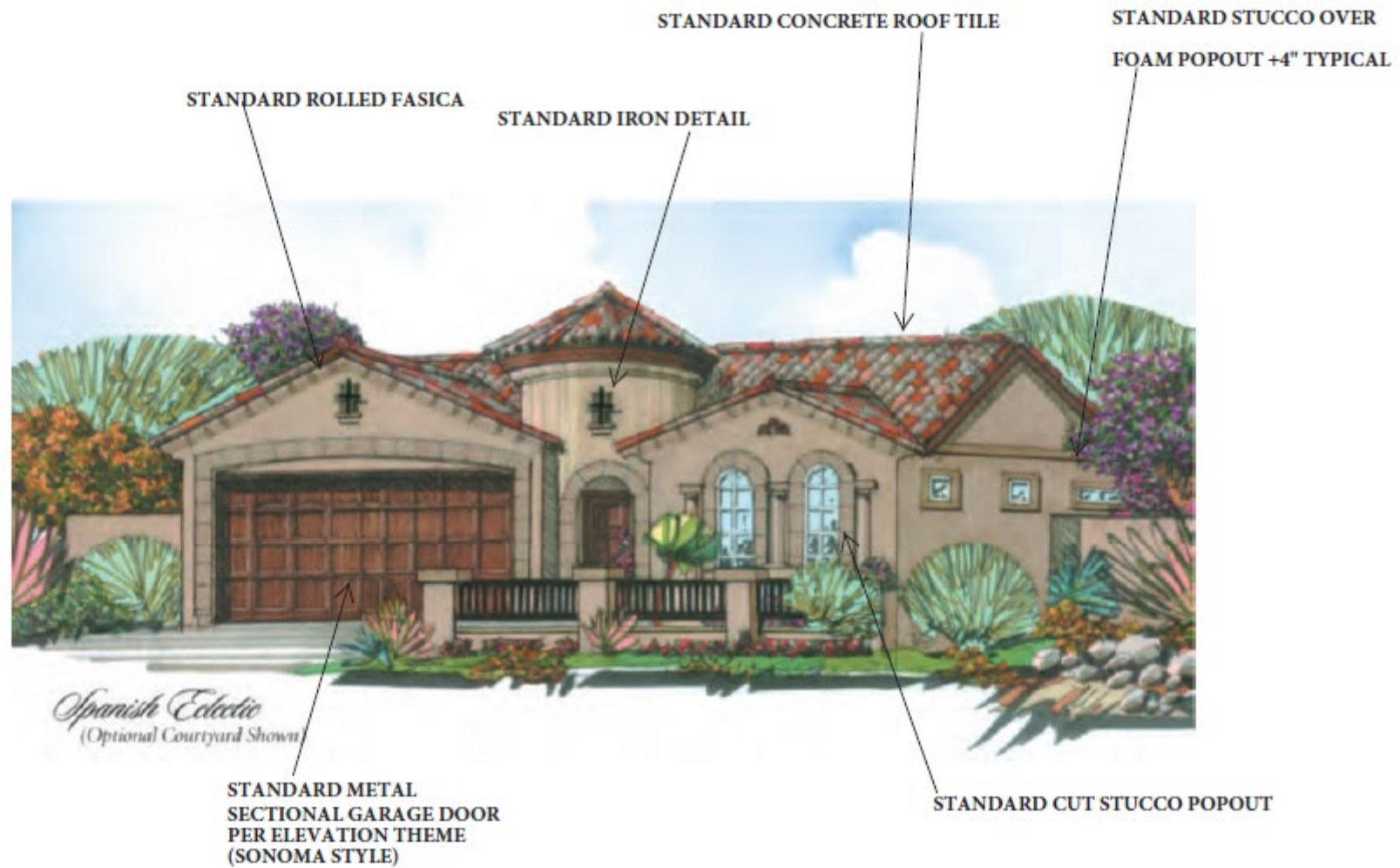
PLAN 1700 ANDALUSIAN ELEVATION

BLANDFORD HOMES



PLAN 1700 COUNTRY FRENCH ELEVATION

BLANDFORD HOMES



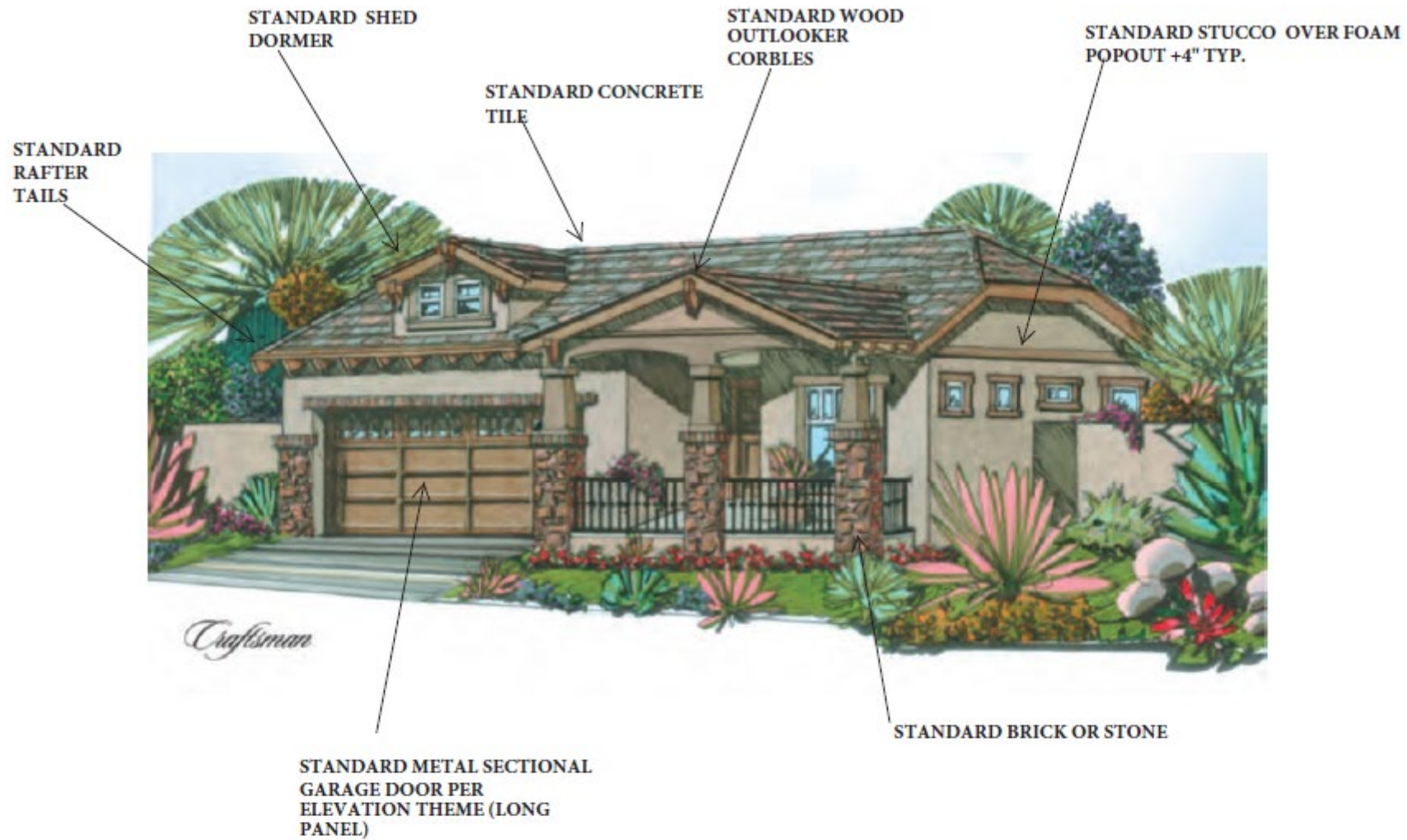
PLAN 1900 SPANISH ELEVATION

BLANDFORD HOMES



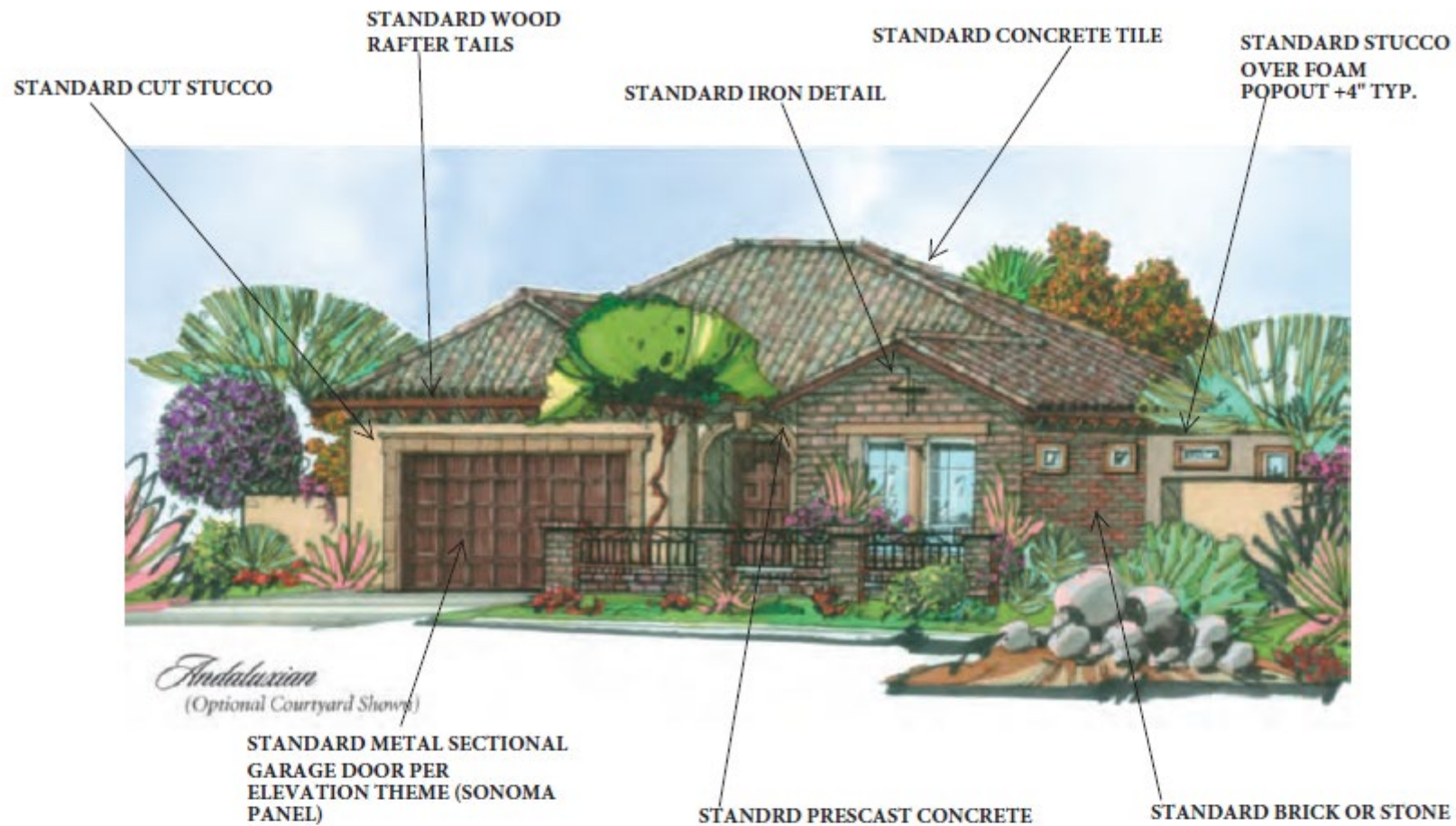
PLAN 1900 ITALIAN FARMHOUSE ELEVATION

BLANDFORD HOMES



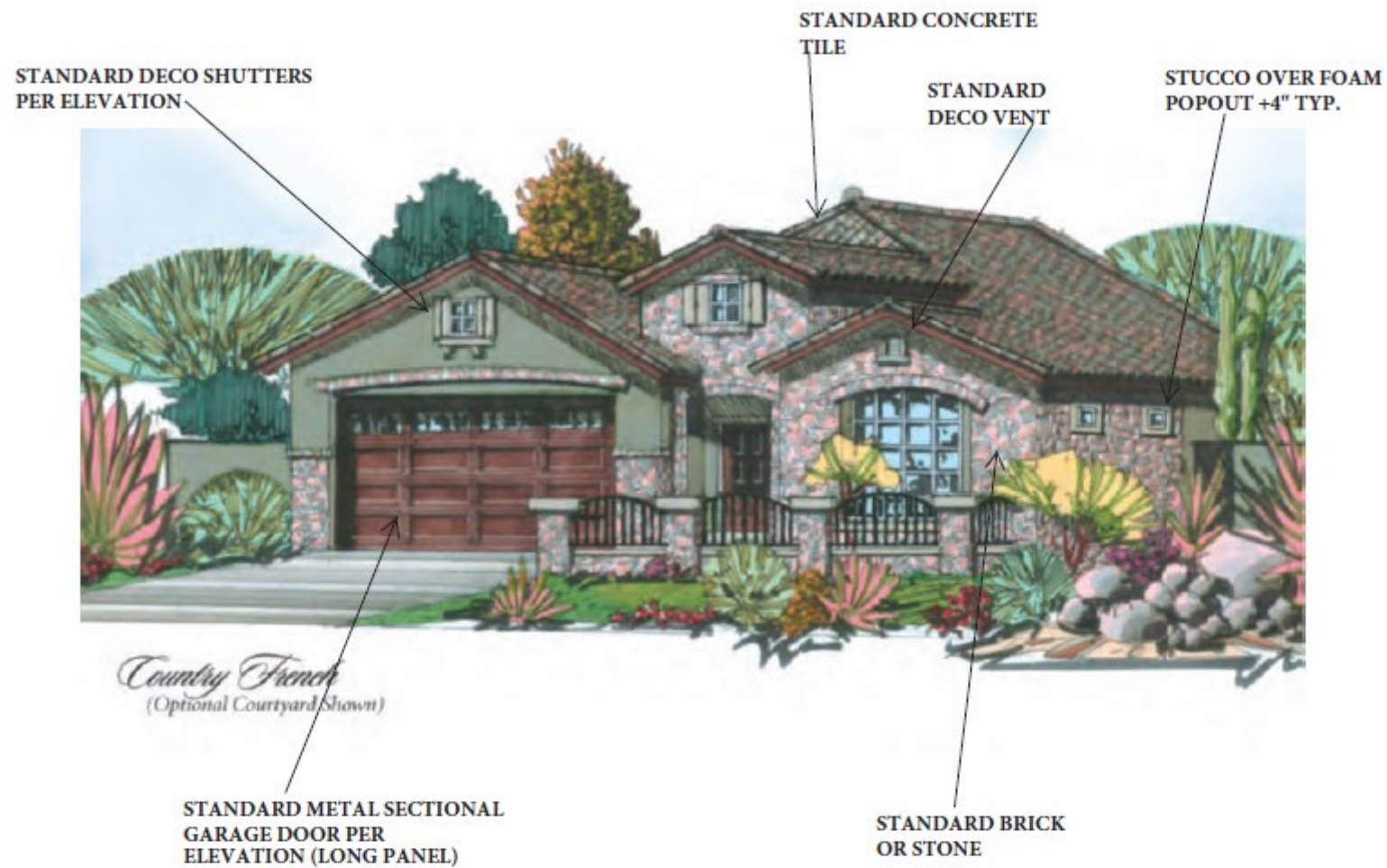
PLAN 1900 CRAFTSMAN ELEVATION

BLANDFORD HOMES



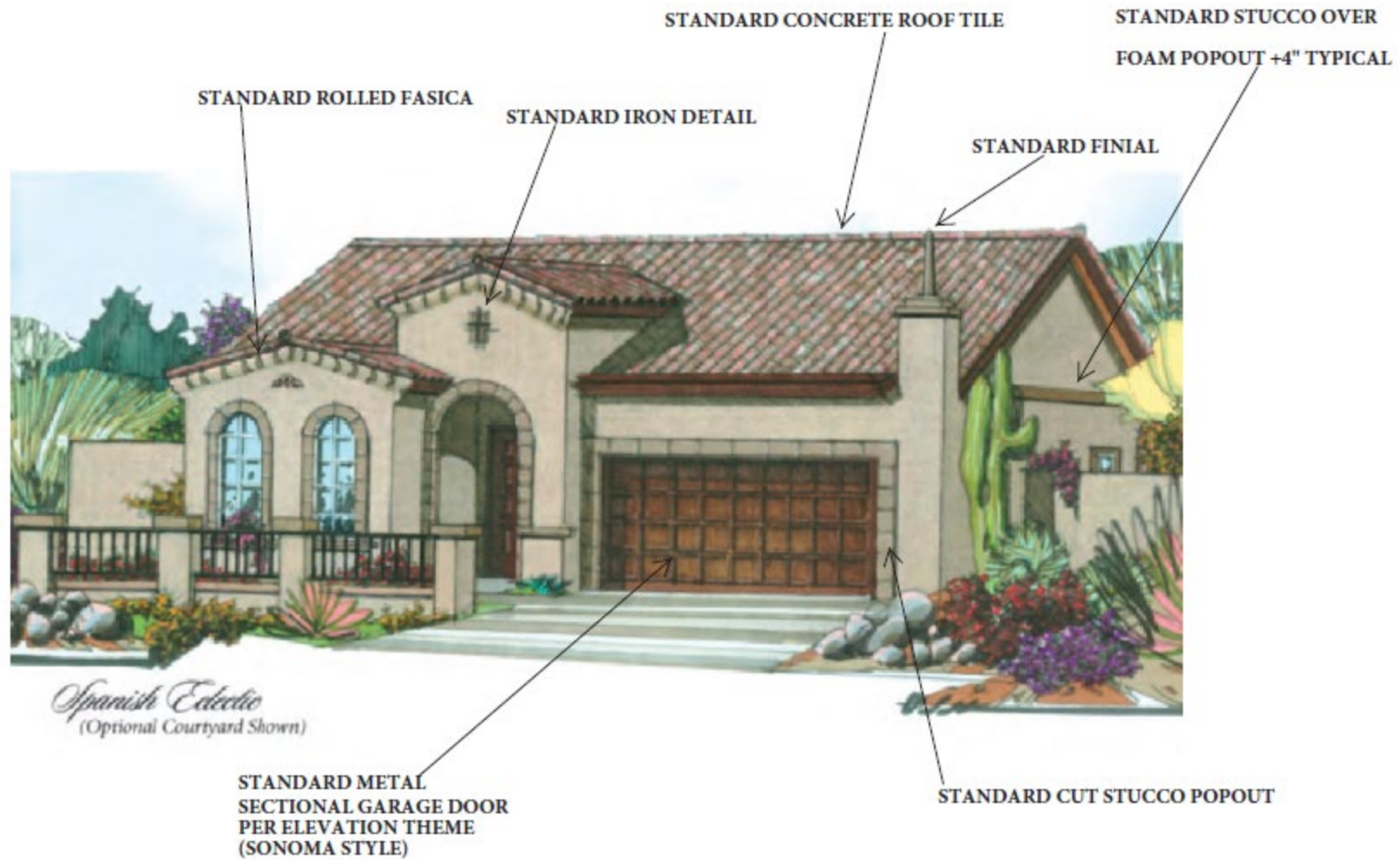
PLAN 1900 ANDALUSIAN ELEVATION

BLANDFORD HOMES



PLAN 1900 COUNTRY FRENCH ELEVATION

BLANDFORD HOMES



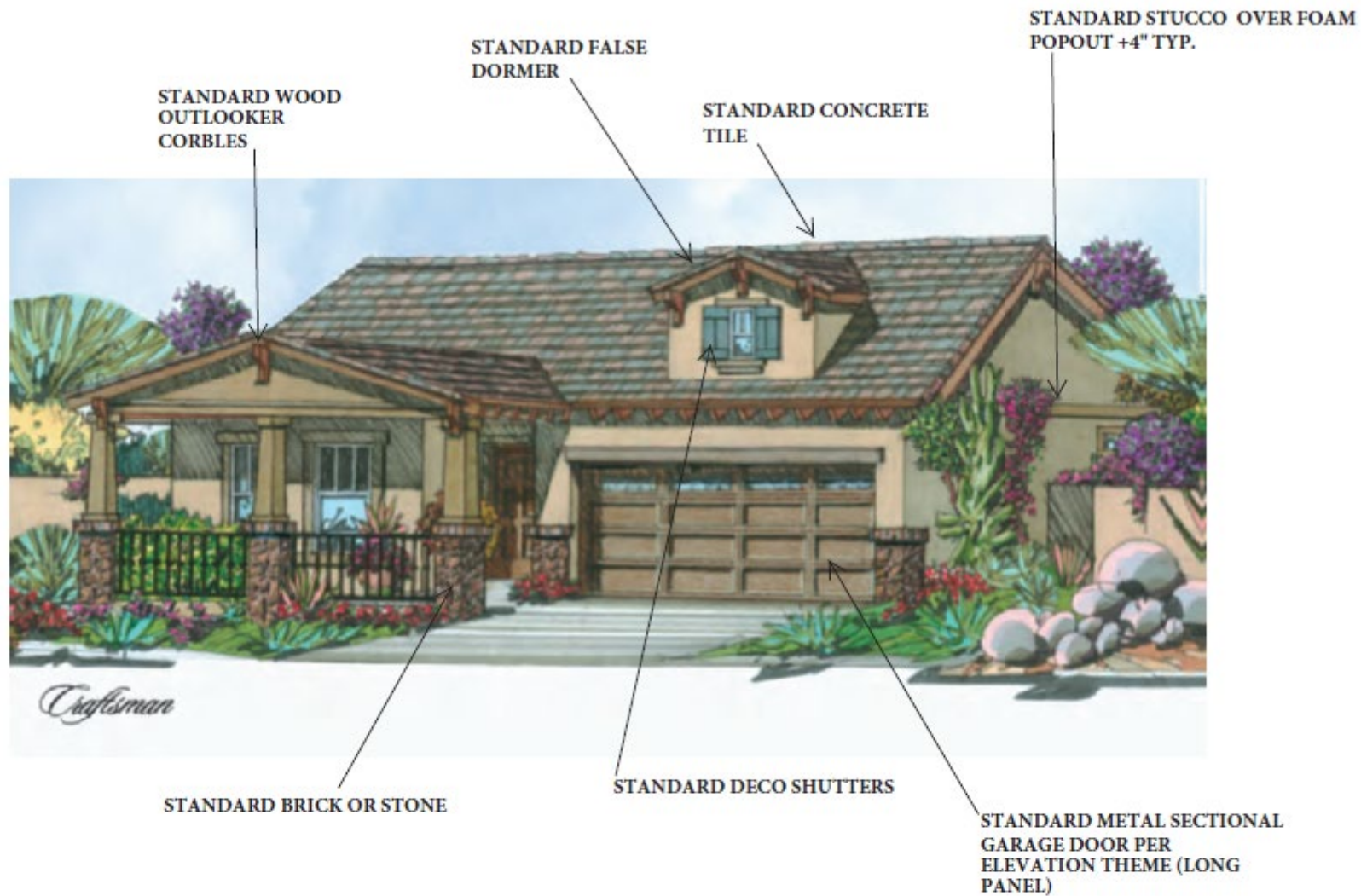
PLAN 2000 SPANISH ELEVATION

BLANDFORD HOMES



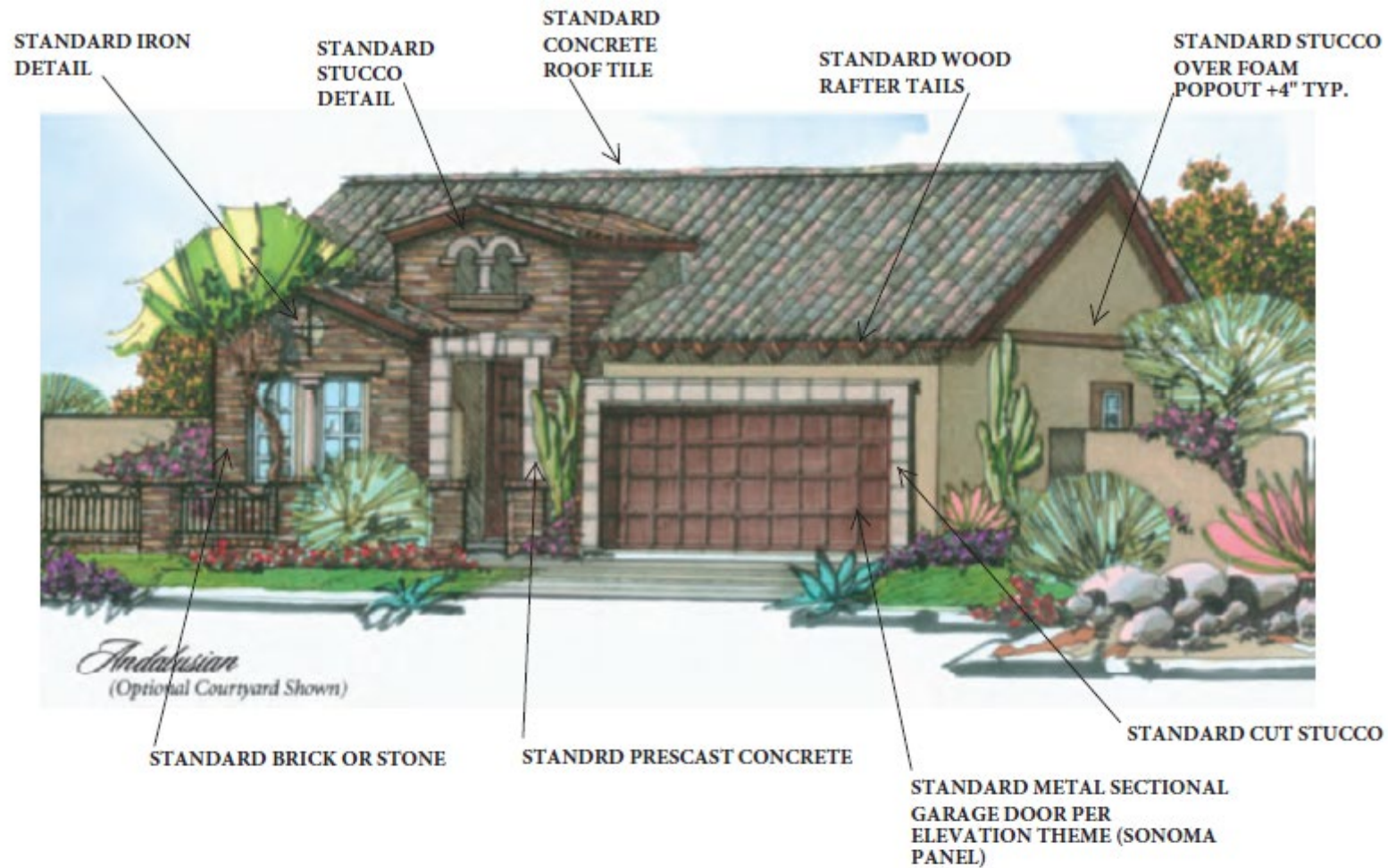
PLAN 2000 ITALIAN FARMHOUSE ELEVATION

BLANDFORD HOMES



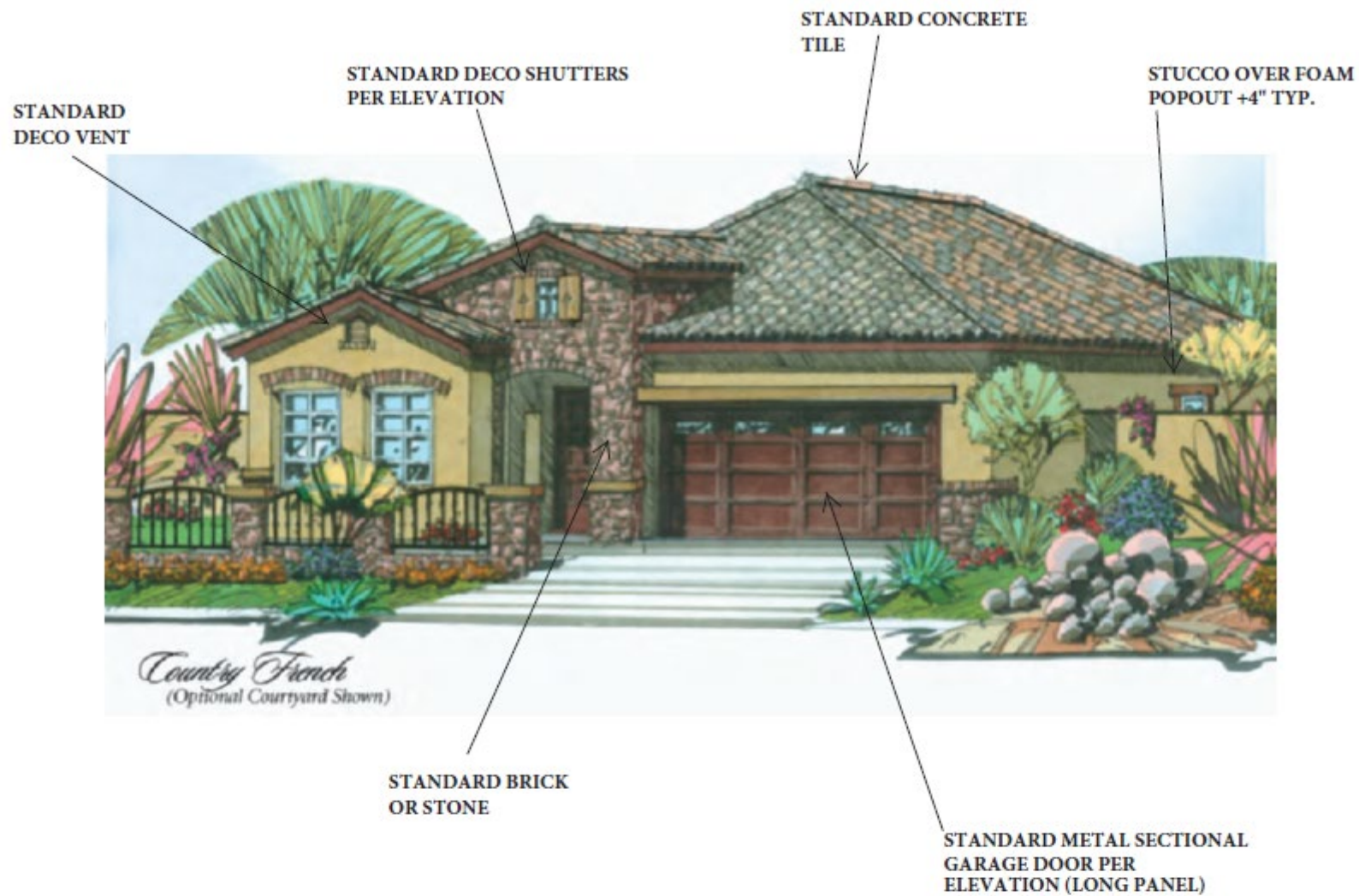
PLAN 2000 CRAFTSMAN ELEVATION

BLANDFORD HOMES



PLAN 2000 ANDALUSIAN ELEVATION

BLANDFORD HOMES



PLAN 2000 COUNTRY FRENCH ELEVATION

BLANDFORD HOMES