

**ST. LOUIS**

Power House at Union Station
401 S. 18th Street, Suite 200
St. Louis, MO 63103
314.984.9887 tel

ST. CHARLES

1520 S. Fifth Street
Suite 307
St. Charles, MO 63303
636.978.7508 tel

DALLAS

7501 Lone Star Drive
Suite 250B
Plano, TX 75024
972.624.6000 tel

PHOENIX

2701 E. Camelback Road
Suite 175
Phoenix, AZ 85016
602.795.4111 tel

July 29, 2022

To:

Josh Grandlienard, City of Mesa Planner, (480)-644-4691

RE: Project Narrative
Design Review
Pre-Application/Project Number: PRS22-00458
Pre-Application Meeting Date: May 17, 2022

Purpose of Request:

The purpose of this request is to process a Design Review and Site Plan approval to allow for a new self storage development. The subject site is approximately +/- 1.36 acres and is located at the Southwest Corner of W. Broadway Road and S. Morris.

Project Summary

The project will consist of a single three-story climate controlled self storage facility with approximately 78,800 GSF. The building materials complement the existing buildings on West Broadway Rd. (Business name of "K Sports Voo Doo"). We have addressed the loading and unloading by providing a recessed loading zone at the rear of the facility which screen from public view. Public space has been provided at the intersection of West Broadway and S. Morris with a planter that provides opportunities for outdoor seating and sun protection which complements the neighborhood. Current prosed landscaping provides a desirable and harmonious theme which will help blend the building into its surroundings.

Site Design:**Streets and Access**

The primary access for this project will be from S. Morris and the secondary emergency fire access will be provided from the SR-87 Northbound exit ramp onto W. Broadway Road. Existing ROW along S. Morris is 55', and existing ROW along W. Broadway varies from is 65' on the northern portion to 33' on the southern portion.

Building Placement and Orientation

The site is designed and the building is placed efficiently within the site to maximize building footprint while maintaining a strong visual presence that will blend well with the surrounding area. Site improvements will also include a complimentary landscape design, hardscape pavers, screened parking and site lighting.

Drainage and Retention:

The current site is relatively flat and slopes from North to South. The proposed drainage plan will capture and retain onsite runoff generated from the improvements as well as capture and retaining the runoff generated by the roof drain downspouts. This water will be conveyed via sheet flow to a

**ST. LOUIS**

Power House at Union Station
401 S. 18th Street, Suite 200
St. Louis, MO 63103
314.984.9887 *tel*

ST. CHARLES

1520 S. Fifth Street
Suite 307
St. Charles, MO 63303
636.978.7508 *tel*

DALLAS

7501 Lone Star Drive
Suite 250B
Plano, TX 75024
972.624.6000 *tel*

PHOENIX

2701 E. Camelback Road
Suite 175
Phoenix, AZ 85016
602.795.4111 *tel*

combination of above & underground retention basins. The retention basins will be bled off using a drywell designed to dewater the entire retention system in 36 hours. Runoff not captured along the North and West side of the building will be contained in small area retention basins. All storm drainage facilities and retention will be designed to City of Mesa Standards and coordinated with City staff.

Parking, Loading and Vehicular Access

City of Mesa Zoning Ordinance requires 6 total spaces for mini-storage applications of this size. Parking is divided with 3 parking spaces located outside of the security gate and the remaining 3 spots located within the security gate. 3 additional spaces are screened within the covered +/-30' x +/-40' loading area. All customer and employee access to the site will be from S Morris.

Landscaping and Shading

Landscape plants and materials will be selected from the Arizona Department of Water Resources low water use plant list for the Phoenix Active Management Area. The landscape theme will include enhancing the quantities of trees as well as providing shading around the perimeter of the building.

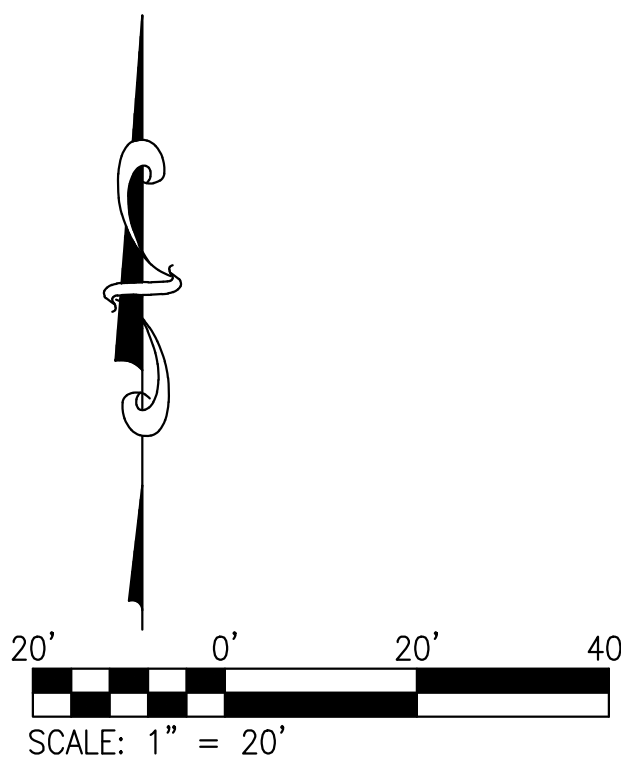
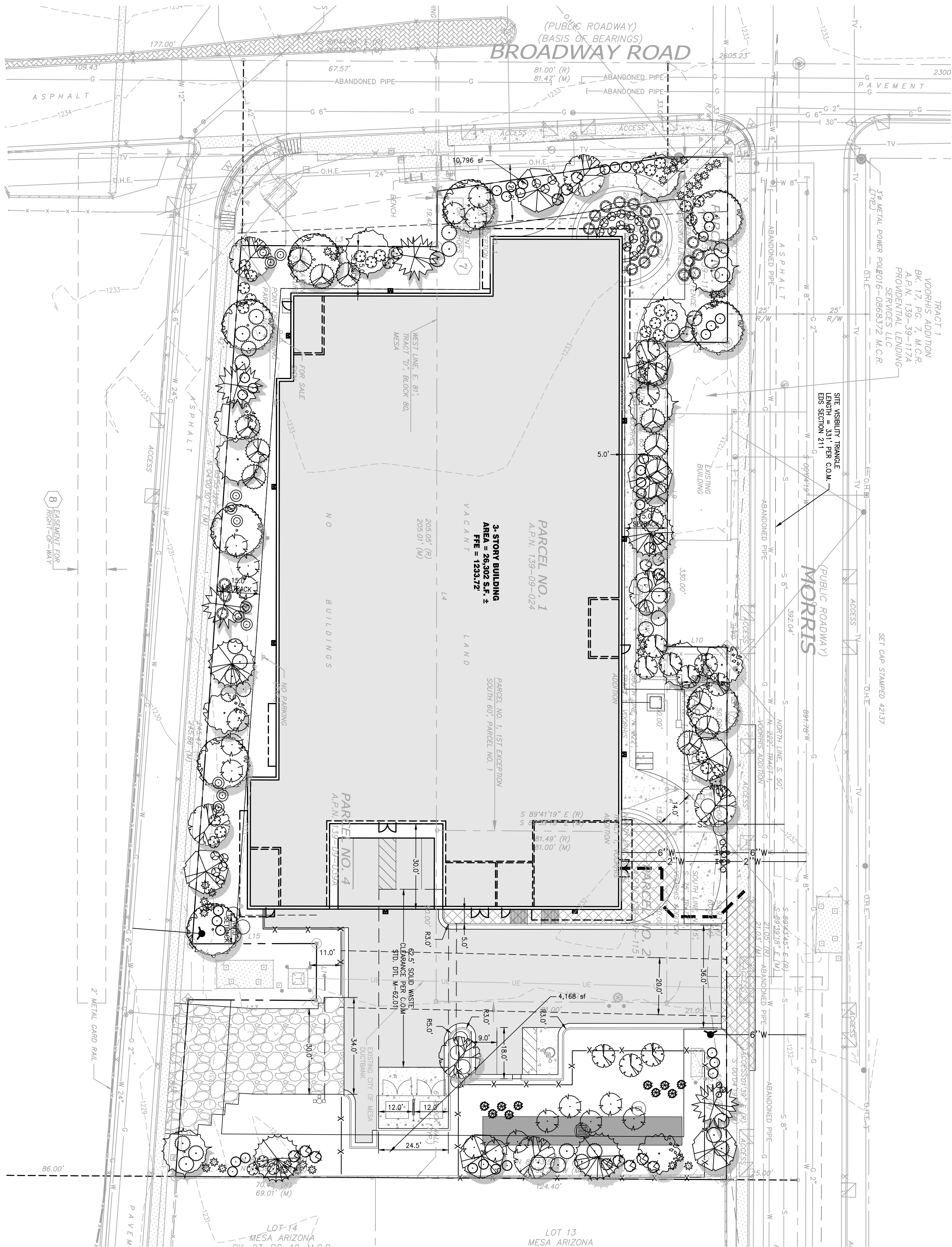
Landscape design will be per the Landscape sections of the Mesa Zoning ordinance, data tables are provided on the landscape showing the required and provided amounts to show compliance meets or exceeds the Mesa requirements. Landscaping in pedestrian area will provide and maximize shading for pedestrians, the pedestrian area nearest the Broadway and Morris intersection will include a large planter box as well as bench seating.

Refuse

Refuse is provided within the security gates away from public view with an enclosing refuse structure, the project will be served by a single refuse enclosure with double swing gates to screen containers from view.

Sincerely,

Russell Grimes
Cole Design Group
rgrimes@colestl.com
(602)-795-4111 x 8



PROPOSED PLANT MATERIAL SCHEDULE						
SYMB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	PLANT TYPE FOR LANDSCAPE CREDIT	REMARKS
TREES						
	7	Sophora secundiflora	Texas Mountain Laurel	15 GAL.	Ornamental	Multi-Trunk
	8	Acacia aneura	Mulga	24" BOX	Shade	Standard Trunk
	4	Acacia salicina	Willow Acacia	24" BOX	Evergreen	Standard Trunk
	4	Acacia salicina	Willow Acacia	15 GAL.	Evergreen	Standard Trunk
	9	Quercus virginiana	Live Oak	36" BOX	Evergreen	Multi-Trunk
	7	Ulmus parvifolia 'Sempervirens'	Evergreen Elm	24" BOX	Evergreen	Standard Trunk
	4	Dalbergis sissoo	Sissoo Tree	24" BOX	Evergreen	Standard Trunk
SHRUBS						
SYMB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	PLANT TYPE FOR LANDSCAPE CREDIT	REMARKS
	12	Nerium oleander 'petite pink'	Petite Pink Oleander	5 GAL.	Medium Shrub	
	41	Hesperaloe parviflora	Red Yucca	5 GAL.	Small Shrub	
	32	Dasylirion wheeleri	Silver Desert Spoon	5 GAL.	Small Shrub	
	35	Leucophyllum langmaniae 'Lynns Legacy'	'Lynns Legacy' Sage	5 GAL.	Medium Shrub	
	35	Tecoma x 'Bells of Fire'	Bells of Fire	5 GAL.	Medium Shrub	
	17	Larrea tridentata	Creosote	5 GAL.	Large Shrub	
	14	Dodonaea viscosa	Hopseed Bush	5 GAL.	Large Shrub	
	23	Bougainvillea 'Torch Glow'	Torch Glow Bougainvillea	5 GAL.	Medium Shrub	
	16	Justicia californica	Chuparosa	5 GAL.	Medium Shrub	
	12	Caesalpinia pulcherrima	Red Bird of Paradise	5 GAL.	Large Shrub	
	10	Ericameria laricifolia	Turpentine Bush	5 GAL.	Small Shrub	
GROUND COVER						
	10	Acacia 'Desert Carpet'	Desert Carpet Acacia	1 GAL.	Evergreen G.C.	
	8	Aloe 'Blue Elf'	Blue Elf Aloe	1 GAL.	Evergreen G.C.	
	19	Lantana montevidensis	Purple Trailing Lantana	1 GAL.	Evergreen G.C.	

* NOTE: FINAL PLANT MATURE SIZE MAY VARY ON-SITE DEPENDING ON SITE CONDITIONS.

LANDSCAPE REQUIREMENTS			
Table 11-33-3.A.4: Required Number of Plants by Street Type - PERIMETER LANDSCAPE			
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROV'D
Major and Intersection Collector Streets (90'-110') 1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (4 trees and 24 shrubs per 100') 25% OF TOTAL REQUIRED TREES SHALL BE 36" BOX OR LARGER 50% OF TOTAL REQUIRED TREES SHALL BE 24" BOX 50% OF TOTAL REQUIRED SHRUBS SHALL BE 5 GAL. SIZE OR LARGER NO SHRUBS SHALL BE LESS THAN 1 GAL. IN SIZE	Broadway Rd. +/- 175 l.f. of frontage 175/25 = 7 7x6=42	(2) 36" BOX TREES (4) 24" BOX TREES (1) 15 GAL. TREES (21) 5 GAL. SHRUBS (21) LESS THAN 5 GAL. SHRUBS	(2) 36" BOX TREES (4) 24" BOX TREES (1) 15 GAL. TREES (21) 5 GAL. SHRUBS (21) LESS THAN 5 GAL. SHRUBS
Public or Private Local Streets (Less than 90') 1 Tree and 4 Shrubs per 25 Linear Feet of Street Frontage (4 trees and 16 shrubs per 100') 25% OF TOTAL REQUIRED TREES SHALL BE 36" BOX OR LARGER 50% OF TOTAL REQUIRED TREES SHALL BE 24" BOX 50% OF TOTAL REQUIRED SHRUBS SHALL BE 5 GAL. SIZE OR LARGER NO SHRUBS SHALL BE LESS THAN 1 GAL. IN SIZE	Exit Ramp +/- 328 l.f. of frontage 327/25 = 13 = 13 13x4=52 Morris Rd +/- 252 l.f. of frontage 252/25 = 10 10x4=40	(4) 36" BOX TREES (7) 24" BOX TREES (2) 15 GAL. TREES (26) 5 GAL. SHRUBS (26) LESS THAN 5 GAL. SHRUBS (3) 36" BOX TREES (5) 24" BOX TREES (2) 15 GAL. TREES (20) 5 GAL. SHRUBS (20) LESS THAN 5 GAL. SHRUBS	(4) 36" BOX TREES (7) 24" BOX TREES (2) 15 GAL. TREES (26) 5 GAL. SHRUBS (26) LESS THAN 5 GAL. SHRUBS (3) 36" BOX TREES (5) 24" BOX TREES (2) 15 GAL. TREES (20) 5 GAL. SHRUBS (20) LESS THAN 5 GAL. SHRUBS
11-33-3 (7) - PERIMETER LANDSCAPING - LANDSCAPE COVERAGE			
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROV'D
PERIMETER LANDSCAPE AREA Fifty percent of the required landscape area shall be vegetative material at maturity. AREA CALCULATIONS PER TABLE 11-33-2 E: VEGETATION CREDIT TABLE	Landscape area totals for Morris Rd, Broadway Rd. and Highway exit ramp frontage and south property line and east property line around adjacent building = +/- 14,964 s.f. 50% OF 14,964 = 7,482 s.f.	7,482 s.f.	9,055 s.f.
11-33-3 (B) (2) - Landscaping for Non-Single Residence Uses Adjacent to Other Non-Single Residence			
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROV'D
A minimum of 3 non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line shall be provided.	SOUTH PROPERTY LINE +/- 193 l.f. of frontage 193/100 = 1.9 = 2 2x3=6 2x20=40 EAST PROPERTY LINE +/- 149 l.f. of frontage 149/100 = 1.5 = 2 2x3=6 2x20=40	(3) 24" BOX TREES (3) 15 GAL. TREES (20) 5 GAL. SHRUBS (20) LESS THAN 5 GAL. SHRUBS (3) 24" BOX TREES (3) 15 GAL. TREES (20) 5 GAL. SHRUBS (20) LESS THAN 5 GAL. SHRUBS	(3) 24" BOX TREES (3) 15 GAL. TREES (20) 5 GAL. SHRUBS (20) LESS THAN 5 GAL. SHRUBS (3) 24" BOX TREES (3) 15 GAL. TREES (20) 5 GAL. SHRUBS (20) LESS THAN 5 GAL. SHRUBS
11-33-5 (B) - FOUNDATION BASE - Landscape Area in Foundation Base.			
A minimum one (1) tree per 50 linear feet or less of exterior wall length of a building. A minimum 10 percent of the required trees in foundation base shall be at least 36-inch box size. The balance of the required trees shall be 24-inch box size Trees in a parking lot and within 30 feet of the building may be counted toward this requirement	+/- 735 l.f. of building perimeter 735/50 = 14.7 = 15	(2) 36" BOX TREES (13) 24" BOX TREES	(2) 36" BOX TREES (13) 24" BOX TREES *TREES USED FOR THIS REQUIREMENT ARE ALSO USED FOR STREET FRONTAGE AND ARE WITHIN 30' OF THE BUILDING

DEVELOPER/OWNER:
DVD CAPITAL
545 LINCOLN AVENUE SUITE 14
WINNETKA, IL 60093
708-374-1634

CERTIFICATE NO. 53743
JEREMY DON ROACH
Landscape Architect
ARIZONA
EXP. 3-31-2024

MESA SELF STORAGE
W BROADWAY RD & S MORRIS
MESA, AZ 85210

PHOENIX
101 Camelback Road
Suite 175
Phoenix, AZ 85016
602.795.1111 tel
www.coletti.com

coletti
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
Call & Appointment, Inc. is a Member Corporation of Cole Design Group, Inc. in Arizona & Texas. Member registered as an "equal"

DESIGN/CALC BY
RG

DRAWN BY
RG

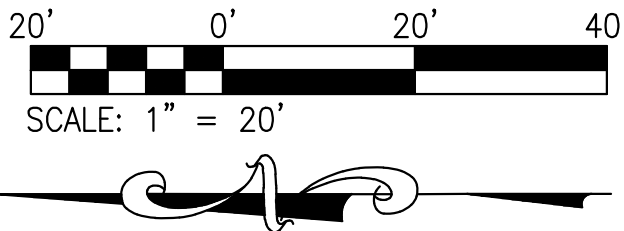
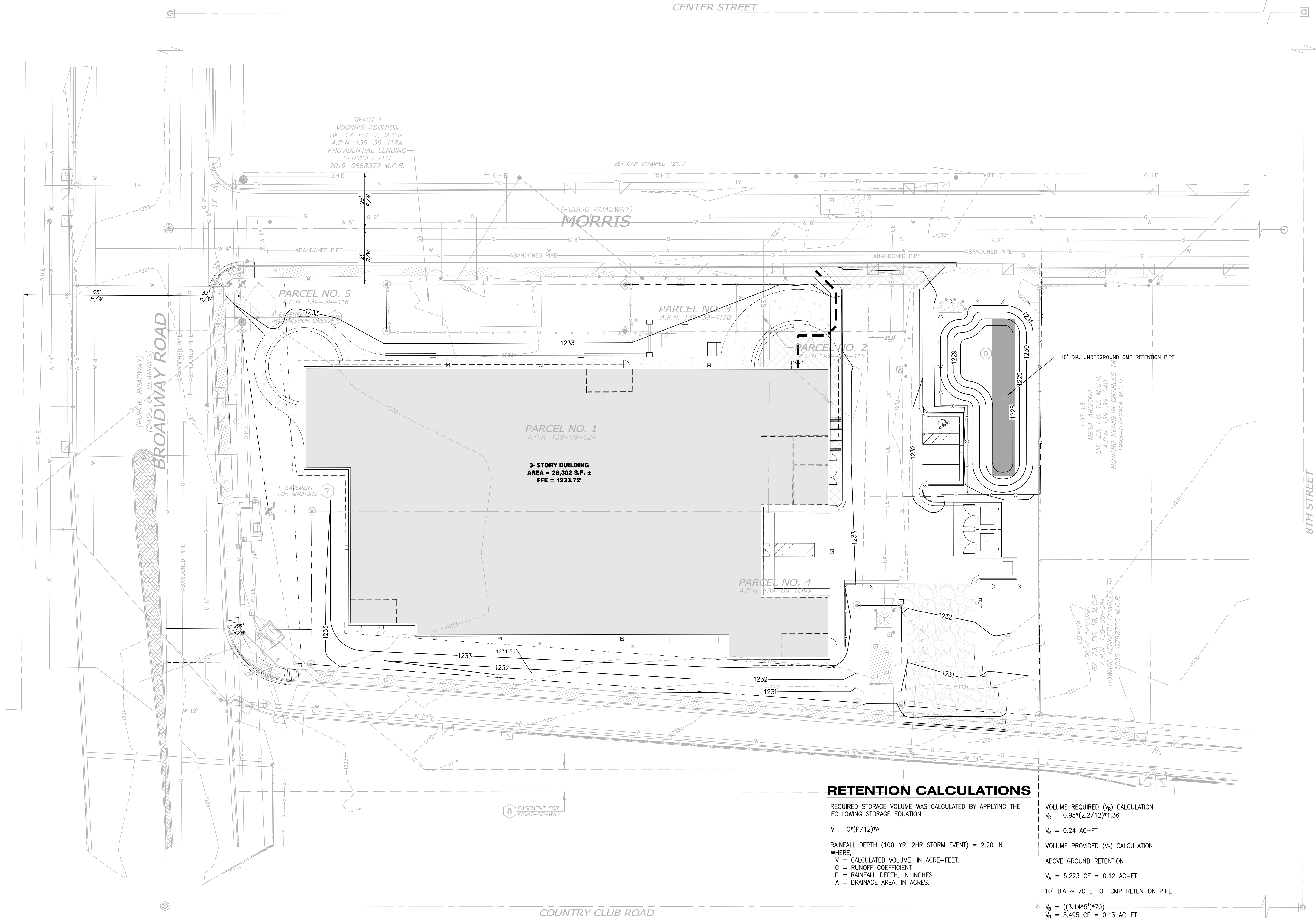
CHECKED BY
JM

DRAWING SCALE
1" = 20'

DATE
09/22/2022

Job Number
22-0072

Sheet Number
L1.0



RETENTION CALCULATIONS

REQUIRED STORAGE VOLUME WAS CALCULATED BY APPLYING THE FOLLOWING STORAGE EQUATION

$$V = C \cdot (P/12) \cdot A$$

RAINFALL DEPTH (100-YR, 2HR STORM EVENT) = 2.20 IN WHERE,

V = CALCULATED VOLUME, IN ACRE-FEET.
C = RUNOFF COEFFICIENT
P = RAINFALL DEPTH, IN INCHES.
A = DRAINAGE AREA, IN ACRES.

VOLUME REQUIRED (V_R) CALCULATION
 $V_R = 0.95 \cdot (2.2/12) \cdot 1.36$

$$V_R = 0.24 \text{ AC-FT}$$

VOLUME PROVIDED (V_P) CALCULATION

ABOVE GROUND RETENTION

$$V_A = 5,223 \text{ CF} = 0.12 \text{ AC-FT}$$

10' DIA ~ 70 LF OF CMP RETENTION PIPE

$$V_B = ((3.14 \cdot 5^2) \cdot 70) / 27 = 5,495 \text{ CF} = 0.13 \text{ AC-FT}$$

TOTAL RETENTION PROVIDED

$$V_A + V_B = 5,223 + 5,495 = 10,718 \text{ CF} = 0.25 \text{ AC-FT}$$

DEVELOPER/OWNER:
DVD CAPITAL
545 LINCOLN AVENUE SUITE 14
WINNETKA, IL 60093
708-374-1634

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS REVIEWED THIS GRADING PLAN FOR CONFORMANCE WITH THE ILLINOIS PROFESSIONAL ENGINEERING ACT AND THE ILLINOIS PROFESSIONAL SURVEYING ACT. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE GRADING PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROFESSIONAL DOES NOT WARRANT THAT THE GRADING PLAN IS FREE FROM ERRORS OR OMISSIONS. THE PROFESSIONAL DOES NOT WARRANT THAT THE GRADING PLAN IS FREE FROM ERRORS OR OMISSIONS. THE PROFESSIONAL DOES NOT WARRANT THAT THE GRADING PLAN IS FREE FROM ERRORS OR OMISSIONS.

DATE: 09/22/2022
BY: [Signature]
FOR: [Signature]

NO FOR CONSTRUCTION

09/24/2022

MESA SELF STORAGE
W BROADWAY RD & S MORRIS
MESA, AZ 85210

GRADING PLAN

PHOENIX
100 E Camelback Road
Suite 175
Phoenix, AZ 85016
602.795.4111 tel
www.coilestl.com

coile
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
Coile & Associates, Inc. is a National Corporation of Coile Design Group, Inc. in Arizona & Texas. All rights reserved. Coile is a "Coile" brand.

DESIGN/CALC BY: RG
DRAWN BY: RG
CHECKED BY: JM
DRAWING SCALE: 1" = 20'
DATE: 09/22/2022
Job Number: 22-0072
Sheet Number: C3.0

EAST FACADE PLAN MATERIAL AREA

B-1	SPLIT FACE BLOCK	1882 SF	20%
B-2	BRICK	40 SF	1%
B-3	SMOOTH FACE BLOCK	122 SF	1%
EF-1	EIFS - DARK	3700 SF	40%
EF-2	EIFS - LIGHT	2291 SF	25%
ST-1	STOREFRONT SYSTEM	1134 SF	13%

TOTAL FACADE AREA: 9,169 SF

SOUTH FACADE PLAN MATERIAL AREA

B-1	SPLIT FACE BLOCK	996 SF	20%
B-2	BRICK	0 SF	0%
B-3	SMOOTH FACE BLOCK	67 SF	1%
EF-1	EIFS - DARK	2058 SF	41%
EF-2	EIFS - LIGHT	1343 SF	27%
ST-1	STOREFRONT SYSTEM	504 SF	11%

TOTAL FACADE AREA: 4,968 SF

WEST FACADE PLAN MATERIAL AREA

B-1	SPLIT FACE BLOCK	1999 SF	22%
B-2	BRICK	224 SF	2%
B-3	SMOOTH FACE BLOCK	191 SF	2%
EF-1	EIFS - DARK	2468 SF	27%
EF-2	EIFS - LIGHT	3163 SF	36%
ST-1	STOREFRONT SYSTEM	1095 SF	12%

TOTAL FACADE AREA: 9,130 SF

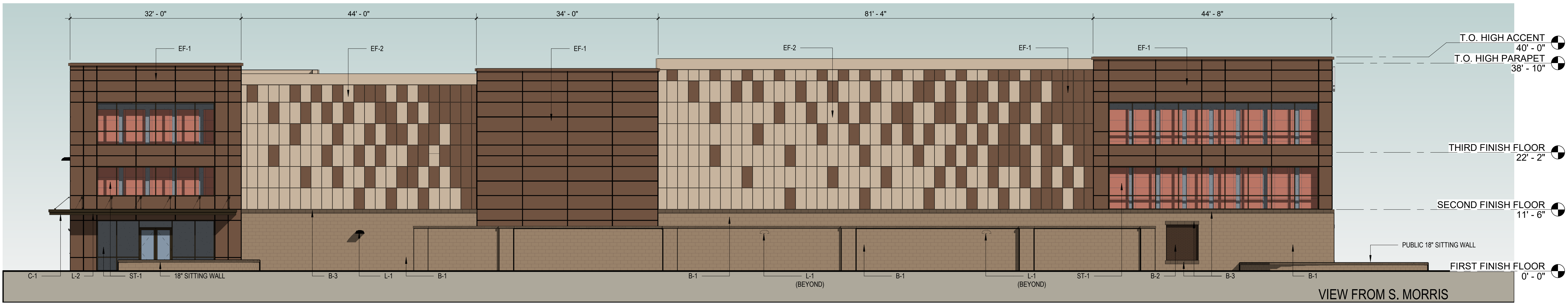
NORTH FACADE PLAN MATERIAL AREA

B-1	SPLIT FACE BLOCK	1241 SF	22%
B-2	BRICK	148 SF	3%
B-3	SMOOTH FACE BLOCK	123 SF	2%
EF-1	EIFS - DARK	1263 SF	25%
EF-2	EIFS - LIGHT	1586 SF	32%
ST-1	STOREFRONT SYSTEM	829 SF	16%

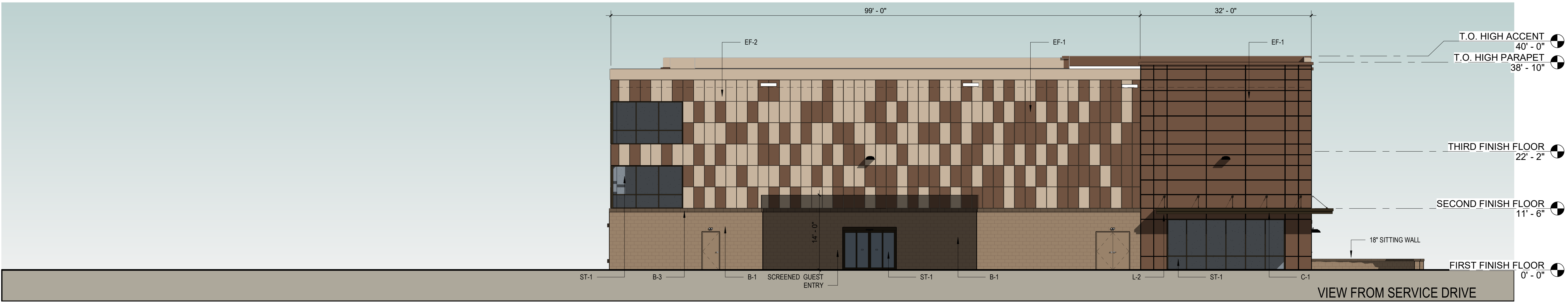
TOTAL FACADE AREA: 5,190 SF

EXTERIOR MATERIAL LEGEND

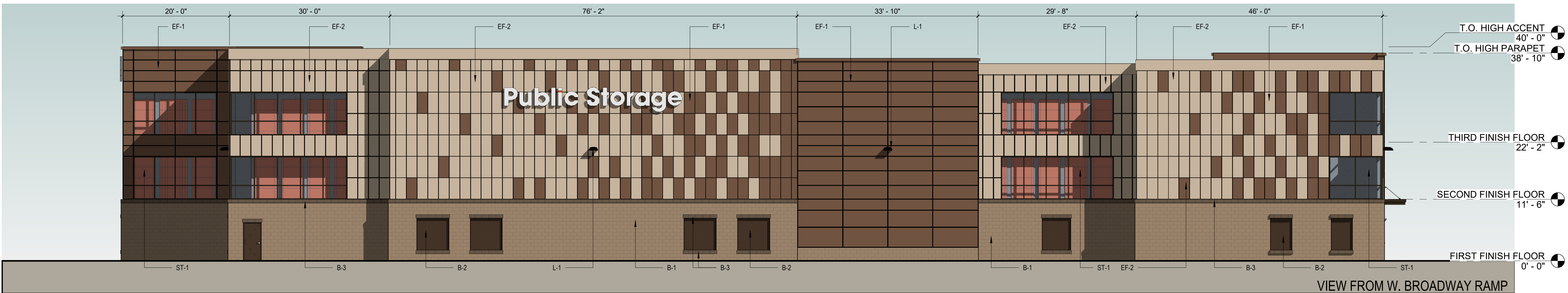
CODE	MATERIAL
B-1	SPLIT FACE CMU BLOCK
B-2	BRICK
B-3	SMOOTH FACE BLOCK
EF-1	EIFS - DARK
EF-2	EIFS - LIGHT
ST-1	ANODIZED ALUMINUM STOREFRONT
C-1	PREFINISHED METAL CANOPY
L-1	EXTERIOR COBRA HEAD WALL LIGHT
L-2	EXTERIOR LED STRIP LIGHT, BEHIND SUNSHADE



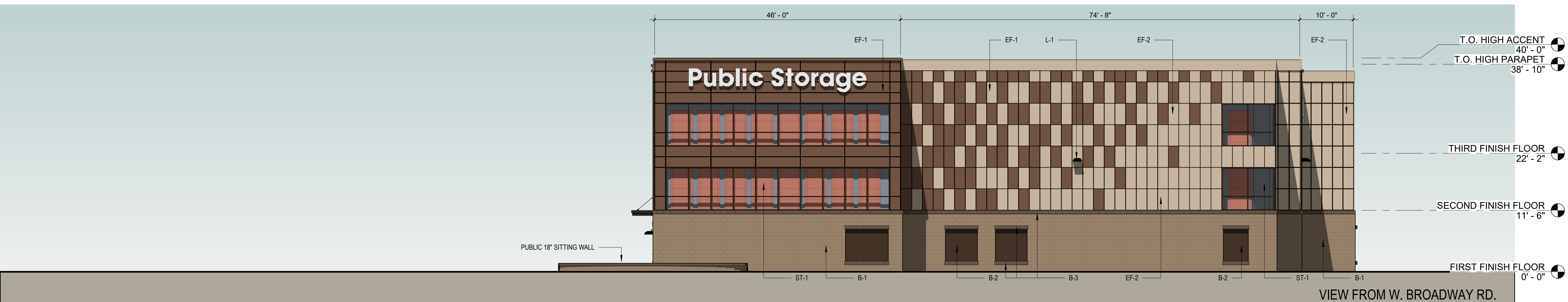
1 EAST ELEVATION
1" = 10'-0"



2 SOUTH ELEVATION
1" = 10'-0"



3 WEST ELEVATION
1" = 10'-0"



4 NORTH ELEVATION
1" = 10'-0"

REV.	DATE	ISSUE TITLE
	09/23/2022	CONCEPT DESIGN PACKAGE

Citizen Participation Plan for Mesa Self Storage

ZON022-00829

October 3, 2022

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, agencies, and businesses in the vicinity of the site of an application for a climate controlled, interior self-storage facility located at 400 block of S. Morris Street, at the corner of W. Broadway and Country Club Drives. This plan ensures that those affected by this application will have adequate resources to voice their concern or support for the project or reach out to us for any information on our application.

Contact:

James Hamilton
1718 Central Avenue SW
Albuquerque, NM 87104
James.hamilton@dxd.capital
864-415-2036

Pre-submittal conference: A pre-submittal conference was held with the City of Mesa planning staff to discuss the project on May 17th 2022. After receiving comments to the site plan, another pre-submittal conference was held on June 21st 2022 ahead of formally submitting an application.

Action Plan: In order to provide effective citizen participation in conjunction with this application, the following actions have been taken or will be taken ahead of the P&Z meeting.

1. A contact list of property owners within 500' of the subject site has been developed and letters informing said contacts of a public meeting have been sent. Included in the letter were details of the application as well as contact information for the applicant.
2. Adjacent property owners have been contacted as part of the application process or will be contacted ahead of the meeting.

Schedule:

Pre-submittal Conference: May 17 2022.

Application Submittal: August 1, 2022

Adjacent Property Owners Letters Sent: September 26, 2022

Submittal of Citizen Participation Report and Notification Materials: October 5, 2022

Planning and Zoning Board Hearing: October 26, 2022

Citizen Participation Report for Mesa Self Storage

ZON022-00829

October 5, 2022

Purpose: This report provides results of the implementation of the Citizen Participation Plan for Mesa Self Storage. The site is located at 400 block of S. Morris Street, at the corner of W. Broadway and Country Club Drives and is an application for a climate controlled, interior self-storage facility. This report provides evidence that ensures that those affected by this application have had adequate resources to voice their concern or support for the project or reach out to us for any information on our application.

Contact:

James Hamilton
1718 Central Avenue SW
Albuquerque, NM 87104
James.hamilton@dxd.capital
864-415-2036

Correspondence: In order to provide effective citizen participation in conjunction with this application, the following actions have been taken or will be taken ahead of the P&Z meeting.

1. A contact list of property owners within 500' of the subject site has been developed and letters informing said contacts of a public meeting have been sent. Included in the letter were details of the application as well as contact information for the applicant.
2. Adjacent property owners have been contacted as part of the application process or will be contacted ahead of the meeting. The property owner of 410 S. Morris Street (Parcel ID: 13939117A) contacted to the applicant to discuss the project. Further discussions will continue with adjacent property owners during the approvals process.

Results:

1. There were 90 letters mailed to a contact list of property owners within 500' of the subject site.
2. There were 8 letters returned that were unable to be delivered, the addresses are as follows.
 - Parcel ID: 13939024 – B & T Lucas Family Trust, 11336 E Stearn Ave, Mesa, AZ 85212
 - Parcel ID: 13939115 – B & T Lucas Family Trust, 11336 E Stearn Ave, Mesa, AZ 85212
 - Parcel ID: 13939039A – B & T Lucas Family Trust, 11336 E Stearn Ave, Mesa, AZ 85212
 - Parcel ID: 13939117B – B & T Lucas Family Trust, 11336 E Stearn Ave, Mesa, AZ 85212
 - Parcel ID: 13409004S – Fiesta Land LLC, 430 S Country Club Dr, Mesa, AZ 85210
 - Parcel ID: 13939078 – Gosney James R TR, 424 S Lebaron St, Mesa, AZ 85210
 - Parcel ID: 13939106 – James R Gosney Rev. Living Trust 424 S Lebaron St, Mesa, AZ 85210
 - Parcel ID: 13939024 – James R Gosney Rev. Living Trust 424 S Lebaron St, Mesa, AZ 85210