



Planning and Zoning Board



ZON22-00977



Request

- Rezone from NC-PAD to RS-9-BIZ
- Conceptual Site Plan
- To allow for the development of a single residence subdivision within the Desert Uplands Subarea

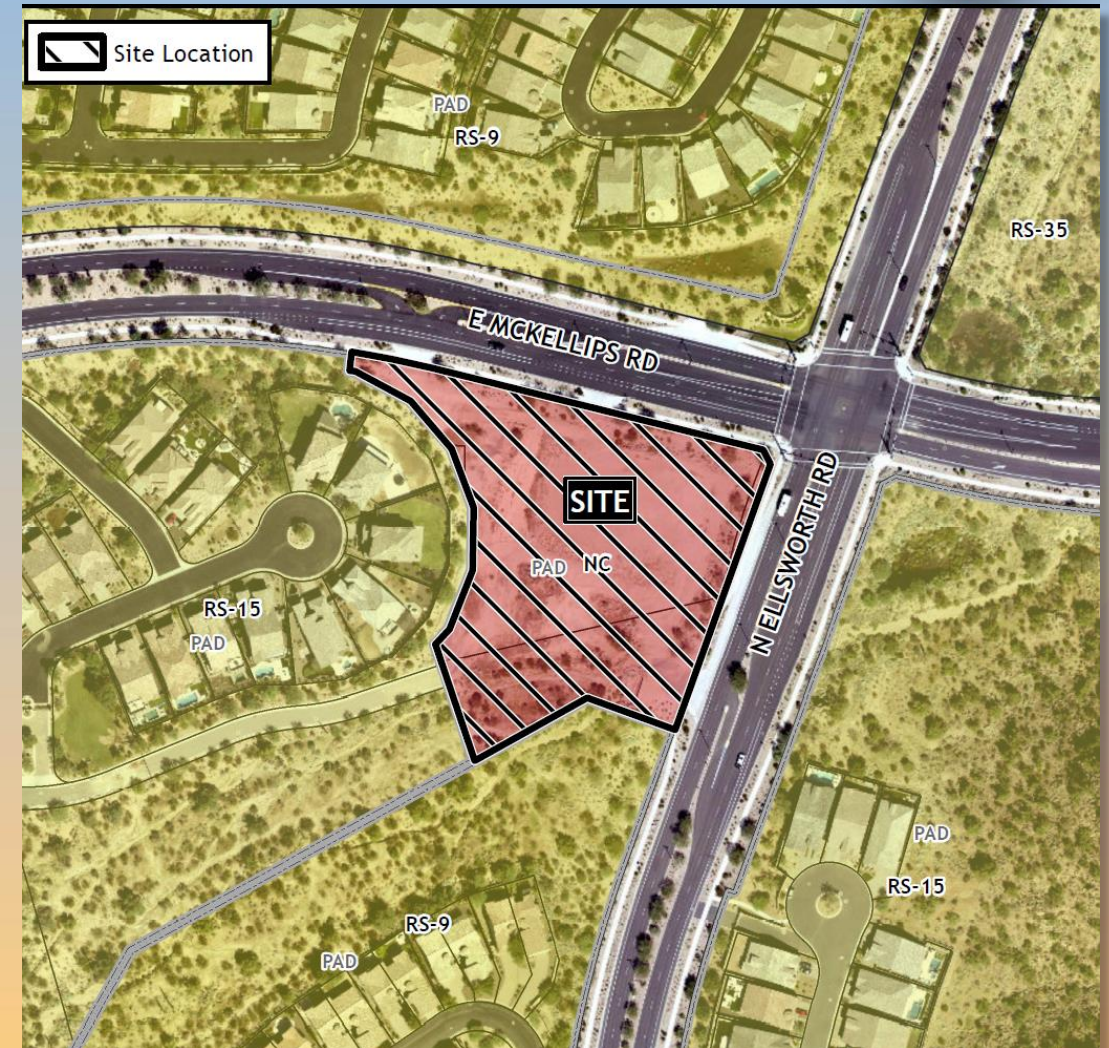
Enclave at Mountain Bridge (Parcel 16) Mesa, Arizona





Location

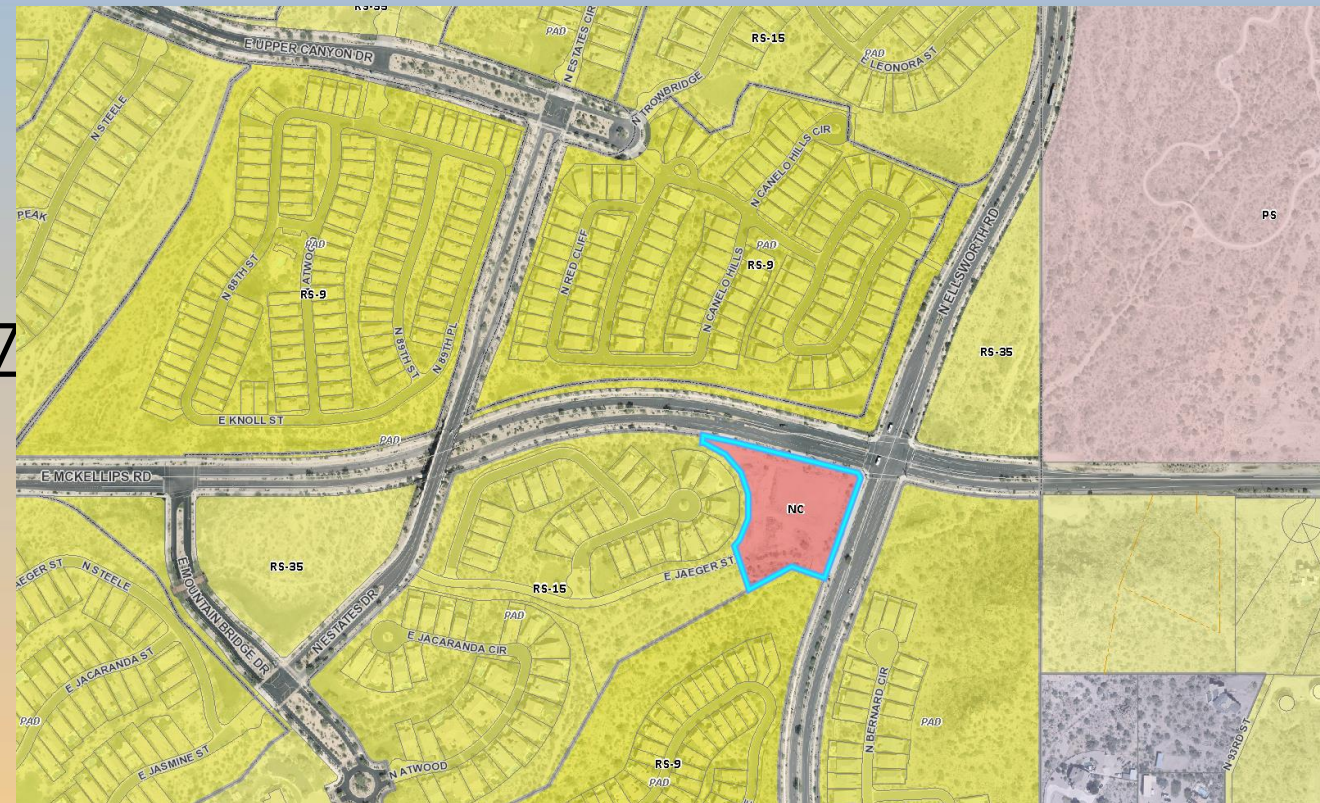
- South of McKellips Road
- West of Ellsworth Road





Zoning

- Currently within NC-PAD zoning District
- Rezone proposed to RS-9-BIZ
- Single Residence allowed within the RS-9-BIZ zone

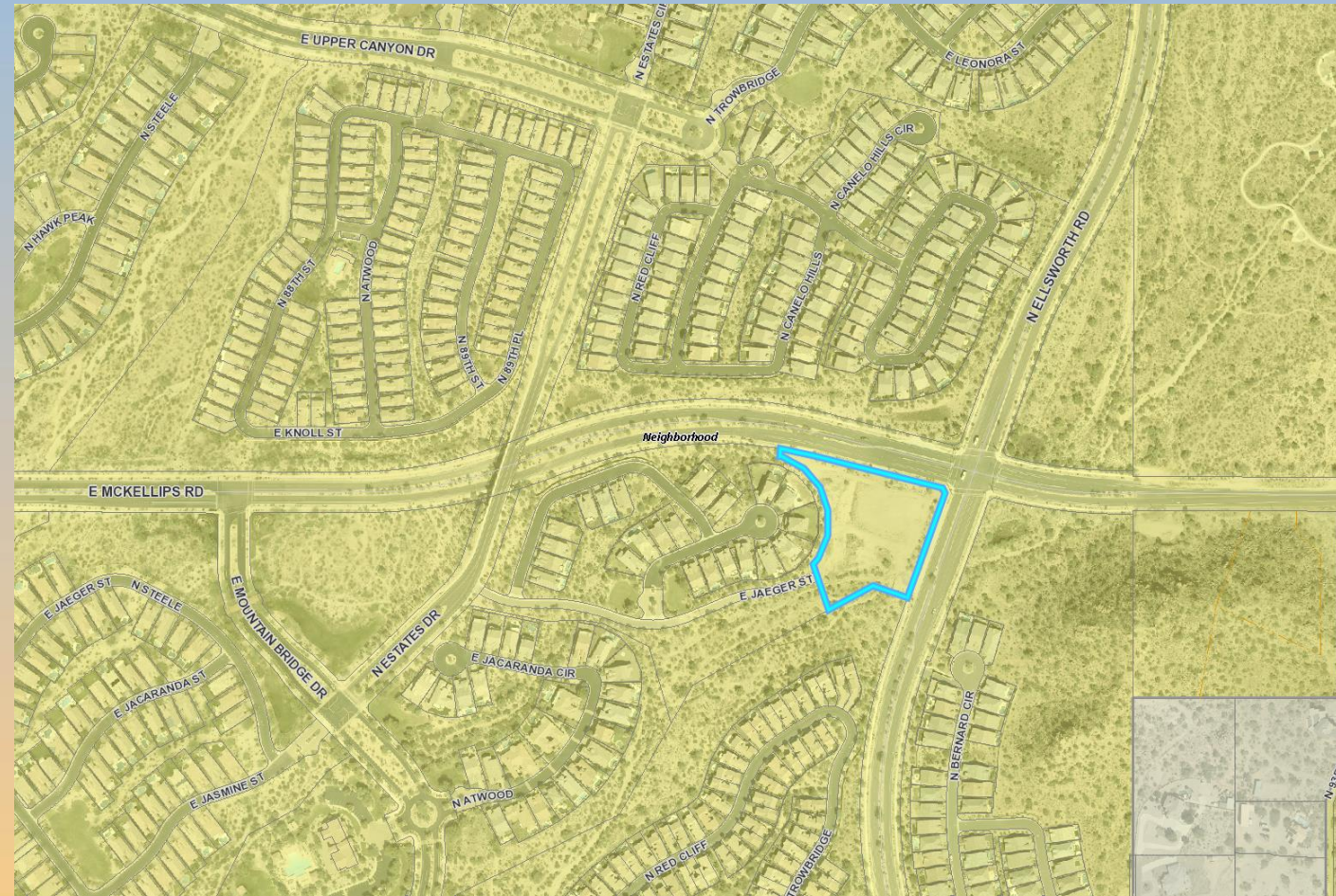




General Plan

Neighborhood

- Provide for a wide range of housing opportunities in high-quality settings.





Site Photos



Looking south from McKellips Road



Site Photos



Looking west from Ellsworth Road



Conceptual Site Plan

- 7 lots total
 - Minimum lot size of 6,000 sq ft
 - Access provided off Private Street – Jaeger St





Conceptual Landscape Plan

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QT
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TREES

	<i>Acacia aneura</i>	Mulga	24" Box	
	<i>Parsonsia × Sonoran Emerald</i>	Sonoran Emerald Palo Verde	24" Box	2
	<i>Prosopis hybrid 'Pisum'</i>	Thornless Mesquite	24" Box	
	<i>Oleaia laetis</i>	Ironwood	24" Box	

SHRUBS/ACCENTS

	<i>Agave chrysantha</i>	Golden Flowered Agave	5 Gal	7
	<i>Cassipouia puberula</i>	Red Bird of Paradise	5 Gal	35
	<i>Callitriche californica</i>	Big Fairy Duster	5 Gal	9
	<i>Ceanothus glaucus</i>	Sageo	6" Spacer	9
	<i>Dasylirion wheeleri</i>	Desert Spoon	5 Gal	48
	<i>Echinocactus grusonii</i>	Golden Barrel Cactus	5 Gal	29
	<i>Encelia farinosa</i>	Brittlebush	5 Gal	45
	<i>Ferocactus wislizeni</i>	Prickly Pear Cactus	5 Gal	-
	<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal	45
	<i>Larrea tridentata</i>	Crocodile Bush	5 Gal	36
	<i>Leucophyllum laurifolium 'Rio Bravo'</i>	Rio Bravo Sage	5 Gal	15
	<i>Leucophyllum zygophyllum 'Olivaceum'</i>	Olivaceous Texas Sage	5 Gal	-
	<i>Opuntia violacea 'Santa Rita'</i>	Purple Prickly Pear	5 Gal	-

GROUNDCOVERS

	<i>Dialium grisei</i>	Trailing Indigo Bush	1 Gal	64
	<i>Lantana montevidensis</i>	Trailing Purple Lantana	1 Gal	10

INERT MATERIALS

	3/4" Screened Decomposed Granite, in all planting areas.
	Table Mass Brown or Approved Equal, 2" Depth Min.
	Landscape Restoration Area See Note on Planting Plan





Elevations



PLAN 1700 SPANISH ELEVATION



Bonus Intensity Zone

Development Standard	MZO Required	BIZ Proposed
<u>Minimum Lot Area –</u> <i>MZO Table 11-5-3.A.1</i>	9,000 square feet	6,000 square feet
<u>Minimum Lot Width –</u> <i>MZO Table 11-5-3.A.1</i>	75 feet	50 feet



Bonus Intensity Zone

Development Standard	MZO Required	BIZ Proposed
<u>Building setbacks (Minimum Yards) –</u> <i>MZO Table 11-5-3.A.1</i>		
	Front (enclosed livable areas, porches, and porte cocheres) and side loaded garages – 15 feet	Front (enclosed livable areas, porches, and porte cocheres) and side loaded garages– 10 feet
	Garages and carports (front and side yards) – 25 feet	Front Garages Only – 18 feet
	Street side – 10 feet	Street side – 5 feet only when adjacent to minimum 8 foot wide landscape tract
	Interior Side: minimum either side – 7 feet	Interior Side: minimum either side – 5 feet
	Interior Side: minimum aggregate of 2 sides – 20 feet	Interior Side: minimum aggregate of 2 sides – 10 feet
	Interior Rear – 30 feet	Interior Rear – 15 feet only when adjacent to minimum 10 foot wide landscape tract
	Rear Yard Next to Arterial Road – 30'	Rear Yard Next to Arterial Road – 15 feet only when adjacent to minimum 10 foot wide landscape tract



Bonus Intensity Zone

Development Standard	MZO Required	BIZ Proposed
<u>Garage Front Distance from Primary Building Front</u> – <i>MZO Section 11-5-3(B)(4)(a)</i>	Forward facing garages shall be located at least three (3) feet behind the primary wall facing the street, and never less than the required garage setback.	Forward facing garages shall be located at least two (2) feet behind the primary wall facing the street, and never less than the required garage setback.
<u>3-Car Garages allowed</u> – <i>MZO Section 11-5-3(B)(4)</i>	Not permitted	Yes, with a tandem 3-car or side-loaded 3rd stall
<u>Minimum Front Porch Dimensions</u> <i>MZO Section 11-5-3(B)(3)(a)</i>	Min depths of 6 feet from façade to posts, minimum width of 8 feet	Minimum depth of 3 feet from façade to posts or column, minimum width of 6 feet
<u>Elevation Material Calculations</u> – <i>MZO Section 11-5-3(B)(7)</i>	Buildings must contain at least 2 kinds of primary exterior materials and at least one material must be used on at least 15% of the front facade	For Spanish Elevations only, buildings may contain less than two primary exterior materials



Citizen Participation

- Notified property owners within 500 feet, HOAs and registered neighborhoods
- No comments received by staff





Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Criteria in Chapter 69 for Site Plan Review
- ✓ Complies with review criteria in Chapter 21 for a BIZ overlay

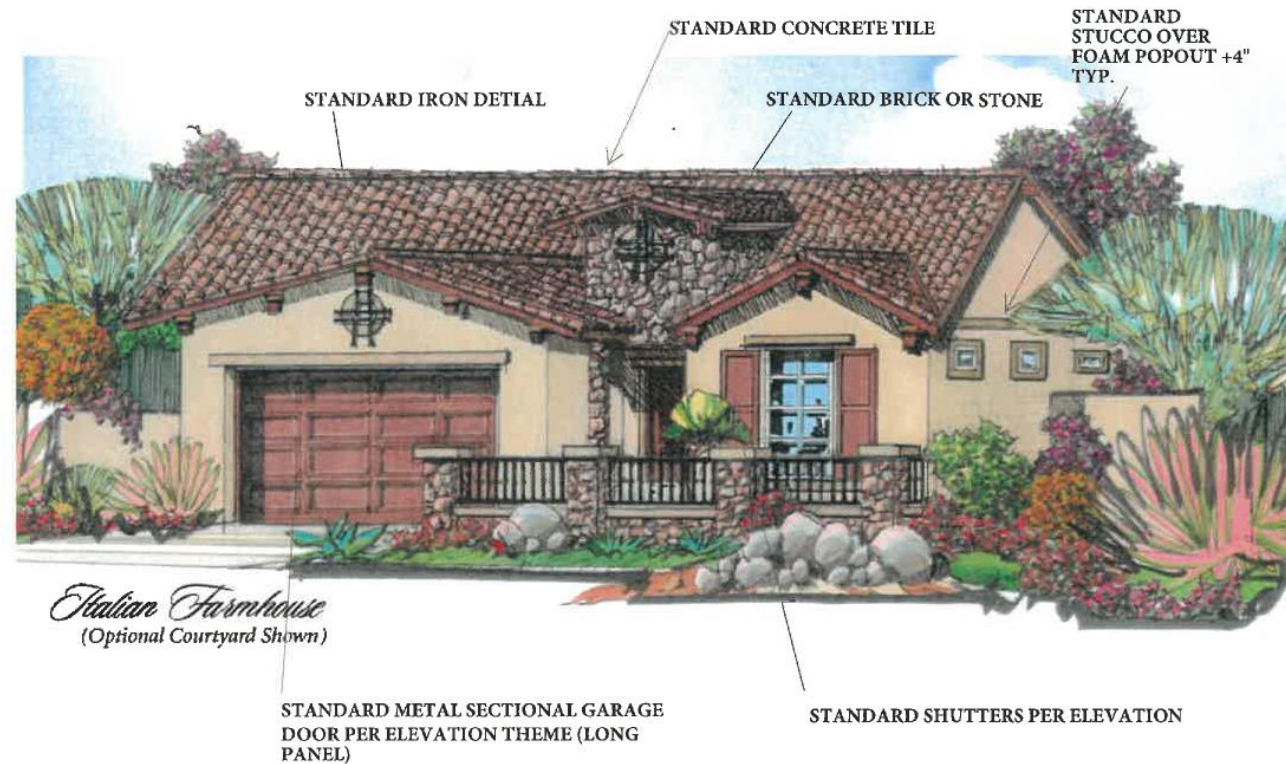
Staff recommends Approval with Conditions



Planning and Zoning Board



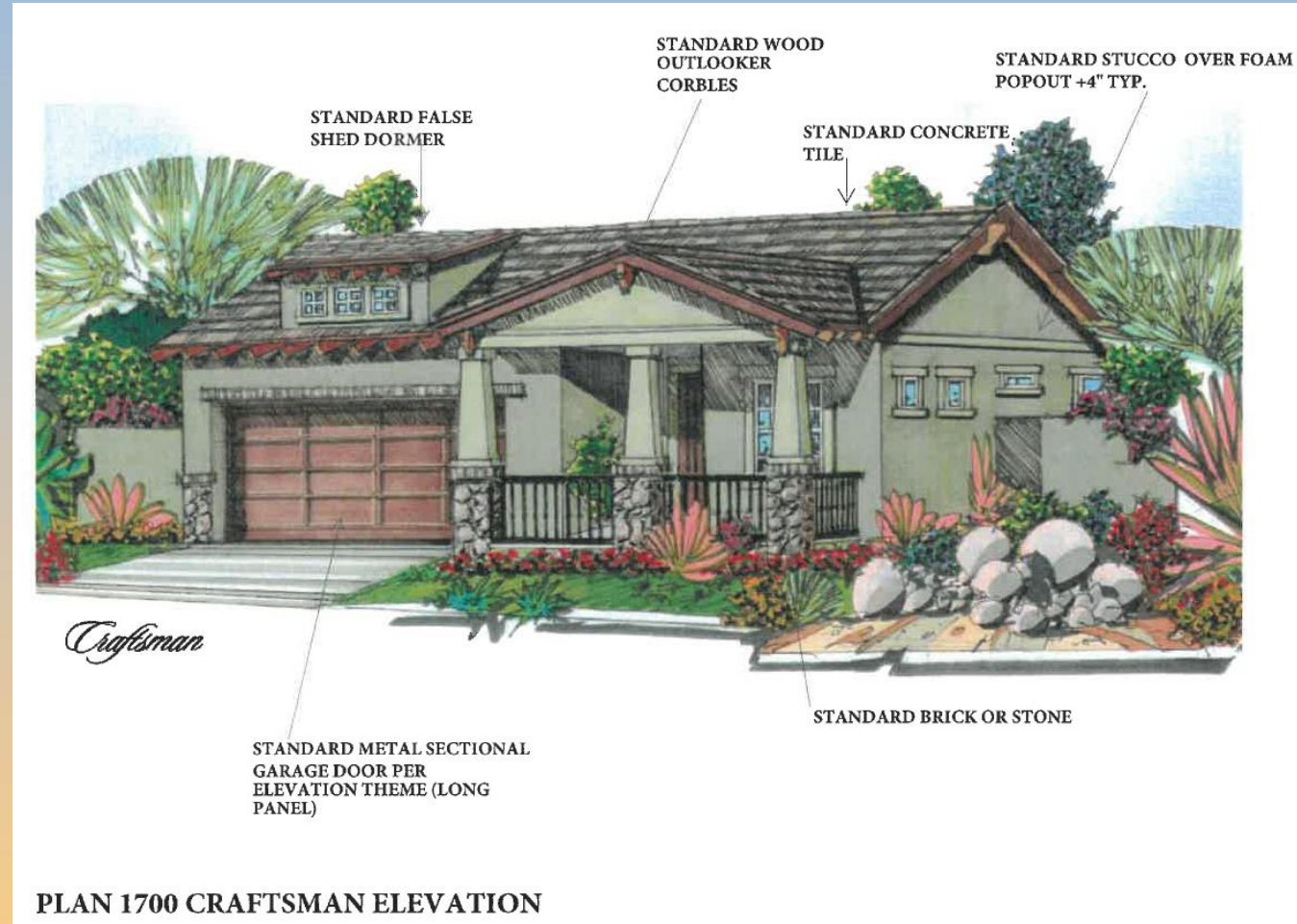
Elevations



PLAN 1700 ITALIAN FARMHOUSE ELEVATION



Elevations





Elevations



PLAN 1700 ANDALUSIAN ELEVATION



Elevations



PLAN 1700 COUNTRY FRENCH ELEVATION



Elevations





Elevations



PLAN 1900 ITALIAN FARMHOUSE ELEVATION



Elevations



PLAN 1900 ANDALUSIAN ELEVATION