



# Planning and Zoning Board



# ZON22-01064



# Request

- Site Plan Review
- Special Use Permit (SUP)
- To allow a restaurant with a drive thru

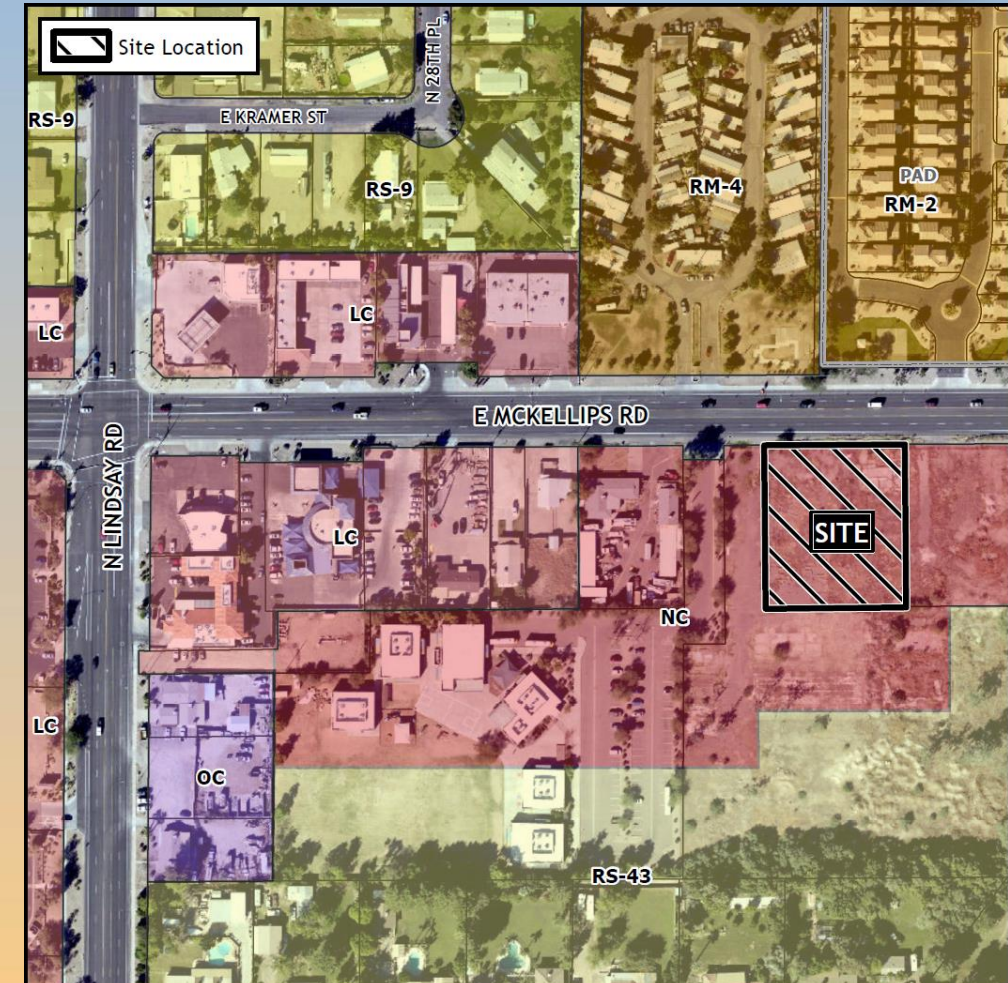






# Location

- South of McKellips Road
- East of Lindsay Road







# Zoning

- Neighborhood Commercial
  - Drive thru allowed with a SUP



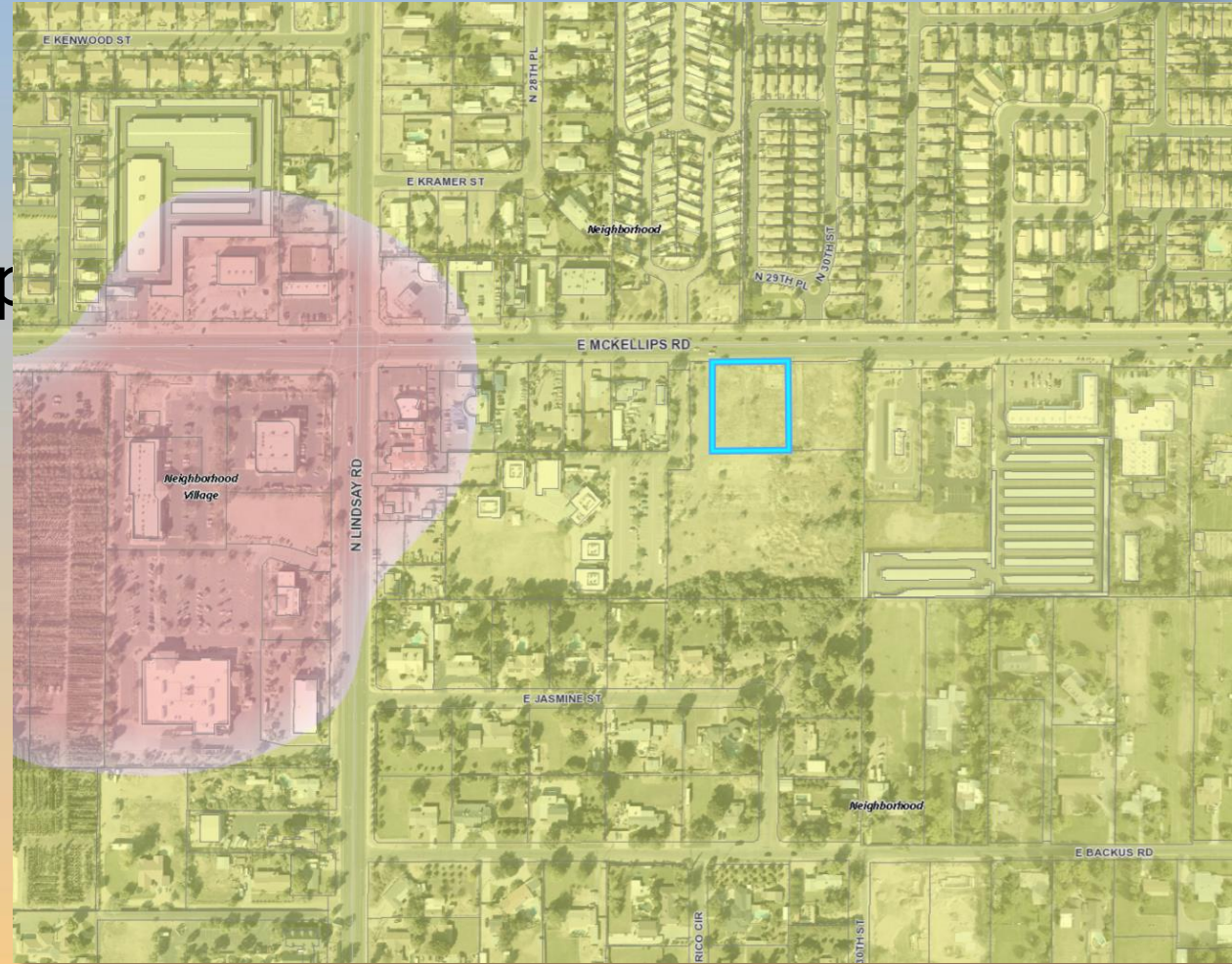




# General Plan

## Neighborhood

- Provide safe place for people to live and enjoy their surrounding community







# Site Photos



Looking south from McKellips Road



[illegible]





1/2" SCREENED ROCK PROS MAHOGANY  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS





# Renderings







# Renderings





# Special Use Permit

## Section 11-70-5(E): Special Use Permit Required Findings



#1 Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plans and/or policies;



#2 The location, size, design, and operating characteristics of the proposed project are consistent with the purpose of the district where it is located and conform with the General Plan and any other applicable plans and/or policies;



#3 The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, the greater neighborhood, or the general welfare of the City; and



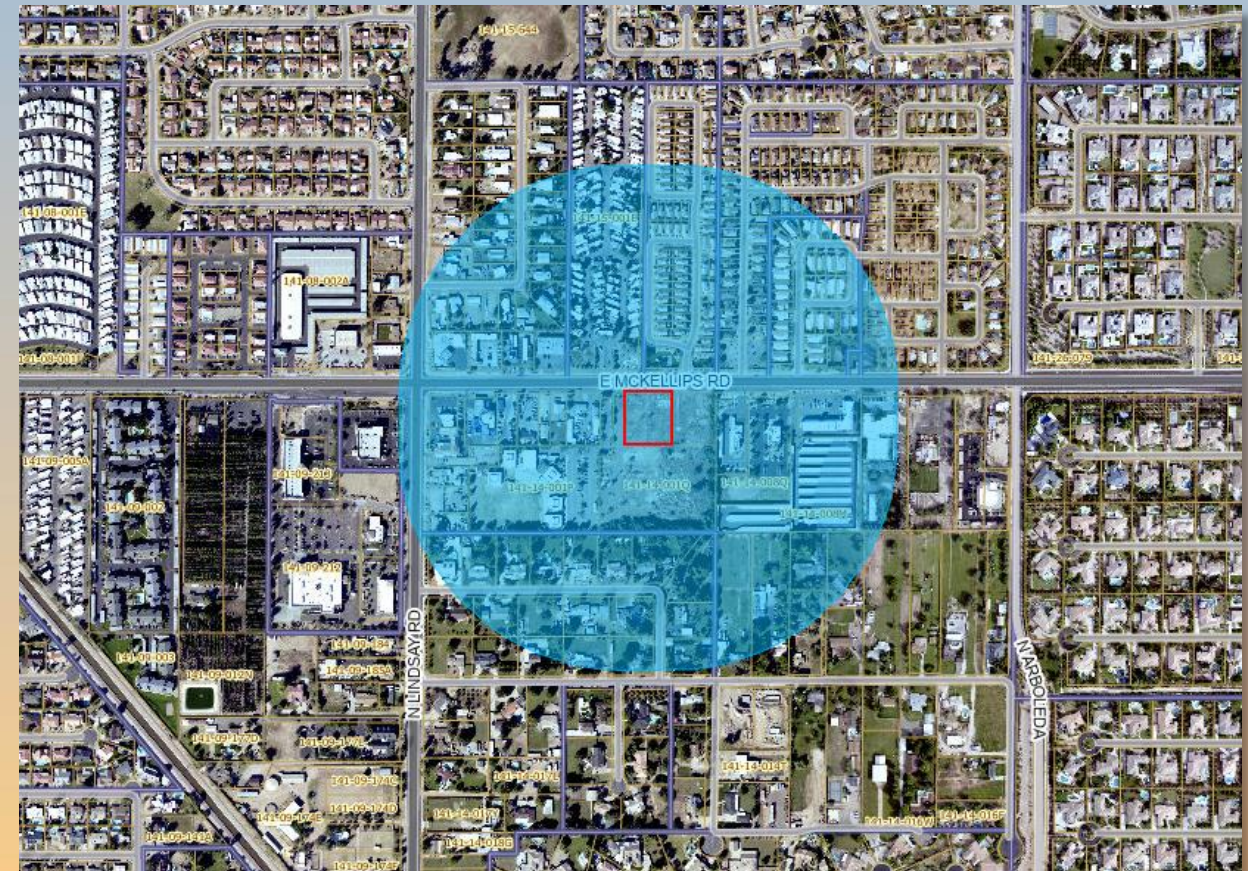
#4 Adequate public services, public facilities and public infrastructure are available to serve the proposed project





# Citizen Participation

- Notified property owners within 1,000 feet, HOAs and registered neighborhoods
- Held one neighborhood meeting with one attendee who asked a few questions but was







# Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Criteria in Chapters 69 for Site Plan Review
- ✓ Complies with review criteria in Chapter 70 of the MZO for a Special Use Permit

*Staff recommends Approval with Conditions*





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