



Planning and Zoning Board





ZON22-01064





Request

- Site Plan Review
- Special Use Permit (SUP)
- To allow a restaurant with a drive thru

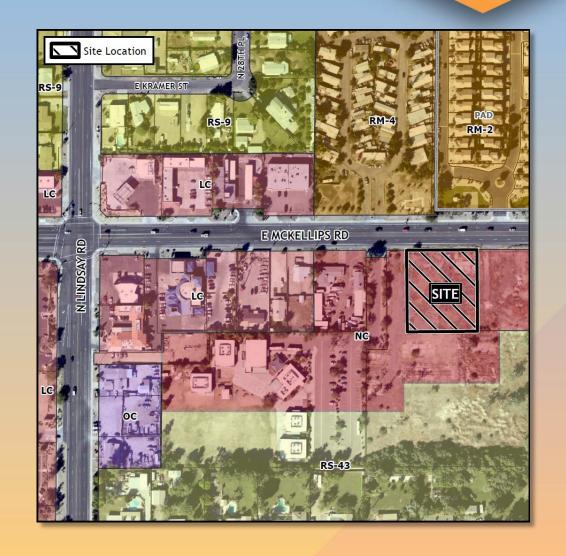






Location

- South of McKellips Road
- East of Lindsay Road

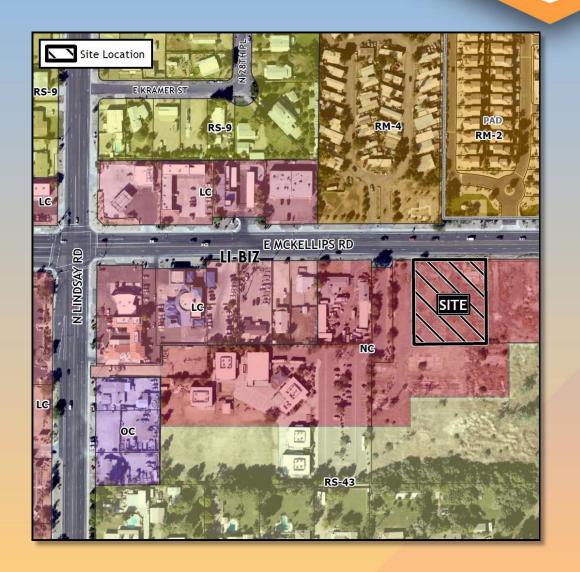






Zoning

- Neighborhood
 Commercial
 - Drive thru allowed with a SUP



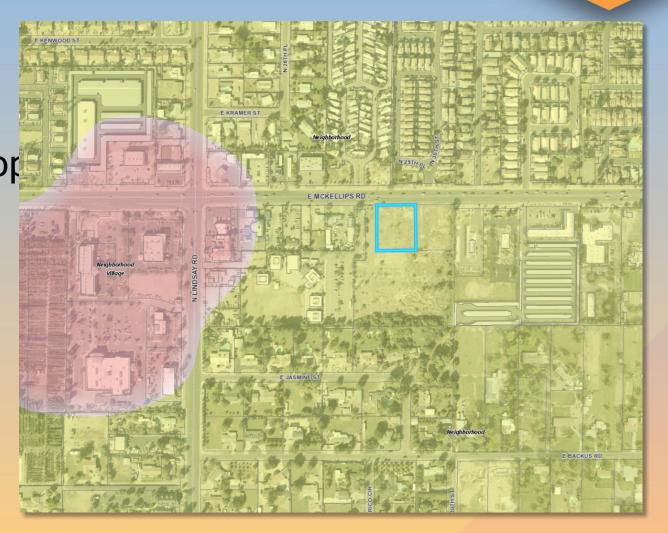




General Plan

Neighborhood

 Provide safe place for peor to live and enjoy their surrounding community







Site Photos





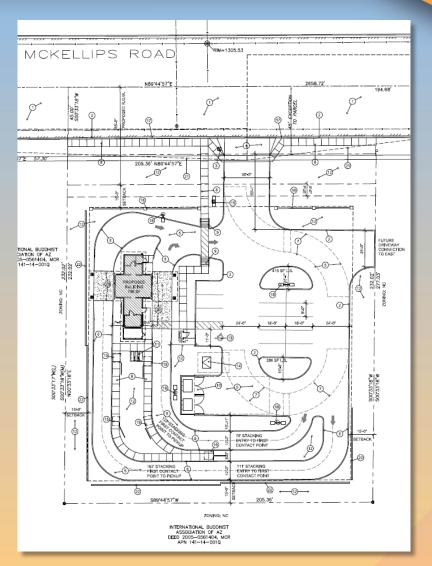
Looking south from McKellips Road





Site Plan

- 756 sq. ft. building
- Drive thru only facility
- Drive thru lanes on both sides of the building
- Site provides 14 parking spaces which is over 125% the required amount
- Project will require an Administrative Use Permit







Landscape Plan

LANDSCAPE LEGEND

::

PISTACIA X 'RED-PUSH'
RED PUSH PISTACHE
36" BOX (GTY. 12)

ACACIA ANEURA MULGA (SRP/APS APPROVED) 24" BOX (QTY. 14)

ULMUS PARVIFOLIA
CHINESE ELM (MATCHING)
24" BOX (QTY. 6)

ACACIA SALICINA WILLOW ACACIA 24" BOX (GTY. 1

LARGE SHRUBS

TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON (QTY. 8)

TECOMA STANS
YELLOW BELLS
5 GALLON (QTY. 8)

MEDIUM SHRUBS

EREMOPHILA MACULATA
 VALENTINE EMU BUSH
 5 GALLON (QTY. 54)
 ACCENTS

HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (QTY, 52)

HESPERALOE PARVIFLORA
YELLOW YUCCA
5 GALLON (QTY. 54)

ECHINOCACTUS GRUSONII

GOLDEN BARREL CACTUS

10" ROUND (MATCHING) (GTY. 31)

AGAVE DESMETTIANA SMOOTH AGAVE 5 GALLON (QTY. 40)

GROUND COVER

LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON (GTY. 125)

LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON (QTY. 38)

EREMOPHILA GLABRA
'MINGENEW GOLD'
5 GALLON (QTY. 70)

VINES

PODRANEA RICASOLINA PINK TRUMPET VINE 5 GALLON (QTY. 5)

MCKELLIPS ROAD

(1 TREE 6 SHRUBS PER 25 L.FT.)
PROPERTY LINE = 205'
8 TREES REQUIRED (2-36" BOX, 6-24" BOX)
8 TREES PROVIDED (4-36" BOX, 4-24" BOX)
48 SHRUBS REQUIRED
77 SHRUBS PROVIDED

EAST PROPERTY LINE

(1 TREE 4 SHRUBS PER 25 L.FT.)
PROPERTY LINE = 232'
9 TREES REQUIRED (5-24" BOX)
9 TREES PROVIDED (9-24" BOX)
36 SHRUBS REQUIRED
150 SHRUBS PROVIDED

WEST PROPERTY LINE (1 TREE 4 SHRUBS PER 25 L.FT.)

PROPERTY LINE = 232' 9 TREES REQUIRED (5-24" BOX) 9 TREES PROVIDED (9-24" BOX) 36 SHRUBS REQUIRED 36 SHRUBS PROVIDED

SOUTH PROPERTY LINE

(1 TREE 4 SHRUBS PER 25 L.FT.) PROPERTY LINE = 205' 8 TREES REQUIRED (4:24" BOX) 8 TREES PROVIDED (8:24" BOX) 32 SHRUBS REQUIRED 38 SHRUBS PROVIDED

PARKING LOT LANDSCAPE (8 ISLANDS)

(14 STALLS) 8 TREES RÉQUIRED (1-38" BOX, 5-24" BOX) 6 TREES PROVIDED (2-36" BOX, 4-24" BOX) 18 SHRUBS REQUIRED 18 SHRUBS PROVIDED

FOUNDATION PLANTING

(160 L.FT.) 3 TREES REQUIRED (3-36" BOX) 3 TREES PROVIDED (3-36" BOX) 15 SHRUBS REQUIRED 22 SHRUBS PROVIDED

MCKELLIPS ROAD LANDSCAPE PLAN

1/2" SCREENED ROCK PROS MAHOGANY DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS





Renderings







Renderings







Special Use Permit

Section 11-70-5(E): Special Use Permit Required Findings



#1 Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plans and/or policies;



#2 The location, size, design, and operating characteristics of the proposed project are consistent with the purpose of the district where it is located and conform with the General Plan and any other applicable plans and/or policies;



#3 The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, the greater neighborhood, or the general welfare of the City; and



#4 Adequate public services, public facilities and public infrastructure are available to serve the proposed project





Citizen Participation

- Notified property owners within 1,000 feet, HOAs and registered neighborhoods
- Held one neighborhood meeting with one attendee who asked a few







Findings

- ✓ Complies with the 2040 Mesa General Plan
- Criteria in Chapters 69 for Site Plan Review
- ✓ Complies with review criteria in Chapter 70 of the MZO for a Special Use Permit

Staff recommends Approval with Conditions





Planning and Zoning Board