

DESIGN STANDARDS & PRINCIPLES for CANNON BEACH

Design Problem

How do we design a unique, multi-faceted entertainment destination with diverse recreation opportunities in a lively setting? How do we unite a variety of uses while bringing the beach to the desert?

Design Solution

Provide a cohesive landscape with a vibrant and adventurous identity, with carefully laid-out and interconnected districts that encourage pedestrian exploration, in a colorful, lush, tropical desert setting.

Design Principles

- Unite a series of mixed uses through strategic site placement and integration for ideal live, work, and play opportunities in one site--encouraging a variety of users to visit and stay.
- Create cohesive theming and branding that identifies Cannon Beach as a complete destination, through signage and wayfinding, focal points, landscape design, and site material choices.
- Foster a sense of fun, wonder, and discovery through bright, strategic landscape design. Invite adventure and a sense of escape or 'getaway' within a desert oasis of tropical arid plantings, water elements, and shaded comfort.
- Provide thought-out spatial programming between uses that allows for outdoor relaxation, group gatherings for daily and special events, and ease of pedestrian navigation and vehicular circulation throughout the park.
- Create opportunities for one-of-a-kind experiences and events, from spectator gathering for surf competitions, to large-scale community events with food trucks and stages.



To distill the essence of this project and the design direction, we chose these seven words or phrases to guide the process.

1. Dynamic Experiences

2. Cohesive Destination Hub

3. Oasis in the Desert

4. Connectivity

5. Experiential

6. Intuitive, Themed Wayfinding

7. Active Entertainment

LANDSCAPE CHARACTER NARRATIVE

The landscape character within Cannon Beach is intended to create a unique experience that will provide a place where visitors, families, and athletes can enjoy a variety of places for sporting events, gathering, eating, playing, and multiple entertainment options in a lush desert featured environment with its own specialized identity. The overall landscape theme is designed to produce an active, dynamic, inviting, and flexible gathering and entertaining environment. There are seven (7) different landscape zones that define this theme, each with a distinct character. The seven (7) character zones are:

- Wave Park**

The Wave Park is located at the heart of the property, in between the proposed restaurants and mixed-use buildings. Buffer plantings surrounding the perimeter of the pool fence soften the views looking inside and outside of the park, providing color and shade. Covered shaded areas with a variety of seating create opportunity for lounging and spectating. The wave lagoon, splash pad, beach volleyball courts designate active play areas. Turf areas provide flexible space for relaxation or passive play.
- Restaurant District**

The Restaurant Row is located in the central area of the property, south of the Wave Park. It is characterized outdoor dining space connecting to proposed restaurant buildings. Shared turf areas provide open space and activity areas for kids and adults alike.
- Primary Entry Drive Streetscape**

The Primary Entry Drive Streetscape is the landscape zone that defines the main entry of the property off of Power Road. Rows of Palo Verde trees and palm trees signal entry and exit drives. Large entry signs and decorative paving enhance a dramatic entry experience.
- Pedestrian Promenade, Boardwalk, and Plazas**

The Pedestrian Promenade and Plazas are defined by areas of high pedestrian traffic and circulation. The Entry Plaza on the south side of the property features palm trees and decorative paving to signal pedestrian entry into the park. The Entertainment Plaza located near the entry drive provides a stage for outdoor performances that can be visible to the street. The Lagoon Plaza on the east side features a water feature and outdoor fire pits to promote relaxation. To the north, Palm Plaza connects the office space with the Wave Park. A tree-lined promenade will provide a shaded walkway for strolling, connecting the plaza spaces together.
- Mixed-Use District**

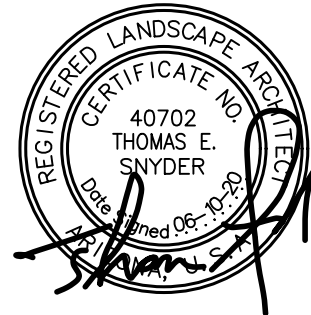
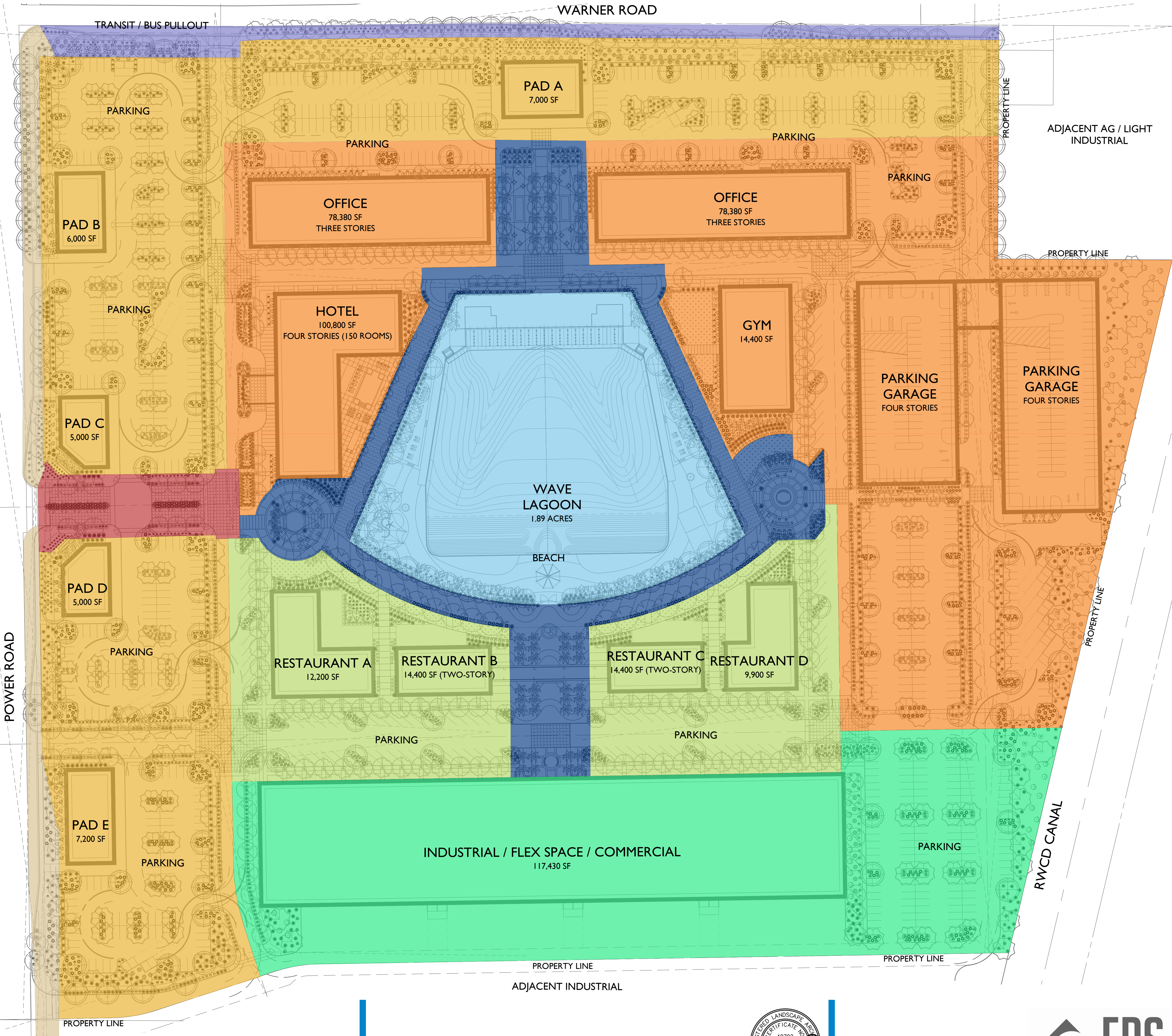
The Mixed-Use District is characterized by proposed office, gym, and hotel space. Foundation plantings around the proposed buildings provides shade for the buildings and creates an inviting atmosphere. Amenity space behind the hotel creates an intimate, relaxing space. Turf area in front of the gym allows for outdoor fitness classes and activities. Offices are in close proximity to the Palm Plaza. Trees in tree gates create a shady, cohesive street on the main vehicular street.
- Commercial District**

The Commercial District is the landscape zones that surround the entertainment and mixed-use areas. Foundation plantings around the proposed buildings provides shade for the buildings and creates an inviting atmosphere. Large Mesquite trees shade and cool the expansive parking areas.
- Power Road Streetscape**

The Power Road Streetscape is defined as a landscape zone along Power Road. The zone consists of a tree-lined street with Acacia and Elm trees planted 25' O.C. This will provide a cohesive aesthetic that matches the surrounding streetscape. The understory will be planted with shrubs and groundcover in swaths of monoculture plantings.
- Warner Road Streetscape**

The Warner Road Streetscape is defined as a landscape zone along Warner Road. The zone consists of a tree-lined street with Pistache and Elm trees planted 25' O.C. This will provide a cohesive aesthetic that matches the surrounding streetscape. The understory will be planted with shrubs and groundcover in swaths of monoculture plantings.
- Light Industrial District**

The Industrial / Flex Space is the landscape zone located at the south end of the property. The landscape is accommodating to entertainment uses such as 360 Karting, Circus Trix, and the Void or industrial use. Live Oak Trees, shrubs, and groundcover shade the building and soften the building edge. Palm trees mark the building's entry and exit. A walk-through sculptural element is placed at the entrance as an interactive focal point that draws in pedestrians and connects the building to the rest of the property, helping create a cohesive theme throughout the property.



COLOR & MATERIAL CHARACTER - WAVE LAGOON



WAVE LAGOON



RECREATIONAL SURFING



EDUCATIONAL PROGRAMS



SURFING COMPETITION/EVENTS



WAVE LAGOON WITH PROMENADE



BEACH LOUNGE AREA

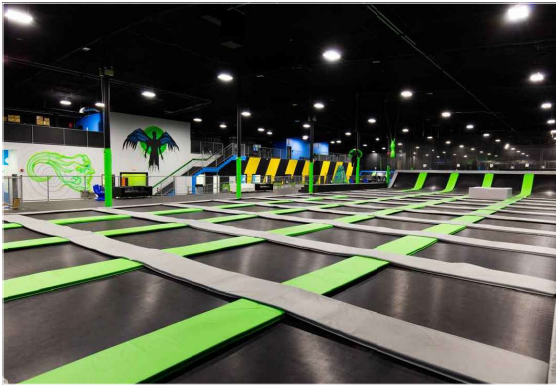


DINING



BEACH THEMED RETAIL AND RESTAURANTS

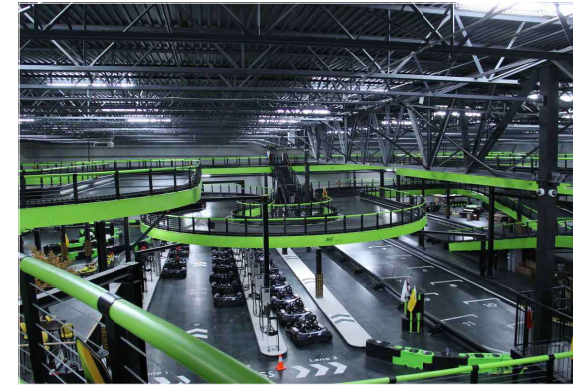
COLOR & MATERIAL CHARACTER - ENTERTAINMENT PROGRAMS



CIRCUS TRIX



CIRCUS TRIX



360 KARTING



360 KARTING



THE VOID

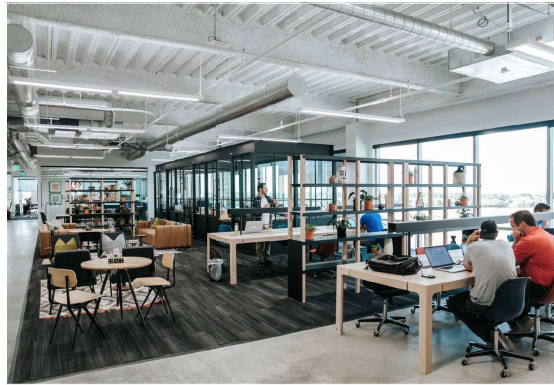


THE VOID

COLOR & MATERIAL CHARACTER - COMMERCIAL



COWORKING SHARED OFFICE SPACE



COWORKING SHARED OFFICE SPACE



COWORKING SHARED OFFICE SPACE



OUTDOOR LOUNGE & MEETING SPACE



OUTDOOR LOUNGE & MEETING SPACE



OUTDOOR LOUNGE & MEETING SPACE

COLOR & MATERIAL CHARACTER - RESTAURANTS / RETAIL / RESORT



LOOK OUT PATIO SEATING



RESTAURANT OUTDOOR SEATING



RESTAURANT OUTDOOR SEATING



RESORT



RESORT



WATER FEATURE AND PLAZA



WATER FRONT
PEDESTRIAN PROMENADE



RETAIL STOREFRONT



RETAIL SHOPS

General Theme / Concept

The Cannon Beach development is the premiere destination for the East Valley bridging the gap between Sun, Sand and Surf. It offers advanced active entertainment, progressive surfing experience, water play, experiential retail/dining, hospitality, and state of the art office space—all immersed with views of oceanside character and the sound of crashing waves breaking in the desert sun.

The coastal seaside architectural theme should deploy many different materials, colors, styles, and features to create a unique, visual massing of buildings to surround, highlight and frame the adventure water sports lifestyle to create Cannon Beach architecture. This eclectic collection of seaside style should include architectural themes and historical elements from Coastal Contemporary architecture with modernist forms.

The intent of the design guidelines is to encourage the coastal contemporary theme across all uses for restaurants/shops, hotel, commercial pads, gym, indoor recreation, flex space and office while allowing unique and specific details related to those uses. The multiple buildings/uses are integrated into the site and inform architecture massing, scale, materials, and color to identify and define certain areas or zones around the Wave Lagoon and frame the pedestrian spaces, plazas, walkways, and the spaces "in-between".

Architectural Theme / Concept

Coastal Contemporary—This style draws from contemporary waterfront architecture like those from San Diego or Santa Monica, California. Typical of seaports, fishing villages and resort towns, the buildings are compressed, thick-walled, and line the waterfront. Rooftops often feature terraces and trellised areas. Roofs are either metal standing seam or flat. Windows appear in regular arrangements, often playfully interrupted. The balconies framing views of the water feature may consist of stainless-steel cables and turnbuckles conveying a nautical theme. The sidewalk areas adjacent to the waterfront are typically busy with pedestrians, cafes, and shops. Awnings, trellises, and shutters provide shade and variety. Historical elements from Coastal Contemporary regions along with some modern elements, should create a seaside style of architecture. A cozier and more human scale village oasis of this particular style may be more prominent in the areas identified as retail and restaurant uses directly located near the beach/water feature, while other buildings such as the Office and Industrial flex may require more modern elements with some larger scale proportions.

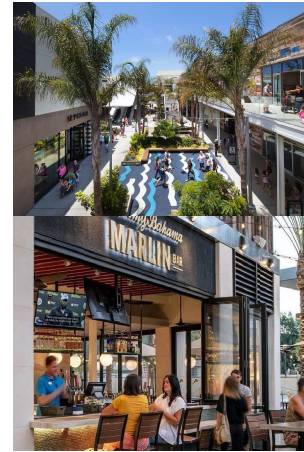
Building Massing

Massing should be defined by the visual relationship of the different components within a building program. These relationships are promoted by variations on the proportions of its length, width, and height. In addition, features such as prominent entries, windows, color, and materials are factors in the visual impression of a building. The mass should draw from the tradition of detail and composition from the architectural themes being used to create the seaside style. The massing should build from small compositions (doors, windows, balconies, terraces, entrances, plants and art); to building sized compositions (roof lines, wall treatments, window arrangements, entrances, multi-floor proportions, colors and textures); to village sized compositions (street and entrance facades, courtyards, arcades, shade structures, promenades, portals, pedestrian bridges, outdoor activities, streetscape, landscape, and relationships to the Wave Lagoon). Reductions and variations of building mass should be achieved by using a combination of the following techniques:

- Variation in the roof line and form
- Use of protected and recessed entries
- Use of ground level arcades and covered areas
- Use of vertical elements on or in front of expansive blank walls
- Use of pronounced wall plane offsets and projections
- Use of focal points and vertical accents
- Inclusion of windows on elevations facing streets and pedestrian areas.
- Retaining a clear distinction between roof, body, and base of a building mass
- Proportional interplay of "mass" and "void" elements
- Massing and forms give clarity to a building's use and / or create identifiable entries and landmarks.
- Mass and void forms should respond to the Arizona climate by creating deep recesses for glass, which provides a more insulated, cooler impression from the outside.
- Mass should create shaded transitional spaces between buildings and from parking lots to buildings.



Architectural Awnings



Color Palette Exterior Insulation Finish System (EIFS)



Material Palette



Metal Siding



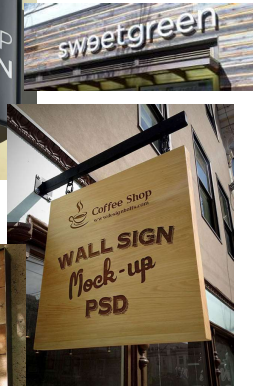
Standing Seam Metal Roofs

Restaurants and PAD buildings:

The Cannon Beach retail / restaurant development encourages architecture that deploys contemporary forms with various material applications and a sense of place. Furthermore, the PAD buildings along Power and Warner roads should have their street architecture in compliance with the overall design guidelines of the retail and restaurant development. The PAD buildings along Power and Warner roads have their main entrances facing inward toward the central core / amenity spaces to engage with the rest of the site; but their other sides facing the streets should provide architectural presence and visual connection to the streets by various methods. Such methods should encourage storefront glazing, canopies, engaging signage features, architectural popout features, material and color accents, etc. These various methods help to connect the PAD buildings with the rest of the restaurant development as a whole, unifying the overall architectural



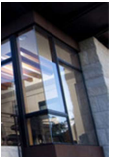
Signage



Railing System



Storefront Systems



Wall Lights



A1.0
06.10.2020

adaptive
ARCHITECTS

EPS
GROUP

Patios and Roof top terraces

Patio and roof top terraces are a required design feature. Roof top terraces will be integrated mostly at the 2-story retail with restaurant use but also may be integrated at office and hotel developments. The idea is to encourage gathering spaces to view the Wave Lagoon below. Suggested railing protections are intended to provide transparency for view hence cable rails or glass systems are desired.

Colors

All exterior materials and colors should conform to the overall design theme as depicted in the reference images, concept drawings and material/color palettes as presented in this document. Colors are intended to reinforce the coastal contemporary theme and should include, but not limited to desert hues and coastal tones such as: whites, sandy beiges, and warm greys as main body colors for the buildings. Accent colors include but not limited to bright oranges or rustic deep oranges/crimsons, deep blues, turquoise, and light blue hues. Light Reflectance Value (LRV) should be as Light-Medium range of 40-55.

Roofs

A variety of roof shapes and forms is desired to breakdown building mass and create the village feel indicative of coastal architecture. Long, straight roof lines should be interrupted with a variety of forms/shapes that may be sloped, curve and hipped to provide strong unifying characteristics to all buildings. Consideration of views of the roof forms from the pedestrian levels, site approaches and from other buildings should be a priority. Mechanical devices should be completely screened with consideration of the above.

Windows

At the pedestrian level, and especially at the waterfront level, the intent is to provide glazing/entry systems to activate pedestrian interactions. Windows, in general, should recognize solar orientation and shaded commensurate with building use, reinforce view opportunities to the water feature/pedestrian areas and integrate coastal architectural details.



Color Pal-

Exterior Insulation Finish System (EIFS)

Metal Siding

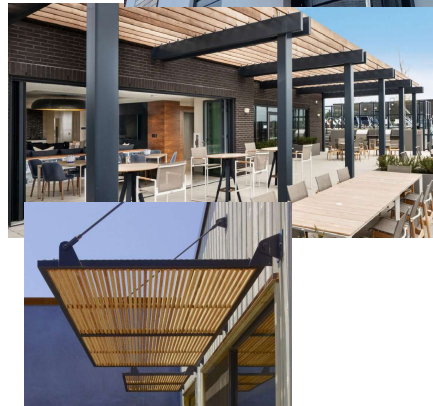


Storefront Systems



Railing System

Architectural Awnings



Signage



Wall Lights



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Building Scale
Building scale should work together with building massing to develop a sense of integration with pedestrians, nature, water, and community. From the pedestrian level, a sense of detail should create a friendly and fascinating environment. Plazas, courtyards, and walkways should combine to activate the building masses and border the unique water adventure. Large scale interior and exterior spaces should contain activity and excitement and the architecture should "step up" to multi-story levels to create density and community. The human scale should create a sense of place and social activity. Placement of doorways, seating areas, sculpture, landscaping, shade structures, directional signage, traditional materials, and skilled craftsmanship that create a high level of detail are intended to reinforce the pedestrian experience. Friendly community and pedestrian connectivity should result from the appropriate scale and building mass that surrounds the adventure spaces, making the gathering of people in the plazas and along the waterfronts a dynamic experience.

Building Height
Building mass and scale should be used in combination to define building heights. The mass and scale directly relate to its use and location and heights should be appropriate to the specific function of the building use and the surrounding amenity spaces.

Building Materials
As stated previously, the intent of the design guidelines is to envision the coastal contemporary theme across all uses for restaurants/shops, hotel, commercial pads, gym, indoor recreation, flex space and office while allowing unique and specific details related to those uses. All exterior materials and colors should conform to the overall design theme as depicted in the reference images, concept drawings and material/color palettes as presented in this document. Exterior materials and colors should be consistently applied throughout development but allow for variation based on specific uses. Materials will consist of but should not be limited to:

- Exterior Insulation Finishing System (EIFS) with details for patterns and reveals
- Wood texture of durable applications such as tile planks, synthetic wood texture planks
- Architectural metal façade treatment/application. Perforated metal/mesh systems and horizontal/vertical plank systems.
- Architectural shade trellis and awnings. Metal or synthetic wood applications.
- Insulated glass systems with black aluminum frame systems.
- Standing seam metal roof systems
- Cable rail systems with turnbuckle tensioning systems

Signage
Signage, including, but not limited to, primary center identification signs, multi- and single-tenant monument signs, building signage, and vehicular and pedestrian directory signs and wayfinding signs will be developed through a separate Comprehensive Sign Plan application. The design criteria illustrated in this document provides a guide for integration with the overall Contemporary Coastal architectural theme of Cannon Beach.



Parking Garage



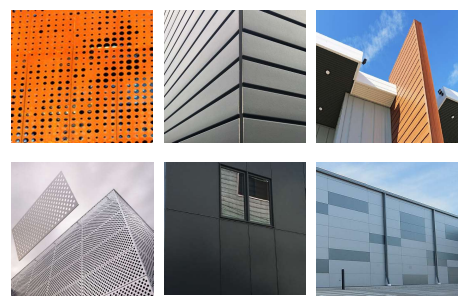
Industrial



Parking Garage



Industrial



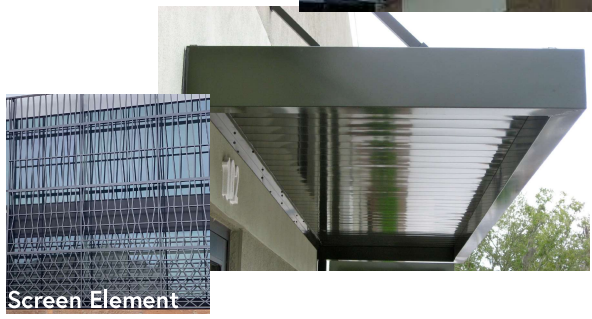
Material Palette



Architectural Awnings



Signage



Screen Element



Storefront Systems



Wall Lights



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