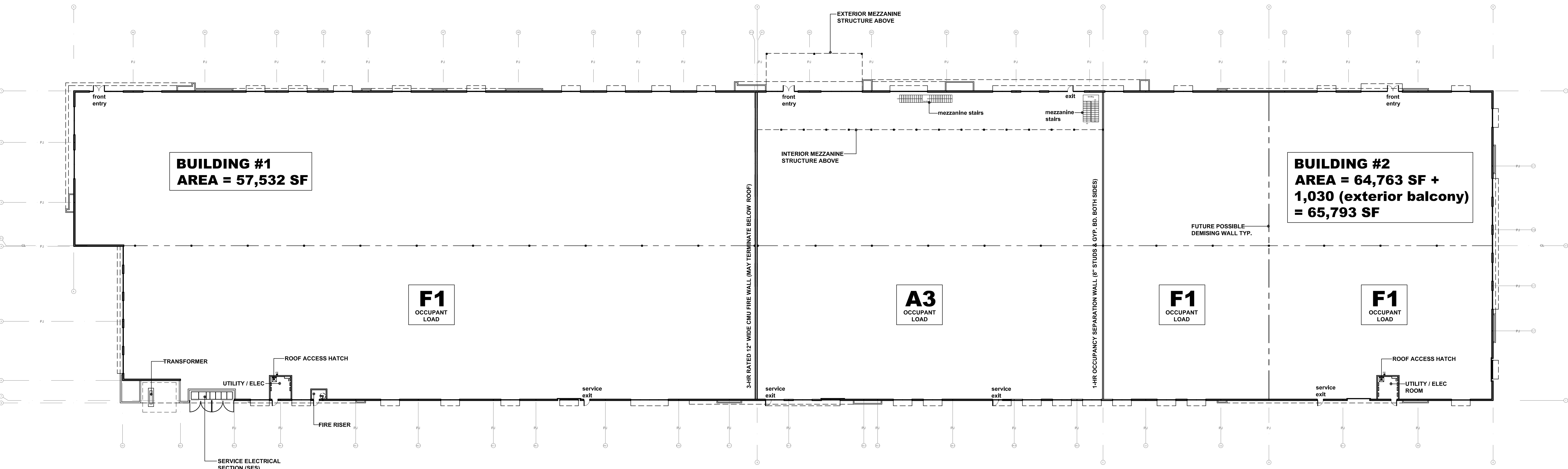




CODE ANALYSIS PLAN

NOT TO SCALE



BUILDING CODE DATA

CITY OF MESA CURRENT GOVERNING CODES:

2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS)
2018 ADMINISTRATIVE CODE
2017 NATIONAL ELECTRICAL CODE (NEC)

ANY CURRENT MESA ZONING ORDINANCES & MESA CODE AMENDMENTS

PROJECT ADDRESS:

CANNON BEACH - INDUSTRIAL FLEX BUILDING
NWC POWER AND WARNER ROAD
MESA, AZ 85212

PROJECT DESCRIPTION:
PROVIDING NEW GROUND-UP CONSTRUCTION BUILDING
THAT WILL SERVE AS MULTI-TENANT USE OR LARGE TENANT
USE SPACE FOR FUTURE INDUSTRIAL SUITES.

TYPE OF CONSTRUCTION:
IIB - WITH FIRE SPRINKLER
ONE-STORY BUILDING

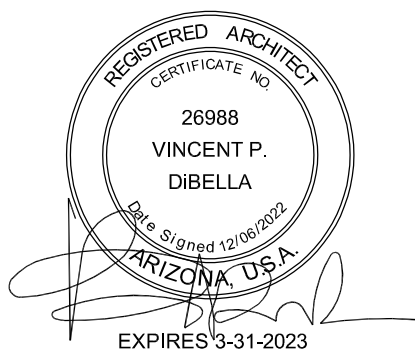
GROSS FLOOR AREA = 122,295 SF
MEZZANINE AREA = 1,030 SF
TOTAL GROSS BUILDING AREA UNDER ROOF
(INCLUDING POPOUTS) = ±125,597 SF

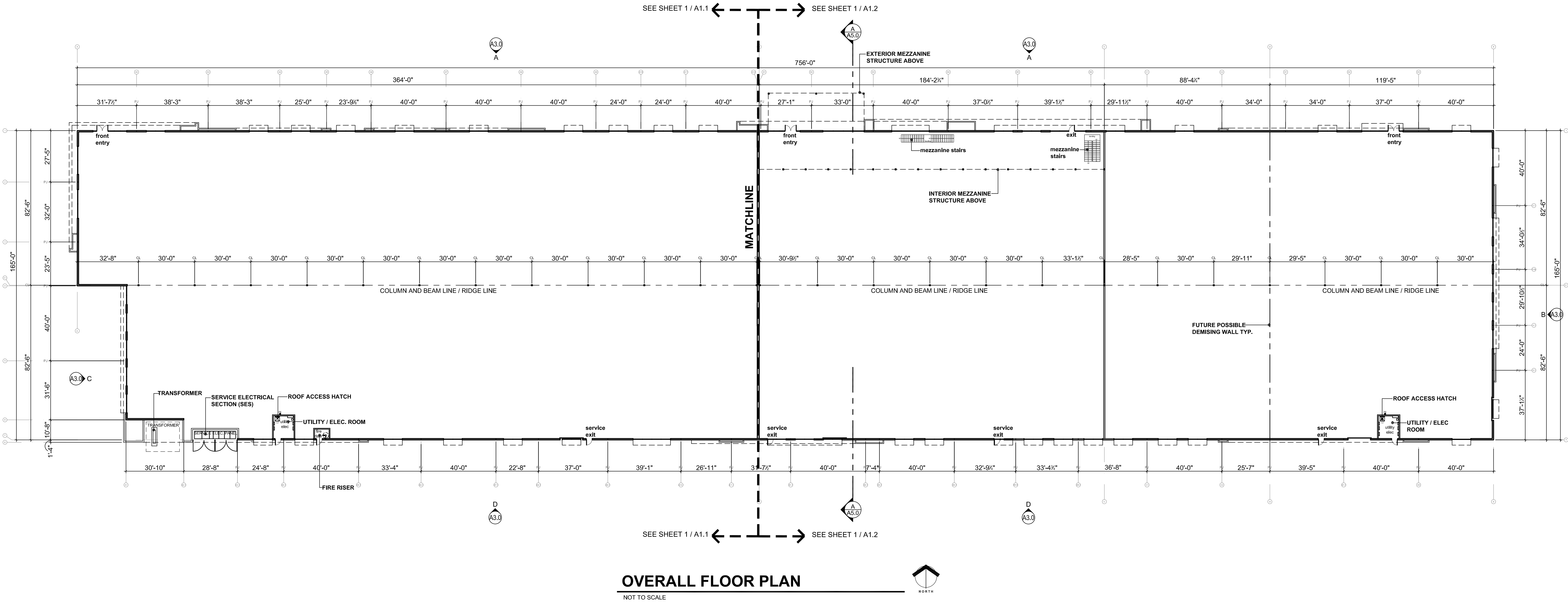
OCCUPANCY CLASSIFICATION:
INDUSTRIAL (F1)

ALLOWABLE AREAS:
F-1 (S1) = 62,000 SF ALLOWABLE < 122,295 SF (ACTUAL)

BUILDING #1 TYPE II-B (F1):
ALLOWABLE AREA W / FRONTAGE INCREASE:
61,000 SF + (15,500 NS X 39.67%) = 61,000 + 6,148 = 67,148 SF ALLOWABLE > 57,532 SF

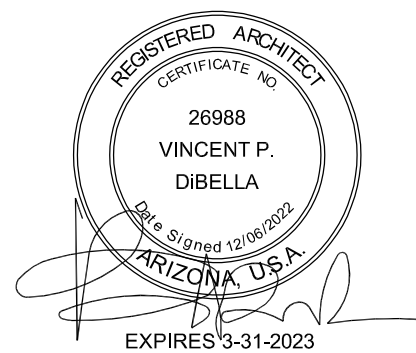
BUILDING #2 TYPE II-B (F1):
ALLOWABLE AREA W / FRONTAGE INCREASE:
61,000 SF + (15,500 NS X 39.83%) = 61,000 + 6,173 = 67,173 SF ALLOWABLE > 65,793 SF

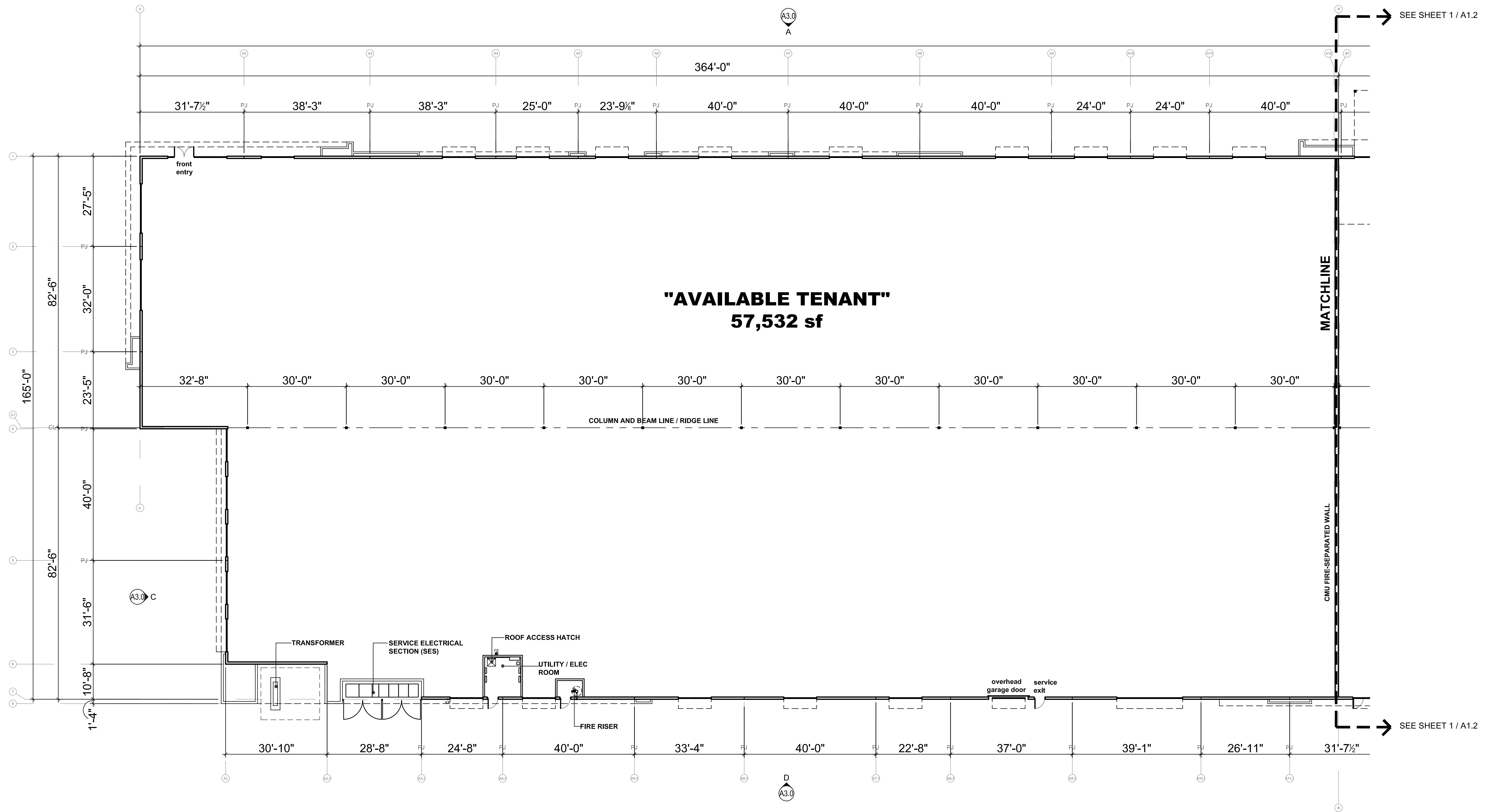




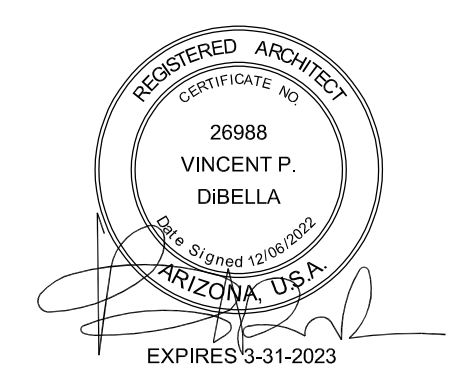
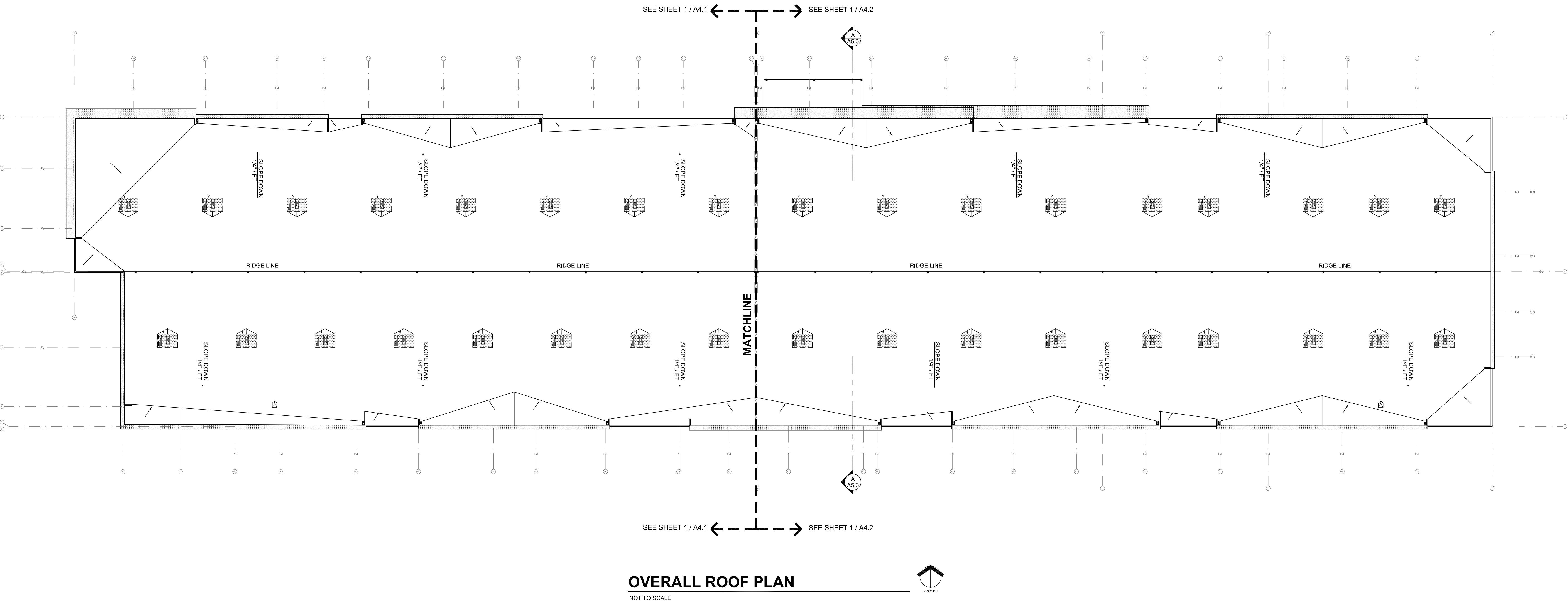
OVERALL FLOOR PLAN

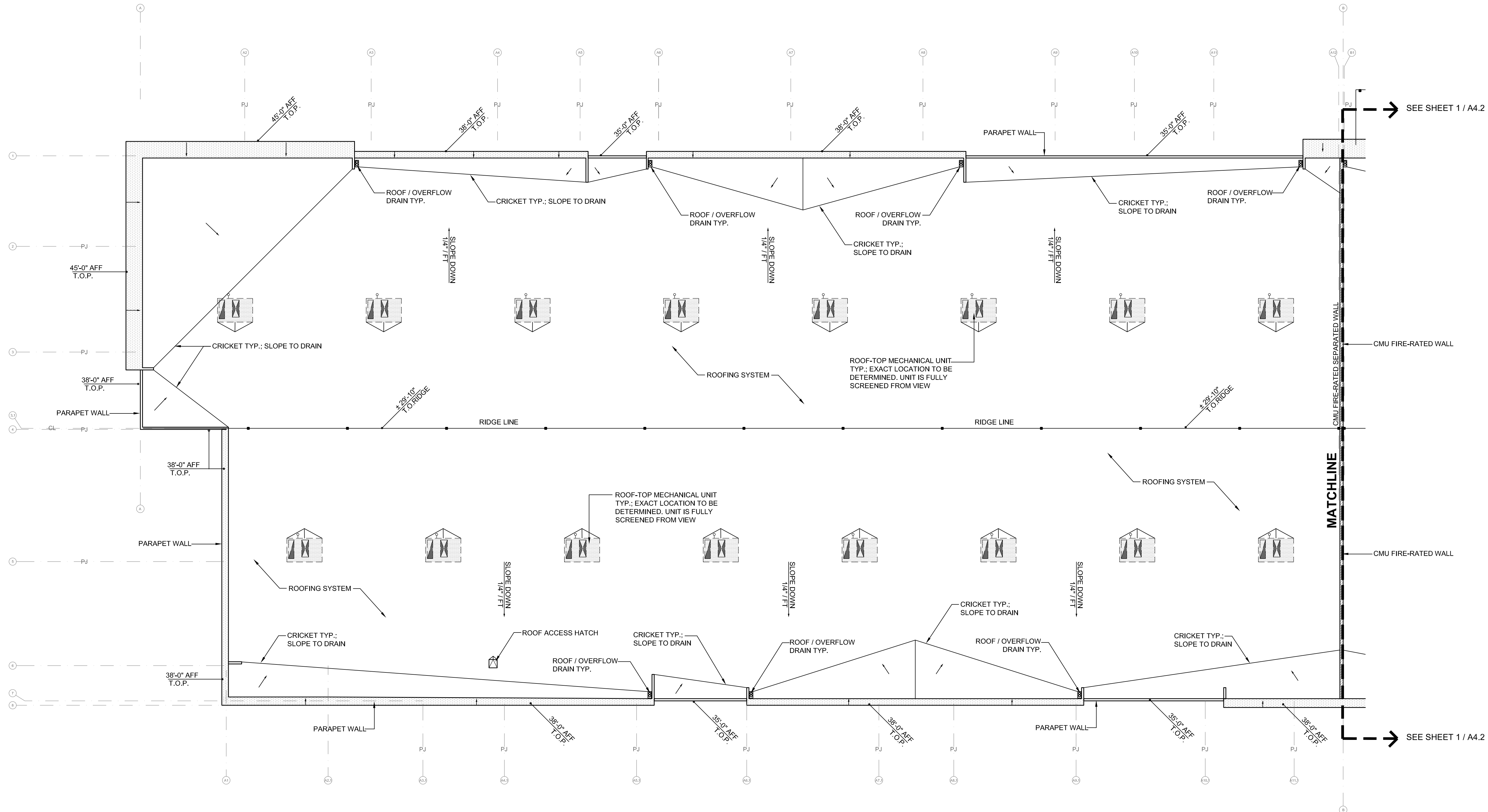
NOT TO SCALE





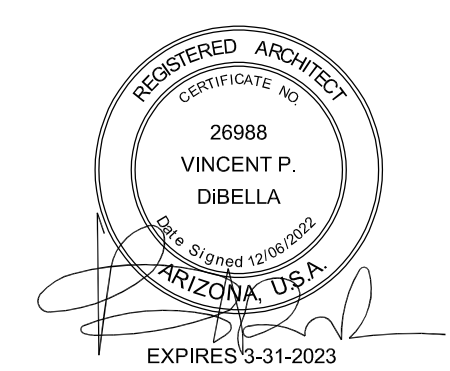
1 FLOOR PLAN
SCALE: 1/16" = 1'-0"
0 8' 16' 32' 64'

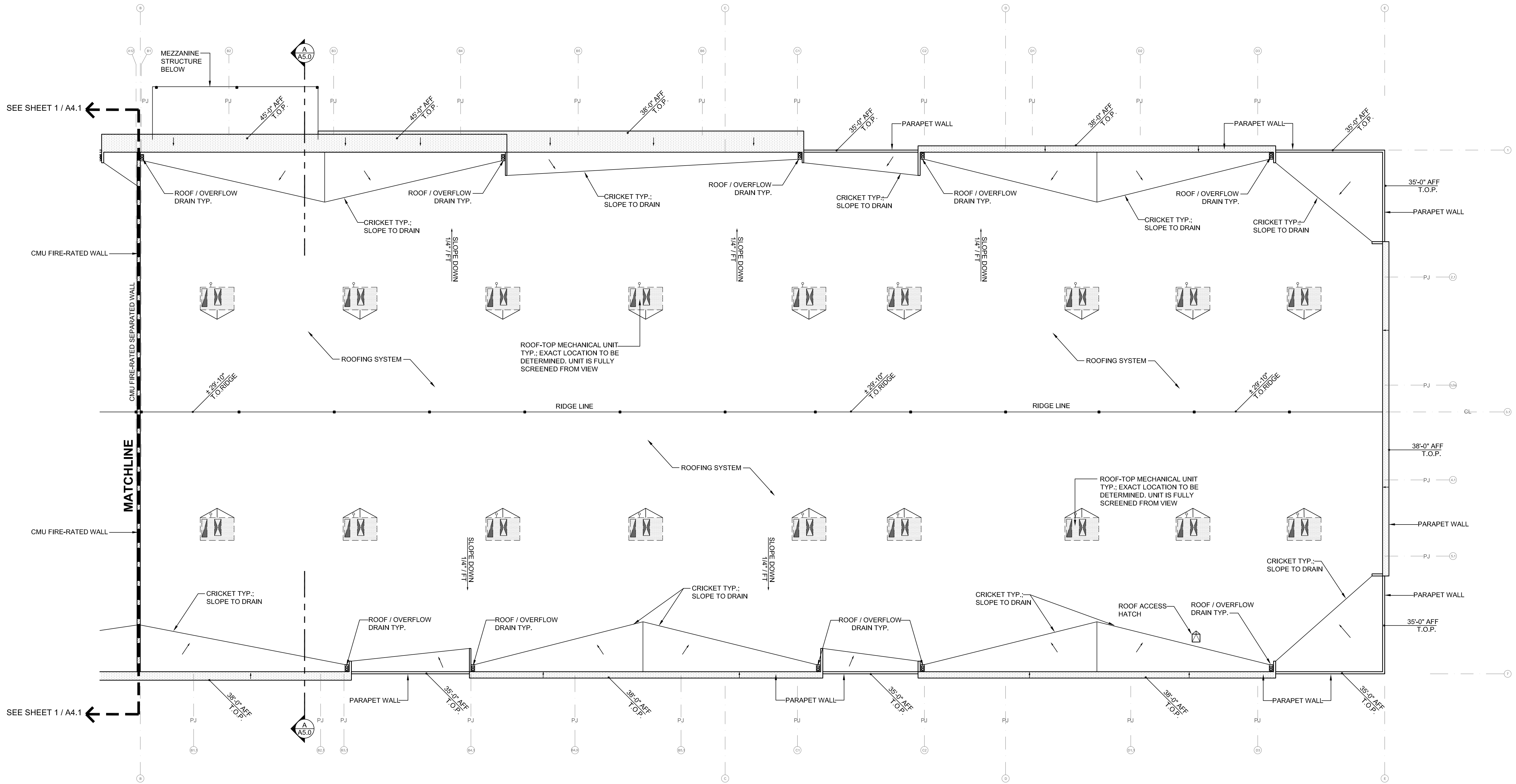




1 ROOF PLAN
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32' 64'

NOTES:
 1. ALL ROOF-TOP MECHANICAL EQUIPMENT TO BE FULLY SCREENED BY PARAPET.





1 ROOF PLAN
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32' 64'



NOTES:
 1. ALL ROOF-TOP MECHANICAL EQUIPMENT TO BE FULLY SCREENED BY PARAPET.

