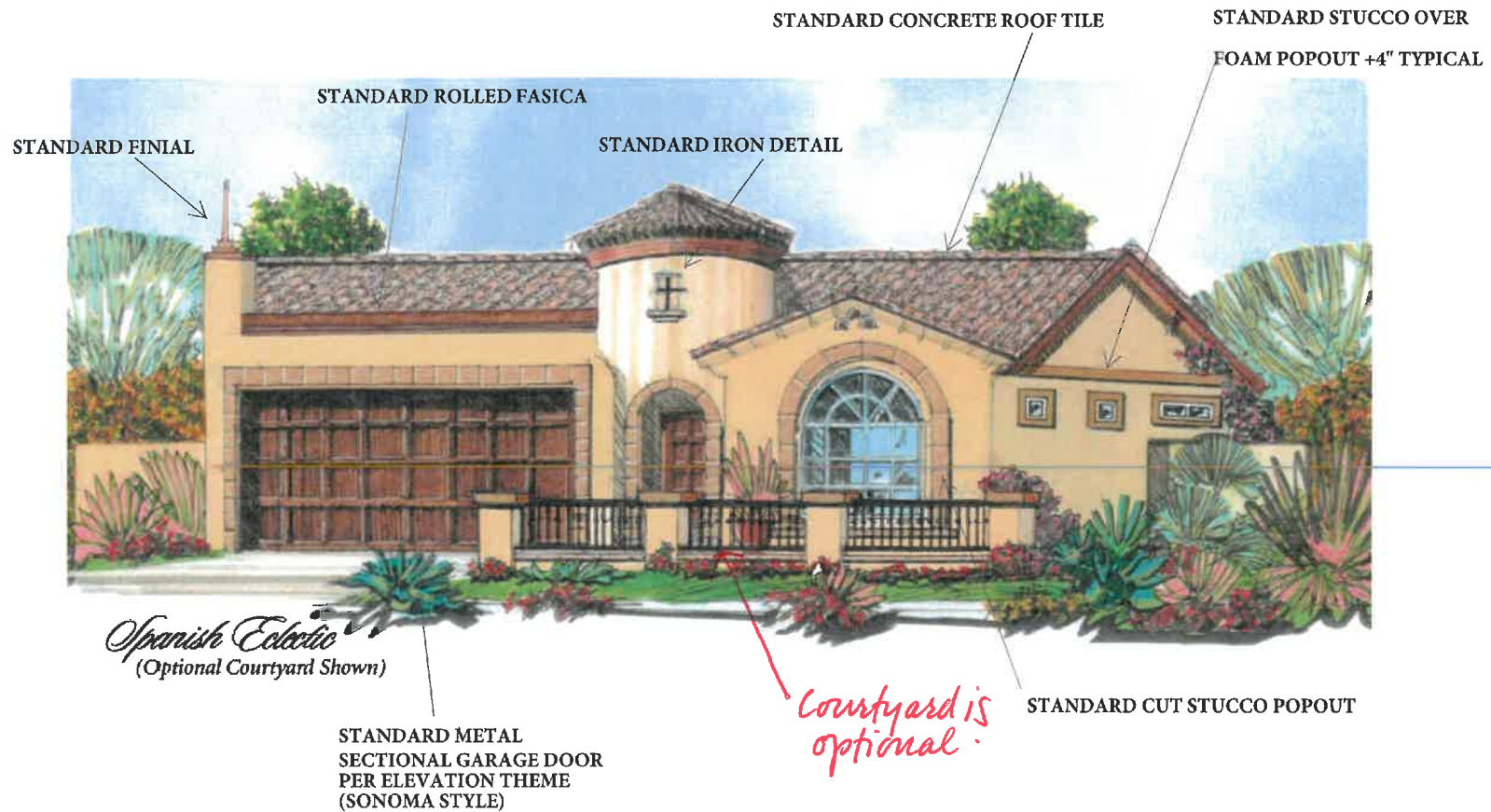
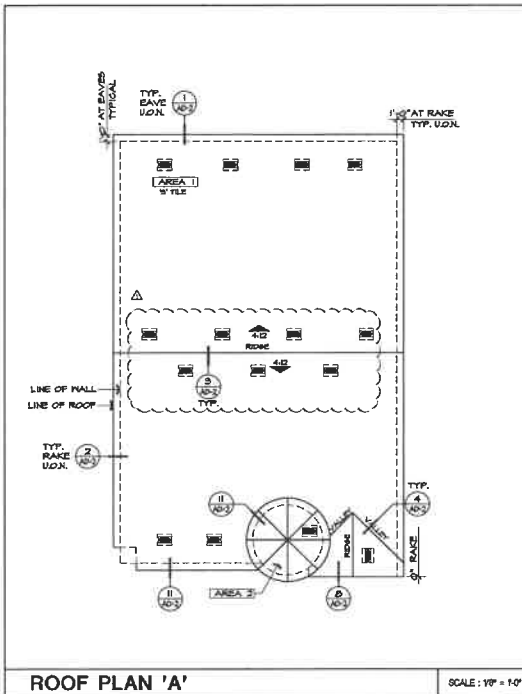




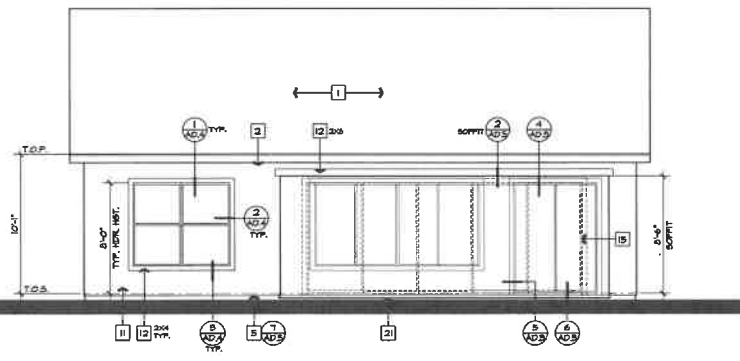
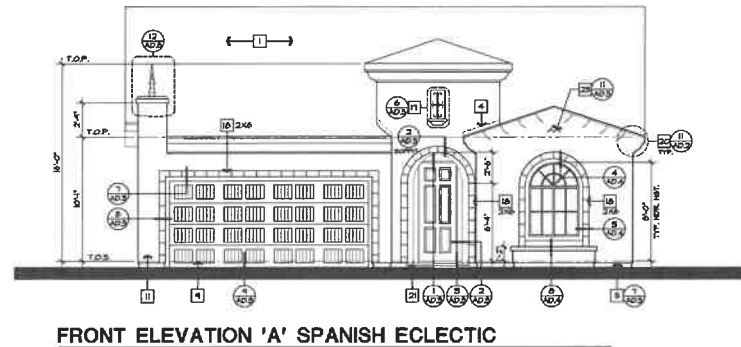
PLAN 1700 SPANISH ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

Stucco 10090
2nd material 090



ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED:	2481	SQ. FT. / 300 =	8.3 SQ. FT.
	X 144 =	1196	SQ. IN.
	X 576 =	589	SQ. IN.
VENTILATION PROVIDED:			
(1) GABLE END VENT:	92	SQ. IN. EA. =	0.83 SQ. IN.
(7) CHIMNEY CROWN VENT:	975	SQ. IN. EA. =	692.5 SQ. IN.
LOW			
(1) CHIMNEY CROWN VENT:	975	SQ. IN. EA. =	692.5 SQ. IN.
(1) EAVE VENT "BIRD'S MOUTH"	12	SQ. IN. EA. =	0.83 SQ. IN.
5 PER BAY @ 225" DIA. EA.			108.3 SQ. IN.
AREA 2			
VENTILATION REQUIRED:	78	SQ. FT. / 300 =	0.26 SQ. FT.
	X 144 =	38	SQ. IN.
	X 576 =	4	SQ. IN.
VENTILATION PROVIDED:			
(1) CHIMNEY CROWN VENT:	975	SQ. IN. EA. =	692.5 SQ. IN.
(1) EAVE VENT "BIRD'S MOUTH"	12	SQ. IN. EA. =	0.83 SQ. IN.
5 PER BAY @ 225" DIA. EA.			108.3 SQ. IN.



FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE: 1/8" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MIMO ESR-100) 1/4"
2. 2x6 FASCIA
3. 2x BRIDGE BOARD - REFER TO ELEVATION FOR SIZE
4. GUTTER FLASHING
5. GUTTER DRAIN
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEM/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2559
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MIMO EN-382)
12. STUCCO OVER FORM TRIM AND TIEUP - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. SIDING/BRICK TRIM AT WINDOWS - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO PORTLAND CEMENT TUBE STEEL
18. STUCCO OVER SHAPED FORM TRIM
19. CORNER - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FORM TRIM
21. CONCRETE STUCCOPORCH
22. FRESH BLACK OIL WINDOW - REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUIV.)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" GUTTER SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE (MIMO EN-100) 1/4"
2. CONCRETE SLAT TILE REFER TO ROOF PLAN - ELEV. 12' & 12'
3. CONCRETE SLAT TILE REFER TO ROOF PLAN - ELEV. 12' & 12'
4. ALL ROOFING TO BE INSTALLED OVER MINIMUM 1/2" LAYER OF 30# ROOF FELL WEATHERBOARD LAY. INSTALL PER ROOF TILE MFG. SPECS.
5. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
6. NO ROOF PENETRATIONS IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRAIN VENTS, ETC) TO OCCUR WITHIN 18" OF VALLEY, HPS OR RIDGES
7. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC SEC. R802.4.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- ATTIC VENTILATION WILL BE USED OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- ATTIC VENTILATION WILL BE USED OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 3'0" ABOVE THE PLATE LINE PER IRC 802.4 EXCEPTION 1 & 2.

VENTILATION SCHEDULE:

- CHIMNEY CROWN VENT TYP.
- MODEL: "FLAT" 450043
- MODEL: "5" 450046
- NET FREE VENT: 88.75 SQ. IN. (FLAT), 975 SQ. IN. (5")
- SBCC REPORT No. 9650A

Design & Planning

PRINCIPAL: DAVID R. WALDONCINO
PROJECT MANAGER: BRIAN FELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3901 EAST BASQUE ROAD GLENDALE, ARIZONA 85224
PH: 480.341.4143

No.	Date	Issue / Description
01	07.15.2016	BLDG. DEPT. SUBMITTAL
02	09.26.2016	BLDG. DEPT. CORRECTIONS
03	10.14.2016	BLDG. DEPT. CORRECTIONS
04	10.24.2016	CODE UPDATE
05	04.22.2017	CLIENT CHANGES
06	03.09.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1700 (PLAN 1)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'A'
SPANISH ECLECTIC
SHEET NO:

AA.21

garage door
3' 3'

20'6" x 22'

FLOOR PLAN 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARAGE DISPOSAL - VERIFY DIM W/ MFR SPEC.
2. DOWNGRADE SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR SPEC.
3. PROVIDE AIR HAMMER ARRESTOR.
4. SLIDE-IN RANGE/OVEN W/ VENT HOOD [OPT. MICROWAVE - REFER TO SPEC.]
5. 32" CLEAR REFRIGERATION SPACE - PROVIDE PLUMBING FOR ICEMAKER RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
6. BASE CABINETS
7. UPPER CABINETS
8. VANITY W/ KNEE SPACE
9. PANTRY W/ 5 SHELVES
10. ISLAND CABINET
11. DESK
12. WATER CLOSET 30" W.D. x 24" D.P. OR CL. SPACE 12" CL. FROM CENTER OF FITTURE IN EACH DIRECTION PER IRC R307.
13. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WINDSCOT TO 22" ABV. DRAIN OF MOISTURE RESISTANT DRY BD. - VERIFY DIM W/ MFR SPEC.
14. DROP-IN TUB ON 20" HIGH FRAMED PLATFORM - VERIFY DIM W/ MFR SPEC.
15. SHOWER PAN W/ WINDSCOT TO 22" MIN. ABV. DRAIN OVER MOISTURE RESISTANT DRY BD. - VERIFY DIM W/ MFR SPEC.
16. LAVATORY - REFER TO SPEC.
17. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ TB.
18. TONGUE BAYING - PROVIDE 2" SOLID BACKING AT 32" AFF.
19. TOILET PAPER HOLDER - PROVIDE 2" SOLID BACKING AT 32" AFF.
20. RECESSED MEDICINE CABINET (UNFROZEN)
21. RECESSED LAVATORY - REFER TO SPEC.
22. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
23. WARDROBE SPACE - PROVIDE SMOOTH FIN W/ DRAIN BELOW HANGER FOR WATER AND WASTE W/ WOOD CONTIG. VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
24. UPPER VENT PER IRC SEC. M103 (M103.1) & 25. PROVIDE DOOR VENER PER MESA RES. CODE R305
26. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE MIN 6" ABV. - FINISH GRADE PER IRC SEC. M107.5 & SEC. P2803 SEE DETAILS
27. TUB RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 48" & 24" ABV. GRADE & 38" AWAY FROM ANY DFL
28. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
29. WINDOW DELETED WHEN OPT. CL. CABINETS SELECTED
30. NOT USED
31. NOT USED
32. SHELF & POLE (DOUBLE)
33. NOT USED
34. PLAT SCOFF - REFER TO PLAN FOR HEIGHT
35. ARCHED SCOFF - REFER TO ELEVATIONS FOR HEIGHT
36. NOT USED
37. LOW WALL - REFER TO PLAN FOR HEIGHT
38. LINE OF FLOORWALL ABOVE
39. NOT USED
40. 22" x 37" ATTIC ACCESS PER IRC SEC. R107 & M103.12
41. FALL IN ATTIC - REFER TO MECHANICAL PLAN
42. 18" LINEN CABINET - REFER TO SPEC.
43. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
44. NOT USED
45. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
46. PROVIDE 18" LAYER OF 1/2" GY. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 602.5)
47. NOT USED
48. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
49. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/409
50. CONCRETE PLAT WORK SLOPE 1/4" PER FOOT
51. CONCRETE GARAGE SLAB SLOPE 1/8" PER FOOT UNDO 9/403
52. STONE/BRICK VENER - REFER TO ELEVATIONS
53. OPT. SINK & LAUNDRY
54. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
55. 12" x 18" GL. SCREENED & LAMPSHED EXHAUST VENTS LOCATE 18" AT 4" ABV. GARAGE CLERK LGT. 18" WITHIN 4" BELOW CLG PER IRC M103.3
56. GAS SERVICE METER - REFER TO UTILITY PLAN
57. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

1/4" WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK UNLS. REFER TO PLAN FOR SIZE
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE REFER TO PLAN FOR SIZE
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK. W/SELF CLOSER & TIGHT FITTINGS REFER TO PLAN FOR SIZE OR 20 MIN. PRE-TREATED DOOR
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK REFER TO PLAN FOR SIZE
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD. TO BE APPLIED PER 2016 IRC SECTION 702.5.2 & 7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ 2016 IRC SEC. R107.1
7. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 1/2" ON UNDER FIN. FLR. & WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION
8. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBS
9. GLAZING PER 2016 IRC SEC. R602.4.1
10. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE U.L. GAS MARKING & LISTING STANDARDS FOR FIELD AND LOCATION-DEPENDENT ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE U.L. SAFETY CERTIFIED. WATER CLOSET TO HAVE AN AVERAGE OF 15 GALLONS PER FLUSH (LPC SEC. 402.2)
11. DUMPSTER
12. PLOT DATE

Design &
1033
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

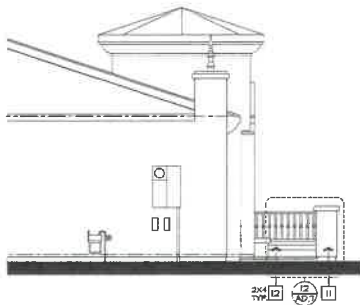
PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA
BLANDFORD HOMES
3321 EAST BANGS ROAD SUITE 200, MESA, ARIZONA 85204
P. 480.943.1443

No.	Date	Issue / Description
1	01.18.2016	BLDG. DEPT. SUBMITTAL
2	04.26.2016	BLDG. DEPT. CORRECTIONS
3	10.19.2016	BLDG. DEPT. CORRECTIONS
4	03.24.2017	CODE UPDATE
5	04.12.2017	CLIENT CHANGES
6	03.02.2018	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1700 (PLAN 1)
FLOOR PLAN 'A'
SPANISH ECLECTIC

SHEET NO:
AA.11



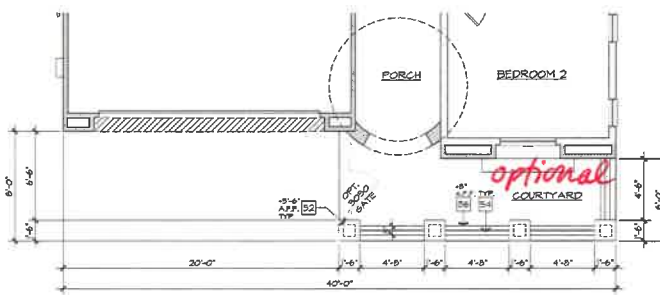
PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FRONT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. COURTYARD - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR. SPEC.
2. DOWNSIDE PRONG SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR. SPEC.
3. SINK IN HANGING W/ VENT HOOD (OPT. MICROWAVE) - REFER TO SPEC.
4. 30" CUPB. REFRIGERATION SPACE - PROVIDE PLANKING FOR DOWNSIDE PRONGS IN WALL PROVIDE AIR HANGER ABOVE BASE CABINETS
5. UPPER CABINETS
6. VANITY W/ KNEE SPACE
7. PANTRY W/ 5 SHELVES
8. ISLAND CABINET
9. DESK
10. WATER CLOSET 37" W.O. x 24" D.P. CLR. SPACE 18" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION PER IRC P25.03.01
11. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSKOT TO 72" DRAIN O' MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR. SPEC.
12. DRAIN IN TUB ON 2" HIGH FRAMED PLATFORD. VERIFY DIM W/ MFR. SPEC.
13. SHOWER PAN W/ WANSKOT TO 72" MIN. ADV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR. SPEC.
14. LAVATORY - REFER TO SPEC.
15. SHUTTERPROOF (TEMPEREST) GL. SHOWER ENCLOSURE W/ T.B.
16. TOWEL BAR/ING - PROVIDE 2x SOLID BACKING AT 32" HGT.
17. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" H.
18. RECESSED MEDICINE CABINET (MIRRORED)
19. REDISTAL LAVATORY - REFER TO SPEC.
20. SHED - REFER TO PLAN FOR SIZE & QUANTITY
21. WAGERMENT SPACE - PROVIDE SMITH PAN W/ DRAIN BELOW WAGER FOR WATER AND WASTE. BRASSER CONTROL VALVES - RECESSED IN WALL PROVIDE AIR HANGER ABOVE
22. OTHER VENT PER IRC. SEC. M202.1.03.01, A3
23. PROVIDE DOOR VENER PER MESA RES. CODE R205
24. WATER HEATER - LOCATED ON AN 8" PLATFORD TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE, MIN. 2" ADV. - 72" HGT. GRADE PER IRC. SEC. M202.1.03.01, A3
25. TAP-RELIEF VALVE TERMINATE AT DOWNWARD POSITION BETWEEN 4" & 12" ADV. GRADE & 3" AWAY FROM ANY DR.
26. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
27. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
28. NOT USED
29. SHELF & POLE (DOUBLE)
30. NOT USED
31. FLAT SORT - REFER TO PLAN FOR HEIGHT
32. ARCHED SORT - REFER TO ELEVATIONS FOR HEIGHT
33. NOT USED
34. LOW WALL - REFER TO PLAN FOR HEIGHT
35. LINE OF FLOORWALL ABOVE
36. NOT USED
37. 22" x 10" ATTIC ACCESS PER IRC. SEC. R802 & M202.1.03.01, A3
38. FALL IN ATTIC - REFER TO MECHANICAL PLAN
39. 18" UNEN CABINET - REFER TO SPEC.
40. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
41. NOT USED
42. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
43. PROVIDE 1/2" LAYER OF 1/2" D.P. BD. APPLIED TO GARAGE SIDE PER IRC TABLE 302.9
44. NOT USED
45. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
46. SOLID GROUTED PIPE BOLLARD SEE DETAIL 5A/9
47. CONCRETE PLAT WORK. SLOPE 1/4" PER FOOT
48. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT UNDO. SLOPE
49. STONE/BRICK VENEER - REFER TO ELEVATIONS
50. OPT. SINK IN LAVATORY
51. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
52. 1/2" x 1" GL. SCREENED & LOUMERED EXHAUST VENTS LOCATE IN AT 4" ADV. GARAGE CURB HGT. (1) WITHIN 4" BELOW CLR PER IRC M202.1.03.01, A3
53. GAS SERVICE METER - REFER TO UTILITY PLAN
54. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFR. ESP-800) A3
2. 2x6 FASOA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRAIN SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. A3
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MFR. ESP-2502)
12. STUCCO OVER FOAM TRIM (MFR. SAND TITUR) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO POCKET W/ DECORATIVE TUBE STEEL
18. STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORREL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHARP FOAM TRIM
21. CONCRETE STUCCO/POUCH
22. RED. BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL BOLLARD
24. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1" GL. SCREENED & LOUMERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID A. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

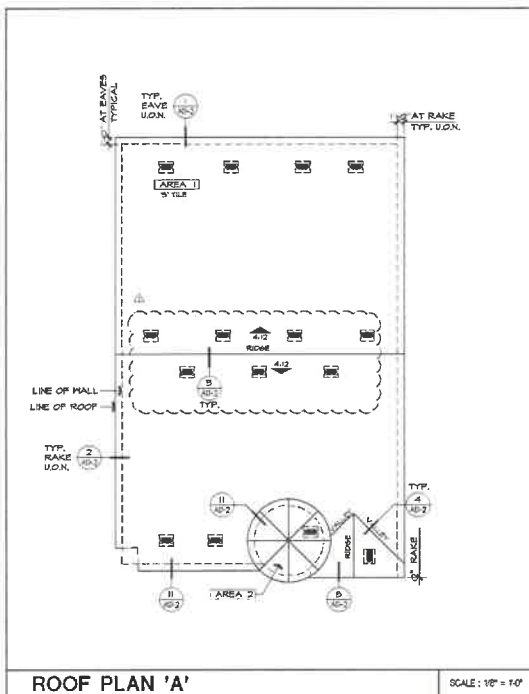
NEW VINTAGE BLANDFORD HOMES

No.	Date	Issue / Description
01.12.2016	BLDG. DEPT. SUBMITTAL	
04.26.2016	BLDG. DEPT. CORRECTIONS	
10.19.2016	BLDG. DEPT. CORRECTIONS	
03.24.2017	CODE UPDATE	
04.12.2017	CLIENT CHANGES	
08.04.2017	BLDG. DEPT. CORRECTIONS	

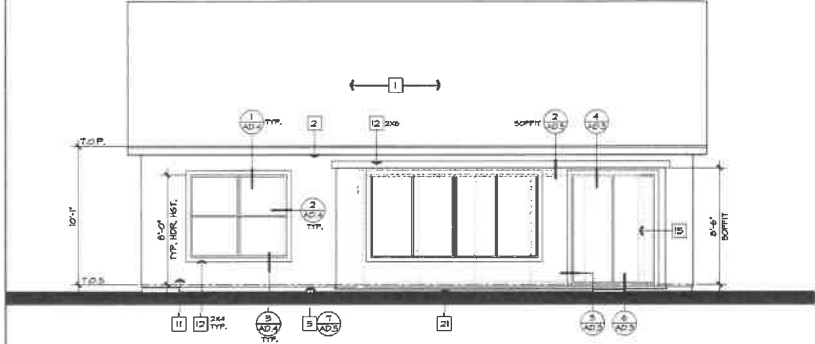
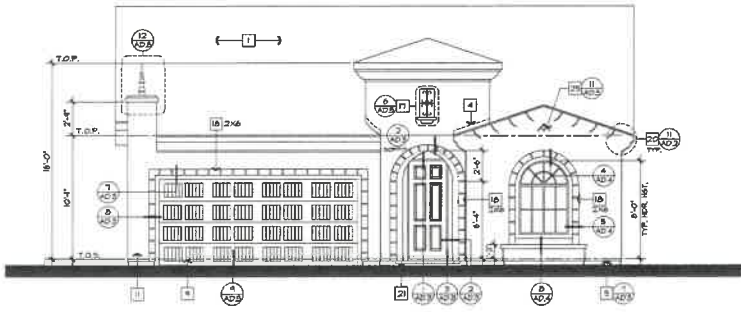
BLDG. DEPT. CORRECTIONS - 08.04.2017
BLDG. DEPT. CORRECTIONS - 10.19.2016
BLDG. DEPT. CORRECTIONS - 04.26.2016
BLDG. DEPT. CORRECTIONS - 01.12.2016

SHEET TITLE:
PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. COURTYARD

SHEET NO:
AA.32



ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED:	2,481 SQ. FT. / 300 = 8.3 SQ. FT.		
	X 144 = 1195 SQ. IN.		
	X 50% = 598 SQ. IN.		
VENTILATION PROVIDED:			
(1) CHIMNEY CROWN VENTS	82 SQ. IN. EA. = 82 SQ. IN.		
(7) CHIMNEY CROWN VENTS	975 SQ. IN. EA. = 6825 SQ. IN.		
(1) CHIMNEY CROWN VENTS	975 SQ. IN. EA. = 975 SQ. IN.		
(1) CHIMNEY CROWN VENTS	12 SQ. IN. EA. = 12 SQ. IN.		
(3) PER DAY @ 225' DIA. EA.	105 SQ. IN.		
AREA 2			
VENTILATION REQUIRED:	78 SQ. FT. / 50 = 1.6 SQ. FT.		
	X 144 = 230 SQ. IN.		
	X 50% = 115 SQ. IN.		
VENTILATION PROVIDED:			
(1) CHIMNEY CROWN VENTS	975 SQ. IN. EA. = 975 SQ. IN.		
(1) CHIMNEY CROWN VENTS	12 SQ. IN. EA. = 12 SQ. IN.		
(3) PER DAY @ 225' DIA. EA.	105 SQ. IN.		



ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BPMO ESR-100) (1)
2. 2x6 FASOR
3. 2x4 BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G1 FLASHING
5. G1 DFP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-208
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (BPMO EX-302)
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POROIT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARP FOAM TRIM
21. CONCRETE STOOD/POUCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL SAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" G1 SCREED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

- INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.
1. ROOF MATERIAL: EAGLE: BPMO EX-100 (1)
 2. CONCRETE PLANT TILE REFER TO ROOF PLAN - ELEV. 17 & 18
 3. CONCRETE 5" TILE REFER TO ROOF PLAN - ELEV. 17, 18 & 19
 4. ALL ROOFING TO BE INSTALLED OVER MINIMUM (8) LAYER OF 30M ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPEC.
 5. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
 6. NO ROOF PENETRATIONS IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR OTHER VENTS, ETC TO OCCUR WITHIN 14" OF VALLEY, HIPS OR RIDGES
 7. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER UFG SEC. R602.1.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- ATTIC VENTILATION SHALL BE 1/20 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- ATTIC VENTILATION SHALL BE 1/20 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 2'9" ABOVE THE PLATE LINE PER IRC R602 EXCEPTION 1 & 2 (1)

VENTILATION SCHEDULE:

CHIMNEY CROWN VENT TYP.
 MODEL: "FLAT" #50043
 MODEL: "S" #50046
 NET FREE VENTS: 9875 SQ. IN. (FLAT), 975 SQ. IN. (S)
 SBCCI REPORT No. 9650A

Design & Planning

PRINCIPAL: DAVID R. HALLONADO
 PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
 MESA, ARIZONA

BLANDFORD HOMES
 3931 EAST BROADWAY ROAD SUITE 100, MESA, ARIZONA 85204
 P. 480.948.4473

No.	Date	Issue / Description
07.10.2016	BLDG. DEPT. SUBMITTAL	
07.28.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
03.24.2017	CODE UPDATE	
04.12.2017	CLIENT CHANGES	
08.01.2017	BLDG. DEPT. CORRECTIONS	

BLDG. DEPT. CORRECTIONS: 07.10.2016, 07.28.2016, 10.14.2016, 03.24.2017, 04.12.2017, 08.01.2017
 CLIENT CHANGES: 04.12.2017
 CODE UPDATE: 03.24.2017
 BLDG. DEPT. SUBMITTAL: 07.10.2016
 BLDG. DEPT. CORRECTIONS: 07.28.2016, 10.14.2016, 08.01.2017

SHEET TITLE:
**PLAN 1700 (PLAN 1)
 FRONT AND REAR
 EXTERIOR ELEVATIONS
 & ROOF PLAN 'A'
 SPANISH ECLECTIC**

SHEET NO:

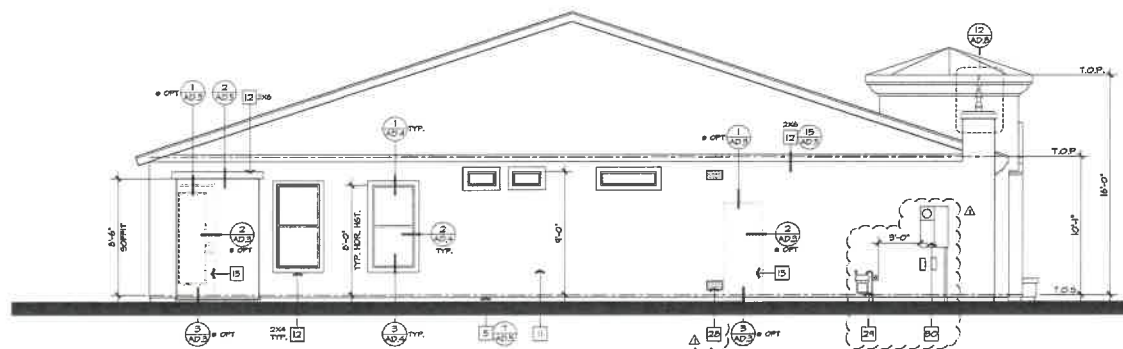
AA.21

ATTIC VENT CALCULATIONS

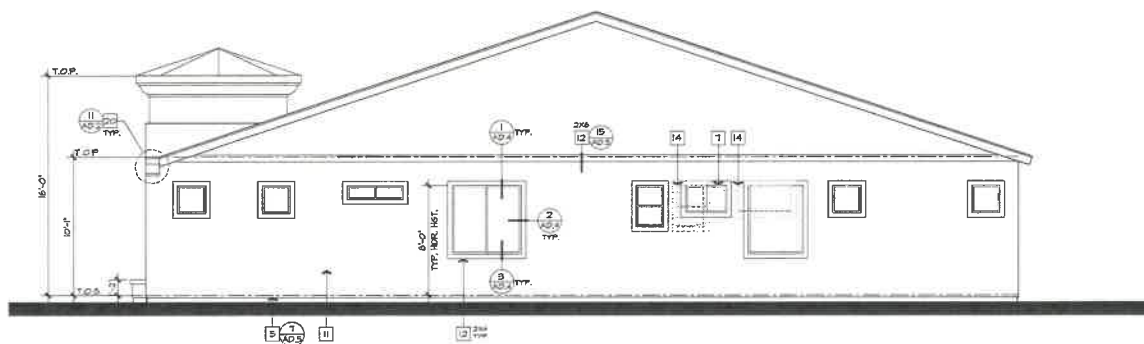
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE: 1/4" = 1'-0"

CAD/PLS
 PLOT DATE



LEFT ELEVATION 'A' SPANISH ECLECTIC



RIGHT ELEVATION 'A' SPANISH ECLECTIC

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE: 1/8" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE #4440 ESR-5003
2. 2x6 FASCH
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRP SORREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES #4440 ESR-5003
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STES
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FRED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 1/4" GL SORREED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
1033
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

3301 EAST PASEO ROAD SUITE 100, MESA, ARIZONA 85204
P: 480.945.4412

No.	Date	Issue / Description
	07.19.2018	BLDG. DEPT. SUBMITTAL
Δ	09.26.2018	BLDG. DEPT. CORRECTIONS
Δ	10.14.2018	BLDG. DEPT. CORRECTIONS
Δ	03.24.2019	CODE UPDATE
Δ	04.12.2019	CLIENT CHANGES
Δ	08.09.2019	BLDG. DEPT. CORRECTIONS

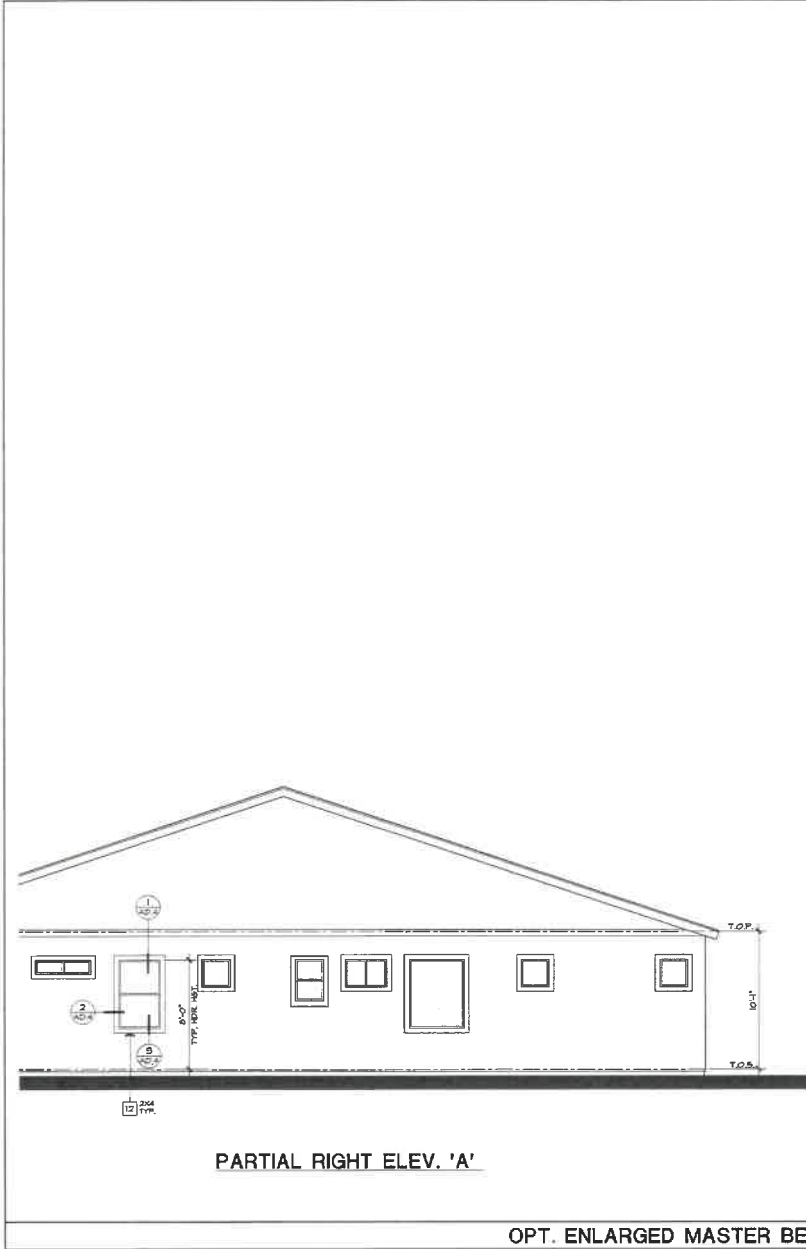
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SHEET TITLE:
PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'A'
SPANISH ECLECTIC

SHEET NO:

AA.22

CADFILES
PLOT DATE



FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR SPEC.
2. DOWNSHOWER SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR SPEC.
3. SINK IN FRAMING/OPEN W/ VENT HOOD KIFT, MICROWAVE - REFER TO SPEC.
4. 3/4" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR CHASER (PECSSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS.
6. UPPER CABINETS.
7. VANITY W/ KNEE SPACE.
8. PANTRY W/ 5 SHELVES.
9. ISLAND CABINET.
10. DESK.
11. WATER CLOSET 3'0" W.O. x 2'4" D.P. OUR SPACE BY OUR FROM CENTER OF PICTURE IN EACH DIRECTION PER FIG. TO ROOM.
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND W/ANSKOT TO 7'2" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR SPEC.
13. DROP-IN TUB ON 2" TEST FRAMED PLATFOM - VERIFY DIM W/ MFR SPEC.
14. SHOWER PAN W/ W/ANSKOT TO 7'2" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.S.
17. TOWEL BAYRNGS - PROVIDE 2x SOLID BACKING AT 3' AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 2' AFF.
19. RECESSED MEDICINE CABINET (MIRRORED).
20. FIBERGLASS LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY.
22. W/SHOWER SPACE - PROVIDE SMITH PAN W/ DRAIN BELOW W/SH. FOR WATER AND WASTE. PROVIDE CONTROL VALVES - RECESSED IN WALL. PROVIDE AIR HAMMER ARRESTOR.
23. DRYER VENT PER IRC, SEC. M503.1 (2003) AS.
24. PROVIDE DOOR VENER PER MESA RES. CODE 1025.
25. WATER HEATER - LOCATED ON AN 8" PLATFOM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE. MIN. 2" ABV. FINISH GRADE PER IRC, SEC. M503.3 & SEC. P2003 SEE DETAILS.
26. TAP RELIEF VALVE. TERMINATE IN DOWNWARD POSITION BETWEEN 6'0" & 6'6" ABV. GRADE & 30" AWAY FROM ANY DO.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED.
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED.
29. NOT USED.
30. NOT USED.
31. SHELF & POLE D-DOUBLED.
32. NOT USED.
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT.
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT.
35. NOT USED.
36. LOW WALL - REFER TO PLAN FOR HEIGHT.
37. LINE OF FLOORWALL ABOVE.
38. NOT USED.
39. 22" x 30" ATTIC ACCESS PER IRC, SEC. R807.4 (2003) & M503.12.
40. FAN IN ATTIC - REFER TO MECHANICAL PLAN.
41. 8" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT.
43. NOT USED.
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS.
45. PROVIDE 1/4" LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE. (PER FIG. TABLE 302.5).
46. NOT USED.
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE.
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL SA09.
49. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
50. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNDO. SA03.
51. STONE/BRCK VENER - REFER TO ELEVATIONS.
52. OPT. SINK & LAUNDRY.
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT.
54. 2'0" x 8'0" GL. SCREENED & LOUMERED EXHAUST VENTS. LOCATE (1) AT 4' ABV. GARAGE CLIMB HGT. (1) WITH-IN 4' BELOW CLG. PER FIG. M503.3.
55. GAS SERVICE METER - REFER TO UTILITY PLAN.
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN.

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE BAYNO ESP-1000.
2. 2x6 FASCO.
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE.
4. GL. FLASHING.
5. GL. DRIP SCREED.
6. NOT USED.
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE.
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEMERELEV.
10. 2" THICK SYNTHETIC STONE/BRCK VENER - ESP-2558.
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES SA00 & EN-5801.
12. STUCCO OVER FOAM INSULATING SAND TEXTURE - REFER TO ELEVATION FOR SIZE.
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE.
14. WINDOW AT OPTION - REFER TO FLOOR PLAN.
15. OPTIONAL DOOR - REFER TO FLOOR PLAN.
16. STONE/BRCK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE.
17. STUCCO POROSIT W/ DECORATIVE TUBE STEEL.
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER TO ELEVATION FOR SIZE.
20. STUCCO OVER SHARED FOAM TRIM.
21. CONCRETE STOOP/PORCH.
22. FIXED BLACK OUT WINDOW. REFER TO ELEV. FOR SIZE.
23. DECORATIVE TUBE STEEL RAILING.
24. POLYURETHANE OUTLOOKER FOR APPROX. EQUAL.
25. DECORATIVE PIPE VENTS.
26. 2" THICK SYNTHETIC BRCK VENER TRIM.
27. STUCCO RECESS W/ TRIM.
28. 1/4" x 8" GL. SCREENED & LOUMERED VENT.
29. GAS SERVICE METER - REFER TO UTILITY PLAN.
30. SERVICE PANEL - REFER TO UTILITY PLAN.
31. A/C CONDENSER - REFER TO UTILITY PLAN.

CHECKED:
PLUT BATH

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

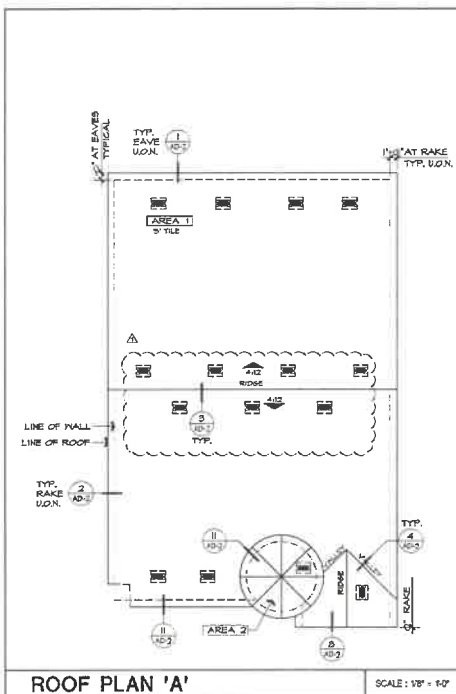
BLANDFORD HOMES
333 EAST SHAGBARK ROAD SUITE 100, MESA, ARIZONA 85204
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No.	Date	Issue / Description
1	01.18.2016	BLDG. DEPT. SUBMITTAL
2	01.28.2016	BLDG. DEPT. CORRECTIONS
3	10.14.2016	BLDG. DEPT. CORRECTIONS
4	03.24.2016	CODE UPDATE
5	04.12.2016	CLIENT CHANGES
6	08.04.2016	BLDG. DEPT. CORRECTIONS

PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. ENLARGED MASTER

SHEET TITLE:
PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. ENLARGED MASTER

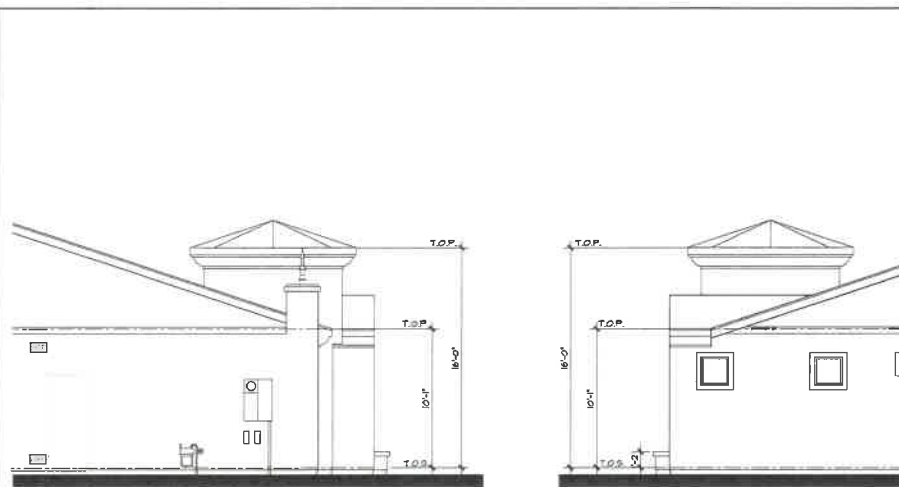
SHEET NO:
AA.31



ATTIC VENT CALCULATIONS

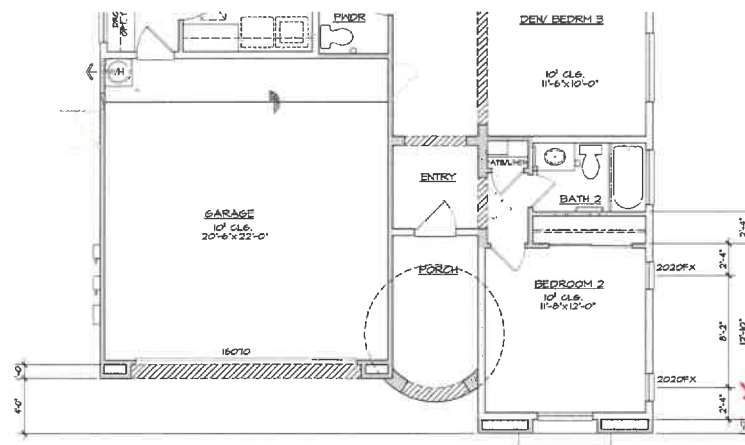
AREA 1	
VENTILATION REQUIRED:	2508 SQ. FT. / 300 = 83 SQ. FT.
	X 50% = 195 SQ. IN.
	X 50% = 588 SQ. IN.
VENTILATION PROVIDED:	
(1) 16" SQUARE END VENTS	82 SQ. IN. EA. = 164 SQ. IN.
(7) 1 CHIMNEY CROWNED VENTS	975 SQ. IN. EA. = 6825 SQ. IN.
LOW	
(7) 1 CHIMNEY CROWNED VENTS	975 SQ. IN. EA. = 6825 SQ. IN.
(1) 1 3" SQUARE VENT WITH MOUTH	6 SQ. IN. EA. = 6 SQ. IN.
3 PER BAY @ 225" DIA. EA.	285 SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL LEFT ELEV. 'A'

PARTIAL RIGHT ELEV. 'A'



OPT. 2' BEDROOM 2 EXTENSION 'A' SPANISH ECLECTIC

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (W/MD ESP-800)
2. 26 FASCEA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GUTTER FLASHING
5. GUTTER SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (W/MD ESP-3022)
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO PORCELAIN W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STUCCO PORCH
22. FIXED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE FIRE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 8" GUTTER SCREENED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO: BASE PLAN FOR INFORMATION NOT SHOWN HERE



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN FELLOR

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

3501 EAST PASEO ROAD GILBERT, ARIZONA 85234
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No.	Date	Issue / Description
01	07.18.2018	BLDG. DEPT. SUBMITTAL
02	08.26.2018	BLDG. DEPT. CORRECTIONS
03	10.14.2018	BLDG. DEPT. CORRECTIONS
04	03.24.2019	CODE UPDATE
05	04.12.2019	CLIENT CHANGES
06	08.04.2019	BLDG. DEPT. CORRECTIONS

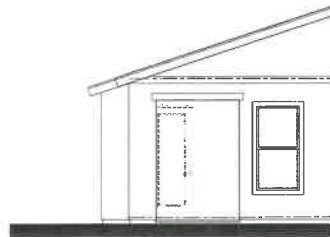
IF IT IS NOT SHOWN OTHERWISE, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL MECHANICAL CODE BOOK (IMC). ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE BOOK (IEC) AND THE 2018 INTERNATIONAL PLUMBING AND MECHANICAL CODE BOOK (IPMC). ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND ALARM CODE BOOK (IFAC) AND THE 2018 INTERNATIONAL SWEET'S CATALOG.

SHEET TITLE:

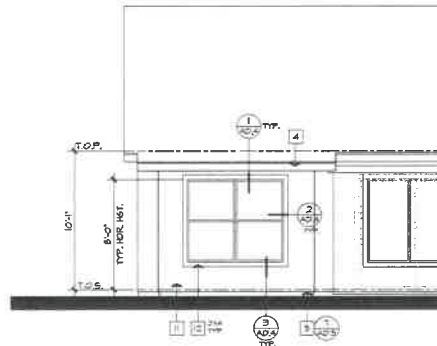
PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. 2' BEDRM 2
EXTENSION

SHEET NO.:

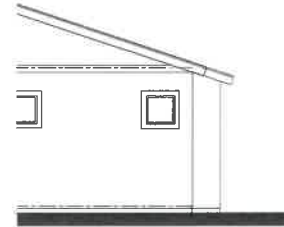
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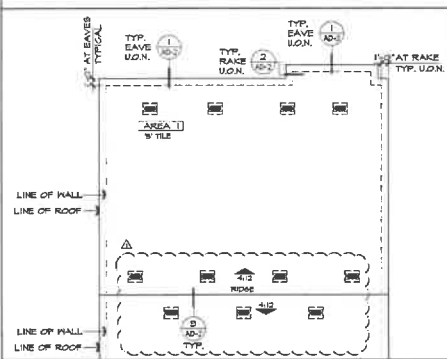
PARTIAL LEFT ELEV. 'A'



PARTIAL REAR ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



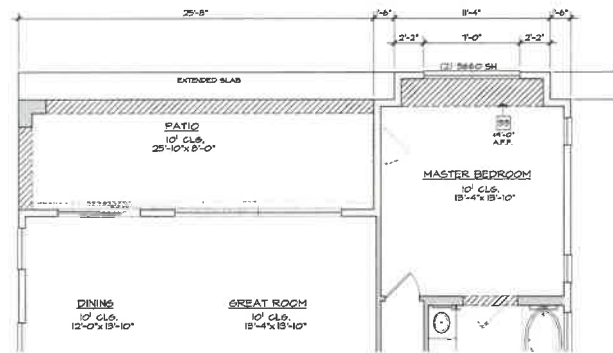
ROOF PLAN 'A'

SCALE: 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1	
VENTILATION REQUIRED:	2503 SQ. FT. / 300 = 83 SQ. FT.
	X 1/4" = 195 SQ. IN.
	X 3/8" = 588 SQ. IN.
VENTILATION PROVIDED:	
1 (1) DOUBLE END VENTS:	92 SQ. IN. EA. = 0.30 IN.
1 (7) CHIMNEY CROWN VENTS:	975 SQ. IN. EA. = 6825 SQ. IN.
LOW	
1 (7) CHIMNEY CROWN VENTS:	975 SQ. IN. EA. = 6825 SQ. IN.
1 (1) EAVE VENTS 18" DIA. MOUTH	12 SQ. IN. EA. = 0.30 IN.
3 PER BAY @ 2'2" DIA. EA.	
	386 SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. BOX BAY - 'A' SPANISH ECLECTIC

MST19-11040

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DOWNSHOWER PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC.
3. SINK IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.)
4. 30" CLEAR REFRIGERATION SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 3'0" NO. 1 2'4" OF CLR. SPACE 8'0" FROM CENTER OF DOOR IN EACH DIRECTION PER IRC TO ROST
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSICOT TO 7'2" ABV. DRAIN OF MOISTURE RESISTANT GYP. BLD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP IN TUB ON 2" FIRM FRAMED PLATFOM. VERIFY DIM. W/ MFR.
14. SHOWER PAN W/ WANSICOT TO 7'2" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BLD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHUTTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWER DARNING - PROVIDE 2X SOLID BACKING AT 2'4" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2X SOLID BACKING AT 2'4" AFF.
19. RECESSED MEDICINE CABINET (MFR. SPEC.)
20. FIBERGLASS LAVATORY - REFER TO SPEC.
21. SHED - REFER TO PLAN FOR SIZE & QUANTITY
22. W/SHOWER/ST. SPACE - PROVIDE SMITH PAN W/ DRAIN BELOW WASHER FOR WASH AND WASH. W/SHOWER CONTROL VALVES - RECESSED IN WALL
23. PROVIDE AIR HAMMER ARRESTOR
24. DRYER VENT PER BCL. SEC. MEST. (MEST. 1/2" DIA.)
25. PROVIDE DOOR VENER PER MESA RES. CODE REQ.
26. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE
27. TEMPERATURE & PRESSURE RELIEF VALVE, MIN. 6" ABV. - FINISH GRADE PER IRC SEC. M207.2 & SEC. P2003 SEE DETAILS
28. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 4" & 12" ABV. GRADE & 3' AWAY FROM ANY DR.
29. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
30. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
31. NOT USED
32. NOT USED
33. SHELF & POLE (H-DOUBLED)
34. NOT USED
35. FLAT SORT - REFER TO PLAN FOR HEIGHT
36. ARCHED SORT - REFER TO ELEVATIONS FOR HEIGHT
37. NOT USED
38. LOW WALL - REFER TO PLAN FOR HEIGHT
39. LINE OF FLOORWALL ABOVE
40. NOT USED
41. 22' x 37' ATTIC ACCESS PER IRC SEC. R807.4.1 (M200.12)
42. FLOOR IN ATTIC - REFER TO MECHANICAL PLAN
43. 18" LINEN CABINET - REFER TO SPEC.
44. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
45. NOT USED
46. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
47. PROVIDE 18 LAYER OF 1/2" GYP. BLD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
48. NOT USED
49. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
50. SOLID GROUTED PIPE BOLLARD SEE DETAIL S409
51. CONCRETE PLAT. WORK. SLOPE 1/4" PER FOOT
52. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNID. S403
53. STONE/BRICK VENEER - REFER TO ELEVATIONS
54. OPT. SINK W/ LAUNDRY
55. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
56. 10' x 8' GL. SCREENED & LOUMERED EXHAUST VENTS
57. LOCATE (1) AT 4' ABV. GARAGE CURB HGT. (1) WITHIN 4' BELOW CURB PER IRC M200.1
58. GAS SERVICE METER - REFER TO UTILITY PLAN
59. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - SHALE ROOF TILE MAFMA ESP-8001
2. 2x6 FASCI
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEM/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2566
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES MAFMA ER-382
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MONOR - REFER TO ELEVATION FOR SIZE
17. STUCCO POINTOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARD FOAM TRIM
21. CONCRETE STUCCO/POUCH
22. FIXED BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" GL. SCREENED & LOUMERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

CAUTION:
PLOT DATE

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MILLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

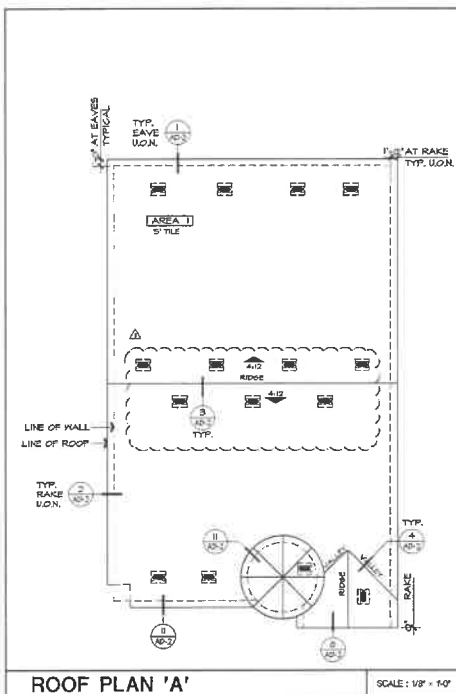
3501 EAST BASIN ROAD SUITE 100, MESA, ARIZONA 85204
P: 480.943.4473

No.	Date	Issue / Description
01	07/18/2016	B.L.D.G. DEPT. SUBMITTAL
02	07/28/2016	B.L.D.G. DEPT. CORRECTIONS
03	10/14/2016	B.L.D.G. DEPT. CORRECTIONS
04	03/24/2017	CODE UPDATE
05	04/12/2017	CLIENT CHANGES
06	07/07/2017	B.L.D.G. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1700
'A' SPANISH ECLECTIC
OPT. BOX BAY

SHEET NO.

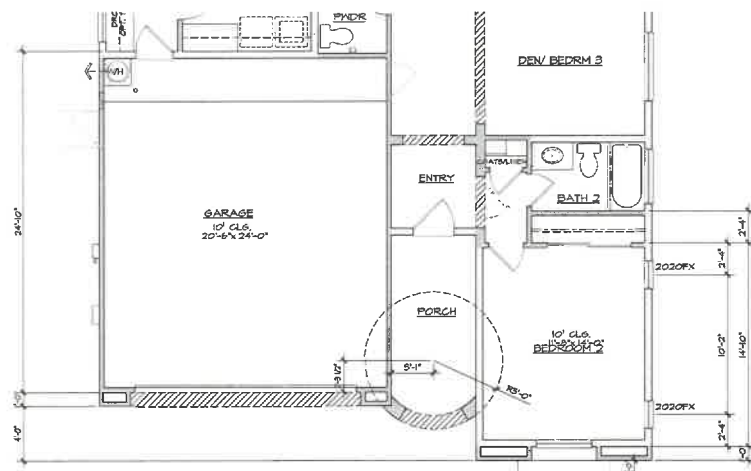
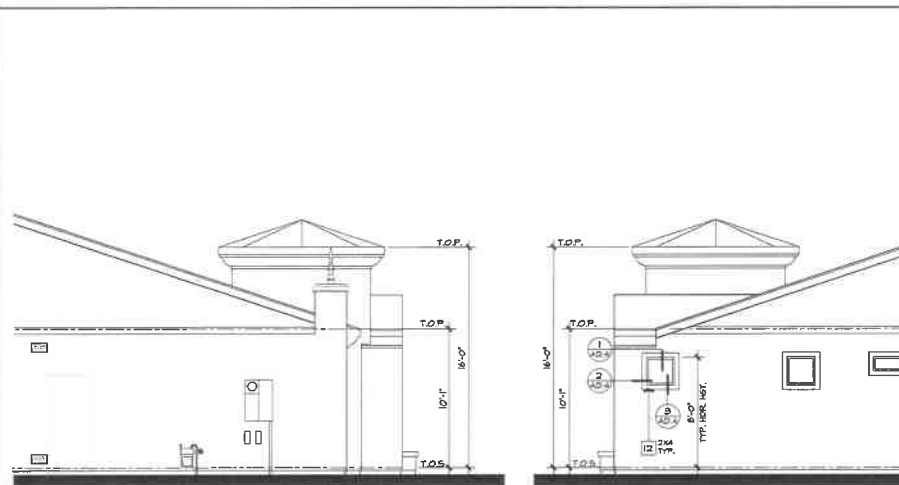
AA.35



ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2500	SQ. FT. / 300 =	8.33 SQ. FT.
	X 184 =		1511 SQ. IN.
	X 508 =		1271 SQ. IN.
VENTILATION PROVIDED:			
150			
10 LOW	80	SQ. IN. EA. =	800 SQ. IN.
17 CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	16575 SQ. IN.
LOW			
17 CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	16575 SQ. IN.
10 EAVE VENTS 18" DIA. MOUTH	10	SQ. IN. EA. =	314 SQ. IN.
3 PER BAY @ 225" DIA. EA.			
			942 SQ. IN.

ATTIC VENT CALCULATIONS



OPT. 2' GARAGE EXT. @ 4' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (B&B) (SR-1000) (1/8")
2. 24 FASCE
3. 24 BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DWP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2558
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (B&B) (SR-1000)
12. STUCCO OVER FOAM TBM (5" AND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TBM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO PROFIT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TBM EQUALLY SPACED 12" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TBM
21. CONCRETE STUCCOPORCH
22. RED BRICK OUT WINDOW REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTDOOR (OR APPROVED EQUIV)
25. DECORATIVE TUBE STEEL RAILING
26. 2" THICK SYNTHETIC BRICK VENEER TBM
27. STUCCO RECESS W/ TBM
28. 1/2" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
NILES, ARIZONA

BLANDFORD HOMES
303 EAST BAZZARIE ROAD SUITE 1, ANTONIO, ARIZONA 85204
P: 480.342.4412

No.	Date	Issue / Description
01	07/10/2018	BLDG. DEPT. SUBMITTAL
02	09/26/2018	BLDG. DEPT. CORRECTIONS
03	10/14/2018	BLDG. DEPT. CORRECTIONS
04	05/24/2019	CODE UPDATE
05	04/12/2019	CLIENT CHANGES
06	08/01/2019	BLDG. DEPT. CORRECTIONS

IF THIS DRAWING IS USED FOR ANY OTHER PROJECT, THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SHEET TITLE:
PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. 2' GARAGE EXT. @
4' BEDROOM 2 EXT.

SHEET NO:
AA.37

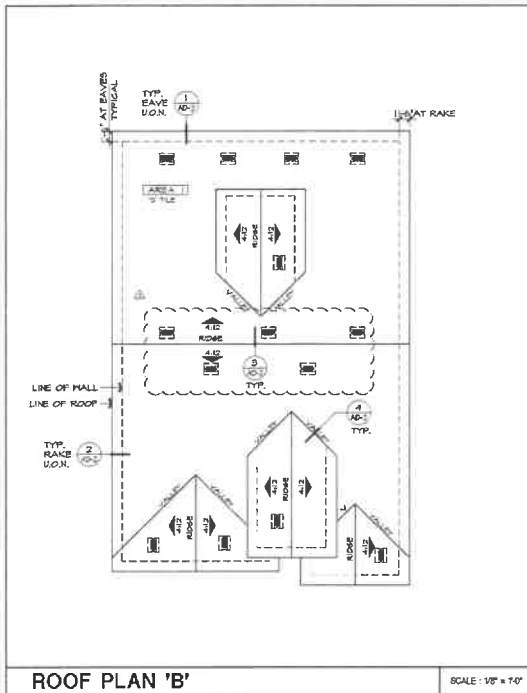
OWNER:
PLOT DATE:



PLAN 1700 ITALIAN FARMHOUSE ELEVATION

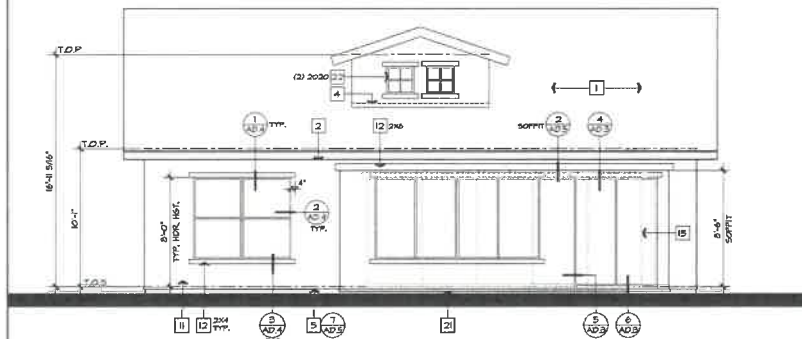
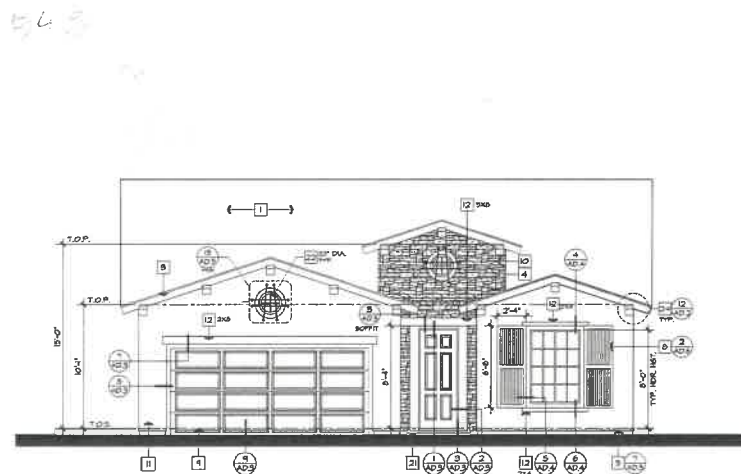
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 7490
stone/brick 2690



ATTIC VENT CALCULATIONS

AREA 1	
VENTILATION REQUIRED:	2461 SQ. FT. / 300 = 8.2 SQ. FT.
	X 144 = 1182 SQ. IN.
	X 50% = 591 SQ. IN.
VENTILATION PROVIDED:	
16 DOUBLE END VENTS	92 SQ. IN. EA. = 1472 SQ. IN.
17 CHIMNEY CROWNED VENTS	975 SQ. IN. EA. = 16575 SQ. IN.
LOW	
17 CHIMNEY CROWNED VENTS	975 SQ. IN. EA. = 16575 SQ. IN.
10 3 SING VENTS 18" X 18" X 1/2"	9 SQ. IN. EA. = 90 SQ. IN.
3 PER BAY @ 225" DIA. EA.	3 SQ. IN. EA. = 9 SQ. IN.



FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BPMO ESR-800) / A
2. 2x6 FASCIA
3. 2x6 BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G1 FLASHING
5. G1 DRP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (BPMO G1-302)
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. ROST BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL FINING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" G1 SCREED & LAMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED

1. ROOF MATERIAL - EAGLE (BPMO ESR-800) / A
2. CONCRETE PLANT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'D'
3. CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. 'B' & 'C'
4. ALL ROOFING TO BE INSTALLED OVER MINIMUM 1/2" LAYER OF 30# ROOF FELT, WEATHERBOARD L.V.P. INSTALL PER ROOF TILE MFR. SPECS.
5. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
6. NO ROOF PENETRATIONS IE ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC TO OCCUR WITHIN 16" OF VALLEY, HPS OR RIDGES
7. REFER TO ROOF PLAN FOR OVERHANGS AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER USC SEC. 6003.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- ATTIC VENTILATION SHALL BE 1/60 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- ATTIC VENTILATION SHALL BE 1/60 OF ATTIC AREA PROVIDED 4/8" AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 24" ABOVE THE PLATE LINE, PER IRC R602 EXCEPTION 1 & 2 / A.

VENTILATION SCHEDULE:

- CHIMNEY CROWNED VENT TILE
- MODEL: "PLAT" #50043
- NET FREE VENT: 98.75 SQ. IN. (PLAT) 97.5 SQ. IN. (S)
- SBCCI REPORT NO. 9500A

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
303 EAST BARKER ROAD, SUITE 100, ANTONIO, ARIZONA 85004
P. 402.545.4423

No.	Date	Issue / Description
01	01.10.2016	BLDG. DEPT. SUBMITTAL
02	01.28.2016	BLDG. DEPT. CORRECTIONS
03	10.14.2016	BLDG. DEPT. CORRECTIONS
04	03.24.2016	CODE UPDATE
05	04.12.2016	CLIENT CHANGES
06	05.04.2016	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1700 (PLAN 1)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'B'
ITALIAN FARMHOUSE
SHEET NO:

AB.21



OPT. COURTYARD - 'B' ITALIAN FARMHOUSE

SCALE : 1/4" = 1'-0"

1. SNK W/ GARAGE DISPOSAL - VERY DIRTY W/ MFR. SPEC.
2. DISPOSED THROUGH SURFACE ALONG CURB - VERY DIRTY W/ MFR. SPEC.
3. REMOVE FROM IMMEDIATE AREA
4. REMOVE FROM HALLWAY - W/ GENT HOOD OPT. MICROWAVE - REFER TO SPEC.
5. REMOVE FROM KITCHEN
6. REMOVE FROM REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER PREPRESSED IN HALLWAY REFR. HAMMER ARRESTOR, BASK CABINETS
7. REMOVE FROM CLOSET
8. VANITY W/ KITCHEN SPACE
9. PANTY W/ 5 SHELVES
10. BOUND AND CLOSET
11. DESK
12. WALK CLOSET MFR. OPT. 2" W/ 4" SNK BY 10" FROM CENTER OF ROUTE TO EXIT DIRECTION PER DIR. SPEC.
13. TUBSHOWER COMBINATION W/ CURTAIN ROD AND WANSBOLT TO 7/8" ADV. DRAIN W/ MASTIFFE RESISTANT OPT. DIR. - VERY DIRTY W/ MFR. SPEC.
14. REMOVE FROM BATH - 2" W/ 4" SNK BY 10" FROM CENTER OF ROUTE TO EXIT DIRECTION PER DIR. SPEC. - VERY DIRTY W/ MFR. SPEC.
15. SHOWER PAN W/ MANSBOLT TO 7/8" ADV. DRAIN W/ MASTIFFE RESISTANT OPT. DIR. - VERY DIRTY W/ MFR. SPEC.
16. REMOVE FROM BATH - 2" W/ 4" SNK BY 10" FROM CENTER OF ROUTE TO EXIT DIRECTION PER DIR. SPEC.
17. LAUNDRY - REFER TO SPEC.
18. SHATTERTHROW THERMOPLASTIC SHOWER ENCLOSURE W/ 1" BASK
19. REMOVE FROM BATH - 2" W/ 4" SNK BY 10" FROM CENTER OF ROUTE TO EXIT DIRECTION PER DIR. SPEC.
20. TUBET PAPER HOLDER - PROMOTE 2" SNK BACKING AT 21" ADV.
21. REMOVE FROM BATH - 2" W/ 4" SNK BY 10" FROM CENTER OF ROUTE TO EXIT DIRECTION PER DIR. SPEC.
22. RECESSED MEDICINE CABINET - HANGFROTH
23. REMOVE FROM BATH - 2" W/ 4" SNK BY 10" FROM CENTER OF ROUTE TO EXIT DIRECTION PER DIR. SPEC.
24. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
25. HANGERS/SHOES - REMOVE - SMITTY FROM 1" DRAIN BELOW WALKER
26. REMOVE FROM WALKER - REMOVED - CLOSET - REMOVE FROM IMMEDIATE AREA
27. DRYER VENT HATCH - REMOVE - CLOSET - REMOVE FROM IMMEDIATE AREA
28. REMOVE FROM WALKER PER MESA RES. CODE ROOM
29. REMOVE FROM WALKER - LOCATED ON 1" PLATFORM TO ACCESS A GRASSY AREA - STEEL
30. REMOVE FROM WALKER - LOCATED ON 1" PLATFORM TO ACCESS A GRASSY AREA - STEEL
31. REMOVE FROM WALKER - LOCATED ON 1" PLATFORM TO ACCESS A GRASSY AREA - STEEL
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[illegible]

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
301 EAST BROADWAY, SUITE 100, ANGELES 92924
P. 402-282-4213

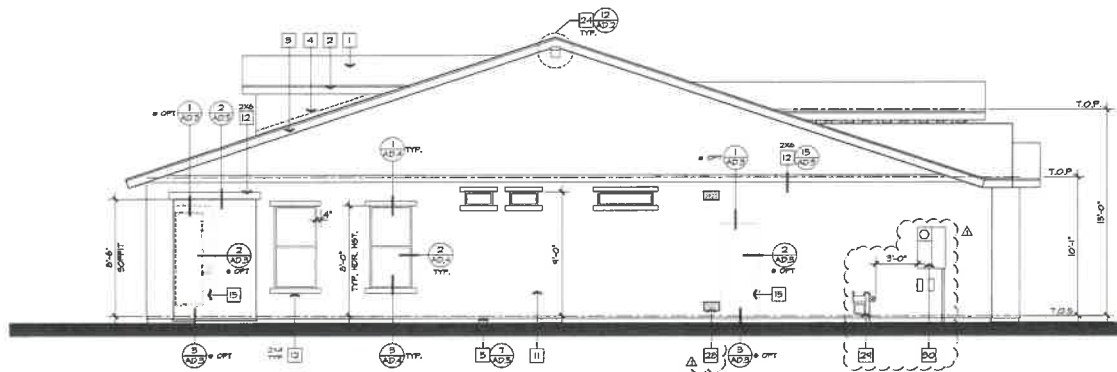
No.	Date	Issue / Description
	07.10.2016	B.D.S. DEPT. SUBMITTAL
	09.26.2016	B.D.S. DEPT. CORRECTIONS
	10.19.2016	B.D.S. DEPT. CORRECTIONS
	03.24.2017	CODE UPDATE
	04.12.2017	CLIENT CHANGES
	05.04.2017	B.D.S. DEPT. CORRECTIONS

[illegible]

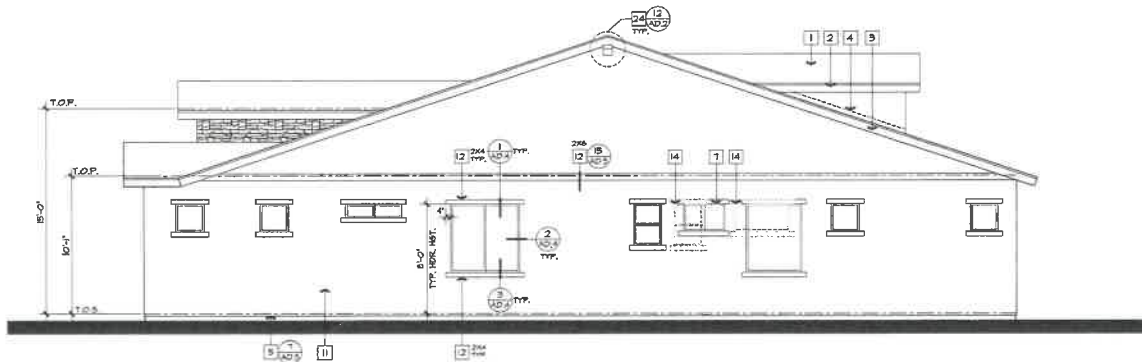
SHEET TITLE: **PLAN 1700 (PLAN 1)
'B' ITALIAN FARMHOUSE
OPT. COURTYARD**

SHEET NO:

AB.32



LEFT ELEVATION 'B' ITALIAN FARMHOUSE



RIGHT ELEVATION 'B' ITALIAN FARMHOUSE

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (48"X30" ESR-800) / 24"
2. 2x6 FASCIA
3. 2x6 BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GUT FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-255M
11. EXTENSION PLASTER - REFER TO GENERAL NOTES BAUPO EX-302
12. STUCCO OVER FOAM INSULATION (TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POP-OUT W/ DECORATIVE TUBE STEEL
18. STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARP FORM TRIM
21. CONCRETE STOOP/PORCH
22. FRIED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUIV.)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 8" GL SCREED & LAMBER VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

PRINCIPAL: DAVID R. HALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
HOMES, ARIZONA

BLANDFORD HOMES
3031 EAST BASILAR ROAD GILBERT, ARIZONA 85234
P. 480.942.4443

No.	Date	Issue / Description
0110.2016	BLDG. DEPT. SUBMITTAL	
0416.2016	BLDG. DEPT. CORRECTIONS	
1016.2016	BLDG. DEPT. CORRECTIONS	
0324.2016	CODE UPDATE	
0412.2016	CLIENT CHANGES	
0809.2016	BLDG. DEPT. CORRECTIONS	

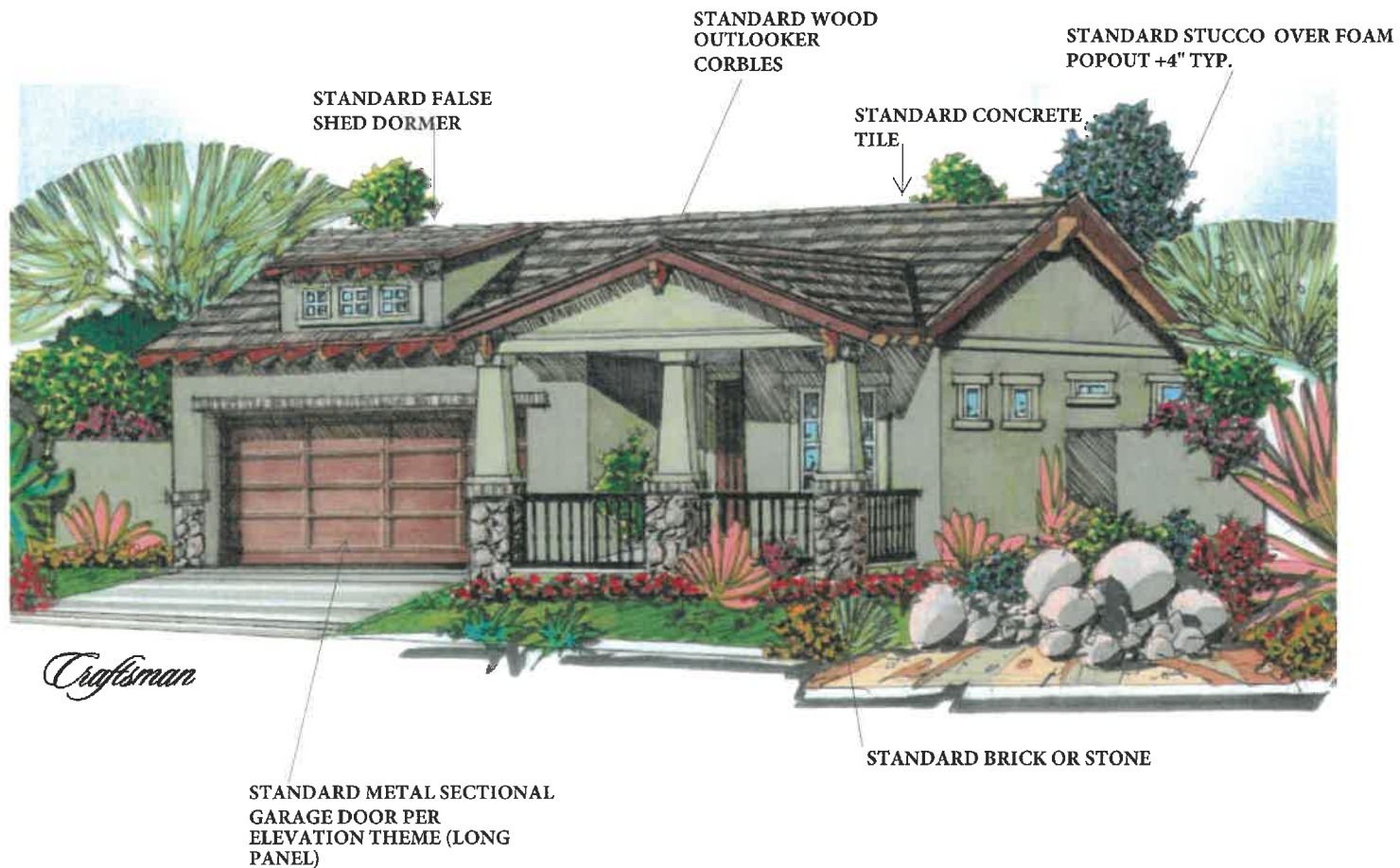
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SHEET TITLE:
PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'B'
ITALIAN FARMHOUSE

SHEET NO:

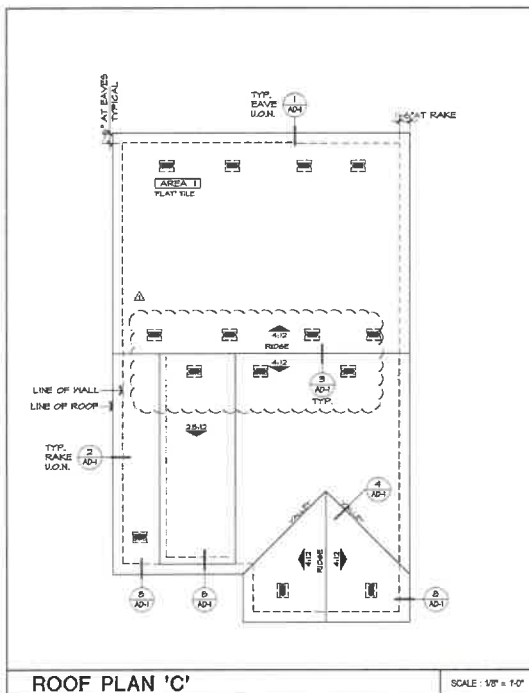
AB.22

CADFILE:
PLOT DATA

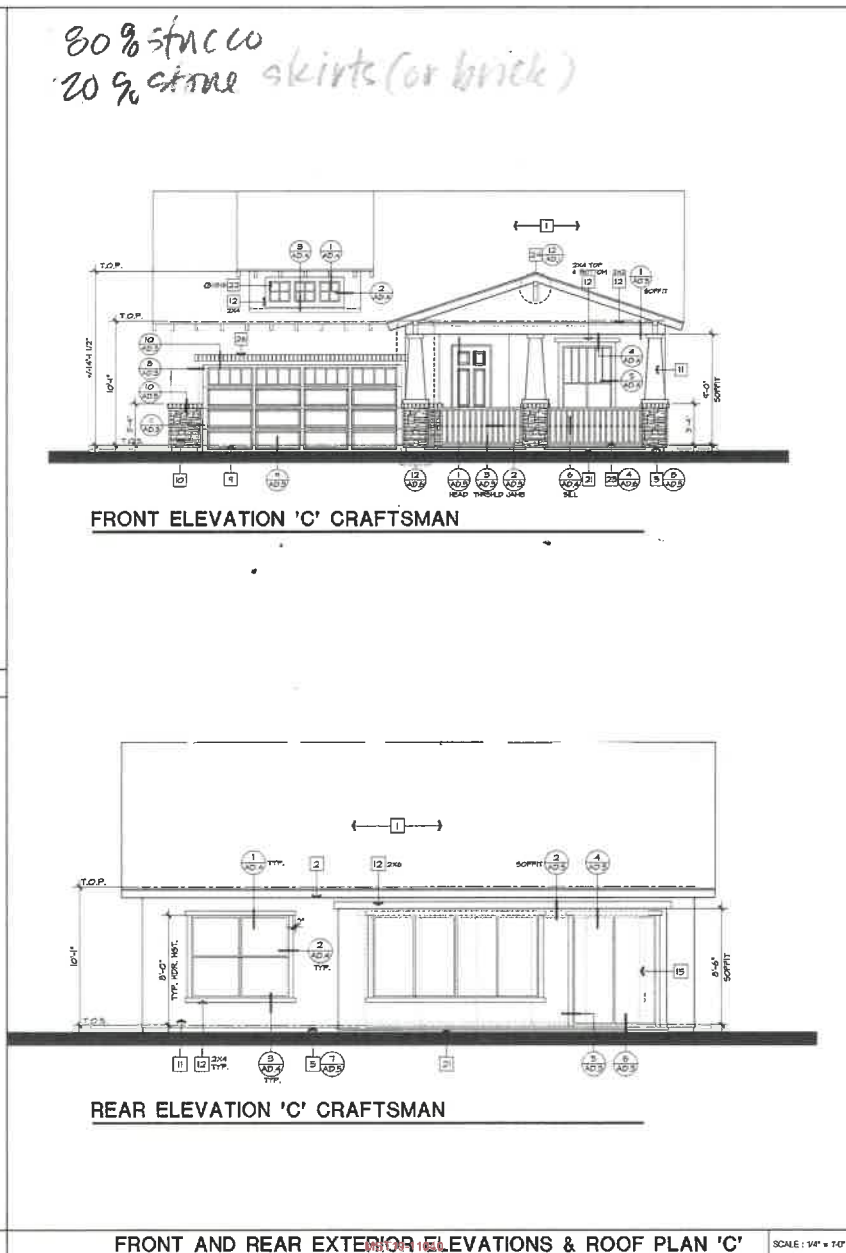


PLAN 1700 CRAFTSMAN ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."



ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED:	2594	SQ. FT. / 300 =	8.65 SQ. FT.
		X 144 =	1246 SQ. IN.
		X 500 =	623 SQ. IN.
VENTILATION PROVIDED:			
1 (1) CHIMNEY CROWN VENTS	92	SQ. IN. EA. =	0.92 SQ. IN.
1 (7) CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
1 (1) CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
1 (0) EAVE VENTS 18" DIA. MOUNTED 3 PER BAY @ 2.25' DIA. EA.	12	SQ. IN. EA. =	0.12 SQ. IN.
			12.06 SQ. IN.



ELEVATION NOTES	
1	ROOF MATERIAL - EAGLE ROOF TILE (BPMO ESR-800) 1/4"
2	2x6 FASOR
3	2x6 BARK BOARD - REFER TO ELEVATION FOR SIZE
4	GL FLASHING
5	GL DWP SCREED
6	NOT USED
7	WINDOW DELETED AT OPT.
8	DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9	SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10	2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-828
11	EXTERIOR PLASTER - REFER TO GENERAL NOTES (BPMO ER-382)
12	STUCCO OVER FOAM TFM (TYP. SAND TEXTURED) - REFER TO ELEVATION FOR SIZE
13	DECORATIVE VENT - REFER TO FLOOR PLAN
14	WINDOW AT OPTION - REFER TO FLOOR PLAN
15	OPTIONAL DOOR - REFER TO FLOOR PLAN
16	STONE/BRICK TFM AT MONITOR - REFER TO ELEVATION FOR SIZE
17	2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18	SCORED STUCCO OVER FOAM TFM EQUALLY SPACED 12" O.C.
19	CORBEL - REFER ELEVATION FOR SIZE
20	STUCCO OVER SHAPED FOAM TFM
21	CONCRETE STUCCO PORCH
22	FIXED BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
23	DECORATIVE TUBE STEEL RAILING
24	POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
25	DECORATIVE PIPE VENTS
26	2" THICK SYNTHETIC BRICK VENEER TFM
27	STUCCO RECESS W/ TFM
28	14" x 8" GL SCREENED & LOUVERED VENT
29	GAS SERVICE METER - REFER TO UTILITY PLAN
30	SERVICE PANEL - REFER TO UTILITY PLAN
31	A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES	
1	INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED
1	ROOF MATERIAL: EAGLE: BPMO ER-800, 1/4"
2	CONCRETE SLAT TILE REFER TO ROOF PLAN - ELEV. 17' & 18'
3	ALL ROOFING TO BE INSTALLED OVER MINIMUM 1/2" LAYER OF 30# ROOF FELT, WEATHERBOARD LAR. INSTALL PER ROOF TILE MFR. SPECS
4	REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
5	NO ROOF PENETRATIONS IE: ATTIC VENTS, CHIMNEYS, PLUMBING OR DOWN VENTS, ETC TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
6	REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:	
A	WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC SEC. R803.6
B	OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION
C	ATTIC VENTILATION WILL BE 1/60 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS
D	ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 2'-0" ABOVE THE FLAT LINE PER IRC SECTION 14.2.2.1

VENTILATION SCHEDULE:	
CHIMNEY CROWN VENT TILE	
MODEL: "FLAT" #50043	
MODEL: "T" #50045	
NET FREE VENT: 98.75 SQ. IN. (FLAT), 97.5 SQ. IN. (T)	
SBOCI REPORT No. 9650A	

Design & **33** Planning

PRINCIPAL: DAVID R. HALLONADO
PROJECT MANAGER: BRIAN FELLER

PROJECT NUMBER: 2012 -

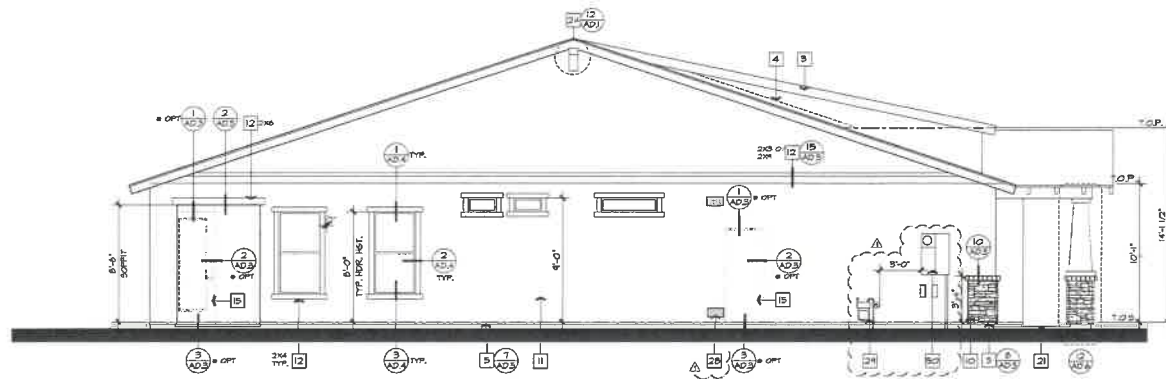
NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3301 EAST BAYVIEW ROAD GILBERT, ARIZONA 85234
P. 480.943.4432

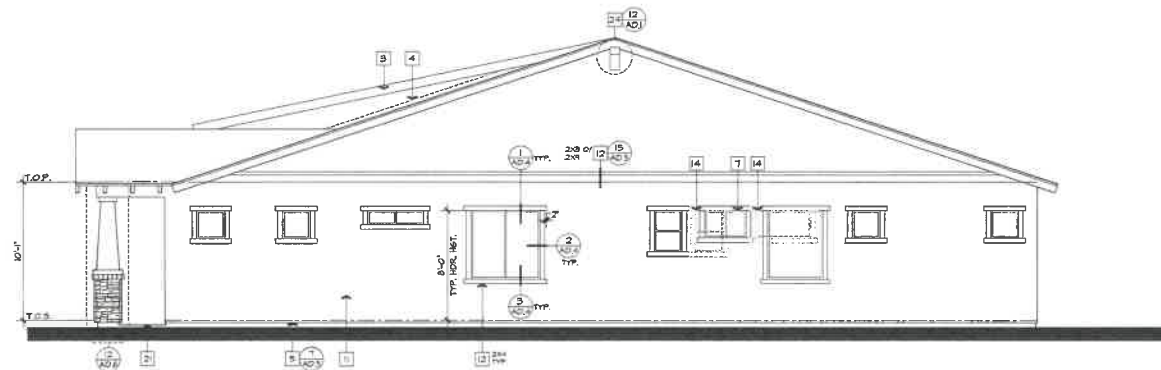
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
Δ	09.28.2016	BLDG. DEPT. CORRECTIONS
Δ	10.19.2016	BLDG. DEPT. CORRECTIONS
Δ	09.24.2016	CODE UPDATE
Δ	04.12.2017	CLIENT CHANGES
Δ	08.01.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1700 (PLAN 1)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'C'
CRAFTSMAN
SHEET NO.

AC.21



LEFT ELEVATION 'C' CRAFTSMAN



RIGHT ELEVATION 'C' CRAFTSMAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAYO ESR-800) / 24"
2. 24" FASIA
3. 24" BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GUTTER FLASHING
5. GUTTER SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2588
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAYO ESR-302)
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" GUTTERED & LOANED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

PRINCIPAL: DAVID R. HALLGREN
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3031 EAST BROADWAY ROAD, SUITE 100, MESA, ARIZONA 85204
P. 480.512.8400

No.	Date	Issue / Description
07.10.2018	BLDG. DEPT. SUBMITTAL	
09.26.2018	BLDG. DEPT. CORRECTIONS	
10.16.2018	BLDG. DEPT. CORRECTIONS	
09.24.2018	CODE UPDATE	
04.12.2018	CLIENT CHANGES	
08.09.2018	BLDG. DEPT. CORRECTIONS	

IF BY THE ARCHITECT OR ARCHITECTURAL FIRM, THE ARCHITECT OR ARCHITECTURAL FIRM SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE BUILDING DEPARTMENT. THE ARCHITECT OR ARCHITECTURAL FIRM SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE BUILDING DEPARTMENT. THE ARCHITECT OR ARCHITECTURAL FIRM SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE BUILDING DEPARTMENT.

SHEET TITLE:

PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'C'
CRAFTSMAN

SHEET NO:

AC.22

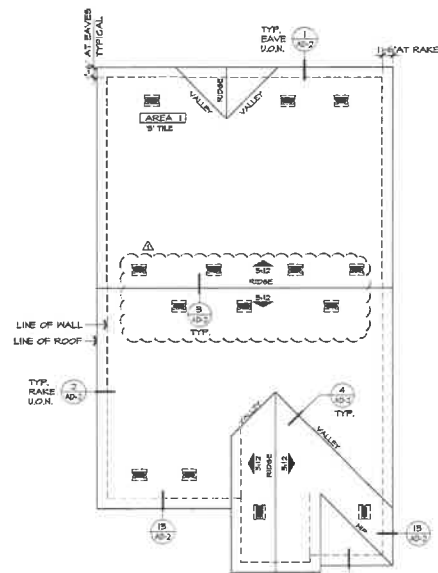
CHECKED:
PLOT DATE:



PLAN 1700 ANDALUSIAN ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

brick/stone 60%
stucco 40%



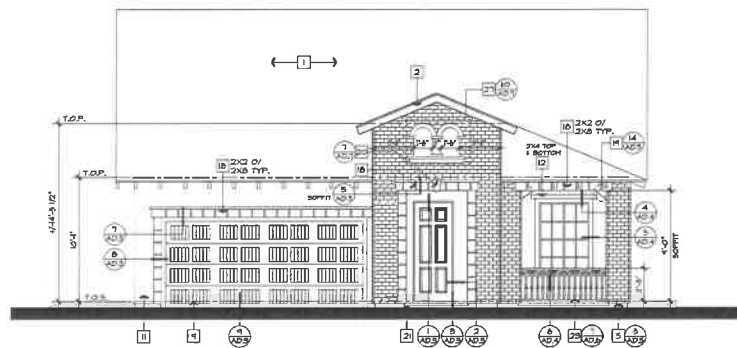
ROOF PLAN 'D'

SCALE : 1/8" = 1'-0"

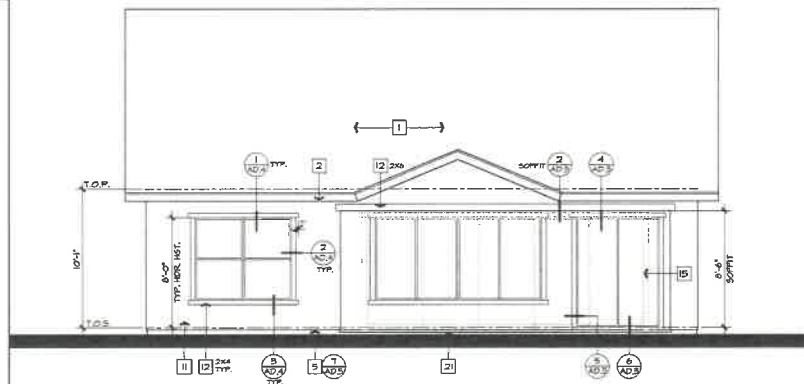
ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2628	SQ. FT. / 300 =	8.8 SQ. FT.
		X 144 =	1267 SQ. IN.
		X 50% =	634 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
(1) 1 SQUARE END VENTS:	92	SQ. IN. EA. =	0.30 SQ. IN.
(7) 1 CHAIGN CROWNED VENTS:	975	SQ. IN. EA. =	68625 SQ. IN.
LOW			
(7) 1 CHAIGN CROWNED VENTS:	975	SQ. IN. EA. =	68625 SQ. IN.
(1) 1 SQUARE VENTS 18" DIA. F	12	SQ. IN. EA. =	0.30 SQ. IN.
3 PAVE BAY @ 22.5" DIA. EA.			
			675 SQ. IN.

ATTIC VENT CALCULATIONS



FRONT ELEVATION 'D' ANDALUSIAN



REAR ELEVATION 'D' ANDALUSIAN

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE: $\frac{1}{4}" = 1'-0"$

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE IMPRO ESS-8003 1/2"
2. FAS26 FAS26
3. BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. CL FLASHING
5. CL Drip SPOUT
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE WATER SPILL SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL, THEMSELVES
10. EXTERIOR LIGHTING - REFER TO ELECTRICAL - ESP 098A - 10"
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES IMP-3823
12. SLOPED DOWN FROM TILES AND ELEVATION - REFER TO ELEVATION FOR SIZE
13. CONCRETE SLOPE - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL - REFER TO FLOOR PLAN
16. STONE/BRICK TILES AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO PORCH W/ DECORATIVE TUBE STILE
18. 2" STUCCO PORCH W/ DECORATIVE TUBE STILE
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. CORBEL - REFER TO ELEVATION FOR SIZE
21. STUCCO OVER SHAPED FORM TRIM
22. CONCRETE STUCCO/POUR
23. FLOED BACK AT WINDOW - REFER TO ELEV FOR SIZE
24. DECORATIVE FIBRE GLASS TRIM
25. POLYETHYLENE OUTDOOR DR APPROX ELEVATION
26. DECORATIVE FIBRE GLASS TRIM
27. 2" THICK SYNTHETIC BERRY TRIM
28. 1/4" x 1/2" GUTTERED A LUMBERED W/ TRIM
29. GAS SENSITIVE TRIM - REFER TO UTILITY PLAN
30. SENSITIVE - REFER TO UTILITY PLAN
31. GAS SENSITIVE - REFER TO UTILITY PLAN
32. GAS SENSITIVE - REFER TO UTILITY PLAN

ROOF PLAN NOTES



1. ROOF MATERIAL: EAGLE-WFMO ER-800" 
- CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. C' & E'
- CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. N, B' & D'
2. ALL ROOFINGS TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30" ROOF FLEET, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFG. SPEC.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, HUMPS OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, RIDGE OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC SECT. R802.6.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION SHALL BE 1/50 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION SHALL BE 1/300 OF ATTIC AREA PROVIDED WITH AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 3'4" ABOVE THE PLANE LINE PER IRC R802.6 EXCEPTION 1 & 2.4.

VENTILATION SCHEDULE:

- CHANDLER CLOAKED VENT TIE:
 MODEL: "FLAT" #50043
 MODEL: "S" #50046
 NET FREE VENT: 96.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
 SBCCI REPORT No. 9650A

CADFILE
PLOT DATE:

**D e s i g n &
ID33
P l a n n i n g**

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN WELER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3301 EAST HAWKES ROAD, SUITE 100, MESA, ARIZONA 85204
P: 480.910.4414

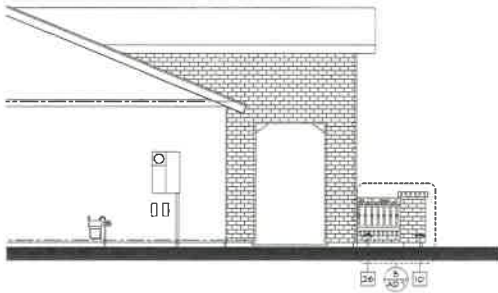
No.	Date	Issue / Description
	01.19.2016	BLDG. DEPT. SUBMITTAL
	04.26.2016	BLDG. DEPT. CORRECTIONS
	12.14.2016	BLDG. DEPT. CORRECTIONS
	03.24.2017	CODE UPDATE
	04.12.2017	CLIENT CHANGES
	08.04.2019	BLDG. DEPT. CORRECTIONS

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SHEET TITLE:

PLAN 1700 (PLAN 1)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'D'
ANDALUSIAN
SHEET NO:

AD.21



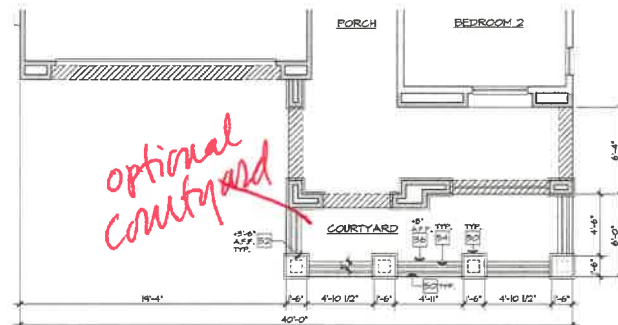
PARTIAL LEFT ELEV. 'D'



PARTIAL RIGHT ELEV. 'D'



PARTIAL FRONT ELEV. 'D'



PARTIAL FLOOR PLAN 'D'

OPTIONAL COURTYARD - 'D' ANDALUSIAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR SPEC.
2. DISHWASHER PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR SPEC.
3. PROVIDE AIR HAMMER ARRESTOR.
4. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC).
5. 30" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR COUNTER RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
6. BASE CABINETS
7. UPPER CABINETS
8. VANITY W/ KNEE SPACE
9. PANTRY W/ 5 SHELVES
10. ISLAND CABINET
11. DESK
12. WATER CLOSET 5'0" W.O. x 2'0" D.O. G.L. SPACE 8'0" O.L. FROM CENTER OF TUB IN EACH DIRECTION PER IRC R510.3(3)
13. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSOT TO 7'2" A.B.V. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR SPEC.
14. CROCK. IN TUB ON 2" HIGH FRAMED PLATFORD. VERIFY DIM W/ MFR SPEC.
15. SHOWER PAN W/ WANSOT TO 7'2" MIN. A.B.V. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR SPEC.
16. LAVATORY - REFER TO SPEC.
17. SHATTERPROOF (TEMPERED GL. SHOWER ENCLOSURE W/ T.L. TOWER BARING - PROVIDE 2x SOLID BACKING AT 2' AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 2' AFF.
19. RECESSED MEDICINE CABINET (APPROVED)
20. PREBUILT LAVATORY - REFER TO SPEC.
21. SHELVE - REFER TO PLAN FOR SIZE & QUANTITY
22. WARDROBE SPACE - PROVIDE SMOOTH PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE WASH-ER CONTROL, WASH - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRIVER VENT (PER IRC SEC. M503.4(5)(5)) & PROVIDE DOOR VENTS PER MESA RES. CODE R202
24. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 2" A.B.V. - FINISH GRADE PER IRC SEC. M503.4 & SEC. P2803 SEE DETAILS
25. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 4" & 12" A.B.V. GRADE & 30" AWAY FROM ANY DR.
26. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
27. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
28. NOT USED
29. NOT USED
30. SHELVE & TOILET DOUBLE
31. NOT USED
32. NOT USED
33. FLAT SCOTT - REFER TO PLAN FOR HEIGHT
34. ARCHED SCOTT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL, W/O
38. NOT USED
39. 22" x 37" ATTIC ACCESS (PER IRC SEC. R501.4.1(5)(5)(2))
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" UNEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 1/2" LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE PER IRC TABLE 302.9
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 5A09
49. CONCRETE FLAT WORK, SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB, SLOPE 1/4" PER FOOT UNDO, 5A03
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK & LAVATORY
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
54. 14" x 18" GL. SCREENED & LOUGHED EXHAUST VENTS LOCATED 1' AT 4" A.B.V. GARAGE CURB HGT. 1' WITHIN 4" BELOW C.L.S PER IRC M503.2
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BAYMO ESP-800)
2. 2x6 FASDA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL Drip SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEMES/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2608
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAYMO ESP-3821
12. STUCCO OVER FORM TRIM AND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO PORTOUT W/ DECORATIVE TUBE SITE
18. SCORED STUCCO OVER FORM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHARED FORM TRIM
21. CONCRETE STOOD/POUCH
22. FROD, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL BRANDING
24. POLYURETHANE OUT/COVER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 18" GL. SCREENED & LOUGHED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
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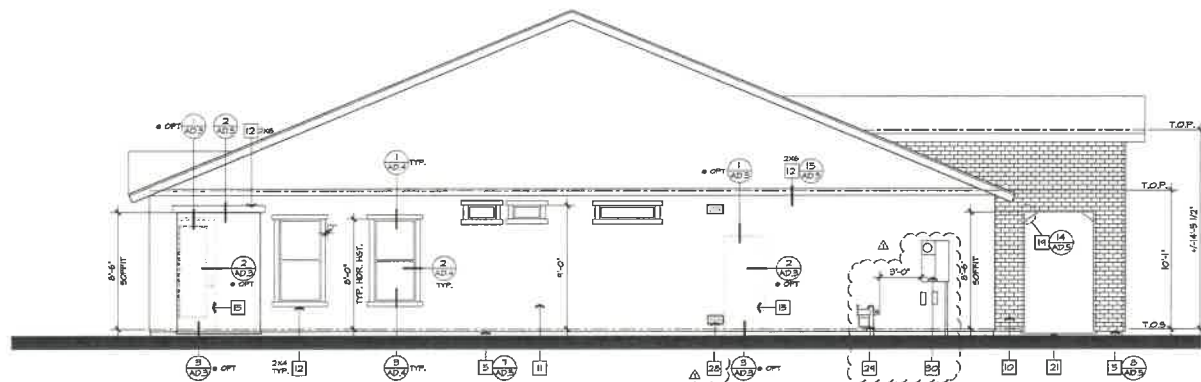
No.	Date	Issue / Description
01.18.2016	BLDG. DEPT. SUBMITTAL	
02.26.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
03.24.2017	CODE UPDATE	
04.12.2017	CLIENT CHANGES	
03.21.2017	BLDG. DEPT. CORRECTIONS	

SEE PLAN 1700 (PLAN 1) FOR ELEVATION NOTES. SEE PLAN 1700 (PLAN 1) FOR ELEVATION NOTES. SEE PLAN 1700 (PLAN 1) FOR ELEVATION NOTES.

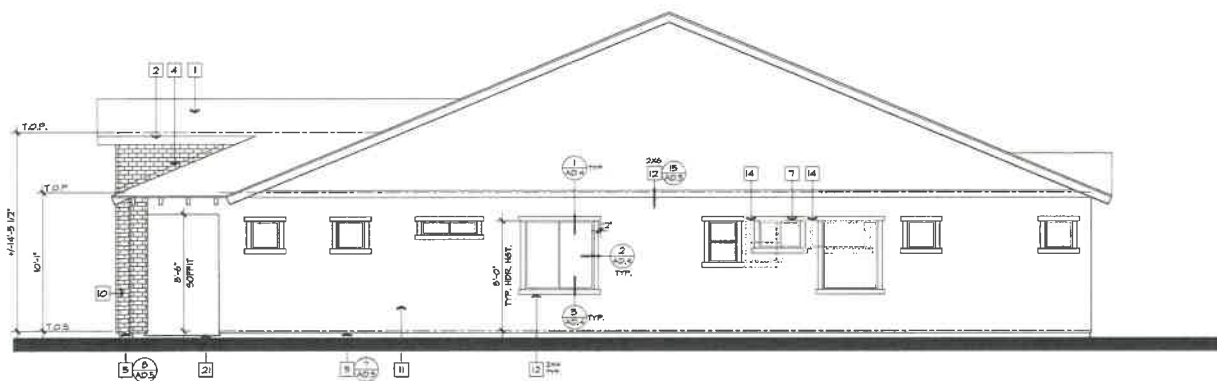
SHEET TITLE:
PLAN 1700 (PLAN 1)
'D' ANDALSIAN
OPT. COURTYARD

SHEET NO.:

AD.32



LEFT ELEVATION 'D' ANDALUSIAN



RIGHT ELEVATION 'D' ANDALUSIAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (PAPA EST-800) (S)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLUSHING
5. GL DFP SCREED
6. NOT USED
7. WINDOW SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - RSR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (PAPA EN-362)
12. STUCCO OVER FORM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POROUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FORM FINE SAND TEXTURE 12" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARPED FORM FINE
21. CONCRETE STOODPORCH
22. FRED. BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 4" x 8" GL SCREED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
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No.	Date	Issue / Description
01	01.13.2016	BLDG. DEPT. SUBMITTAL
02	01.26.2016	BLDG. DEPT. CORRECTIONS
03	01.26.2016	BLDG. DEPT. CORRECTIONS
04	03.24.2016	CODE UPDATE
05	04.22.2016	CLIENT CHANGES
06	08.01.2017	BLDG. DEPT. CORRECTIONS

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SHEET TITLE:

PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'D'
ANDALUSIAN

SHEET NO:

AD.22

CAD/PLS
PLOT DATE



PLAN 1700 COUNTRY FRENCH ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

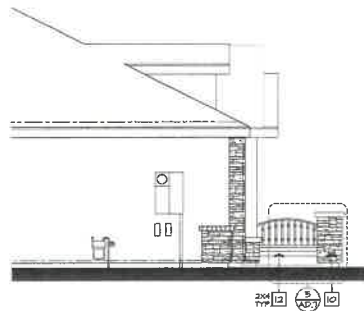


ATTIC VENT CALCULATIONS



AE.21

CADFILE
PLT DATE



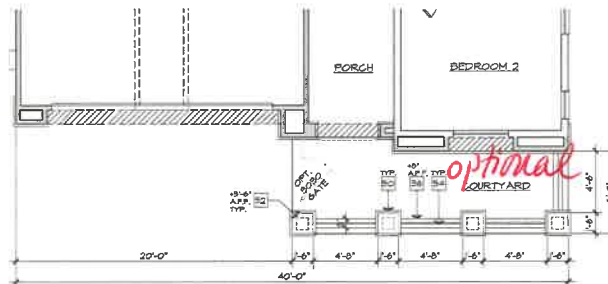
PARTIAL LEFT ELEV. 'E'



PARTIAL RIGHT ELEV. 'E'



PARTIAL FRONT ELEV. 'E'



PARTIAL FLOOR PLAN 'E'

OPT. COURTYARD - 'E' COUNTRY FRENCH

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR SPEC.
2. DRAINWASHER/PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR SPEC.
3. SINK W/ RANGE/OVEN W/ VENT HOOD (DFT. MICROWAVE) - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICE/MAKER (DECEASED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 37" NO. x 24" DR. CLR. SPACE 85" CLR. FROM CENTER OF BATH IN EACH DIRECTION (SEE REF. 10)
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSICOT TO 72" ADV. DRAIN (7" MOISTURE RESISTANT GIP. BD. - VERIFY DIM. W/ MFR SPEC.)
13. DROPP-IN TUB ON 2" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR SPEC.
14. SHOWER PAN W/ WANSICOT TO 72" MIN. ADV. DRAIN OVER MOISTURE RESISTANT GIP. BD. - VERIFY DIM. W/ MFR SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARRING - PROVIDE 2x SOLID BACKING AT 32" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
19. RECESSED MEDICINE CABINET (MFR/REF.)
20. PEDICULAR LAVATORY - REFER TO SPEC.
21. SHELVE - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHROOM SPACE - PROVIDE SINK/FAN W/ DRAIN BELOW WASHER FOR WASH AND WASTE WASHING DOWN SINKS - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT PER IRC. SEC. M102.2 (M102.2) (A)
24. PROVIDE DOOR VENT PER MESA RES. CODE R302
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE
26. TEMPERATURE & PRESSURE RELIEF VALVE, MIN. 6" ADV. - FINISH GRADE PER IRC. SEC. M102.2 & SEC. P003.2 SEE DETAILS
27. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 48" & 24" ADV. GRADE & 38" AWAY FROM ANY DR.
28. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
29. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
30. NOT USED
31. SHELVE & POLE (D-DOUBLE)
32. NOT USED
33. PLAT. SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT - REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 22" x 37" ATTIC ACCESS PER IRC. SEC. R301.4 (M102.2)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD (SLOPE 1/4" PER FOOT)
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE (1) LAYER OF 1/2" GIP. BD. APPLIED TO GARAGE SIDE PER IRC TABLE 302.2
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD (SEE DETAIL 9A09)
49. CONCRETE FLAT WORK, SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB, SLOPE 1/4" PER FOOT UNDO. 9A09
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK & LAUNDRY
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
54. 12" x 8" GL. SCREENED & LOUMERED EXHAUST VENTS LOCATE (1) AT 4" ASH GARAGE CURB HGT, (1) WITHIN 4" BELOW CLR. PER IRC. M102.2
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BAND ESP-800)
2. 2x6 FASCI
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL. FLASHING
5. GL. DWP SCREEN
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2558
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (BAND ESP-2558)
12. STUCCO OVER FOAM TRIM (PINE SAND EXTERIOR) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO POINT W/ DECORATIVE TUBE SITES
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. CONCRETE STUCCO PORCH
21. FINED, BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
22. DECORATIVE TUBE STEEL RAILING
23. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
24. DECORATIVE PIPE VENTS
25. 2" THICK SYNTHETIC BRICK VENEER TRIM
26. STUCCO RECESS W/ TRIM
27. 12" x 8" GL. SCREENED & LOUMERED VENT
28. GAS SERVICE METER - REFER TO UTILITY PLAN
29. SERVICE PANEL - REFER TO UTILITY PLAN
30. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

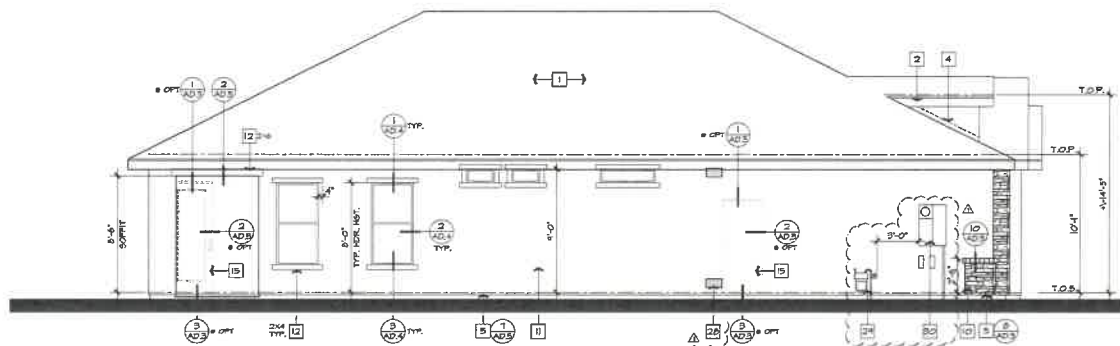
PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA
BLANDFORD HOMES
3521 EAST FARMER ROAD SUITE 204
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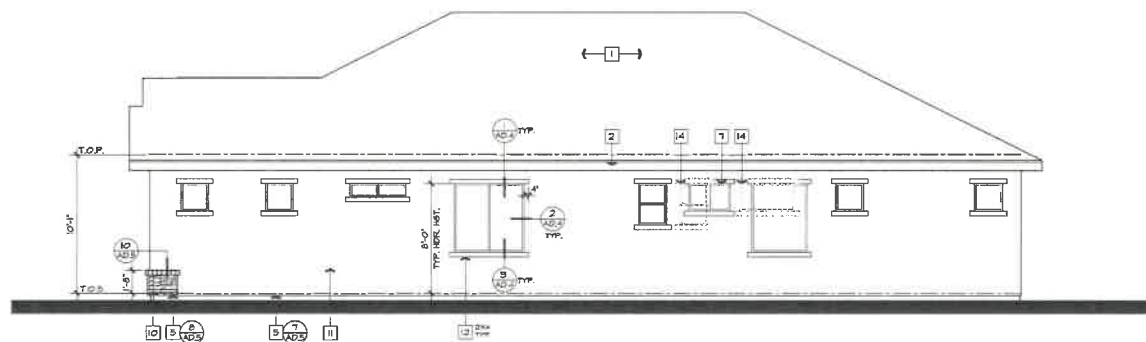
No.	Date	Issue / Description
01	07.18.2016	BLDG. DEPT. SUBMITTAL
02	08.28.2016	BLDG. DEPT. CORRECTIONS
03	10.19.2016	BLDG. DEPT. CORRECTIONS
04	03.24.2017	CODE UPDATE
05	04.12.2017	CLIENT CHANGES
06	08.04.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1700 (PLAN 1)
'E' COUNTRY FRENCH
OPT. COURTYARD

SHEET NO.:
AE.32



LEFT ELEVATION 'E' COUNTRY FRENCH



RIGHT ELEVATION 'E' COUNTRY FRENCH

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (ARMO ESR 1000) 2/3
2. 2x6 FASOA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DWP SUREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 7" THICK SYNTHETIC STONE/BRICK VENEER - ESR-558
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (ARMO ESR-300)
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" OC
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARP FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIBER BLACK OUT WINDOW (REFER TO ELEV. FOR SIZE)
23. DECORATIVE TUBE STEEL SILING
24. POLYURETHANE OUTDOORER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" GL SCHEDULE 40 LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

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No.	Date	Issue / Description
01	01.13.2016	BLDG. DEPT. SUBMITTAL
02	04.26.2016	BLDG. DEPT. CORRECTIONS
03	10.14.2016	BLDG. DEPT. CORRECTIONS
04	03.24.2017	CODE UPDATE
05	04.12.2017	CLIENT CHANGES
06	08.01.2017	BLDG. DEPT. CORRECTIONS

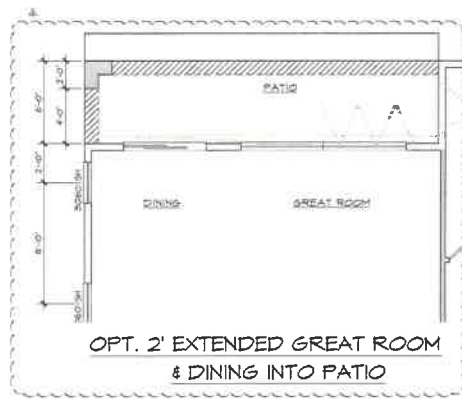
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SHEET TITLE:
PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'E'
COUNTRY FRENCH

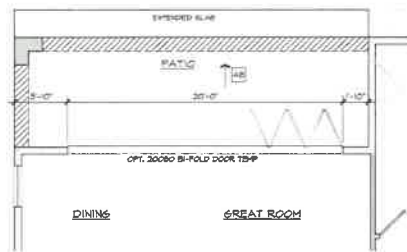
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AE.22

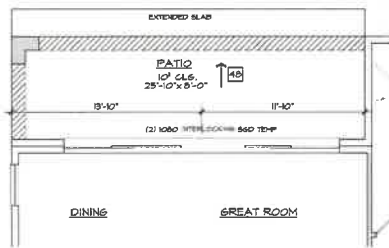
SAMPLE
PLOT DATA



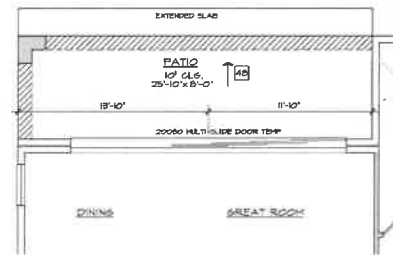
OPT. 2' EXTENDED GREAT ROOM
& DINING INTO PATIO



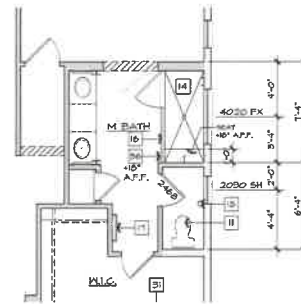
OPT. BI-FOLD DOOR



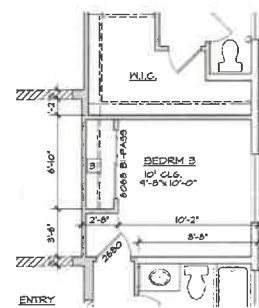
OPT. 10' INTERLOCKING DOORS



OPT. MULTI-SLIDE DOOR



OPT. WALK-IN SHOWER



OPT. BEDROOM 3

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR SPEC.
2. DOWNSPROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR SPEC.
3. SLEEVES HANGDOWN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.)
4. 3/4" CLEAR REFRIGERATION SPACE - PROVIDE PLUMBING FOR REFRIGERATION RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 3'0" W.O. x 2'4" D.P. CLR. SPACE 3'0" CLR. FROM CENTER OF RITURE IN EACH DIRECTION PER PG. 10 TO 1001
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSOT TO 7'2" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR SPEC.
13. DROP-IN TUB ON 2" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR SPEC.
14. SHOWER PAN W/ WANSOT TO 7'2" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAYING - PROVIDE 2x SOLID BACKING AT 3'0" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 2'4" AFF.
19. RECESSED MEDICINE CABINET (MFR SPEC.)
20. FEDERAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASH/DRESSING SPACE - PROVIDE SMITTY PAN W/ DRAIN BELOW WASHER FOR WASH AND WHITE WASH/CONTROL. WICKS - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT PER IRC. SEC. 903.1 (EXC. 1) & 903.2
24. PROVIDE DOOR VENER PER MESA DES. CODE 9025
25. WATER HEATER - LOCATED ON AN 8" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE 1/2" ABV. - FINISH GRADE PER IRC. SEC. 408.0 & SEC. 408.0.1 SEE DETAILS
26. TAP ROSETT VALVE TERMINATE IN AN OUTWARD POSITION BETWEEN 4'0" & 4'2" ABV. GRADE & 3'0" ABV. FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 4'0" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (H-DOUBLED)
32. NOT USED
33. FLAT SCOTT - REFER TO PLAN FOR HEIGHT
34. ARCHED SCOTT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL, WEDGE
38. NOT USED
39. 2' x 3' AT. ACCESS PER IRC. SEC. 407.1 & 407.1.2
40. FALL IN ATTC. - REFER TO MECHANICAL PLAN
41. 18" UNEN. CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE IN LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE PER PG. TABLE 302B
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 5A09
49. CONCRETE FLAT WORK - SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT UNDO. 5A03
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK & LAVATORY
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
54. 20" H x 8" GL. SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT 4'4" ABV. GARAGE CURB HGT. (1) WITHIN 4' BELOW CLG. PER IRC. 903.2
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

- 1/4" WALL
- 3/8" WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK UNO. (REFER TO PLAN FOR SIZE)
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUS. TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, WISLEY CLOSER & TIGHT FITTINGS REFER TO PLAN FOR SIZE OR 20 MIN. PRE-FINISH DOOR
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/8" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD. TO BE APPLIED PER 2008 IRC. SECTION 702.5 & 702.6
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ 2008 IRC. SEC. 1003.1
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 1/4" OR UNDER IN FLR. AND WITHIN 4' AFF. TO A DOOR IN ITS CLOSED POSITION
9. PROVIDE PRESSURE BALANCE OR THERMO MONO VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
10. GLAZING PER 2008 IRC. SEC. R308.6 & 308.6.1
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE U.L. (EAS) MANS. ELEC. E222222 STANDARDS FOR FIRED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE U.L. SAFETY CERTIFIED. WATER CLOSET TO HAVE AN AVERAGE OF 15 GALLONS PER FLUSH (MPC. SEC. 402.2)

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3833 EAST PIMA ROAD, SUITE 100, TUCSON, ARIZONA 85714
P. 520.545.4472

No.	Date	Issue / Description
01	07.18.2016	BLDG. DEPT. SUBMITTAL
02	09.26.2016	BLDG. DEPT. CORRECTIONS
03	10.19.2016	BLDG. DEPT. CORRECTIONS
04	03.24.2017	CODE UPDATE
05	04.12.2017	CLIENT CHANGES
06	08.04.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1700 (PLAN 1)
FLOOR PLAN OPTIONS 'A'
SPANISH ECLECTIC

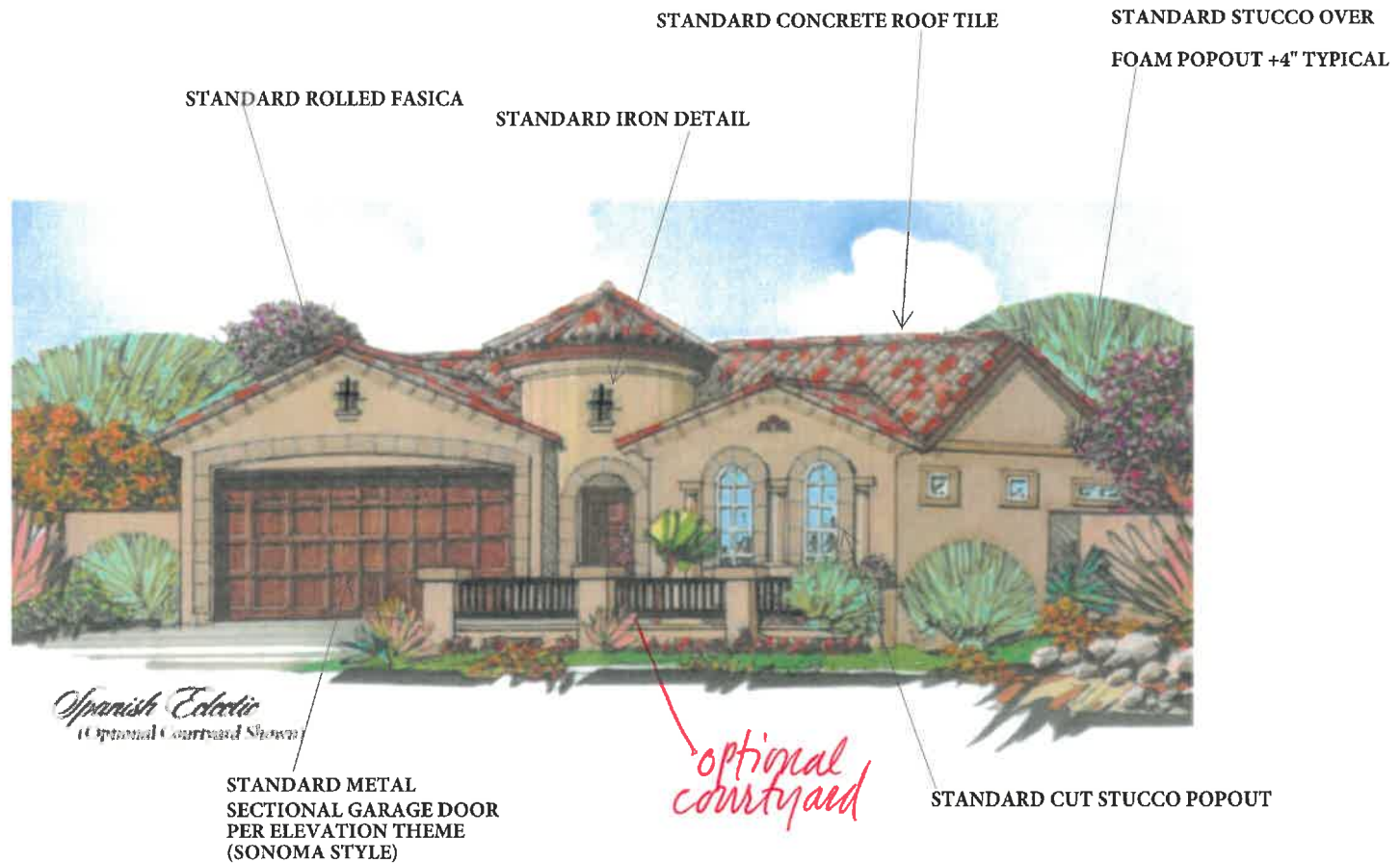
SHEET NO.:

AA.12

MST19-11040 FLOOR PLAN OPTIONS 'A'

SCALE: 1/4" = 1'-0"

CHECKED:
PLOT DATE:



PLAN 1900 SPANISH ELEVATION

BLANDFORD HOMES

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

[illegible]

Roof Plan 'A' is a detailed architectural drawing of a roof layout. The plan includes several rooms and a central circular structure. Key features and annotations include:

- Rooms and Areas:**
 - AREA 1:** A rectangular area labeled "AREA 1" with "3' TILE" below it.
 - AREA 2:** A rectangular area labeled "AREA 2" with "3' TILE" below it.
 - ROOMS:** Several rooms are labeled "ROOM" and are separated by walls. Some rooms have specific annotations like "4'12" ROOMS" and "5' ROOMS".
 - Circular Structure:** A central circular structure is divided into eight segments, each labeled "11" 10'-2".
- Annotations and Details:**
 - Line of Wall:** Indicated by a dashed line.
 - Line of Roof:** Indicated by a solid line.
 - Typical Details:** Several circular callouts are labeled "TYP. RAKE U.G.N." and "TYP. RAKE U.G.N.".
 - Dimensions:** Various dimensions are noted, including "4'12" ROOMS", "5' ROOMS", "11" 10'-2", and "6' 10'-2".
 - Notes:** A note at the top left states "1' AT RAISE TYPICAL". A note at the top right states "1' AT RAKE TYP. U.G.N.". A note at the bottom right states "SCALE: 1/8" = 1'-0".

SCALE : 1/8" = 1'-0"

AREA 1			
VENTILATION REQUIRED:	2587	SQ. FT. / 300 =	8.6 SQ. FT.
		X .94 =	8.08 SQ. IN.
		X .56 =	4.53 SQ. IN.
VENTILATION PROVIDED:			
(1) CHARGE CLOAKED VENTS:	92	SQ. IN. EA. =	9.2 SQ. IN.
(1) LIABILE CLOAKED VENTS:	975	SQ. IN. EA. =	975 SQ. IN.
(2) CHARGE CLOAKED VENTS:	975	SQ. IN. EA. =	975 SQ. IN.
(1) LEAVE VENTS "PERIOD MONTH"	12	SQ. IN. EA. =	12 SQ. IN.
3 PER BAY @ .255" DIA. EA.			3.66 SQ. IN.
AREA 2			
VENTILATION REQUIRED:	78	SQ. FT. / 150 =	.52 SQ. FT.
		X .94 =	.49 SQ. IN.
		X .56 =	.27 SQ. IN.
VENTILATION PROVIDED:			
(1) CHARGE CLOAKED VENTS:	975	SQ. IN. EA. =	975 SQ. IN.
(1) LEAVE VENTS "PERIOD MONTH"	12	SQ. IN. EA. =	12 SQ. IN.
3 PER BAY @ .255" DIA. EA.			3.66 SQ. IN.

- 1 ROOF MATERIAL - EAGLE ROOF TILE IMPRO ESR 8001 - 1/2
- 2 DASH FACIA
- 3 1/2 BRIDGE BOARD - REFER TO ELEVATION FOR SIZE
- 4 GL PH FLASHING
- 5 NOT LINED
- 6 WINDOW DELETED AT OPT.
- 7 DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
- 8 EXTERIOR GARAGE DOOR PER ARCHITECTURAL THEM/ELEV/ELEVATION FOR SIZE
- 9 DECORATIVE PLASTER - IMPRO ESR 8001 - 1/2
- 10 EXTERIOR PLASTER - REFER TO GENERAL NOTES MAP-ER-282
- 11 WINDOW OPENING FRAME AND LINING - REFER TO ELEVATION FOR SIZE
- 12 DECORATIVE FRONT DOOR - REFER TO ELEVATION FOR SIZE
- 13 WINDOW OR FLOWN - REFER TO FLOOR PLAN
- 14 OPTIONAL - REFER TO ELEVATION FOR SIZE
- 15 STONE/BRICK TILE AT MOUND - REFER TO ELEVATION FOR SIZE
- 16 2" STUCCO POPOUT W/ DECORATIVE TUBE SET
- 17 1/2" STUCCO POPOUT AT MOUND - REFER TO ELEVATION FOR SIZE
- 18 CORBELS - REFER TO ELEVATION FOR SIZE
- 19 STUCCO OR SHAWNEE - REFER TO ELEVATION FOR SIZE
- 20 CONCRETE STUCCO/OPH
- 21 PVEL BLACK OUT WINDOW, REFER TO ELEV FOR SIZE
- 22 DECORATIVE FIBRE GLASS - REFER TO ELEVATION FOR SIZE
- 23 POLYURETHANE OUTLOOKER (H) APPROVED ELEVATION
- 24 DECORATIVE FIBRE GLASS
- 25 1/2" POLYURETHANE BRICK VENER TIR
- 26 STUCCO DECOR W/ TINT
- 27 1/2" GL GUINDED 1/4" MOUNTED 1/2"
- 28 GAS SERVICE METER - REFER TO UTILITY PLAN
- 29 SERVICE PANEL - REFER TO UTILITY PLAN
- 30 CONDENSER - REFER TO UTILITY PLAN

 INDICATES SLOPE DIRECTION & PITCH - UNLESS OTHERWISE NOTED.

ROOF MATERIAL: EAGLE-LEAD E-600™
CONCRETE FLAT: FLAT REFER TO ROOF PLAN - ELEV. C1 & D1
CONCRETE: S1 FLAT REFER TO ROOF PLAN - ELEV. A1, B1 & D2
ALL ROOFING TO BE INSTALLED OVER MINIMUM (8) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOFING MFG. SPECS.
REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING
NO ROOF PENETRATIONS (IE: ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 14" OF VALLEY, HIPS OR RIDGES
REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IBC SEC. 806.3.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED WITH AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 3/4" ABOVE THE PLATE LINE PER IBC 806.2 DETERMINED.

 CHARGE CLOAGED VENT TYPE
 MODEL: "FLAT" #50043
 MODEL: "S" #50046
 NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
 SBCCI REPORT No. 9650A

PRINCIPAL:	DAVID R. MALDONADO
PROJECT MANAGER:	BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
351 EAST BROADWAY, R.O. 6, URBENT, ARIZONA 85724

No.	Date	Issue / Description
	07.15.2016	BLDG. DEPT. SUBMITTAL
	09.26.2016	BLDG. DEPT. CORRECTIONS
	10.19.2016	BLDG. DEPT. CORRECTIONS
	03.24.2017	CODE UPDATE
	04.12.2017	CIENT CHANGES
	08.04.2017	BLDG. DEPT. CORRECTIONS

IT IS THE JUDICIAL BRANCH'S RESPONSIBILITY TO PROTECT THE RIGHTS OF ALL CITIZENS, AND TO ENFORCE THE CONSTITUTION. THE JUDICIAL BRANCH IS THE ONLY BRANCH OF GOVERNMENT THAT CAN REVIEW THE ACTIONS OF THE OTHER BRANCHES AND DETERMINE IF THEY ARE CONSTITUTIONAL. THE JUDICIAL BRANCH IS THE ONLY BRANCH OF GOVERNMENT THAT CAN ENFORCE THE CONSTITUTION. THE JUDICIAL BRANCH IS THE ONLY BRANCH OF GOVERNMENT THAT CAN PROTECT THE RIGHTS OF ALL CITIZENS.

SHEET TITLE:

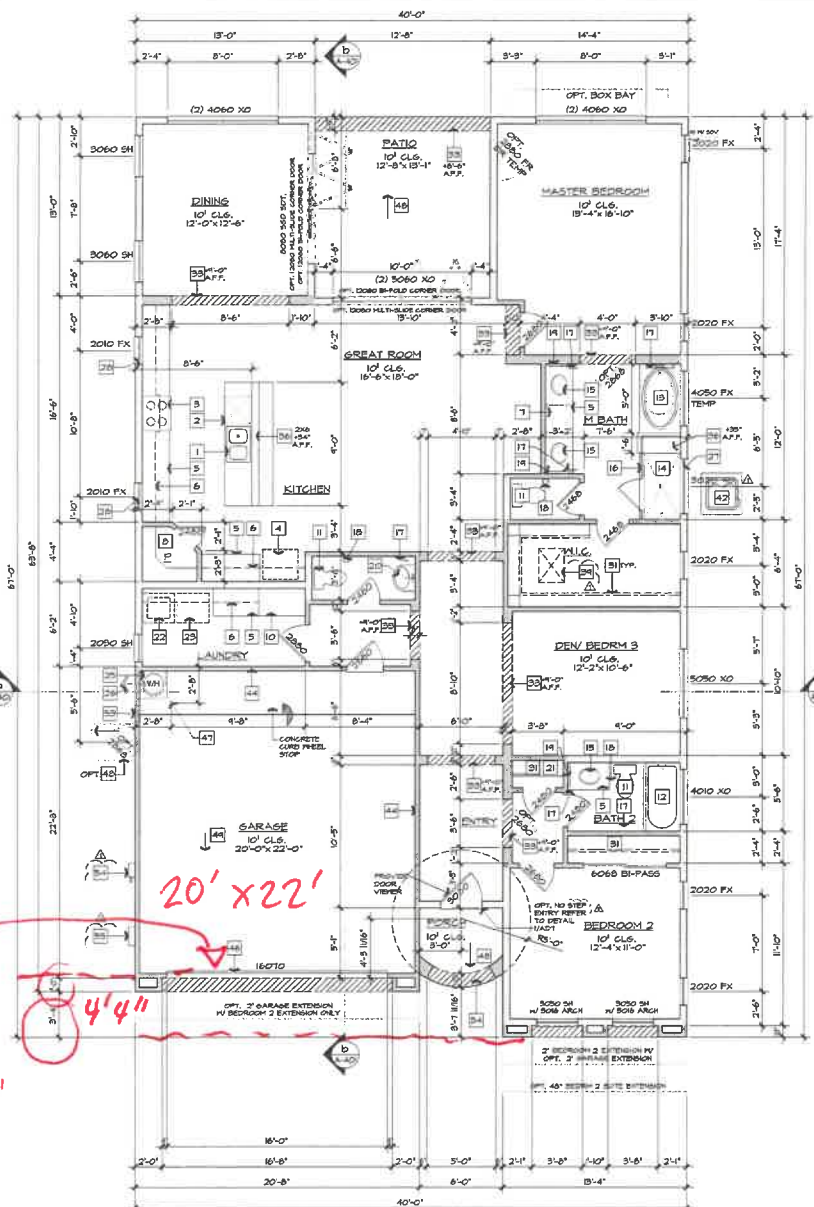
PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'A'
SPANISH ECLECTIC
SHEET NO:

AA.21

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE : $\frac{1}{4}" = 1'-0"$

CADDIS
PLOT DATE



FLOOR PLAN 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIA W/ MFR SPEC.
2. DRAINAGE FROM SURFACE MOUNT AIR GRP - VERIFY DIA W/ MFR SPEC.
3. SINK W/ HANDSOMEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC).
4. 3/8" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS.
6. UPPER CABINETS.
7. VANITY W/ KNEE SPACE.
8. PANTRY W/ 5 SHELVES.
9. ISLAND CABINET.
10. DESK.
11. WATER CLOSET - 31" W.D. x 24" D.P. CLOS. SPACE 18" FROM CENTER OF TUB IN EACH DIRECTION RES. (SEE FOOT).
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSKOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BO. - VERIFY DIA W/ MFR SPEC.
13. DRAIN IN TUB ON 2" REST FRAMED PLATFORM - VERIFY DIA W/ MFR SPEC.
14. SHOWER PAN W/ WANSKOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BO. - VERIFY DIA W/ MFR SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHOWER/TOILET (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARRYING - PROVIDE 2x SOLID BACKING AT 24" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
19. RECESSED MEDICINE CABINET (MIRRORED).
20. FEDERAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY.
22. WARDROBE SPACE - PROVIDE SMITTY TRAY W/ DRAIN BELOW WARDROBE.
23. TUB W/ WASH AND WASH CONTROL VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
24. DRYER VENT PER IRC. SEC. M1502.6 (5002). A.
25. PROVIDE DOOR VENER PER MESA RES. CODE R302.
26. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE 1/2" ABV. - FINISH GRADE PER IRC. SEC. M1502.6 & SEC. P2003.2 SEE DETAILS.
27. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 4" & 12" ABV. GRADE & 3" AWAY FROM ANY DR.
28. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED.
29. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED.
30. NOT USED.
31. SHELF & POLE (H-DOUBLE).
32. NOT USED.
33. PLAT. ROOF - REFER TO PLAN FOR HEIGHT.
34. ANCHORED ROOF - REFER TO ELEVATIONS FOR HEIGHT.
35. NOT USED.
36. LOW WALL - REFER TO PLAN FOR HEIGHT.
37. LINE OF FLOORWALL ABOVE.
38. NOT USED.
39. 22" x 30" ATTIC ACCESS PER IRC. SEC. R101.1 (1006.12).
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN.
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT.
43. NOT USED.
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS.
45. PROVIDE 11 LAYER OF 1/2" GYP. BO. APPLIED TO GARAGE SIDE PER I.C. TABLE 3029.
46. NOT USED.
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE.
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 5409.
49. CONCRETE FILL WORK - SLOPE 1/4" PER FOOT.
50. CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT UNDO. 5403.
51. STONE/BRICK VENER - REFER TO ELEVATIONS.
52. OPT. SINK & LAUNDRY.
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT.
54. ON 1/4" x 8" GL. SCREENED & LUMBERED EXHAUST VENTS LOCATE IN AT 4" ABV. GARAGE CURB NOT, (8" WITHIN 4" BELOW CLG PER IRC. M1503.2).
55. GAS SERVICE METER - REFER TO UTILITY PLAN.
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN.

WALL LEGEND

2/4 WALL
2/6 WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK UNCL. REFER TO PLAN FOR SIZES.
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZES).
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK W/ SELF CLOSER & TIGHT FITTINGS REFER TO PLAN FOR SIZES OR 20 MIN. RATED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK REFER TO PLAN FOR SIZES.
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED.
6. ALL GYP. BO. TO BE APPLIED PER 2008 IRC SECTION 702.2.3. A.
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ 2008 IRC. SEC. R101.1. A.
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 1/2" OR UNDER IN FLR. AND WITHIN 4" AFF. TO A DOOR IN ITS CLOSED POSITION.
9. PROVIDE PRESSURE BALANCE ON THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBS.
10. GLAZING PER 2008 IRC. SEC. R606.4. A.
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE U.L. 184S M486507. ELEC. E222222 STANDARDS FOR FIRED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS. LAB. INC. ALL COMPONENTS ARE U.L. SAFETY CERTIFIED. WATER CLOSET TO HAVE AN AVERAGE OF 15 GALLONS PER FLUSH U.L.P.C. SEC. 4022.



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

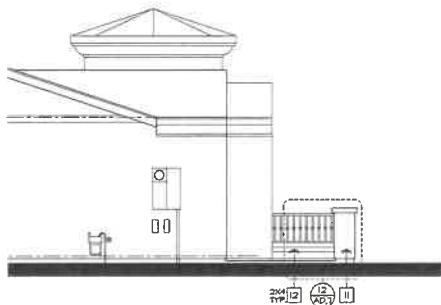
NEW VINTAGE
MESA, ARIZONA
BLANDFORD HOMES
3021 EAST FAHLEN ROAD SUITE 200
MESA, ARIZONA 85204
P. 480.948.4400

No.	Date	Issue / Description
07.18.2016	BLDG. DEPT. SUBMITTAL	
09.26.2016	BLDG. DEPT. CORRECTIONS	
10.16.2016	BLDG. DEPT. CORRECTIONS	
03.24.2017	CODE UPDATE	
04.12.2017	CLIENT CHANGES	
08.24.2017	BLDG. DEPT. CORRECTIONS	

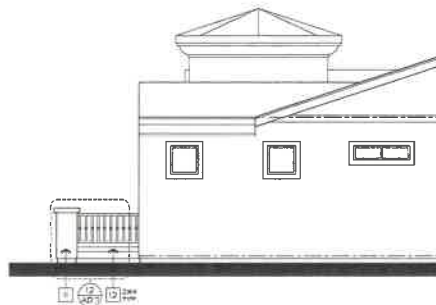
SHEET TITLE:
PLAN 1900 (PLAN 2)
FLOOR PLAN 'A'
SPANISH ECLECTIC

SHEET NO:

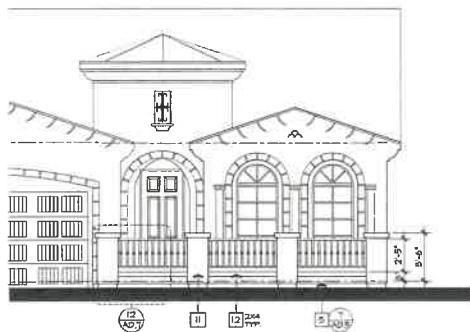
AA.11



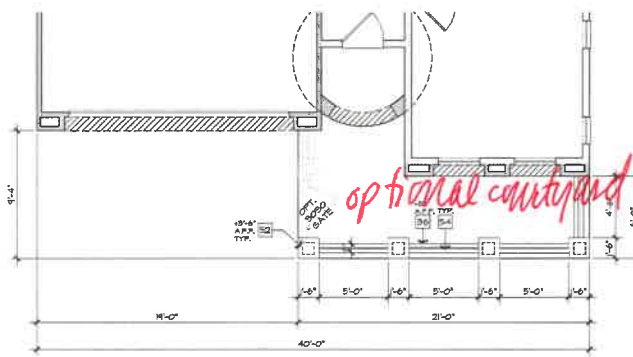
PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FRONT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. COURTYARD - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY D.M. W/ MFR. SPEC.
2. DISHWASHER PROVIDE SURFACE MOUNT AIR GAP - VERIFY D.M. W/ MFR. SPEC.
3. PROVIDE AIR HAMMER ARRESTOR
4. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.)
5. 3P. CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR KITCHEN DISPOSED IN WALL PROVIDE AIR HAMMER ARRESTOR
6. BASE CABINETS
7. UPPER CABINETS
8. PANTRY W/ 3 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 3P. W.C. & 2P. O.C. CL. SPACE (BY CL. FROM CENTER OF RITURE IN EACH DIRECTION PER I.C. TO R.O.D.)
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSKOT TO 72" A.D. DRAIN OF MOISTURE RESISTANT G.P. B.D. - VERIFY D.M. W/ MFR. SPEC.
13. DROP-IN TUB ON 20" HIGH FRAMED PLATFORM - VERIFY D.M. W/ MFR. SPEC.
14. SHOWER PAN W/ WANSKOT TO 72" MIN. A.D. DRAIN OVER MOISTURE RESISTANT G.P. B.D. - VERIFY D.M. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHOWER/POOF (TEMPERED GL. SHOWER ENCLOSURE W/ T.B. TONEL. BARRING - PROVIDE 2X SOLID BACKING AT 2P. A.F.F.)
17. TOILET PAPER HOLDER - PROVIDE 2X SOLID BACKING AT 2P. A.F.F.
18. RECESSED MEDICINE CABINET (MFR. SPEC.)
19. RECESSED LAVATORY - REFER TO SPEC.
20. RECESSED LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WAGER/SHOWER SPACE - PROVIDE SINKY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE SHOWER CONTROL, W/LES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT PER I.R.C. SEC. M501.4 (G501.4) A
24. PROVIDE DOOR VENT PER MESA RES. CODE R502
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE MIN. 2" A.D. - FINISH GRADE PER I.R.C. SEC. M507.3 & SEC. P507.3 SEE DETAILS
26. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 42" & 48" A.D. FINISH GRADE & 3P. A.D. FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D-DOUBLE)
32. NOT USED
33. PLAT. SORT - REFER TO PLAN FOR HEIGHT
34. ARCH'D SORT - REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 2P. X 8" ATTIC ACCESS PER I.R.C. SEC. R507.4 (M507.4)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 1/2" G.P. B.D. APPLIED TO GARAGE SIDE PER I.R.C. TABLE R502.8
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL S1409
49. CONCRETE FLAT WORK - SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT UNQ. S1409
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK @ LAUNDRY
53. CLUTTERY COLUMN - REFER TO PLAN FOR HEIGHT
54. 20" X 8" GL. SCREENED & LUMBERED EXHAUST VENTS LOCATE (1) AT 4" A.D. GARAGE CURB HGT. (1) WITHIN 4" BELOW C.L. PER I.R.C. M507.3
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE B.M.P. ESR-800
2. 2/6 FASOM
3. 2X BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL. FLASHING
5. GL. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2596
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES W/ MFR. ESR-3822
12. STUCCO OVER F.O.M. TRIM AND EXTERIOR - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POROXY W/ DECORATIVE TRIM STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER CHARD FOAM TRIM
21. CONCRETE STUCCO PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TRIM STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" X 8" GL. SCREENED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

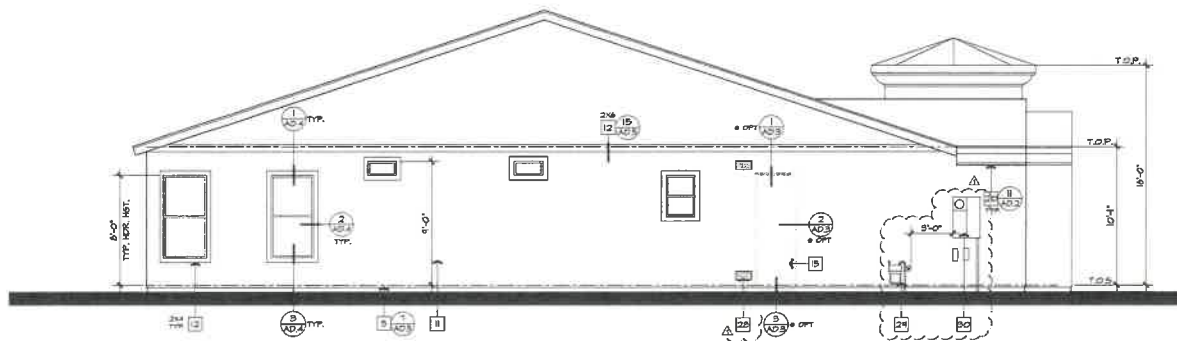
NEW VINTAGE MESA, ARIZONA BLANDFORD HOMES

No.	Date	Issue / Description
01	01.10.2016	BLDG. DEPT. SUBMITTAL
02	04.26.2016	BLDG. DEPT. CORRECTIONS
03	10.14.2016	BLDG. DEPT. CORRECTIONS
04	09.24.2016	CODE UPDATE
05	04.12.2017	CLIENT CHANGES
06	05.04.2017	BLDG. DEPT. CORRECTIONS

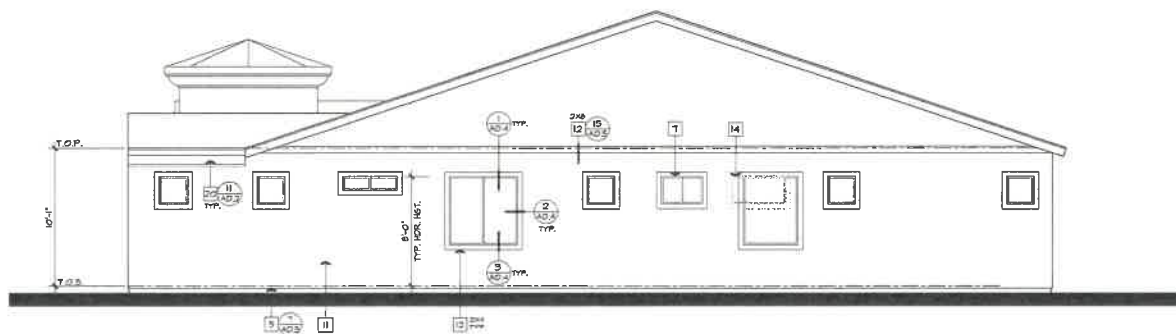
IF ANY CHANGES ARE MADE TO THIS SET OF DRAWINGS, THE USER SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER OF SUCH CHANGES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR ANY CHANGES MADE TO THIS SET OF DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR ANY CHANGES MADE TO THIS SET OF DRAWINGS.

SHEET TITLE:
PLAN 1000 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. COURTYARD

SHEET NO:
AA.32



LEFT ELEVATION 'A' SPANISH ECLECTIC



RIGHT ELEVATION 'A' SPANISH ECLECTIC

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MIMO ESR-8008)
2. 2x6 FASOP
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW SHUTTER AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2558
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MIMO EN-302)
12. STUCCO OVER FOAM THERMO SAND TISBERG - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL LOOPS - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 7" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FROD BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL SHADING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
1801 EAST BLANDFORD ROAD, SUITE 100, MESA, ARIZONA 85204
P: 480.942.4443

No.	Date	Issue / Description
01	01.19.2016	BLDG. DEPT. SUBMITTAL
02	04.28.2016	BLDG. DEPT. CORRECTIONS
03	10.19.2016	BLDG. DEPT. CORRECTIONS
04	03.24.2016	CODE UPDATE
05	04.12.2016	CLIENT CHANGES
06	08.04.2016	BLDG. DEPT. CORRECTIONS

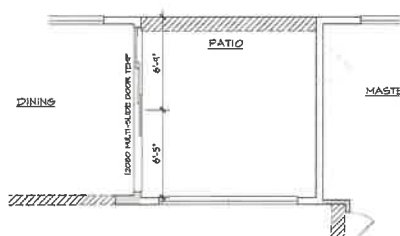
IF IN 14 DAYS OF THE DATE OF THE LAST REVISION, THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. IF THE PROJECT IS NOT COMPLETED WITHIN THE 14 DAY PERIOD, THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. IF THE PROJECT IS COMPLETED WITHIN THE 14 DAY PERIOD, THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.

SHEET TITLE:
PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'A'
SPANISH ECLECTIC

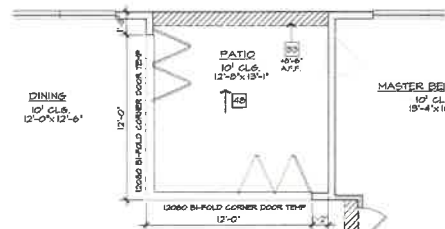
SHEET NO.:

AA.22

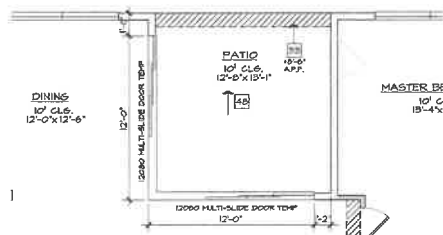
CAD/P&B
PLOT DATE



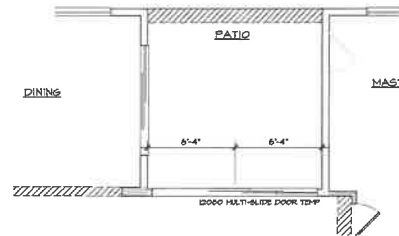
OPT. MULTI-SLIDE @ DINING



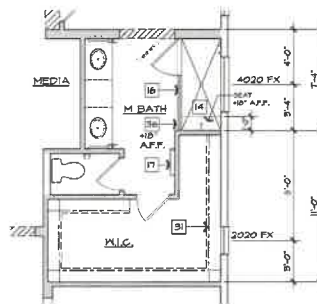
OPT. BI-FOLD DOOR



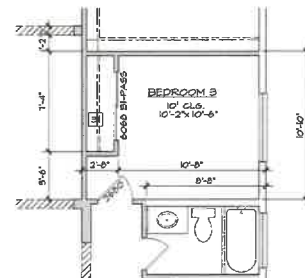
OPT. MULTI-SLIDE DOOR



OPT. MULTI-SLIDE @ GREAT ROOM



OPT. WALK-IN SHOWER



OPT. BEDROOM 3

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR. SPEC. DEWATERPROOF SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR.
2. SINK IN PANTRY/OPEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC).
3. 37" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR EXHAUST (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR, BASE CABINETS.
4. UPPER CABINETS.
5. VANITY W/ KNEE SPACE.
6. PANTRY W/ 5 SHELVES.
7. ISLAND CABINET.
8. DESK.
9. WATER CLOSET 37" WID x 24" DPT. CLR. SPACE 28" CLR. FROM CENTER OF TUB IN EACH DIRECTION PER IRC TO R301.
10. TUBSHOWER COMBINATION W/ CURTAIN ROD AND WINDSCOT TO 72" AOV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR. SPEC.
11. DROP IN TUB ON 2" HIGH FINISHED PLATFORM - VERIFY DIM W/ MFR. SPEC.
12. SHOWER PAN W/ WINDSCOT TO 72" MIN. AOV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR. SPEC.
13. LAVATORY - REFER TO SPEC.
14. SHOWERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B. TONGUE BARRING - PROVIDE 2x SOLID BACKING AT 24" AFF.
15. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
16. RECESSED MEDICINE CABINET (IMPROVED).
17. PRESET LAVATORY - REFER TO SPEC.
18. SHELF - REFER TO PLAN FOR SIZE & QUANTITY.
19. WINDSTOPPER SPACE - PROVIDE SMITH PAV W/ DRAIN BELOW WASHER FOR WATER AND WASTE WASHERS CONTROL VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
20. DRYER VENT PER IRC, SEC. M501.4 (2003) & A.
21. PROVIDE DOOR VENT PER MESA SPEC. CODE R205.
22. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE, MIN 1/2" AOV. FINISH GRADE PER IRC, SEC. M1003.6 & SEC. P0208 SEE DETAILS.
23. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 1/2" & 1/4" AOV. GRADE & 30" AWAY FROM ANY L.P.
24. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED.
25. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED.
26. NOT USED.
27. SHELF & POLE (D-DOUBLE).
28. NOT USED.
29. FLAT SLOTT - REFER TO PLAN FOR HEIGHT.
30. ARCHED SLOTT-REFER TO ELEVATIONS FOR HEIGHT.
31. NOT USED.
32. LOW WALL - REFER TO PLAN FOR HEIGHT.
33. LINE OF FLOORWALL, W/DOE.
34. NOT USED.
35. 22" x 37" ATTIC ACCESS (PER IRC, SEC. R607 & M1003.12).
36. FALL IN ATTIC - REFER TO MECHANICAL PLAN.
37. 18" LINEN CABINET - REFER TO SPEC.
38. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT.
39. NOT USED.
40. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS.
41. PROVIDE 1" LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6).
42. NOT USED.
43. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE.
44. SOLID GROUTED PIPE BOLLARD SEE DETAIL 51A09.
45. CONCRETE FLAT WORK, SLOPE 1/4" PER FOOT.
46. CONCRETE GARAGE SLAB, SLOPE 1/8" PER FOOT UNTO, 51A09.
47. STONE/BRICK VENEER - REFER TO ELEVATIONS.
48. OPT. SINK & LAUNDRY.
49. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT.
50. 24" x 8" GL. SCREENED & LOUVERED EXHAUST VENTS LOCATE 18" AT 4" AOV. GARAGE CURB HGT. 18" WITHIN 4" BELOW CLR. PER IRC M1003.6.
51. GAS SERVICE METER - REFER TO UTILITY PLAN.
52. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN.

WALL LEGEND

24" WALL
216" WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK UNDO. REFER TO PLAN FOR SIZES.
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZES).
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, W/SELF CLOSER & TIGHT FITTINGS (REFER TO PLAN FOR SIZES) OR 20 MIN. FIRE-RATED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/8" THICK (REFER TO PLAN FOR SIZES).
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED.
6. ALL GYP. BD. TO BE APPLIED PER 2008 IRC, SECTION 702.3.5 & 702.3.6.
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ 2008 IRC, SEC. R310.1 & A.
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 1/8" OR UNDER IN TUB, AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION.
9. PROVIDE PRESSURE BALANCE OR THERMO DRIVING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COUPLERS.
10. GLAZING PER 2008 IRC, SEC. R308.6 & A.
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE U.L. (UL) LISTING, ETC. (UL) LISTING FOR FIRE AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED.
12. WATER CLOSET TO HAVE AN AVERAGE OF 16 GALLONS PER FLUSH (PER IRC, SEC. A02.2).

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

3535 EAST BROADWAY ROAD SUITE 100, ANCHORAGE, ALASKA 99504
P: 409.543.4445

No.	Date	Issue / Description
1	07.18.2016	BLDG. DEPT. SUBMITTAL
2	09.26.2016	BLDG. DEPT. CORRECTIONS
3	10.14.2016	BLDG. DEPT. CORRECTIONS
4	03.24.2017	CODE UPDATE
5	04.12.2017	CLIENT CHANGES
6	05.07.2017	BLDG. DEPT. CORRECTIONS

2. ALL GLASS 1/8" OR UNDER IN TUB, AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION. PROVIDE PRESSURE BALANCE OR THERMO DRIVING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COUPLERS. GLAZING PER 2008 IRC, SEC. R308.6 & A. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE U.L. (UL) LISTING, ETC. (UL) LISTING FOR FIRE AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED. WATER CLOSET TO HAVE AN AVERAGE OF 16 GALLONS PER FLUSH (PER IRC, SEC. A02.2).

SHEET TITLE:
PLAN 1000 (PLAN 2)
FLOOR PLAN 'A' OPTIONS
SPANISH ECLECTIC

SHEET NO.:

AA.12

MST19-11042 FLOOR PLAN OPTIONS 'A'

SCALE: 1/4" = 1'-0"

GRAPHIC
PLOT DATE:

PARTIAL RIGHT ELEV. 'A'

PARTIAL FLOOR PLAN 'A'

OPT. ENLARGED MASTER BEDROOM W/ O. OF DEN - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- [illegible]

ELEVATION NOTES

1. ROOF MATERIAL - EXISTE ROOF TYPE: IMBRO ESP-8003 1/2" #2
2. FELD MAGNA.
3. 2" BARRE BOARD - REFER TO ELEVATION FOR SIZE
4. GL SLASHING
5. GL DFR SPORED
6. NOT USED
7. WINDOW DELETED AT C/P1
8. WINDOW DELETED SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. EXISTING GARAGE DOOR REFER TO ARCHITECTURAL, THEM/ELVEY
10. 2" BARRE BOARD - REFER TO ELEVATION FOR SIZE
11. SLOTTED PLASTER - REFER TO GENERAL NOTES MB-3820
12. SLOTTED DEPT FLOW TYPING SAND INSIDE - REFER TO ELEVATION FOR SIZE
13. WINDOW AT C/P1 - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPENING - REFER TO FLOOR PLAN
15. OPTIONAL: REFER TO FLOOR PLAN
16. STONE SCREW TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" SLOTTED POPEX W/ DEGRADATIVE TUBE STEEL
18. 2" SLOTTED POPEX TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
19. CORNICE - REFER TO ELEVATION FOR SIZE
20. DELETED DOOR BOARD - REFER TO FLOOR PLAN
21. CONCRETE STOOD/POPEX
22. RIGID BLACK OUT WINDOW REFER TO ELEV FOR SIZE
23. DEGRADATIVE TUBE STEEL
24. POLYURETHANE OUTDOOR (OR APPROVED ELEV)
25. DEGRADATIVE PE VINYL
26. 2" THIN STONE BRICK VENER TIR
27. SLOTTED RECESS W/ TRIM
28. 1/4" x 3/4" GL CLINDED / LOCKWATER
29. GL SERVICE MASTER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. COMBIBER - REFER TO UTILITY PLAN

CADFILE
BLQ DATE

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3001 EAST BASILINE ROAD GILBERT, ARIZONA 85234

P: 480 842 4442

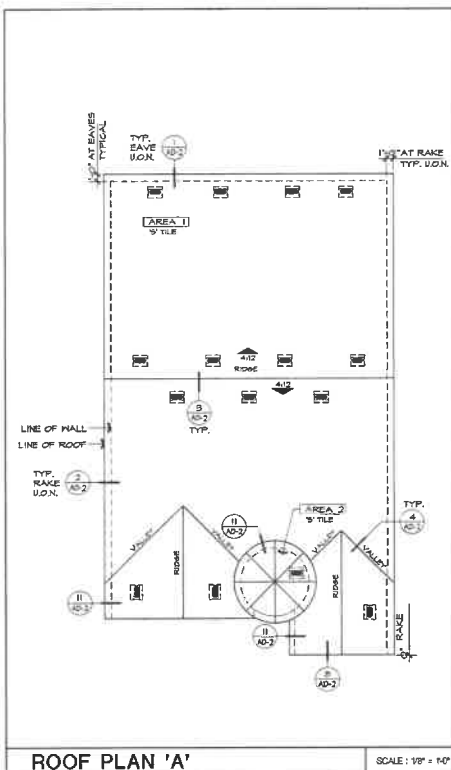
No.	Date	Issue / Description
	07.6.2016	BLDG. DEPT. SUBMITTAL
	04.26.2016	BLDG. DEPT. CORRECTIONS
	12.14.2016	BLDG. DEPT. CORRECTIONS
	03.24.2017	CODE UPDATE
	04.12.2017	CLIENT CHANGES
	08.09.2017	BLDG. DEPT. CORRECTIONS

It is the responsibility of the physician to the patient and the patient's family to provide the patient with the information necessary to make an informed decision about the use of the patient's organs. The physician should also provide the patient with the information necessary to make an informed decision about the use of the patient's organs. The physician should also provide the patient with the information necessary to make an informed decision about the use of the patient's organs.

SHEET TITLE:
PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. ENLARGED MASTER

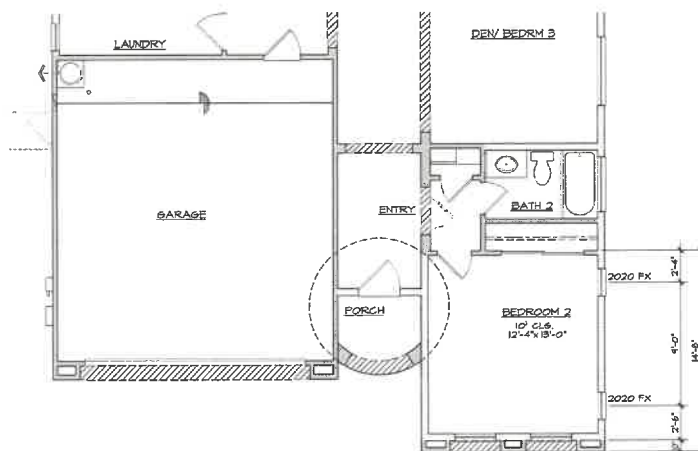
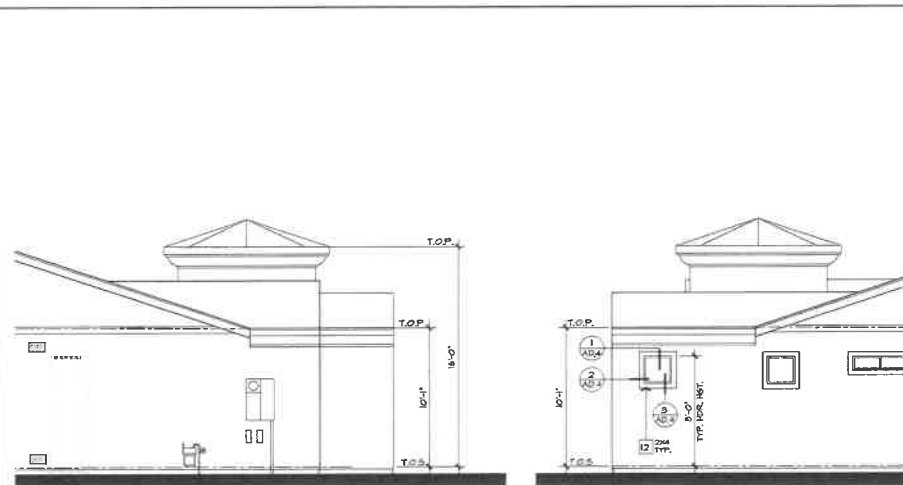
SHEET NO:

AA.31



ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED:	2514	SQ. FT. / 300 =	87 SQ. FT.
	X 144 =	1253	SQ. IN.
	X 625 =	627	SQ. IN.
VENTILATION PROVIDED:			
(0) GABLE END VENTS	12	SQ. IN. EA. =	0 SQ. IN.
(7) CHIMNEY CROWNED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
(0) CHIMNEY CROWNED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
(0) EAVE VENTS 18" DIA. MOUTH	12	SQ. IN. EA. =	0 SQ. IN.
3 PER BAY @ 225" DIA. EA.			1565 SQ. IN.

ATTIC VENT CALCULATIONS



OPT. 2' BEDROOM 2 EXTENSION 'A' SPANISH ECLECTIC

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MIMO EBR-1800) - 1/2"
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEMABLEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - EBR-2506 - 1/2"
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MIMO ER-302)
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 1/2" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PRE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 8" GL SCREENED ALUMINUM VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR
INFORMATION NOT SHOWN HERE

CHECKLIST
PLOT DATE

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

3501 EAST BASELINE ROAD SUITE 100, MESA, ARIZONA 85204
P: 480 942 4413

No.	Date	Issue / Description
07.18.2016	BLDG. DEPT. SUBMITTAL	
09.28.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
03.24.2017	CODE UPDATE	
04.12.2017	CLIENT CHANGES	
08.24.2017	BLDG. DEPT. CORRECTIONS	

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SHEET TITLE:
PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 2' BEDROOM 2
EXTENSION

SHEET NO:

AA.33



ATTIC VENT CALCULATIONS



REFER TO BASE PLAN FOR
INFORMATION NOT SHOWN HERE

OPT. 4' BEDROOM 2 EXTENSION **W579-11042** 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

[illegible]

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN YELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HONES

THE ROAD TO THE FUTURE. AMERICA'S ANSWER.

No.	Date	Issue / Description
	07.18.2016	BLOS. DEPT. SUBMITTAL
⚠	09.28.2016	BLOS. DEPT. CORRECTIONS
⚠	10.14.2016	BLOS. DEPT. CORRECTIONS
⚠	03.24.2017	CODE UPDATE
⚠	04.12.2017	CLIENT CHANGES
⚠	08.01.2019	BLOS. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1800 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 4' BEDROOM
EXTENSION

SHEET NO:

AA.34

CAGEFILE:
PLOT DATE:



ATTIC VENT CALCULATIONS

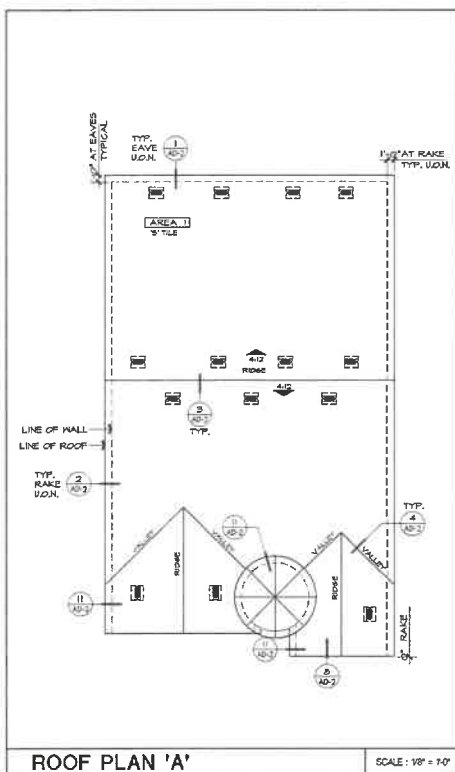


OPT. BOX BAY - 'A' SPANISH ECLECTIC

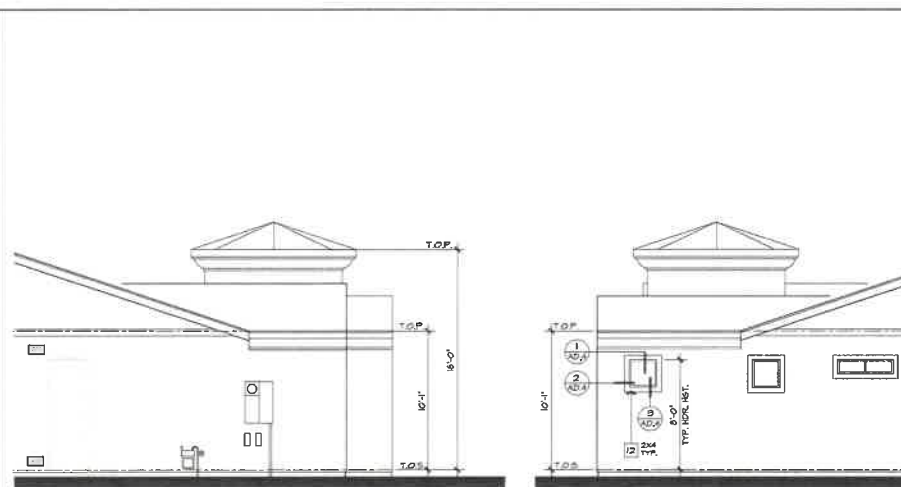
1. FLOOR MATERIAL - EAGLE FLOOR TILE MAPRO EST-9003 - 1"
2. 26% FASCIA
3. 2" GARAGE BOARD - REFER TO ELEVATION FOR SIZE
4. GLUING
5. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. EXTERIOR GARAGE DOOR PER ARCHITECTURAL, THEREAFTER
10. EXTERIOR SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
11. SECTIONAL PLASTER - REFER TO GENERAL NOTES MAPRO-EST-362
12. STUCCO OVER FLOOR TILES AND EVIDENCE - REFER TO ELEVATION FOR SIZE
13. STUCCO OVER FLOOR TILES AND EVIDENCE - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL SHUTTER - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TILES STEEL
18. STUCCO OVER FLOOR TILES AND EVIDENCE - REFER TO ELEVATION FOR SIZE
19. CORNICE - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER BRICK TRIM FROM
21. CONCRETE STUCCO/OPORT
22. FRIED GLASS AT WINDOW - REFER TO ELEVATION FOR SIZE
23. STUCCO OVER FLOOR TILES AND EVIDENCE - REFER TO ELEVATION FOR SIZE
24. POLYURETHANE OUTDOOR DOOR APPROVED EQUAL
25. 2" THICK SYNTHETIC BRICK VENER TRIM
26. STUCCO OVER W/ TRIM
27. 1/4" X 1/4" CORNERED 4 COVERED VENT
28. GAS SERVICE METAL - REFER TO UTILITY PLAN
29. SERVICE PANEL - REFER TO UTILITY PLAN
30. GAS CONDUIT - REFER TO UTILITY PLAN

THE NEW YORK PUBLIC LIBRARY, ASTOR LENOX AND TILDEN FOUNDATIONS, 455 FIFTH AVENUE, NEW YORK 17, N.Y.

AA.35

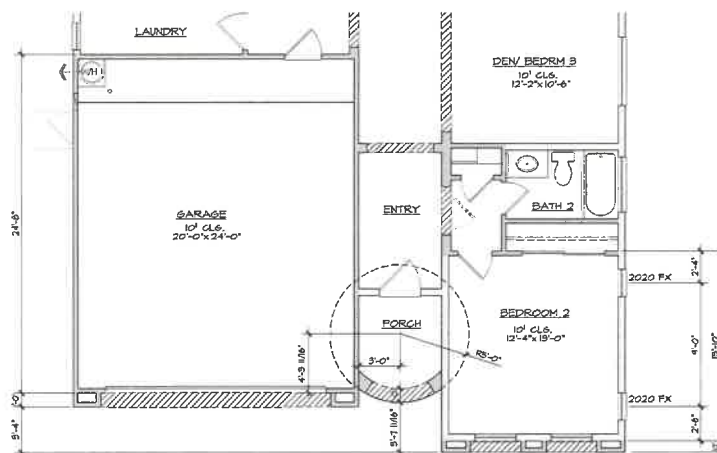


ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED:	2867	SQ. FT. / 300 =	89 SQ. FT.
	X 144 =		1282 SQ. IN.
	X 50% =		641 SQ. IN.
VENTILATION PROVIDED:			
1 (3) GABLE END VENTS	92	SQ. IN. EA. =	0 SQ. IN.
(7) CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
LOW			
(7) CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
(1) EAVE VENTS 18" DIA. MOUTH	2	SQ. IN. EA. =	0 SQ. IN.
3 PER BAY @ 225" DIA. EA.			685 SQ. IN.



PARTIAL LEFT ELEV. 'A'

PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (WMO ESR-800)
2. 2x6 FASCIA
3. 2x6 BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GUTTER FLASHING
5. GUTTER DRAIN
6. NOT USED
7. WINDOW SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
8. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEMATIC ELEV.
9. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR 2508
10. EXTERIOR PLASTER - REFER TO GENERAL NOTES (WMO ESR-302)
11. STUCCO OVER FOAM TRIM AND TEXTURE - REFER TO ELEVATION FOR SIZE
12. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
13. WINDOW AT OPTION - REFER TO FLOOR PLAN
14. OPTIONAL DOOR - REFER TO FLOOR PLAN
15. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
16. 2" STUCCO ROOF OUT W/ DECORATIVE PIPE STEEL
17. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
18. CORBEL - REFER TO ELEVATION FOR SIZE
19. STUCCO OVER SHARED FOAM TRIM
20. CONCRETE STUCCO/ROOF
21. FROD. BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
22. DECORATIVE TUBE STEEL RAILING
23. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
24. DECORATIVE PIPE VENTS
25. 2" THICK SYNTHETIC BRICK VENEER TRIM
26. STUCCO RECESS W/ TRIM
27. 1/2" x 8" GL. SCREENED & LAMINATED VENT
28. GAS SERVICE METER - REFER TO UTILITY PLAN
29. SERVICE PANEL - REFER TO UTILITY PLAN
30. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR
INFORMATION NOT SHOWN HERE

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
HOMES, ARIZONA

BLANDFORD HOMES

301 EAST BASILAR ROAD SUITE 200
PHOENIX, ARIZONA 85024
P. 480.942.4412

No.	Date	Issue / Description
01	07/18/2016	BLDG. DEPT. SUBMITTAL
02	09/16/2016	BLDG. DEPT. CORRECTIONS
03	10/14/2016	BLDG. DEPT. CORRECTIONS
04	03/24/2017	CODE UPDATE
05	04/12/2017	CLIENT CHANGES
06	08/04/2017	BLDG. DEPT. CORRECTIONS

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SHEET TITLE:
PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 2' BEDRM 2 W/
2' GARAGE EXTENSION

SHEET NO.:

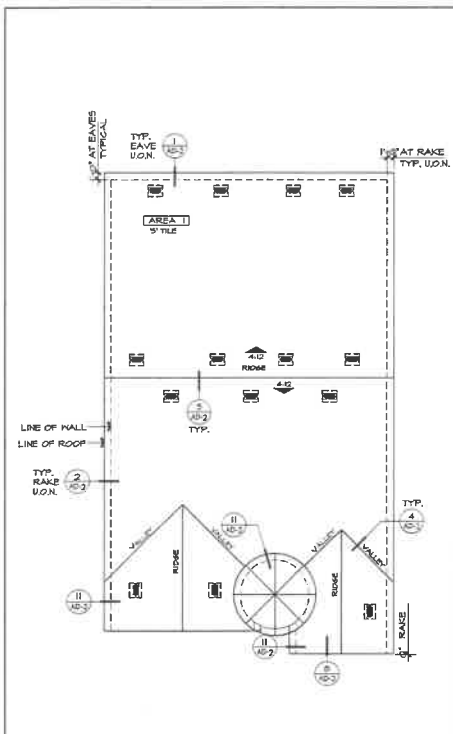
AA.36

ATTIC VENT CALCULATIONS

OPT. 2' BEDROOM 2 W/ 2' GARAGE EXTENSION - 'A' SPANISH ECLECTIC

SCALE: 1/8" = 1'-0"

GROUP:
PLOT DATE:



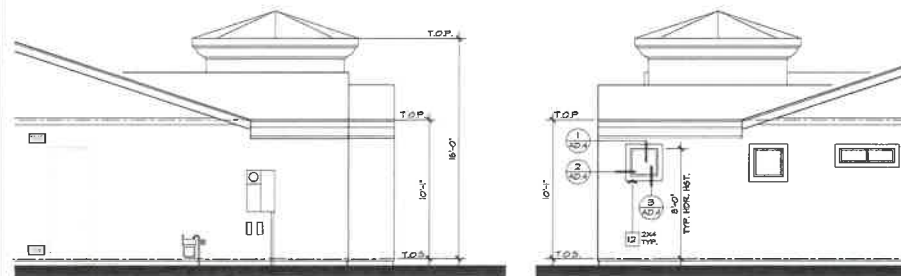
ROOF PLAN 'A'

SCALE: 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

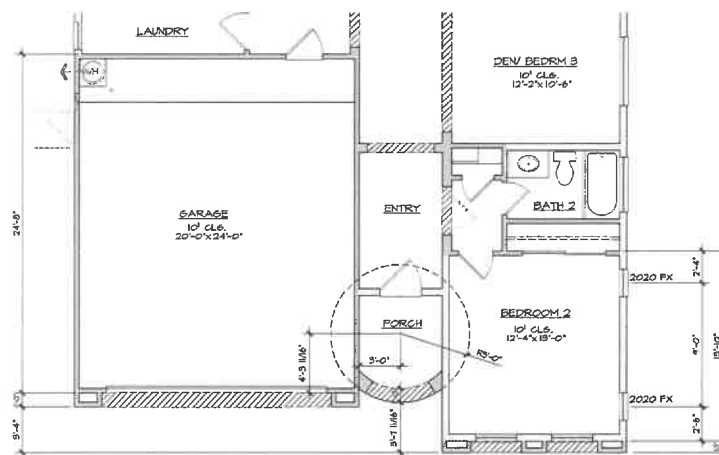
AREA 1				
VENTILATION REQUIRED:	2893	SQ. FT. / 300 =	9	SQ. FT.
		X 1/4" =	108	SQ. IN
		X 3/8" =	848	SQ. IN
VENTILATION PROVIDED:				
1083				
(0) GABLE END VENTS:	92	SQ IN EA =	0	SQ IN
(7) CHIMNEY CROWNED VENTS:	975	SQ IN EA =	8825	SQ IN
LOW				
(7) CHIMNEY CROWNED VENTS:	975	SQ IN EA =	8825	SQ IN
(0) EAVE VENTS "BRODE MOUTH"	12	SQ IN EA =	0	SQ IN
3 PER BAY @ 225" DIA. EA.				1085

ATTIC VENT CALCULATIONS



PARTIAL LEFT ELEV. 'A'

PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. 4' BEDROOM 2 W/ 2' GARAGE EXTENSION - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BPMO ESP-8003)
2. 26 FASCE
3. 24 BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G1 FLASHING
5. G1 DRP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES MAMPD ESI-303
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POP-OUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. PRED. BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. W x 8" G1 SCREED & LAMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
8531 EAST BASIN ROAD SUITE 200A, ANTONIO, ARIZONA 85324
P. 480.342.4422

NO.	DATE	ISSUE / DESCRIPTION
01	01.18.2018	B.L.D.G. DEPT. SUBMITTAL
02	04.26.2018	B.L.D.G. DEPT. CORRECTIONS
03	10.14.2018	B.L.D.G. DEPT. CORRECTIONS
04	03.24.2019	CODE UPDATE
05	04.12.2019	CLIENT CHANGES
06	08.04.2019	B.L.D.G. DEPT. CORRECTIONS

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SHEET TITLE:
PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 4' BEDRM 2 W/
2' GARAGE EXTENSION

SHEET NO.:

AA.37

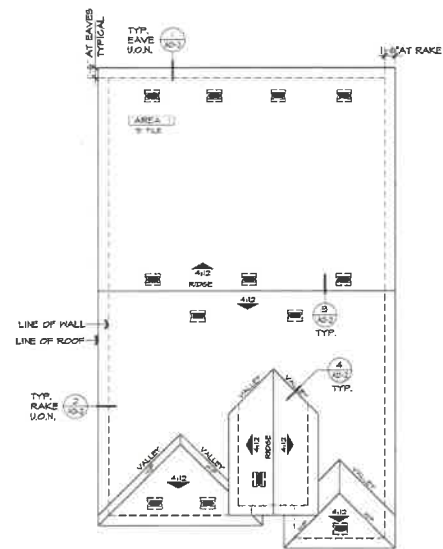
DATE: 08/16/2018
PLOT DATE:



PLAN 1900 ITALIAN FARMHOUSE ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco	7590
stone/brick	2590

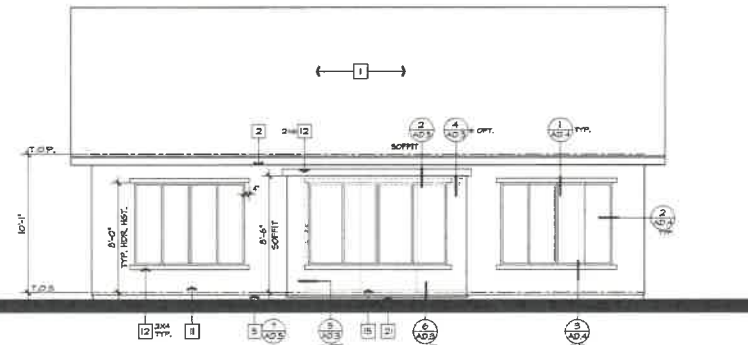


ROOF PLAN 'B'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'B' ITALIAN FARMHOUSE



REAR ELEVATION 'B' ITALIAN FARMHOUSE

ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2581	SQ. FT. / 300 =	86 SQ. FT.
		X 144 =	1238 SQ. IN.
		X 50% =	619 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
(1) LEAGLE END VENTS:	92	SQ. IN. EA. =	0 SQ. IN.
(2) CHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825 SQ. IN.
LOW			
(1) CHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825 SQ. IN.
(2) LEAVE VENTS "BIRD" MOUTH:	12	SQ. IN. EA. =	0 SQ. IN.
3 PER DAY @ 22° D.A. EA.			
			12 SQ. IN. EA. = 0 SQ. IN.

ATTIC VENT CALCULATIONS

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE MAPRO ESR-800J / 26
2. 26 BASCA
3. GARAGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL SLASHING
5. 1/4" DIPS SPOKE
6. NET USED
7. WINDOW ELEVATED AT OPT
8. DECORATIVE LITTER CASE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL, THEMAGLEV
10. STONE/STOCK PORCH WITH DECORATIVE TILES - ESR-258A / 26
11. OUTDOOR PLASTER - REFER TO GENERAL NOTES MAPR-ES23
12. STONE/STOCK PORCH WITH DECORATIVE TILES - ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OUTDOOR PLASTER - REFER TO FLOOR PLAN
16. STONE/STOCK PORCH AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STONE/STOCK PORCH WITH DECORATIVE TILES
18. STONE/STOCK PORCH WITH DECORATIVE TILES - 2" OC
19. CORNER - REFER TO ELEVATION FOR SIZE
20. STONE/STOCK PORCH
21. CONCRETE STONE/STOCK
22. PAVED BACK OUT WINDOW - REFER TO ELEVATION FOR SIZE
23. DECORATIVE LITTER CASE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
24. POLYURETHANE OUTDOOR CUP DRAPED ELEVATION
25. DECORATIVE LITTER CASE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
26. STONE/STOCK BRICK VENER TIR
27. 1/4" P GL SLASHING A LUMBERED VENT
28. GAS SERVICE METER - REFER TO UTILITY PLAN
29. SERVICE VENT - REFER TO UTILITY PLAN
30. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES



INDICATES SLOPE DIRECTION & PITCH
UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE-WFMD EP-1600, Δ
- CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. C' & E'
- CONCRETE S'TILE REFER TO ROOF PLAN - ELEV. A', B' & D'
- ALL ROOFINGS TO BE INSTALLED OVER MINIMUM (8) LAYER OF 30#
- FRUIT FLEECE, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR.
- SPEC.
2. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING
- DETAILS
3. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING
- OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HPS
- OR RIDGES
4. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC SEC. R806.3.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION
- C. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 3'4" ABOVE THE FLUSH LINE PER IRC SECTION 806.2.1 & 2.2A.

VENTILATION SCHEDULE:

-  OMAGN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

Design &
D33
Planning

PRINCIPAL:	DAVID R. MALDONADO
PROJECT MANAGER:	BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

No.	Date	Issue / Description
	07.19.2016	BLDG. DEPT. SUBMITTAL
A	09.26.2016	BLDG. DEPT. CORRECTIONS
A	10.19.2016	BLDG. DEPT. CORRECTIONS
A	03.24.2019	CODE UPDATE
A	04.12.2019	CLIENT CHANGES
A	06.01.2019	BLDG. DEPT. CORRECTIONS

THESE RESULTS WERE REPRODUCED IN A SECOND EXPERIMENT. IN THIS CASE, THE MEAN OF THE FIRST TWO TRIALS WAS USED AS THE BASELINE FOR THE THIRD TRIAL. AGAIN, THE SAME CONCLUSIONS WERE REACHED. THE RESULTS OF THE FIRST TWO TRIALS WERE USED AS THE BASELINE FOR THE THIRD TRIAL. THE RESULTS OF THE FIRST TWO TRIALS WERE USED AS THE BASELINE FOR THE THIRD TRIAL.

SHEET TITLE:

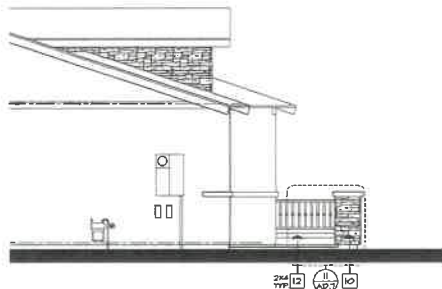
PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'B'
ITALIAN FARMHOUSE
SHEET NO:

AB.21

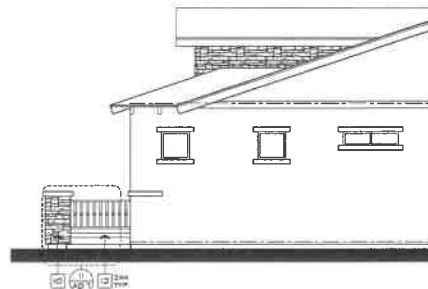
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE : $1/4" = 1'-0"$

CADFILE:
PLOT DATE:



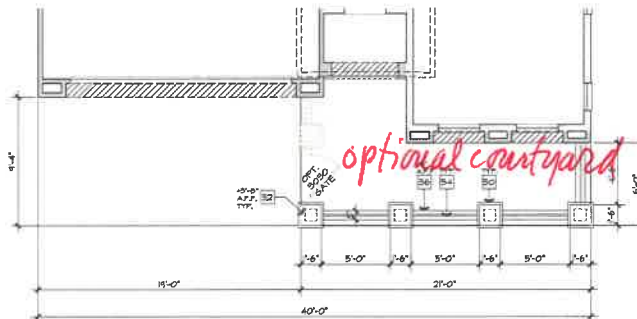
PARTIAL LEFT ELEV. 'B'



PARTIAL RIGHT ELEV. 'B'



PARTIAL FRONT ELEV. 'B'



PARTIAL FLOOR PLAN 'B'

OPT. COURTYARD - 'B' ITALIAN FARMHOUSE

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR. SPEC.
2. DOWNSHOWER SURFACE MOUNT AIR GIP - VERIFY DIM W/ MFR. SPEC.
3. SINK W/ HANDED WRESTER
4. SINK W/ RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.)
5. 3" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
6. BASE CABINETS
7. UPPER CABINETS
8. VANITY W/ KNEE SPACE
9. PANTRY W/ 5 SHELVES
10. ISLAND CABINET
11. DESK
12. WATER CLOSET - 3'7" W.D. x 6'4" D.P. (CL. SPACE 1'7" CL. FROM CENTER OF PICTURE IN EACH DIRECTION PER IRC R307)
13. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSKOT TO 7'2" ABV DRAIN OF MOISTURE RESISTANT GIP. SD - VERIFY DIM W/ MFR. SPEC.
14. DROP-IN TUB ON 2" HIGH FRAMED PLATFORM - VERIFY DIM W/ MFR. SPEC.
15. SHOWER PAN W/ WANSKOT TO 7'2" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GIP. SD - VERIFY DIM W/ MFR. SPEC.
16. LAVATORY - REFER TO SPEC.
17. SHOWER/TOILET ENCLOSURE W/ T.B.
18. TOWEL BAR/ING - PROVIDE 2x SOLID BACKING AT 5' AFF.
19. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 2' AFF.
20. RECESSED MEDICINE CABINET (APPROVED)
21. RECESSED LAVATORY - REFER TO SPEC.
22. SELF - REFER TO PLAN FOR SIZE & QUANTITY
23. WASH/TOILET SPACE - PROVIDE 3" MIN. W/ DRAIN BELOW WASHER FOR WATER AND WASTE. WASH/TOILET VALVES - RECESSED IN WALL. PROVIDE AIR HAMMER ARRESTOR
24. DRYER VENT PER IRC SEC. M1502.1 (2) & (3)
25. PROVIDE LOCK VENT PER IRC SEC. M1502.1 (2) & (3)
26. WATER HEATER - LOCATED ON AN 1" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE PER IRC SEC. M1502.1 (2) & (3) SEE DETAILS
27. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 1/2" & 2" ABV. GRADE & 3" AWAY FROM ANY DR.
28. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
29. WINDOW DELETED WHEN OPT. 4" CABINETS SELECTED
30. NOT USED
31. SHELF & POLE (H-DOUBLED)
32. NOT USED
33. FLAT ROOF - REFER TO PLAN FOR HEIGHT
34. ARCHED ROOF - REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 2" x 3" ATTIC ACCESS PER IRC SEC. R107.1 (2) & (3)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 1" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 1" LAYER OF 1/2" GIP. SD. APPLIED TO GARAGE SIDE PER IRC TABLE 302.6
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 5A/9
49. CONCRETE PLANT WORK - SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT UNQ. 5A/9
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK & LAUNDRY
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
54. 1/2" x 6" GL. SCREENED & LOUVERED EXHAUST VENTS LOCATE 18" AT 4" ABV. GARAGE CURB 1' 6" (1' 6" MIN. 4" BELOW CLG PER IRC M1502.1)
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BAMCO ESP-8000)
2. 2x6 FASCI
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DWP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2506
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (BAMCO ESP-2506)
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C. COINERS - REFER TO ELEVATION FOR SIZE
19. STUCCO OVER SHAPED FOAM TRIM
20. CONCRETE STOODY/POUCH
21. FROD BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
22. DECORATIVE TUBE STEEL RAILING
23. POLYURETHANE OUTLIGNER (OR APPROVED EQUAL)
24. DECORATIVE TUBE STEEL RAILING
25. 2" THICK SYNTHETIC BRICK VENEER TRIM
26. STUCCO RECESS W/ TRIM
27. 1/2" x 6" GL. SCREENED & LOUVERED VENT
28. GAS SERVICE METER - REFER TO UTILITY PLAN
29. SERVICE PANEL - REFER TO UTILITY PLAN
30. A/C CONDENSER - REFER TO UTILITY PLAN

SHRUBS
PLANT DATE

Design & Planning

PRINCIPAL: DAVID R. HALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE DESIGN BLANDFORD HOMES

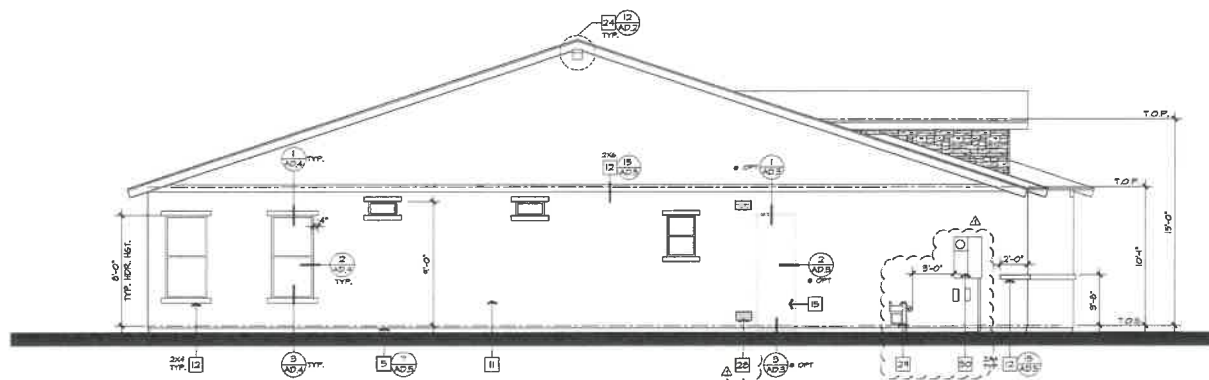
No.	Date	Issue / Description
01	01.15.2015	B.L.D.G. DEPT. SUBMITTAL
02	04.26.2016	B.L.D.G. DEPT. CORRECTIONS
03	10.14.2016	B.L.D.G. DEPT. CORRECTIONS
04	03.24.2017	CODE UPDATE
05	04.12.2017	CLIENT CHANGES
06	03.09.2017	B.L.D.G. DEPT. CORRECTIONS

1. B.L.D.G. DEPT. CORRECTIONS - 01.15.2015
2. B.L.D.G. DEPT. CORRECTIONS - 04.26.2016
3. B.L.D.G. DEPT. CORRECTIONS - 10.14.2016
4. B.L.D.G. DEPT. CORRECTIONS - 03.24.2017
5. B.L.D.G. DEPT. CORRECTIONS - 04.12.2017
6. B.L.D.G. DEPT. CORRECTIONS - 03.09.2017

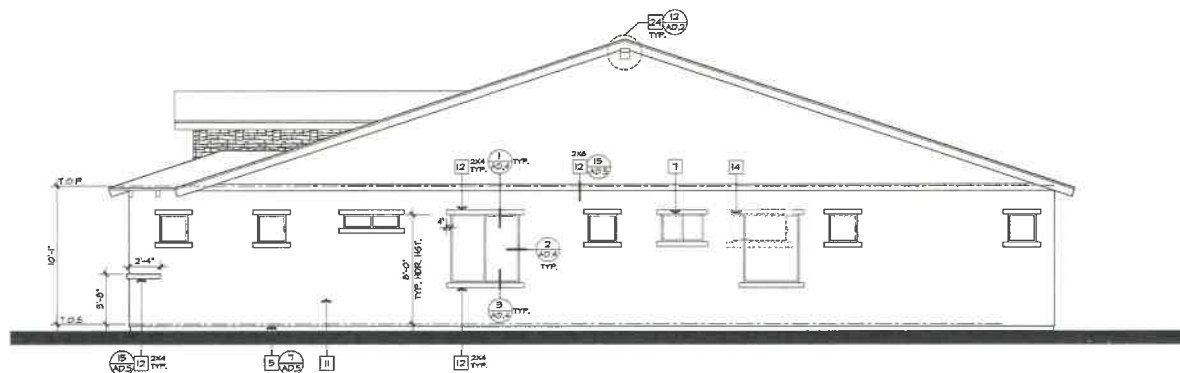
SHEET TITLE:
PLAN 1900
'B' ITALIAN FARMHOUSE
OPT. COURTYARD

SHEET NO.:

AB.32



LEFT ELEVATION 'B' ITALIAN FARMHOUSE



RIGHT ELEVATION 'B' ITALIAN FARMHOUSE

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (W/MD ESR-800)
2. 26 FASCI
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GUT FLASHING
5. GUT DWP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2500
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (M/MD ESR-302)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARP FORM TRIM
21. CONCRETE STUCCO/POUCH
22. FRED, BLACK CUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" GUT SCREED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

PRINCIPAL: DAVID R. HALLDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
HOMES, ARIZONA

BLANDFORD HOMES
1831 EAST BARKER ROAD, SUITE 100, ARIZONA, 85234
P: 480-942-4442

No.	Date	Issue / Description
07.15.2016	BLDG. DEPT. SUBMITTAL	
09.26.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
09.24.2016	CODE UPDATE	
04.12.2016	CLIENT CHANGES	
08.01.2016	BLDG. DEPT. CORRECTIONS	

IF BY THE CLIENT REPRESENTATIVE, REFER TO THE CLIENT REPRESENTATIVE FOR ANY CHANGES TO THE PROJECT. THE CLIENT REPRESENTATIVE SHALL BE RESPONSIBLE FOR ANY CHANGES TO THE PROJECT. THE CLIENT REPRESENTATIVE SHALL BE RESPONSIBLE FOR ANY CHANGES TO THE PROJECT. THE CLIENT REPRESENTATIVE SHALL BE RESPONSIBLE FOR ANY CHANGES TO THE PROJECT.

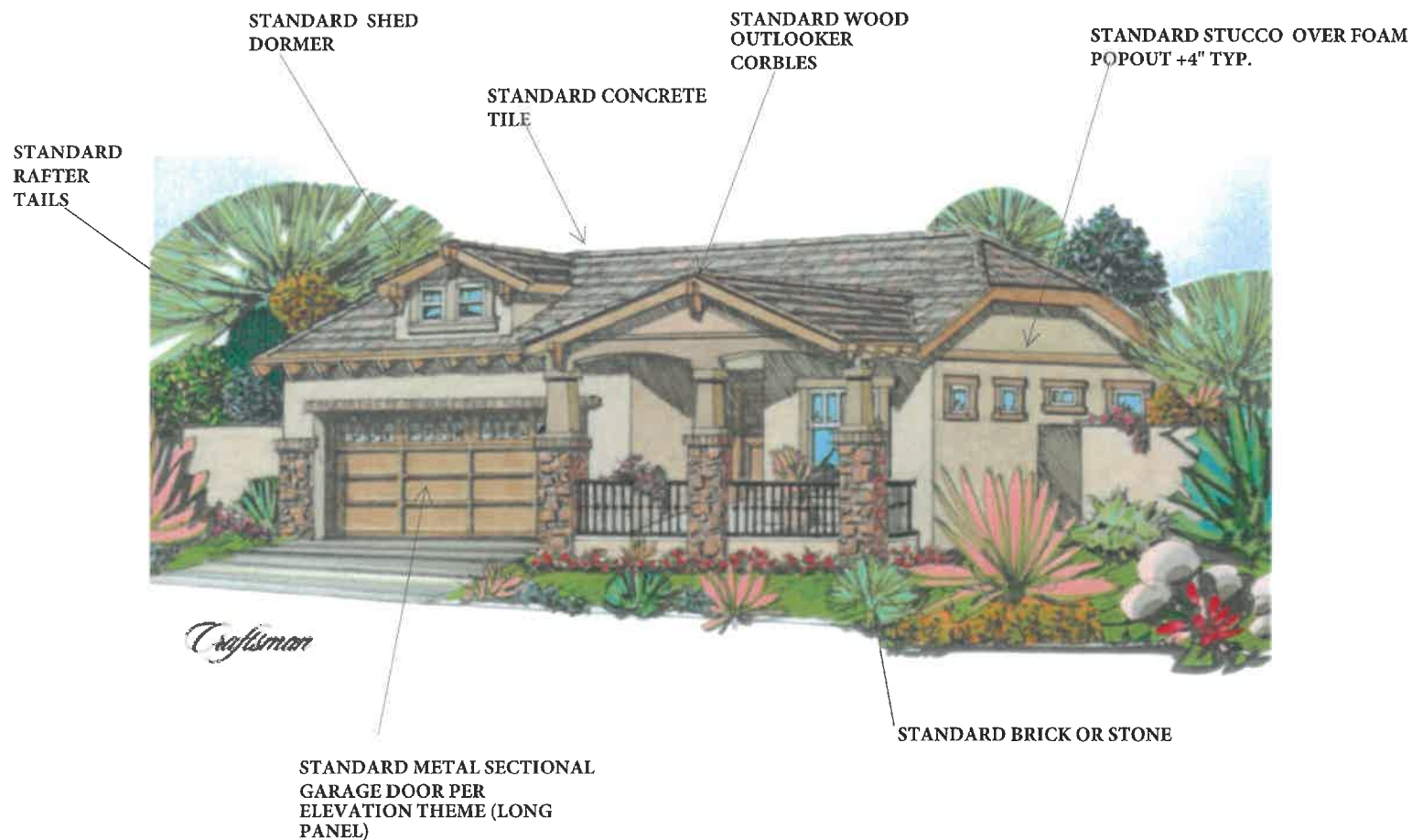
SHEET TITLE:

PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'B'
ITALIAN FARMHOUSE

SHEET NO:

AB.22

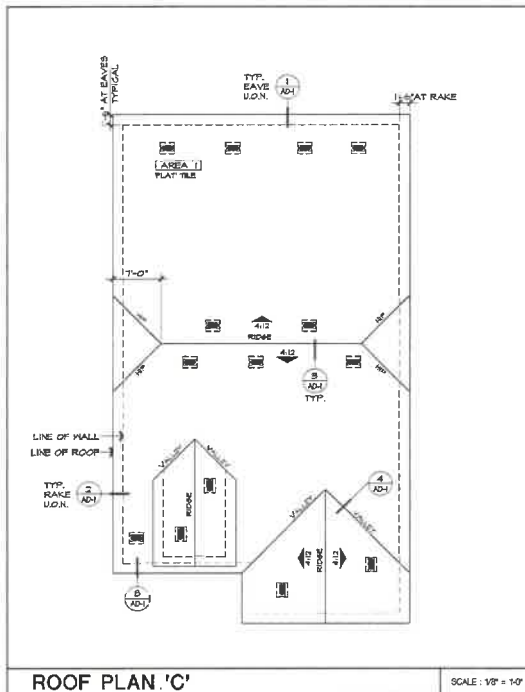
CADFILES
PLOT DATE:



PLAN 1900 CRAFTSMAN ELEVATION

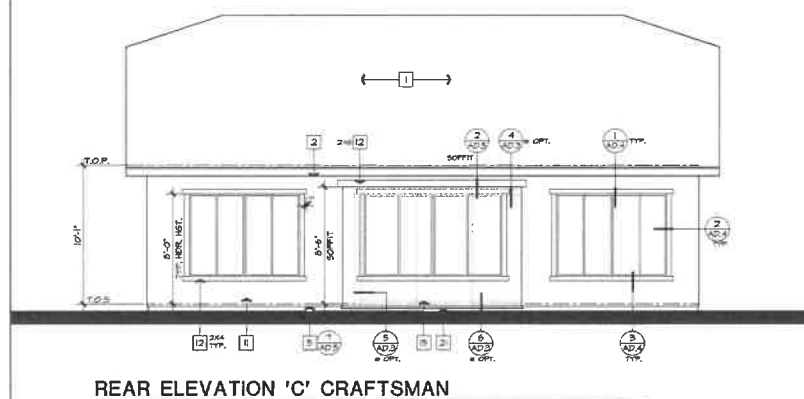
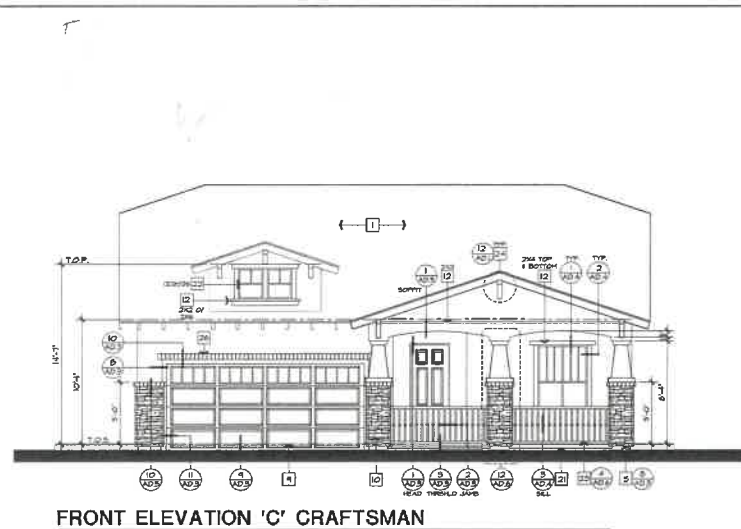
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 75%
brick / stone 25%



ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED:	2703	SQ. FT. / 300 =	90 SQ. FT.
		X 144 =	1296 SQ. IN.
		X 506 =	648 SQ. IN.
VENTILATION PROVIDED			
LOW			
(6) GABLE END VENTS	90	SQ. IN. EA. =	0 SQ. IN.
(7) CHIMNEY CLOWED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
LOW			
(7) CHIMNEY CLOWED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
(3) EAVE VENTS 1800 SQ. IN. EACH	5	SQ. IN. EA. =	0 SQ. IN.
3 PER BAY @ 225 SQ. IN. EA.			1350 SQ. IN.

ATTIC VENT CALCULATIONS



FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE: 1/8" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (W/NO ESR-800) / 1/2"
2. 26 FASCI
3. 2" BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G. FLASHING
5. G. DFP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-208
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (W/NO ESR-208)
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO ROOFLINE W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOODPORCH
22. FRED. BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" G. L. SCREED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

1. INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED
1. ROOF MATERIAL: EAGLE W/NO ESR-800 / 1/2"
2. CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. W, S, & E
3. CONCRETE S/TILE REFER TO ROOF PLAN - ELEV. W, S, & E
4. ALL ROOFING TO BE INSTALLED OVER MINIMUM 1/2" LAYER OF 30# ROOF FELT, WEATHERBOARD L.V.P. INSTALL PER ROOF TILE MFR. SPEC.
5. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
6. NO ROOF PENETRATIONS IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR OTHER VENTS, ETC. TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
7. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER U.G. SEC. 700.3.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION WILL BE 1/100 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1/100 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 1002 EXCEPTION 1 & 2 / 1/2"

VENTILATION SCHEDULE:

- CHIMNEY CLOWED VENT TILE
- MODEL: "FLAT" #50043
- MODEL: "S" #50046
- NET FREE VENT: 9875 SQ. IN. (FLAT) 975 SQ. IN. (S)
- SBCO REPORT No. 9850A

Design & Planning

PRINCIPAL: DAVID R. WALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3831 EAST BARNES ROAD SUITE 100, MESA, ARIZONA 85204
P: 480.303.3412

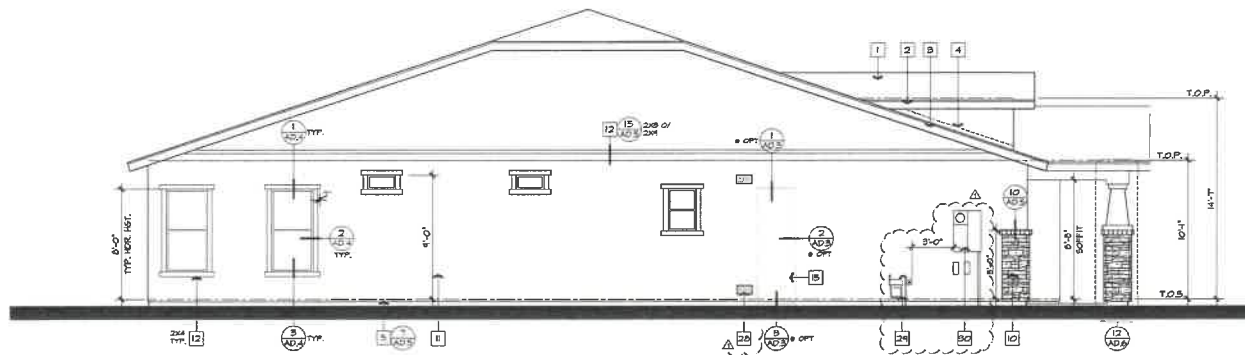
No.	Date	Issue / Description
07.18.2016	BLDG. DEPT. SUBMITTAL	
09.26.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
03.24.2018	CODE UPDATE	
04.12.2018	CLIENT CHANGES	
08.01.2018	BLDG. DEPT. CORRECTIONS	

IF THIS DRAWING IS USED FOR ANY OTHER PROJECT, THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.

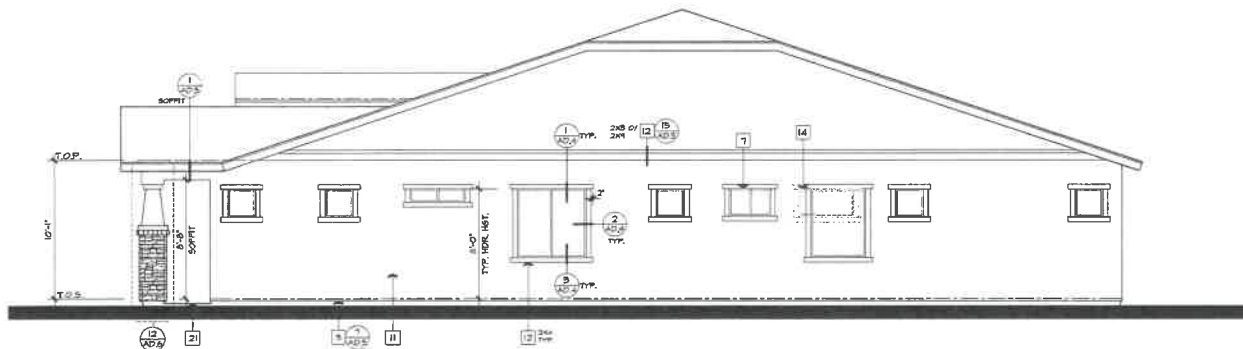
SHEET TITLE:
**PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'C'
CRAFTSMAN**
SHEET NO:

AC.21

GRAPHIC
PLAT DATE



LEFT ELEVATION 'C' CRAFTSMAN



RIGHT ELEVATION 'C' CRAFTSMAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BPAW ESR-800)
2. 2x6 FASOM
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G1 FLASHING
5. G1 DWP SCORED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEM/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BPAW ESR-2568
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POKOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOODPORCH
22. PIED BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL TRAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUIV)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 2" G1 SCORED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. AC CONDENSER - REFER TO UTILITY PLAN

Design &
1033
Planning

PRINCIPAL: DAVID R. HALZONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
HEBA, ARIZONA

BLANDFORD HOMES
3001 EAST PASSAIC ROAD SUITE 200A, ANTONIO, ARIZONA 85004
P: 480.540.4413

No.	Date	Issue / Description
07.13.2016	BLDG. DEPT. SUBMITTAL	
09.26.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
03.24.2016	CODE UPDATE	
04.02.2016	CLIENT CHANGES	
08.07.2016	BLDG. DEPT. CORRECTIONS	

IF IN THE EVENT OF A DISPUTE, THE CLIENT AGREES TO RESOLVE ANY DISPUTES BY MEANS OF MEDIATION OR ARBITRATION. THE CLIENT AGREES TO HOLD THE ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE CLIENT'S NEGLIGENCE OR WILLFUL MISFEASANCE. THE CLIENT AGREES TO HOLD THE ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE ARCHITECT'S NEGLIGENCE OR WILLFUL MISFEASANCE.

SHEET TITLE:
PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'C'
CRAFTSMAN

SHEET NO:

AC.22

CADFILES
PLOT DATE:



PLAN 1900 ANDALUSIAN ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."



ATTIC VENT CALCULATIONS

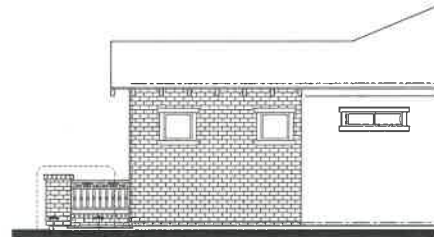


AD.21

CADFILE
PLOT DATE:



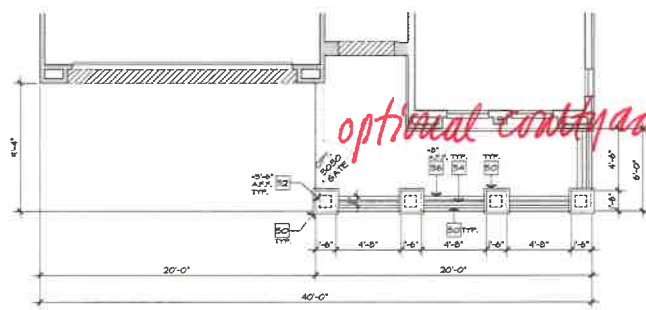
PARTIAL LEFT ELEV. 'D'



PARTIAL RIGHT ELEV. 'D'



PARTIAL FRONT ELEV. 'D'



PARTIAL FLOOR PLAN 'D'

OPTIONAL COURTYARD - 'D' ANDALUSIAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DRAINAGE FROM SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC.
3. SLEIGH RANGEHOOD W/ VENT HOOD (OPT. MICROWAVE) - REFER TO SPEC.
4. 3" CLEAR REFRIGERATION SPACE - PROVIDE PLUMBING FOR ICEMAKER RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 3'7" W.O. x 2'4" D.P. C.L.S. SPACE 18" FROM CENTER OF INLET IN EACH DIRECTION PER IRC R310.1(1)
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSICOT TO 72" ABV DRAIN (1) MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DRAIN - IN TUB ON 2" ABS FRAMED PLATFLOOR - VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WANSICOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHOWERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARRYING - PROVIDE 2x SOLID BACKING AT 24" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
19. RECESSED MEDICINE CABINET (MFR. SPEC.)
20. RECESSED LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHROOM SPACE - PROVIDE SMOOTH PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE WASHING CONTAIN. WASHES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC SEC. M501.4(1)(3))
24. PROVIDE DOOR VENER PER MESH RES. CODE R202
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE (MIN. 2" ABV. - FINISH GRADE PER IRC SEC. M1007.6 & SEC. P2803) SEE DETAILS
26. 18" RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 18" & 24" ABV. GRADE & 3" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (1) DOUBLE
32. NOT USED
33. FLAT ROOF - REFER TO PLAN FOR HEIGHT
34. ARCHED ROOF - REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 22" x 18" ATTIC ACCESS (PER IRC SEC. R802.4.1(1)(1)(2))
40. FAN IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 18 LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.9)
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 51A(9)
49. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNO. 51A(9)
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK & LAUNDRY
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
54. 12" x 12" G.I. SCREENED & LUMBERED EXHAUST VENTS LOCATE 10' AT 4" ABV. GARAGE CURB HGT. 18" WITHIN 4' BELOW C.G. (PER IRC M1002.3)
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFR. ESR-8003)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DWP SCREEN
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MFR. ESR-302)
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO PORTOUT W/ DECORATIVE TUBE SITES
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 18" O.C.
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STUCCOPORCH
22. FROD. BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL BOLLARD
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE TUBE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 18" x 18" G.I. SCREENED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: DEAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
HERA, ARIZONA

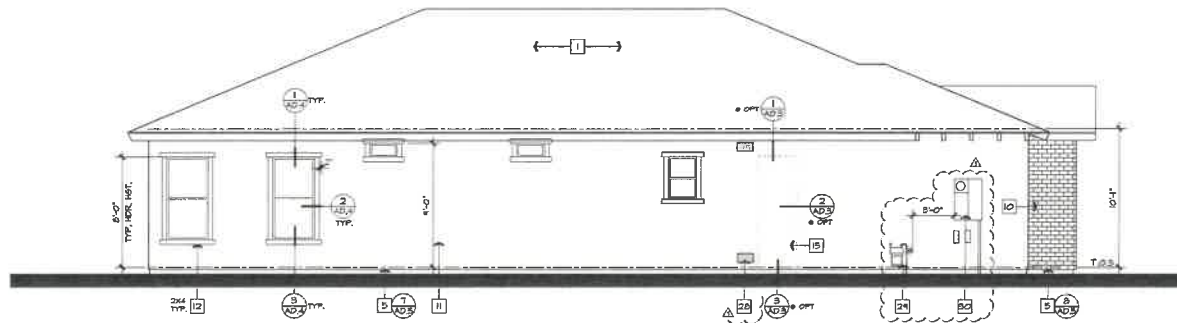
BLANDFORD HOMES
8001 EAST TANKERLE ROAD SUITE 100
PHOENIX, ARIZONA 85024
P. 480.540.4443

NO.	DATE	ISSUE / DESCRIPTION
1	07.18.2019	BLDG. DEPT. SUBMITTAL
2	09.26.2016	BLDG. DEPT. CORRECTIONS
3	10.14.2016	BLDG. DEPT. CORRECTIONS
4	03.24.2016	CODE UPDATE
5	04.12.2016	CLIENT CHANGES
6	08.04.2017	BLDG. DEPT. CORRECTIONS

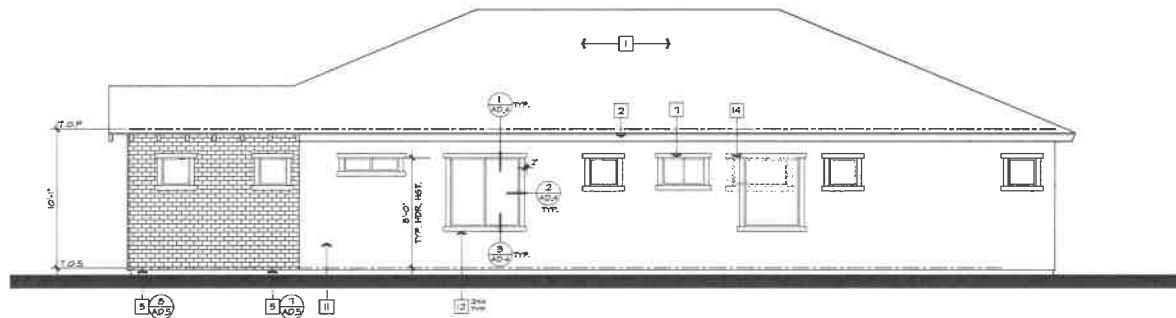
SHEET TITLE:
PLAN 1900 (PLAN 2)
'D' ANDALUSIAN
OPT. COURTYARD

SHEET NO.:

AD.32



LEFT ELEVATION 'D' ANDALUSIAN



RIGHT ELEVATION 'D' ANDALUSIAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BPMO ESR-1000)
2. 2x6 FASCI
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G1 FLASHING
5. G1 DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR, PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-5556
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (BPMO BR-302)
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL FINISH
24. POLYURETHANE OUTLOOKER (FOR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 8" G1 SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3031 EAST SANGRE DE TORO AVENUE, ANTONIO, ARIZONA 85004
P: 480 942-4412

No.	DATE	ISSUE / DESCRIPTION
01	01.15.2018	BLOK DEPT. SUBMITTAL
02	04.25.2018	BLOK DEPT. CORRECTIONS
03	12.14.2018	BLOK DEPT. CORRECTIONS
04	03.24.2019	CODE UPDATE
05	04.12.2019	CLIENT CHANGES
06	08.01.2019	BLOK DEPT. CORRECTIONS

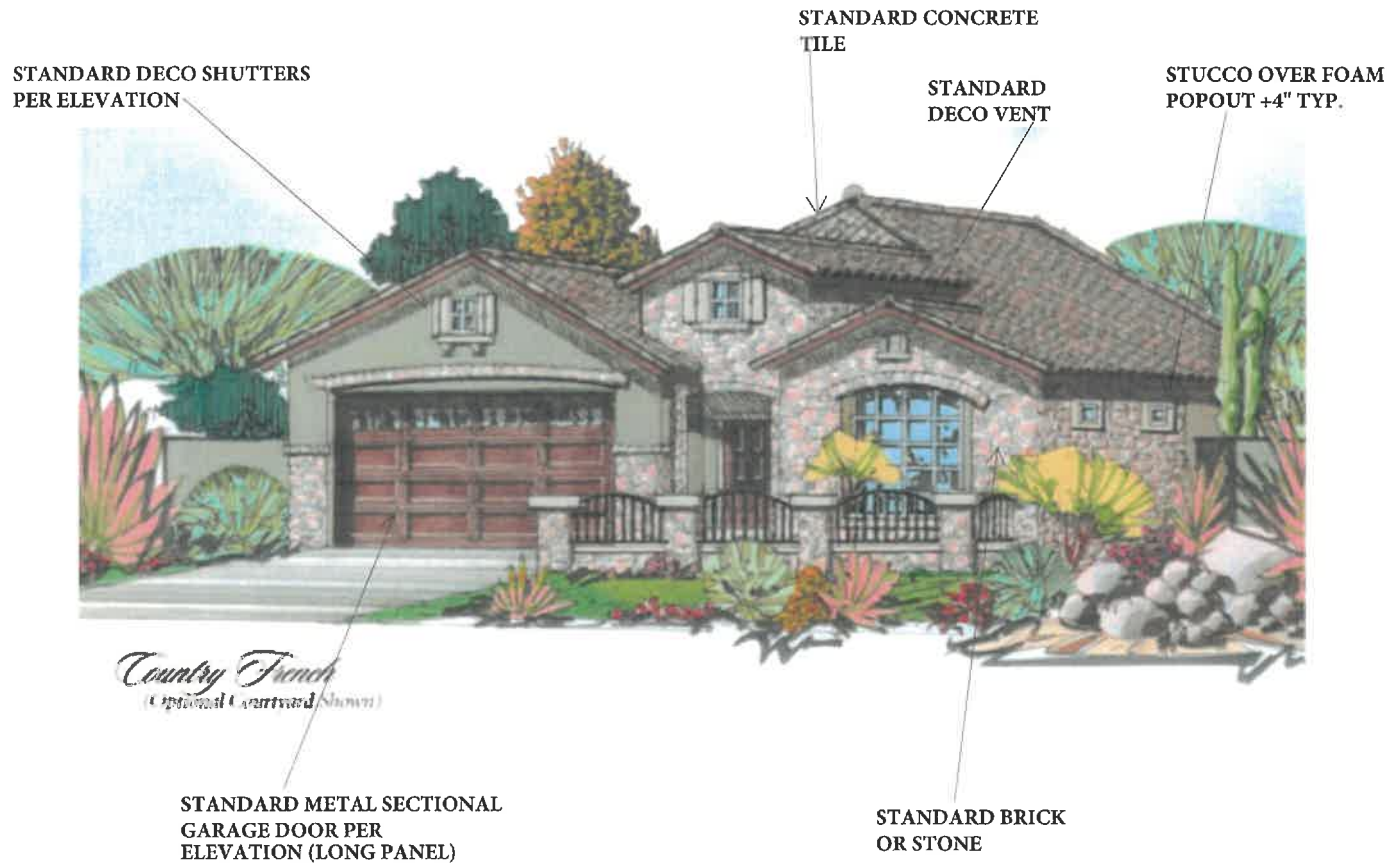
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SHEET TITLE:
PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'D'
ANDALUSIAN

SHEET NO.:

AD.22

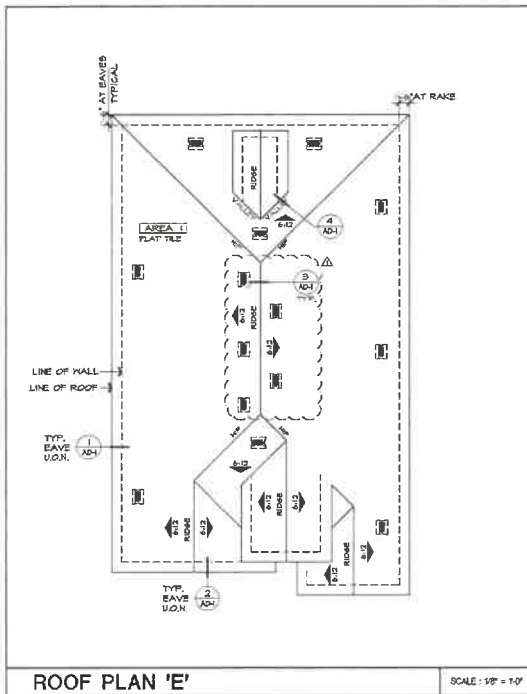
CADFILES
PLOT DATA



PLAN 1900 COUNTRY FRENCH ELEVATION

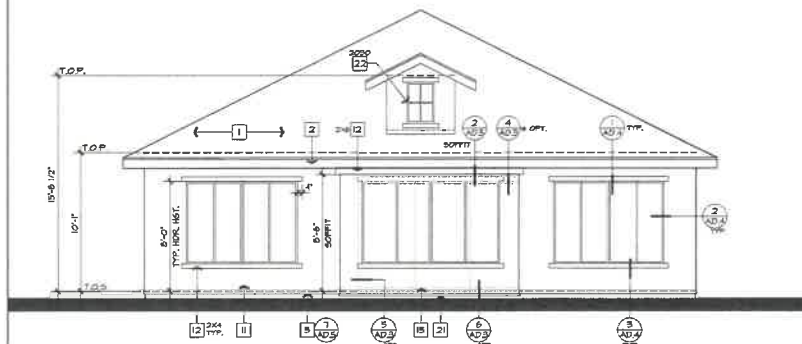
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

brick/stone 7490
stucco 2690



ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED	2561	SQ. FT. / 300 =	85 SQ. FT.
		X 1.14 =	1238 SQ. IN.
		X 50% =	619 SQ. IN.
VENTILATION PROVIDED			
16" LOUVER END VENTS	92	SQ. IN. EA. =	2 SQ. IN.
17" CHIMNEY CROWNED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
LOW			
17" CHIMNEY CROWNED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
10" CHIMNEY CROWNED VENTS	10	SQ. IN. EA. =	100 SQ. IN.
3 PER BAY @ 225" DIA. EA.			
			619 SQ. IN.

ATTIC VENT CALCULATIONS



FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (WPMO ESR-500) / Δ
2. 2x6 FASOM
3. 2x6 BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2550
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (SAMP. EP-302)
12. STUCCO OVER FOAM TYP. SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO ROCKET W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TYP. EQUALLY SPACED 12" OC CORBEL - REFER TO ELEVATION FOR SIZE
19. STUCCO OVER SHAPED FOAM TYP.
20. CONCRETE STUCCO/ROCK
21. FREE BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
22. DECORATIVE TUBE STEEL RAILING
23. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
24. 2" THICK SYNTHETIC BRICK VENEER TRIM
25. STUCCO RECESS W/ TRIM
26. 1/4" x 2" G.I. SCREED & LUMBER VENT
27. GAS SERVICE METER - REFER TO UTILITY PLAN
28. SERVICE PANEL - REFER TO UTILITY PLAN
29. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

- INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED
1. ROOF MATERIAL - EAGLE WPMO ESR-500 / Δ
 2. CONCRETE PLANT TILE REFER TO ROOF PLAN - ELEV. IN 15' & 17'
 3. ALL ROOFING TO BE INSTALLED OVER MINIMUM (8 LAYER) OF 30# ROOF FELT, WEATHERBOARD L.V.P. INSTALL PER ROOF TILE MFR. SPEC.
 4. NO ROOF PENETRATIONS IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRAIN VENTS, ETC. TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
 5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER USC SEC. 9003.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 34" ABOVE THE PLATE LINE PER IRC R502 EXCEPTION 1 & 2 / Δ.

VENTILATION SCHEDULE:

- CHIMNEY CROWNED VENT TILE
- MODEL: "PLAT" #50043
- MODEL: "S" #50046
- NET FREE VENT: 9875 SQ. IN. (PLAT), 975 SQ. IN. (S)
- SBCO REPORT NO. 9650A



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
8301 EAST PAMPAINE ROAD SUITE 100, ANTONIO, ARIZONA 85234
P: 402.543.4422

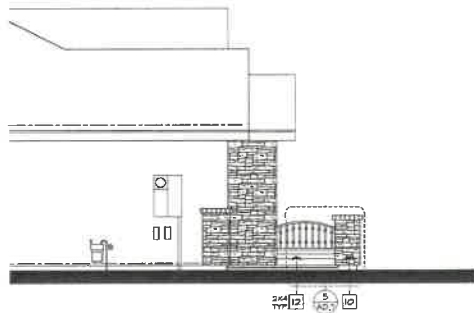
NO.	Date	Issue / Description
01	07.13.2018	BLDGS. DEPT. SUBMITTAL
02	09.26.2018	BLDGS. DEPT. CORRECTIONS
03	10.14.2018	BLDGS. DEPT. CORRECTIONS
04	03.24.2019	CODE UPDATE
05	04.12.2019	CLIENT CHANGES
06	08.01.2019	BLDGS. DEPT. CORRECTIONS

IF THE CLIENT REQUESTS A REVISION TO ANY ITEM, THE CLIENT SHALL BE RESPONSIBLE FOR THE COST OF THE REVISION. THE CLIENT SHALL BE RESPONSIBLE FOR THE COST OF THE REVISION. THE CLIENT SHALL BE RESPONSIBLE FOR THE COST OF THE REVISION.

SHEET TITLE:

PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'E'
COUNTRY FRENCH
SHEET NO:

AE.21



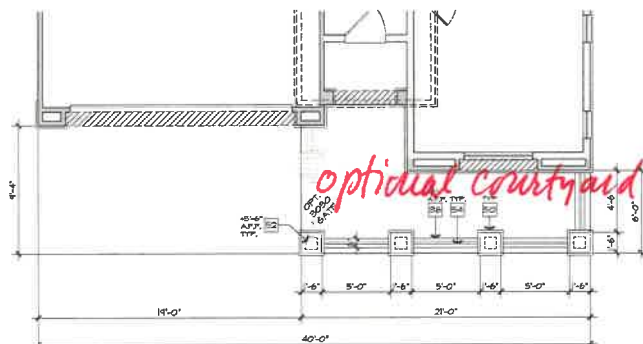
PARTIAL LEFT ELEV. 'E'



PARTIAL RIGHT ELEV. 'E'



PARTIAL FRONT ELEV. 'E'



PARTIAL FLOOR PLAN 'E'

OPT. COURTYARD - 'E' COUNTRY FRENCH

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC.
3. PROVIDE AIR HAMMER ARRESTOR
4. SLEVE IN RANGEMAN W/ VENT HOOD EXFT. MICROWAVE - REFER TO SPEC.
5. 30" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
6. BASE CABINETS
7. UPPER CABINETS
8. VANITY W/ KNEE SPACE
9. PANTRY W/ 5 SHELVES
10. ISLAND CABINET
11. DESK
12. WATER CLOSET 3' W.D. x 2' 4" D.P. CLR. SPACE 8'0" FROM CENTER OF TUB/SHR. IN EACH DIRECTION PER IRC R307
13. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN 0' MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
14. DROPP. IN TUBS ON 2" HIGH FRAMED PLATEFORM. VERIFY DIM. W/ MFR. SPEC.
15. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
16. LAVATORY - REFER TO SPEC.
17. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ TB.
18. TOWEL DRYING - PROVIDE 2x SOLID BACKING AT 24" AFF.
19. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
20. RECESSED MEDICINE CABINET (MFR. SPEC.)
21. PEDestal LAVATORY - REFER TO SPEC.
22. SH-ELF - REFER TO PLAN FOR SIZE & QUANTITY
23. WAINSCOTED SPACE - PROVIDE SMITH PAN W/ DRAIN BELOW WASH. FOR WATER AND WASTE. PROVIDE CORING VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
24. DRYER VENT (PER IRC. SEC. M1502) 4"
25. PROVIDE DOOR VENER PER MEDIA. SPEC. CODE R05
26. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE. MIN 8" ABV. FINISH GRADE PER IRC. SEC. M1070 & SEC. P0303 SEE DETAILS
27. TAP RELIEF VALVE. TERMINATE IN DOWNWARD POSITION BETWEEN 48" & 24" ABV. GRADE & 38" AWAY FROM ANY DR.
28. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
29. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
30. NOT USED
31. SH-ELF & HOLE ID=DOUBLE
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. P0303 & M1003.12)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD. SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 11 LAYER 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIRE BOLLARD SEE DETAIL. S/AD3
49. CONCRETE FURN. WORK. SLOPE 1/4" PER FOOT. UND. S/AD3
50. CONCRETE GARAGE S/AD3. SLOPE 1/4" PER FOOT. UND. S/AD3
51. STONE/BRICK VENER - REFER TO ELEVATIONS
52. OPT. SINK P/ LAUNDRY
53. COUNTRY COUNTRY - REFER TO PLAN FOR HEIGHT
54. 12" x 8" GL. SCREENED & LOUVERED EXHAUST VENTS LOCATE 12" AT 48" ABV. GARAGE CURS NOT, 12" WITHIN 4" BELOW CLR. PER IRC. M1032
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFR. ESR-600) 1/2"
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DWP SPEED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENER - ESR-2506
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MFR. ESR-302)
12. STUCCO OVER FOAM TRIM (PNE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR-REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO PORTF. W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOODPORCH
22. FINED BLACK OUT WINDOW. REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTDOOR (OR APPROVED EQUIV.)
25. DECORATIVE PIRE VENTS
26. 2" THICK SYNTHETIC BRICK VENER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" GL. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MEDIA, ARIZONA

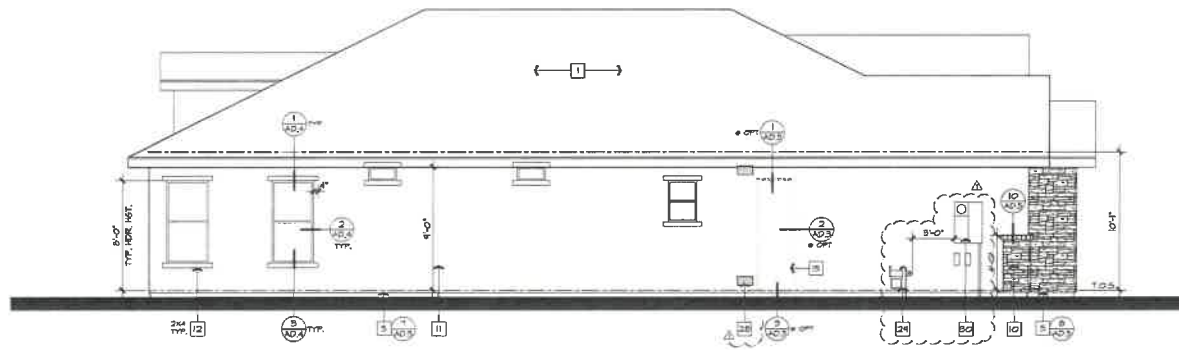
BLANDFORD HOMES
3521 EAST BANGS ROAD SUITE 100, PHOENIX, ARIZONA 85034
P: 480 942 4442

No.	Date	Issue / Description
1	07.18.2016	BLD.G. DEPT. SUBMITTAL
2	08.26.2016	BLD.G. DEPT. CORRECTIONS
3	10.14.2016	BLD.G. DEPT. CORRECTIONS
4	03.24.2017	CODE UPDATE
5	04.12.2017	CLIENT CHANGES
6	08.24.2017	BLD.G. DEPT. CORRECTIONS

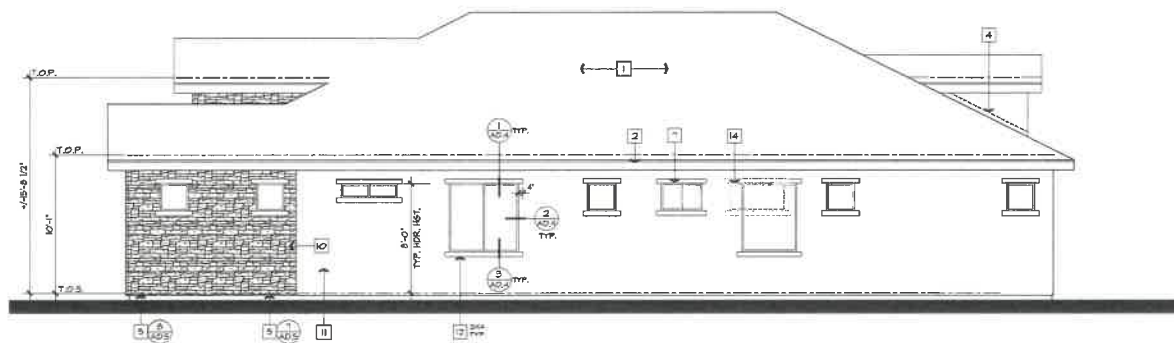
1. 1/4" x 8" GL. SCREENED & LOUVERED EXHAUST VENTS LOCATE 12" AT 48" ABV. GARAGE CURS NOT, 12" WITHIN 4" BELOW CLR. PER IRC. M1032

SHEET TITLE:
PLAN 1900 (PLAN 2)
'E' COUNTRY FRENCH
OPT. COURTYARD

SHEET NO:
AE.32



LEFT ELEVATION 'E' COUNTRY FRENCH



RIGHT ELEVATION 'E' COUNTRY FRENCH

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - ENGLE ROOF TILE (MIMO ESP-800)
2. 2x6 BARGE BOARD - REFER TO ELEVATION FOR SIZE
3. G.I. FLASHING
4. G.I. DRIP SCREED
5. NOT USED
6. WINDOW DELETED AT OPT.
7. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
8. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
9. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2548
10. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MIMO ET-302)
11. STUCCO OVER FOAM TRIM AND TOSSED - REFER TO ELEVATION FOR SIZE
12. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
13. WINDOW AT OPTION - REFER TO FLOOR PLAN
14. OPTIONAL DOOR - REFER TO FLOOR PLAN
15. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
16. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
17. STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
18. CORBEL - REFER ELEVATION FOR SIZE
19. STUCCO OVER SHAPED FOAM TRIM
20. CONCRETE STOOP/PORCH
21. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
22. DECORATIVE TUBE STEEL TRIMMING
23. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
24. DECORATIVE PIPE VENTS
25. 2" THICK SYNTHETIC BRICK VENEER TRIM
26. STUCCO RECESS W/ TRIM
27. 1/2" x 8" G.I. SCREENED & LUMBERED VENT
28. GAS SERVICE METER - REFER TO UTILITY PLAN
29. SERVICE PANEL - REFER TO UTILITY PLAN
30. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3831 EAST RANGLAKE ROAD SUITE 200, ANTONIO, TEXAS
P. 202.545.4442

No.	Date	Issue / Description
01	01.12.2018	BLDG. DEPT. SUBMITTAL
02	07.26.2018	BLDG. DEPT. CORRECTIONS
03	12.14.2018	BLDG. DEPT. CORRECTIONS
04	03.14.2019	CODE UPDATE
05	04.12.2019	CLIENT CHANGES
06	09.04.2019	BLDG. DEPT. CORRECTIONS

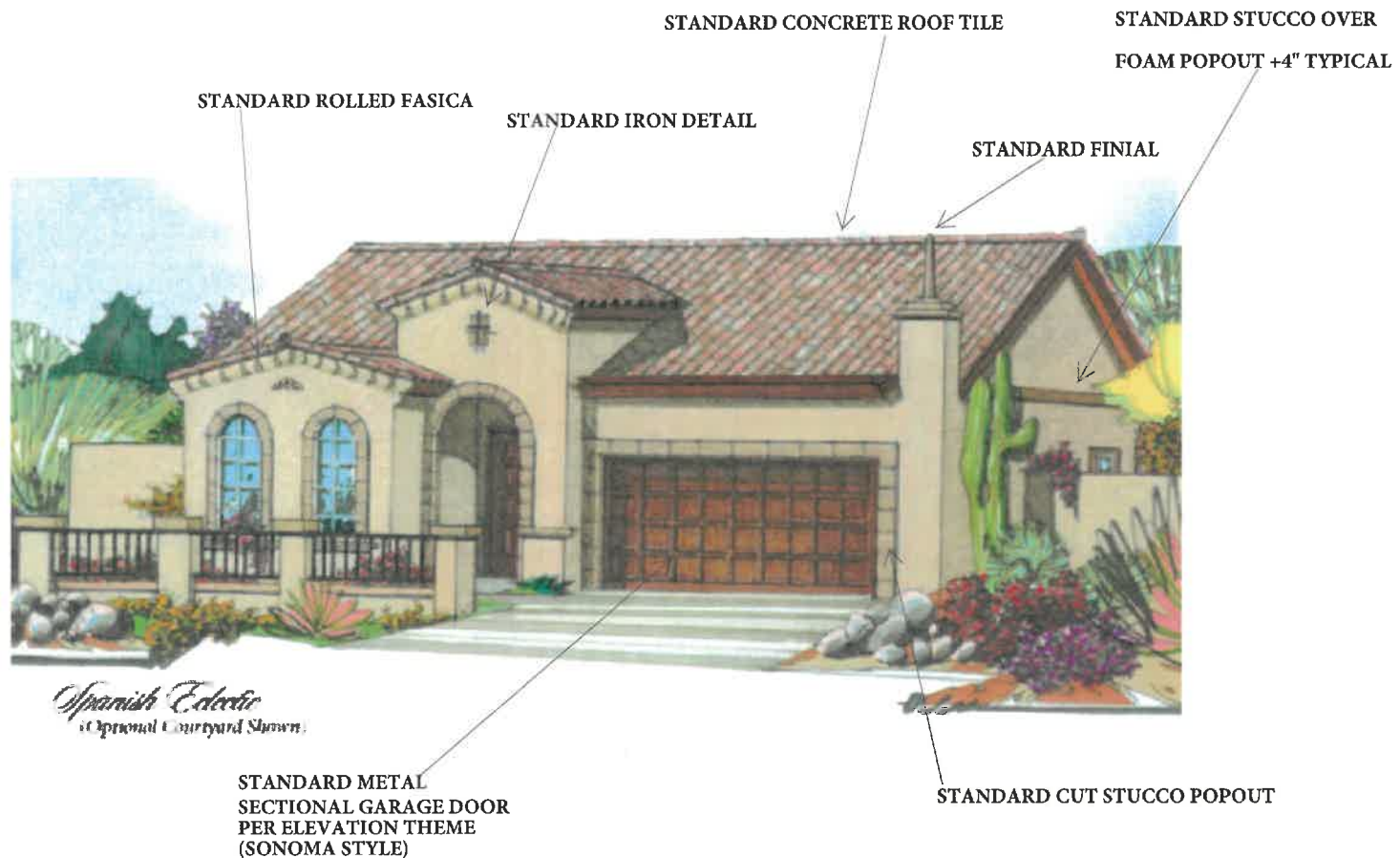
SHEET TITLE:

PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'E'
COUNTRY FRENCH

SHEET NO:

AE.22

CADFILES
PLOT DATE:

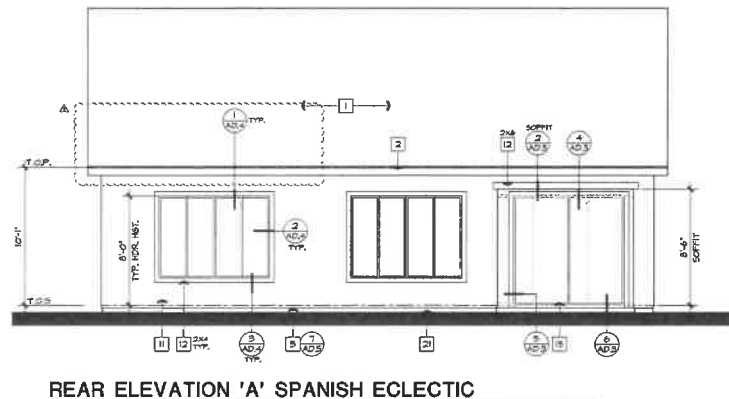
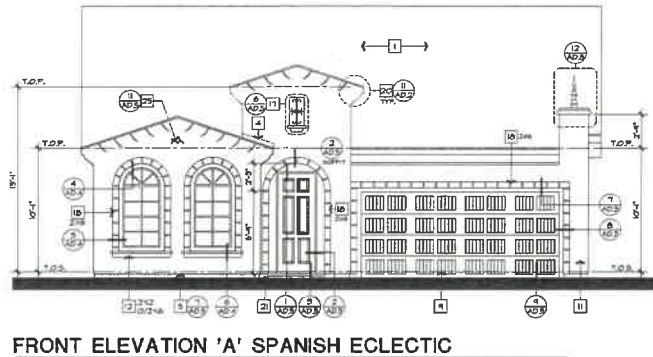
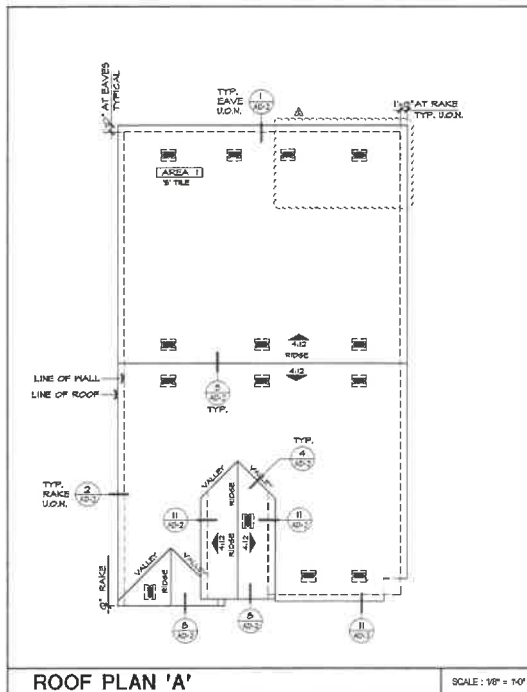


PLAN 2000 SPANISH ELEVATION

BLANDFORD HOMES

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

Stucco 100 90
2nd material 0 90



ATTIC VENT CALCULATIONS			
AREA 1			
VENTILATION REQUIRED:	2721 SQ. FT. / 300 =	91 SQ. FT.	
	X 144 =	130 SQ. IN.	
	X 306 =	856 SQ. IN.	
VENTILATION PROVIDED:			
1 (1) DOUBLE END VENTS	92 SQ. IN. EA. =	92 SQ. IN.	
7 (7) ORNATE CROWNED VENTS	975 SQ. IN. EA. =	6825 SQ. IN.	
LOW			
17 (17) ORNATE CROWNED VENTS	975 SQ. IN. EA. =	6825 SQ. IN.	
1 (1) SANE VENTS "WIDE MOUTH"	12 SQ. IN. EA. =	12 SQ. IN.	
3 PER BAY @ 225 DIA. EA.		675 SQ. IN.	

- ### ELEVATION NOTES
1. ROOF MATERIAL - EAGLE ROOF TILE BAPMO ER-1003
 2. 2x6 FASCIA
 3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
 4. 3/4" FLASHING
 5. 1/2" DWP SCREED
 6. NOT USED
 7. WINDOW DELETED AT OPT.
 8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
 9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
 10. 1" THICK SYNTHETIC STONE/BRICK VENER - ESR-2668
 11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAPMO ER-1003
 12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
 13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
 14. WINDOW AT OPTION - REFER TO FLOOR PLAN
 15. OPTIONAL DOOR - REFER TO FLOOR PLAN
 16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
 17. 2" STUCCO POP-IT W/ DECORATIVE TUBE STEEL
 18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
 19. CORBEL - REFER ELEVATION FOR SIZE
 20. STUCCO OVER SHARPED FOAM TRIM
 21. CONCRETE STOOPIPOPOH
 22. PAINT BLACK OUT WOODEN REFER TO ELEV. FOR SIZE
 23. DECORATIVE TUBE STEEL (PAINT)
 24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
 25. 2" THICK SYNTHETIC BRICK VENER TRIM
 26. STUCCO RECESS W/ TRIM
 27. 1/4" x 1/4" O/S SCREENED & CROWNED VENT
 28. GAS SERVICE METER - REFER TO UTILITY PLAN
 29. SERVICE PANEL - REFER TO UTILITY PLAN
 30. A/C CONDENSER - REFER TO UTILITY PLAN

- ### ROOF PLAN NOTES
- INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.
1. ROOF MATERIAL: EAGLE - BAPMO ER-1003
 2. CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 12' & 12'
 3. CONCRETE 12" TILE REFER TO ROOF PLAN - ELEV. 12' & 12'
 4. ALL ROOFING TO BE INSTALLED OVER MINIMUM 18 LAYER OF 30# ROOF FELT, WEATHERBOARD LAR. INSTALL PER ROOF TILE MFR. SPECS.
 5. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
 6. NO ROOF PENETRATIONS IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
 7. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAISE

- ### ATTIC VENTILATION NOTES:
- WHERE EAVE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER SEC. RC 8003.3.
 - OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
 - ATTIC VENTILATION WILL BE 1/60 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
 - ATTIC VENTILATION WILL BE 1/30 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 2' ABOVE THE PLATE LINE. PER RC 8002 DECEPTION 10 2 2 1/2.

VENTILATION SCHEDULE

CHAGIN CROWNED VENT TILE	
MODEL: "FLAT" #50043	
MODEL: "S" #50046	
NET FREE VENTS: 9075 SQ. IN. (PLAT), 975 SQ. IN. (S)	
SBOCI REPORT No. 9530A	

Design & Planning

PRINCIPAL: DAVID R. HALLIDAY
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
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No.	Date	Issue / Description
08.11.2016	BLDG. DEPT. SUBMITTAL	
09.28.2016	BLDG. DEPT. CORRECTIONS	
10.19.2016	BLDG. DEPT. CORRECTIONS	
11.15.2016	CLIENT CHANGES	
02.22.2017	CLIENT CHANGES	
03.08.2017	CODE UPDATE	
04.10.2017	CLIENT CHANGES	
06.01.2017	CLIENT CHANGES	
08.02.2017	BLDG. DEPT. COMMENTS	

SHEET TITLE:
PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'A'
SPANISH ECLECTIC
SHEET NO:

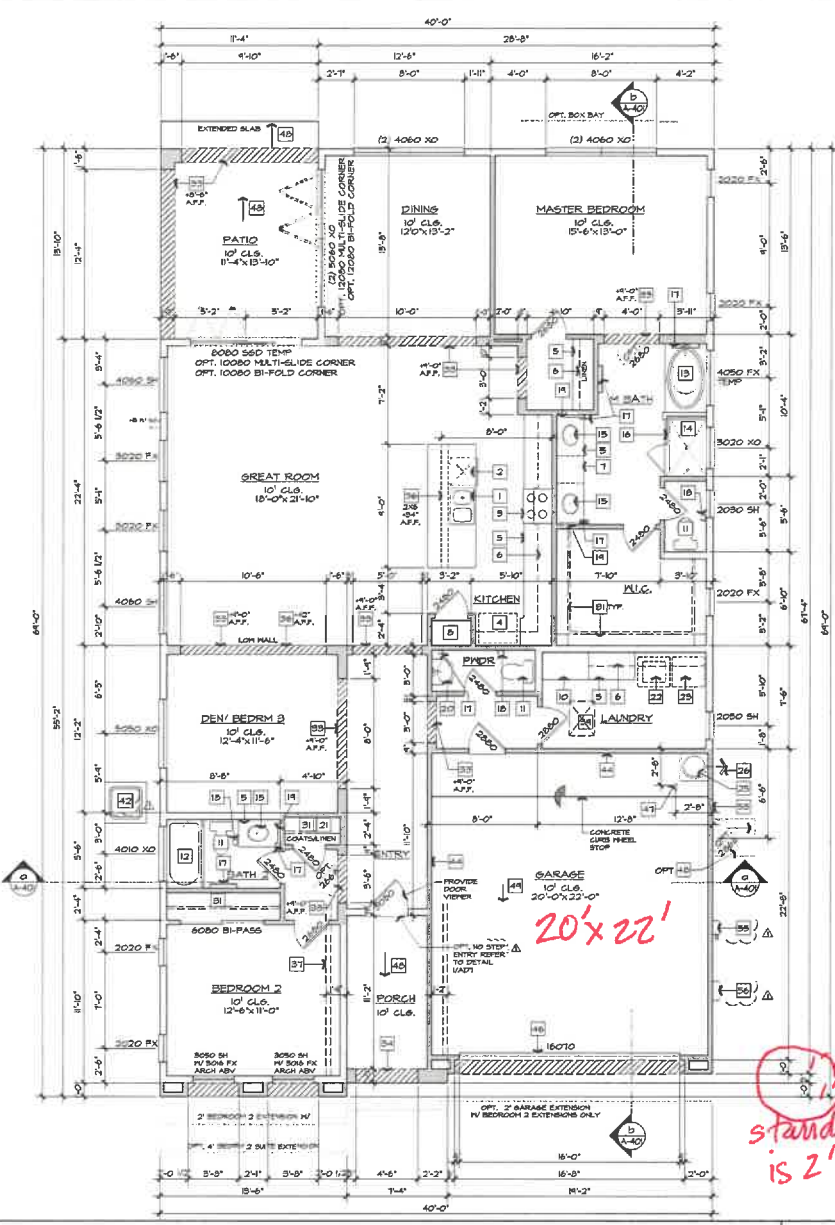
AA.21

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE: 1/4" = 1'-0"

CAD/PLOT
PLOT DATE:



FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER/FRONT SURFACE MOUNT AP GIP - VERIFY DIM. W/ MFR. SPEC.
3. SILENT RANGE/OVEN W/ VENT 1000 CFM, MICROWAVE - REFER TO SPEC.
4. 3P CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMANGER RECESSED IN WALL, PROVIDE AIR HAMMER ARRESTOR - REFER TO SPEC.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTY W/ 5 SHELVES
9. SLAND CABINET
10. DESK
11. WATER CLOSET: 37" NO. 3 2" DR. CLOS. SPACE 87" CLR FROM CENTER OF BUTTLE IN EACH DIRECTION PER IRC 703.10.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANGSCOT TO 72" AHD. DRAIN OF MOISTURE RESISTANT GIP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROPT. IN TUB ON 2" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WANGSCOT TO 72" MIN. AHD. DRAIN OVER MOISTURE RESISTANT GIP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERTPROOF (TEMPERED GL. SHOWER ENCLOSURE W/ 1/4" TONEL. BARING) - PROVIDE 24" SOLID BACKING AT 24" AFD.
17. TOILET PAPER HOLDER - PROVIDE 24" SOLID BACKING AT 24" AFD.
18. RECESSED MEDICINE CABINET (MFR. SPEC.)
19. RECESSED LAVATORY - REFER TO SPEC.
20. SHUTTER - REFER TO PLAN FOR SIZE & QUANTITY
21. HINGED OVERHANG SPACE - PROVIDE 3" SMITH PAN W/ DOWN BLOW WISHER FOR WIND AND WASTE WINDSH. CONTROL. WINDS - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
22. DRYER VENT PER IRC. SEC. M103.1.2 (A)
23. PROVIDE DOOR VENTIL. PER MESA RES. CODE R203
24. WATER HEATER - LOCATED ON 1ST FLOOR PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE. MIN. 1/2" AHD. - FINISH GRADE PER IRC. SEC. M103.1.2 & SEC. P200.9 SEE DETAILS
25. 1/2" RELIEF VALVE TERMINATE IN DOWNHILL POSITION BETWEEN 1/2" & 1/4" AHD. GRADE & 30" AWAY FROM ANY J.A.
26. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
27. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
28. NOT USED
29. NOT USED
30. SHEET & POLE D-DOL-BUILD
31. NOT USED
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. HINGED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22' x 28' ATTIC ACCESS PER IRC. SEC. P103.1.2 (A) M103.1.2
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 48" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 18" LAYER OF 1/2" GIP. BD. APPLIED TO GARAGE SIDE PER IRC TABLE 302.4
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 51A/2
49. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNDO 51A/2
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. SINK & LAVATORY
53. COUNTERTOP COLUMN - REFER TO PLAN FOR HEIGHT
54. 12" x 6" x 8" GL. SCREENED & LAMINATED EXHAUST VENTS LOCATE 18" AT 4" AHD. GARAGE CLOS. HGT. 18" WITHIN 4" BELOW CLOS. PER IRC. M103.2
55. 1/2" STEEL RAILING
56. GAS SERVICE METER - REFER TO UTILITY PLAN
57. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

- 204 WALL
- 205 WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK UNDO. REFER TO PLAN FOR SIZES
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZES)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK W/ SELF CLOSER & TIGHT FITTINGS REFER TO PLAN FOR SIZES OR 20 MIN. PREPARED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZES)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GIP. BD. TO BE APPLIED PER 2008 IRC SECTION 702.2.3 (A)
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ 2008 IRC. SEC. R0101.4
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS
9. ALL GLASS 1/2" OR UNDER RM. FL. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION
10. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBS.
11. GLAZING PER 2008 IRC. SEC. R0601.4 (A)
12. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE U.S. GAS HAZARD. ELEC. E2022 STANDARDS FOR FIXED AND LOCATIONS/DETERMINED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE U.S. SAFETY CERTIFIED.
13. WATER CLOSET TO HAVE AN AVERAGE OF 15 GALLONS PER FLUSH (E202 SEC. 702.2)



PRINCIPAL: DAVID R. MILCHORADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

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No.	Date	Issue / Description
08.11.2016	BLDG. DEPT. SUBMITTAL	
09.26.2016	BLDG. DEPT. CORRECTIONS	
10.19.2016	BLDG. DEPT. CORRECTIONS	
11.15.2016	CLIENT CHANGES	
02.22.2017	CLIENT CHANGES	
03.28.2017	CODE UPDATE	
04.10.2017	CLIENT CHANGES	
05.01.2017	CLIENT CHANGES	
05.04.2017	BLDG. DEPT. COMMENTS	

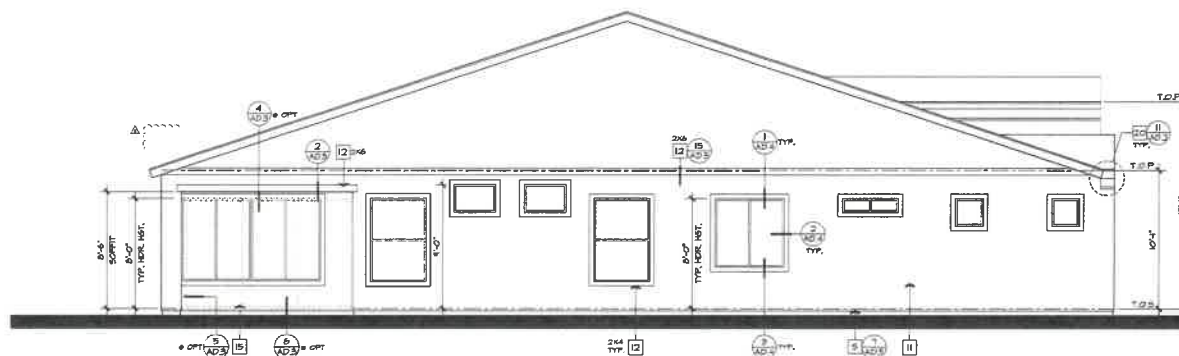
No.	Date	Issue / Description
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03.28.2017	CODE UPDATE	
04.10.2017	CLIENT CHANGES	
05.01.2017	CLIENT CHANGES	
05.04.2017	BLDG. DEPT. COMMENTS	

SHEET TITLE:
**PLAN 2000 (PLAN 3)
FLOOR PLAN 'A'
SPANISH ECLECTIC**

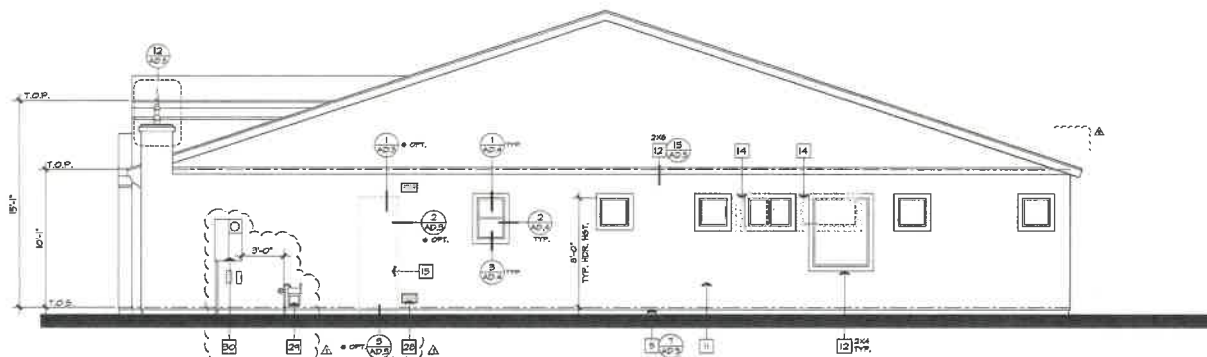
SHEET NO.:
AA.11

FLOOR PLAN 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"



LEFT ELEVATION 'A' SPANISH ECLECTIC



RIGHT ELEVATION 'A' SPANISH ECLECTIC

LEFT AND RIGHT EXTERIOR ELEVATIONS 'A'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MIMO ER-800)
2. 2x6 FASCI
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G. FLASHING
5. G. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MIMO ER-350)
12. STUCCO OVER FOAM TRIM (2x6 INSUL.) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" G. SCREENED & LOUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
ID33
Planning

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PROJECT MANAGER: BRIAN PELLER

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No.	Date	Issue / Description
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09.08.2014	CODE UPDATE	
04.10.2014	CLIENT CHANGES	
06.07.2014	CLIENT CHANGES	
03.04.2014	BLDG. DEPT. COMMENTS	

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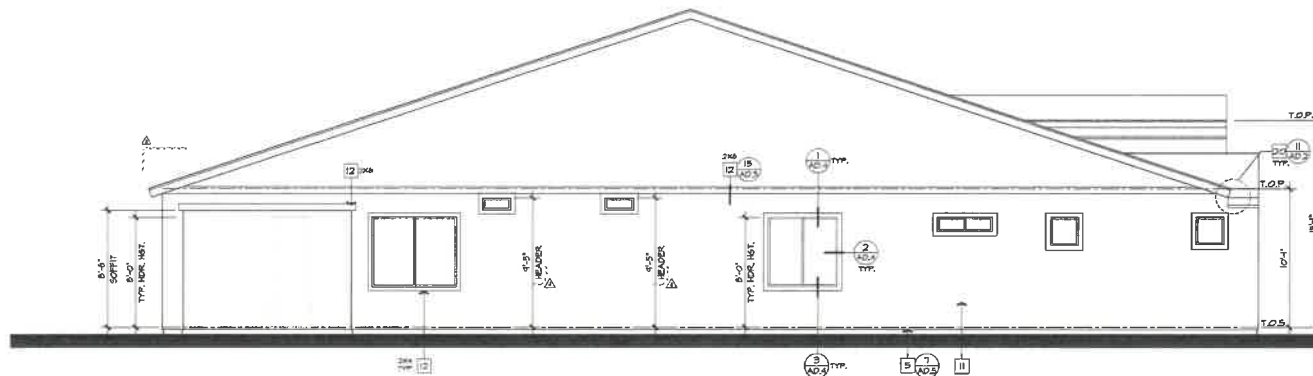
SHEET TITLE:
PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'A'
SPANISH ECLECTIC

SHEET NO.:

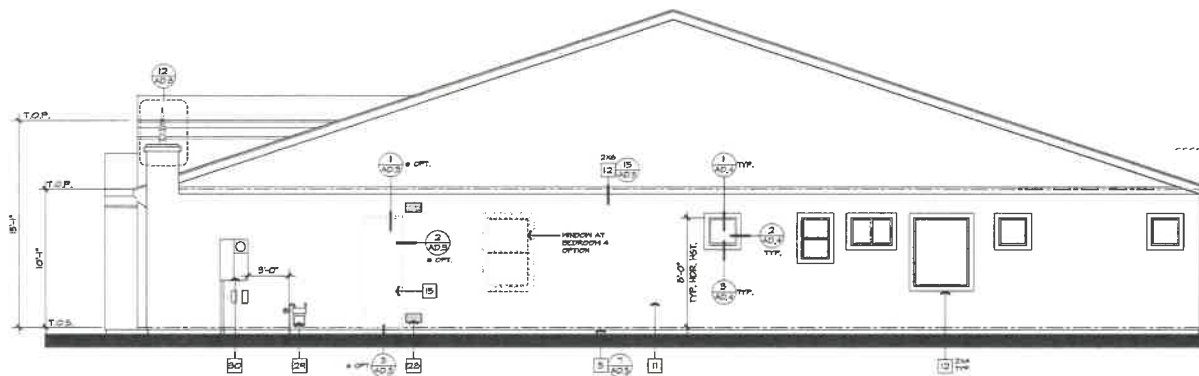
AA.22

CADFILE:
PLOT DATE:

CADDIS-
FLY RATS



LEFT ELEV. 'A'



RIGHT ELEV. 'A'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'A'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE BAPMO ER-3003
2. 2x6 FASCI
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DWP SCHED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAPMO ER-302
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWER - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POP OUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/POUCH
22. RIGID BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. 2" THICK SYNTHETIC BRICK VENEER TRIM
26. STUCCO RECESS W/ TRIM
27. 4" x 8" G.I. W/ROOFED & LOUISIANA VENT
28. GAS SERVICE METER - REFER TO UTILITY PLAN
29. SERVICE PANEL - REFER TO UTILITY PLAN
30. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

- INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED
1. ROOF MATERIAL: EAGLE - BAPMO ER-3003
 2. ALL ROOFING TO BE INSTALLED OVER MINIMUM 18 LAYER OF 30# ROOF FELT, WEATHERBOARD LAY. INSTALL PER ROOF TILE MFR. SPECS.
 3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
 4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 14" OF VALLEY, HIPS OR RIDGES
 5. REFER TO ROOF PLAN FOR OVERHANGS AT EAVE & RAKE

ATTIC VENTILATION NOTES

- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC, SEC. R802.3.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- ATTIC VENTILATION SHALL BE 1%60 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- ATTIC VENTILATION SHALL BE 1%30 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 24" ABOVE THE PLATE LINE PER IRC R802 EXCEPTION 1 & 2.

VENTILATION SCHEDULE

- CHASIN CLOAKED VENT TILE
- MODEL: "FLAT" #50043
- MODEL: "S" #50046
- NET FREE VENTS: 9875 SQ. IN (141.1, 975 SQ. IN) (NDS)
- SBCCI REPORT No. 9650A

Design &
1033
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

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MESA, ARIZONA

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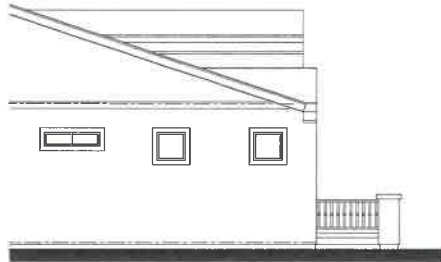
No.	Date	Issue / Description
1	08.11.2016	BLDG. DEPT. SUBMITTAL
2	04.26.2016	BLDG. DEPT. CORRECTIONS
3	10.19.2016	BLDG. DEPT. CORRECTIONS
4	11.15.2016	CLIENT CHANGES
5	02.22.2017	CLIENT CHANGES
6	03.08.2017	CODE UPDATES
7	04.10.2017	CLIENT CHANGES
8	06.21.2017	CLIENT CHANGES
9	08.04.2017	BLDG. DEPT. COMMENTS

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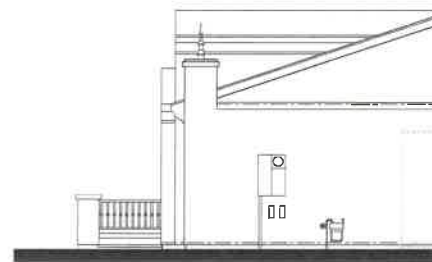
SHEET TITLE:
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

SHEET NO:
AA.39

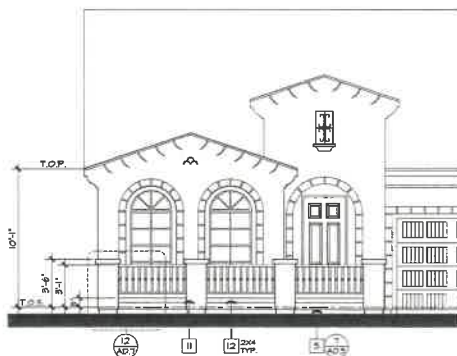
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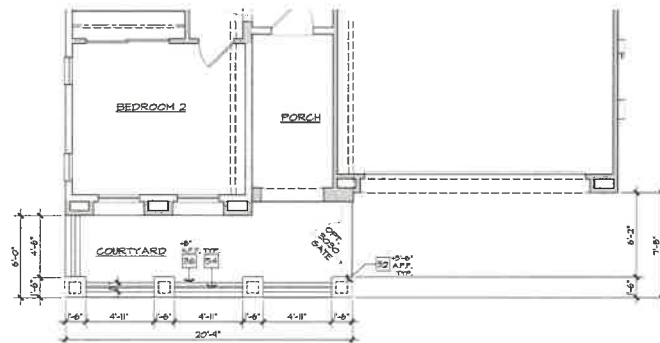
PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FRONT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. COURTYARD - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR SPEC.
2. DOWNSPELLED SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR SPEC.
3. SINK IN HANGE OVER W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.)
4. 32" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR DEMAKER RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 30" WID x 24" DPT. CLR SPACE TO CLR FROM CENTER OF DOOR IN EACH DIRECTION PER IRC (S 1007)
12. TUB/SHOWER COMBINATION W/ CLEAN ROD AND WANSOOT TO 72" ABV DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR SPEC.
13. DRAIN IN TUB ON 2" X 1" HANG FRAME PLATFOAM - VERIFY DIM W/ MFR SPEC.
14. SHOWER PAN W/ WANSOOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM W/ MFR SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF TEMPERED GL. SHOWER ENCLOSURE W/ T.D. TONEL SHARPING - PROVIDE 2x SOLID BACKING AT 52" AFF.
17. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 26" AFF.
18. RECESSED MEDICINE CABINET (APPROVED)
19. FEDERAL LAVATORY - REFER TO SPEC.
20. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
21. WASKER/DRYER SPACE - PROVIDE 30" MIN. W/ TUB IN ROW BELOW WASKER FOR WATER AND WASTE INHIBIT CONTROL VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
22. DRYER VENT PER IRC SEC. M503.2 (2) (A)
23. PROVIDE DOOR VENTIL. PER IBC SEC. 1003.2 (2) (A)
24. WATER HEATER - LOCATED ON AN 18" PLATFOAM TO HAVE A CATHANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE MIN 1/2" ABV. FINISH GRADE PER IRC SEC. M503.2 (2) (A) SEC. 2203.8 SEE DETAILS
25. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 48" & 42" ABV. GRADE & 30" AWAY FROM ANY DR.
26. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
27. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
28. NOT USED
29. SHELF & POLE (D-DOUBLE)
30. NOT USED
31. PLAT. SLOTT - REFER TO PLAN FOR HEIGHT
32. HATCHED SHUTTER REFER TO ELEVATIONS FOR HEIGHT
33. NOT USED
34. LOW WALL - REFER TO PLAN FOR HEIGHT
35. LINE OF FLOORWALL ABOVE
36. NOT USED
37. 32" x 32" ATTIC ACCESS PER IRC SEC. R602.1 (1) (2) (B)
38. FALL IN ATTIC - REFER TO MECHANICAL PLAN
39. 18" LINEN CABINET - REFER TO SPEC.
40. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
41. NOT USED
42. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
43. PROVIDE 18 LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE PER IRC TABLE 302.2
44. NOT USED
45. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
46. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9A/29
47. CONCRETE PLAT. WORK. SLOPE 1/4" PER FOOT
48. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNO. 9A/29
49. STONE/BRICK VENEER - REFER TO ELEVATIONS
50. 18" SINK @ LAUNDRY
51. COURTYARD COLUMNS - REFER TO PLAN FOR HEIGHT
52. 12" x 12" GL. SCREENED & LOUMERED EXHAUST VENTS LOCATE @ 4" ABV. GARAGE CLUB MOT. @ WITHIN 4" BELOW CLG PER IRC M100.2
53. TUBE STEEL RAILING
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE MIMO EA-8008 1/8"
2. 2x6 FASOM
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEM/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES MIMO EA-8008
12. STUCCO OVER FOAM TRIM (PER SMO TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MONITOR - REFER TO ELEVATION FOR SIZE
17. STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARED FOAM TRIM
21. CONCRETE STUCCO/POPCO
22. FIXED BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUIV)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 1/4" GL. SCREENED & LOUMERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. MILLER
PROJECT MANAGER: BRIAN KELLER

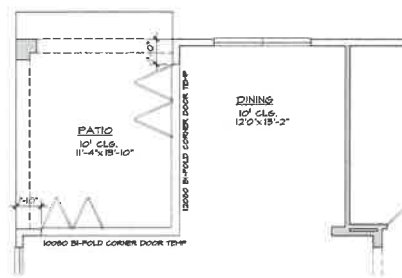
PROJECT NUMBER: 2012 -



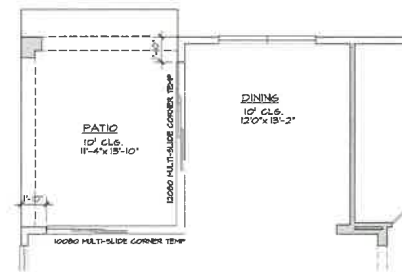
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
	09.26.2016	BLDG. DEPT. CORRECTIONS
	10.14.2016	BLDG. DEPT. CORRECTIONS
	11.15.2016	CLIENT CHANGES
	02.22.2017	CLIENT CHANGES
	05.25.2017	CODE UPDATE
	04.10.2017	CLIENT CHANGES
	06.01.2017	CLIENT CHANGES
	08.01.2017	BLDG. DEPT. COMMENTS

SHEET TITLE:
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. COURTYARD

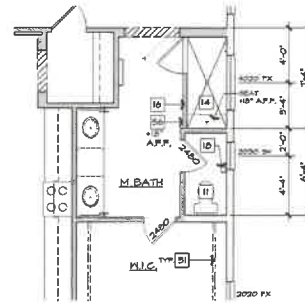
SHEET NO.:
AA.31



OPT. BI-FOLD DOOR



OPT. MULTI-SLIDE DOOR



OPT. WALK-IN SHOWER



OPT. BEDROOM 3

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DOWNSHOWER PROVIDE SURFACE MOUNT AIR GYP. - VERIFY DIM. W/ MFR. SPEC.
3. SLEDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.)
4. 20" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR EXHAUST RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. UTILITY W/ WARE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET: 30" W.D. x 24" D.P. CLR. SPACE 18" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION PER IRC 703.1(2)
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABOVE DRAIN OR MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DRAIN - IN TUB ON 2" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABOVE DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF ITEMPEATED GL. SHOWER ENCLOSURE W/ T&P
17. TOWEL BARRING - PROVIDE 2x SOLID BACKING AT 24" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
19. RECESSED MEDICINE CABINET (REQUIRED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASH DRYER SPACE - PROVIDE 24" MIN. W/ DRAIN BELOW WASHER FOR WATER AND WASTE W/ WINDUP CONTROL VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT PER IRC SEC. M503.1 & M503.1.1
24. PROVIDE DOOR VENT PER MESA RES. CODE 2005
25. WATER HEATER - LOCATED ON AN 8" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE MIN 8" HIGH - FINISH GRADE PER IRC SEC. M207.3 & SEC. P2803 SEE DETAILS
26. 1/2" RAILER VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 18" & 24" ABOVE GRADE & 30" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT - REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 37" ATTIC ACCESS PER IRC SEC. R707 & M505.1(2)
40. CALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS PROVIDE 1/2" MIN. OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE PER IRC TABLE 2008
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PPE BOLLARD SEE DETAIL 9/409
48. CONCRETE FLAT WORK - SLOPE 1/4" PER FOOT
49. CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT UNDO 9/409
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK & LAUNDRY
52. COUNTRY COLUMBIA - REFER TO PLAN FOR HEIGHT
53. 12" W x 8" GL. SCREENED & LOWEDED EXHAUST VENTS LOCATE 1' AT 14" ABOVE GARAGE SLAB HGT. (2 WITHIN 4" BELOW C.G. PER IRC M2003)
54. 1/2" STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

2X4 WALL
2X6 WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, UNDO. REFER TO PLAN FOR SIZE
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK W/ 2" CLOSER & TIGHT FITTINGS PREFER TO PLAN FOR SIZE OR 20 MIN. PRE-PAID DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD. TO BE APPLIED PER CODE IRC SECTION 702.3(3) & W/ 2008 IRC SEC. R703.4
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY WITH 2008 IRC SEC. R703.4
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 8' OR UNDER IN FLA. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION.
9. PROVIDE PRESSURE BALANCE OR THERMO BREAK VALVE TYP. CONTROL VALVES FOR ALL SHOWERS AND TUB COMBO.
10. GLAZING PER 2008 IRC SEC. R703.4 & 703.5
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE U.S. GAS MARKING TEST STANDARDS FOR FIELD AND LOCATION DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED.
12. WATER CLOSET TO HAVE AN AVERAGE OF 16 GALLONS PER FLUSH (AFC) SEC. 402.2



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

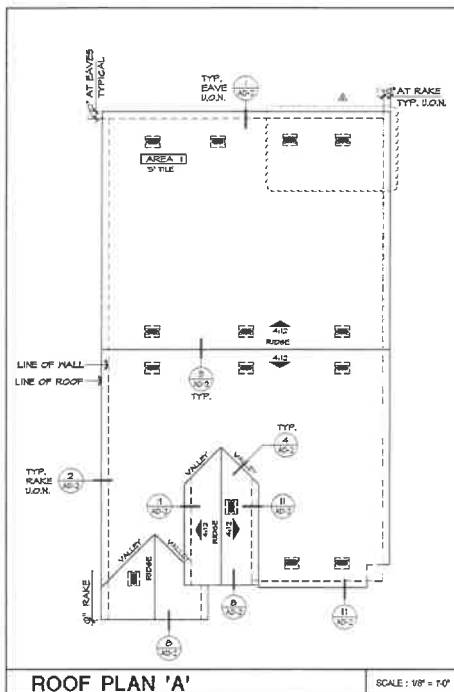
BLANDFORD HOMES
3031 EAST EMERALD AVE. SUITE 100
MESA, ARIZONA 85204

No.	Date	Issue / Description
01	08.11.2016	BLD'G. DEPT. SUBMITTAL
02	09.26.2016	BLD'G. DEPT. CORRECTIONS
03	10.14.2016	BLD'G. DEPT. CORRECTIONS
04	11.15.2016	CLIENT CHANGES
05	02.22.2017	CLIENT CHANGES
06	09.28.2017	CODE UPDATE
07	04.10.2017	CLIENT CHANGES
08	06.07.2017	CLIENT CHANGES
09	05.04.2017	BLD'G. DEPT. COMMENTS

IF THERE ARE ANY CHANGES TO THE PLAN, THE ARCHITECT SHALL BE NOTIFIED IN WRITING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

SHEET TITLE:
**PLAN 2000 (PLAN 3)
FLOOR PLAN 'A' OPTIONS
SPANISH ECLECTIC**

SHEET NO.:
AA.12



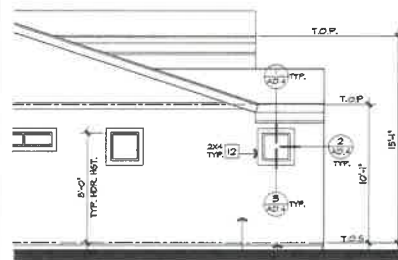
ROOF PLAN 'A'

SCALE: 1/8" = 1'-0"

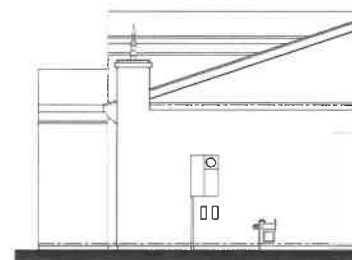
ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2775	SQ. FT. / 300' =	93 SQ. FT.
		X 144' =	1339 SQ. IN.
		X 50% =	670 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
(5) 1 GABLE END VENTS	92	SQ. IN. EA. =	9 SQ. IN.
(7) 1 CHIMNEY CROWNED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
LOW			
(7) 1 CHIMNEY CROWNED VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
(1) 1 EAVE VENT - 3/4" DIA. 1/2" X 1/2"	12	SQ. IN. EA. =	0 SQ. IN.
3 PER BAY @ 2.25" DIA. EA.			135 SQ. IN.

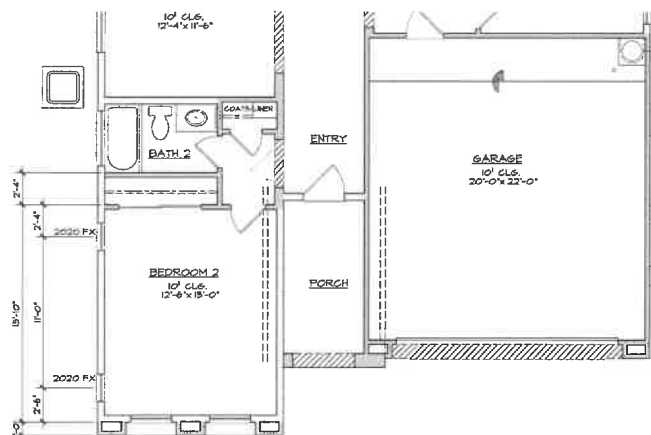
ATTIC VENT CALCULATIONS



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. 4' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (HARDY EX-1000)
2. 2x6 FASOM
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G1 FLASHING
5. G1 DWP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2688
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMO EX-300)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POP-OUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. PAVED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" G1 SCREWED & LOCKWASHED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

2000 EAST SANDRA ROAD, SUITE 100, ANAHEIM, ARIZONA 85212
P: 480.545.4443

No.	Date	Issue / Description
05.11.2016	BLDG. DEPT. SUBMITTAL	
04.28.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
11.13.2016	CLIENT CHANGES	
02.22.2017	CLIENT CHANGES	
03.23.2017	CODE UPDATE	
04.10.2017	CLIENT CHANGES	
06.01.2017	CLIENT CHANGES	
08.04.2017	BLDG. DEPT. COMMENTS	

IF THE CLIENT REQUESTS A REVISION TO THE DESIGN, THE CLIENT SHALL BE RESPONSIBLE FOR THE COST OF THE REVISION. THE CLIENT SHALL BE RESPONSIBLE FOR THE COST OF THE REVISION. THE CLIENT SHALL BE RESPONSIBLE FOR THE COST OF THE REVISION.

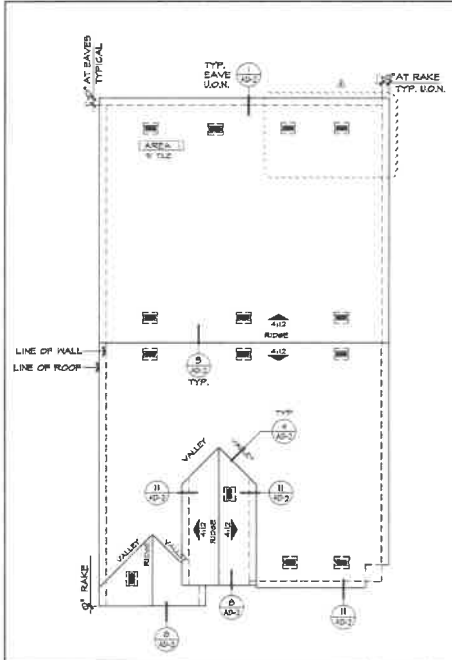
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. 4' BEDROOM 2
EXTENSION

SHEET NO:

AA.33

OWNER:
PLT. DATE:

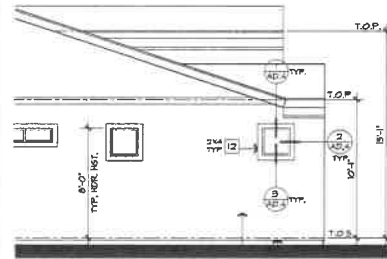


ROOF PLAN 'A'

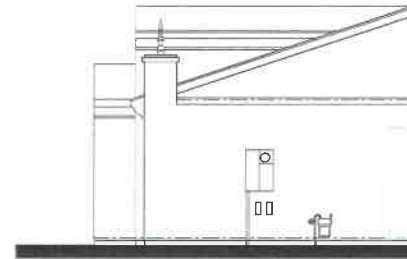
SCALE: 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

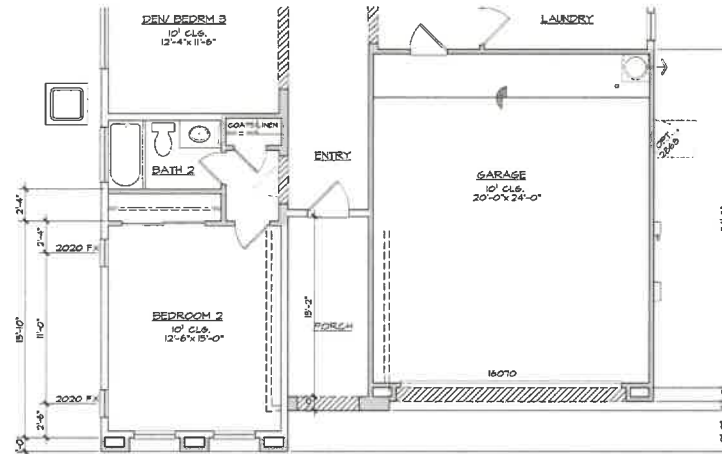
AREA 1				
VENTILATION REQUIRED:	2200	SQ. FT. / 300 =	64	SQ. FT.
		X 144 =	9264	SQ. IN.
		X 60% =	5558	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	30	SQ. IN. EA. =	0	SQ. IN.
(7) CHIMNEY CROWNED VENTS:	875	SQ. IN. EA. =	6825	SQ. IN.
LOW				
(7) CHIMNEY CROWNED VENTS:	875	SQ. IN. EA. =	6825	SQ. IN.
(0) EAVE VENTS THROUGH ROOF:	12	SQ. IN. EA. =	0	SQ. IN.
3 PER BAY @ 222" DIA. EA.				
				1385



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (WMD ER-600) (A)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. CL. FLASHING
5. GLEPP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEMES ELEV. (A)
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (WMD ER-302)
12. STUCCO OVER FLOW TRIM (SND TISSUE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POP-OUT W/ DECORATIVE TUBE STEEL
18. STUCCO OVER SHARPED FLOW TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARPED FLOW TRIM
21. CONCRETE STUCCO/POPOUT
22. TRIM, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTDOOR (FOR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 8" GL. SCREENED & LAMINATED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design &
1033
Planning

PRINCIPAL: DAVID R. HALLIDAY
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
HOMES
MESA, ARIZONA

BLANDFORD HOMES
3021 GUST BLANCK RD. SUITE 100 MESA, ARIZONA 85205
P. 480.943.4472

No.	Date	Issue / Description
1	03.11.2016	BLDG. DEPT. SUBMITTAL
2	04.26.2016	BLDG. DEPT. CORRECTIONS
3	10.14.2016	BLDG. DEPT. CORRECTIONS
4	11.15.2016	CLIENT CHANGES
5	02.22.2017	CLIENT CHANGES
6	03.23.2017	CODE UPDATE
7	04.10.2017	CLIENT CHANGES
8	05.01.2017	CLIENT CHANGES
9	05.04.2017	BLDG. DEPT. COMMENTS

IF A REVISION IS REQUIRED, THE REVISION NUMBER AND DATE MUST BE INDICATED. THE REVISION NUMBER MUST BE INDICATED IN THE REVISION LIST. THE REVISION NUMBER MUST BE INDICATED IN THE REVISION LIST. THE REVISION NUMBER MUST BE INDICATED IN THE REVISION LIST.

SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. 4' BEDROOM 2 EXT.
W/ 2' GARAGE EXT.

SHEET NO:

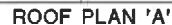
AA.35

ATTIC VENT CALCULATIONS

OPT. 4' BEDROOM 2 EXT. W/ 2' GARAGE EXT. - 'A' SPANISH ECLECTIC

SCALE: 1/8" = 1'-0"

CHECKED
PLOT DATE



SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2744	SQ. FT. / 300 =	81 SQ. FT.
		X 144	1170 SQ. IN.
		X 50% =	685 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
(0) GABLE END VENTS	92	SQ. IN. EA. =	0 SQ. IN.
(7) CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
LOW			
(7) CHIMNEY CROWN VENTS	975	SQ. IN. EA. =	6825 SQ. IN.
(0) EAVE VENTS "BRICK MOUTH"	0	SQ. IN. EA. =	0 SQ. IN.
3 PER BAY @ \$22 D.M. EA.			
			1965 SQ. IN.

ATTIC VENT CALCULATIONS

OPT. BOX BAY - 'A' SPANISH ECLECTIC MST19-11055

FLOOR PLAN NOTES

- [illegible]

ELEVATION NOTES

- 1 ROOF MATERIAL - EAGLE ROOF TILE MAFKO ER-800
- 2 DASH BOARD
- 3 BARGE BOARD - REFER TO ELEVATION FOR SIZE
- 4 GL FLASHING
- 5 FLIP SCROED
- 6 NOT UPLIFTED FROM FLOOR PLAN
- 7 WINDOW DELETED AT OPT.
- 8 ARCHITECTURAL LETTER SIZE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
- 9 SECTIONAL GARCH DOOR PER ARCHITECTURAL THEREAFTER
- 10 WINDOW PARTITION WITH SHUTTERS - SEE 200H
- 11 EXTERIOR PLASTER - REFER TO GENERAL NOTES MAE-ER-350
- 12 SLOTTED OVEN FRAME SHAPES - REFER TO ELEVATION FOR SIZE
- 13 CONCRETE VENT - REFER TO FLOOR PLAN
- 14 WINDOW AT OPT. - REFER TO FLOOR PLAN
- 15 OPTIONAL - REFER TO FLOOR PLAN
- 16 STONE/SKIER TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
- 17 2" SILCOOD POOTH W/ BEADLINE TUBE STEEL
- 18 2" RIBBED VINYL COATED ALUMINUM EQUALLY SPACED 2' O.C.
- 19 CORNER - REFER ELEVATION FOR SIZE
- 20 SLOTTED IN SQUARE FRAME TRIM
- 21 CONCRETE STOOP/PORCH
- 22 PRED, BLACK OUT WINDOW REFER TO ELEV FOR SIZE
- 23 DECORATIVE - REFER TO ELEVATION FOR SIZE
- 24 POLYURETHANE OUTDOOR (OR APPROVED EQUIV)
- 25 DECORATIVE - REFER TO ELEVATION FOR SIZE
- 26 2" THICK SYNTHETIC BRICK VENER TRIM
- 27 STUCCO RECESS W/ TRIM
- 28 1" X 1/2" GL SCREENED & LUMBERED VENT
- 29 GAS SERVICE MASTER - REFER TO UTILITY PLAN
- 30 SERVICE PANEL - REFER TO UTILITY PLAN
- 31 AIR CONDENSER - REFER TO UTILITY PLAN

CADPUB
IN OR BATH

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN WELLS

PROJECT NUMBER: 2012 -

NEW VINTAGE
MERC. & ARTISTON/A

BLAND-FORD-HONES

PHOTOGRAPHY BY CHUCK BIRNBAUM

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
	04.28.2016	BLDG. DEPT. CORRECTIONS
	10.19.2016	BLDG. DEPT. CORRECTIONS
	11.15.2016	CLIENT CHANGES
	02.22.2019	CLIENT CHANGES
	03.08.2014	CODE UPDATE
	04.30.2014	CLIENT CHANGES
	26.07.2014	CLIENT CHANGES
	08.04.2014	BLDG. DEPT. COMMENTS

It has been suggested that the use of the term "disability" is a negative label and that the term "handicap" is a more appropriate term. However, the term "disability" is used in the majority of the literature and is the term used in the majority of the legislation. The term "handicap" is used in the majority of the literature and is the term used in the majority of the legislation. The term "disability" is used in the majority of the literature and is the term used in the majority of the legislation. The term "handicap" is used in the majority of the literature and is the term used in the majority of the legislation.

SHEET TITLE:
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. BOX BAY

SHEET NO:

AA.36



ALTERNATE FLOOR PLAN W/ TANDEM GARAGE ELEV. 'A'



1. SINK W/ GARBOARD DISPOSAL - VERIFY DUB W/ MFR SPEC.
2. DISHWASHER SURFACE MOUNT AIR GAP - VERIFY DUB W/ MFR SPEC.
3. PROVIDE AIR HAMMER ARREST.
4. SLIDE-IN RANGE COVEN W/ VENT HOOD EXPT. MICROWAVE - VERIFY DUB.
5. 3P CLEAR REFRIGERATOR SPACE - PROVIDE FLOORING FOR EDWARDS RECESSED IN WALL PROVIDE AIR HAMMER ARREST.
6. BASE CABINETS
7. UPPER CABINETS
8. WAPNY W/ KNEE SPACE
9. PANTRY W/ SHELVES
10. ISLAND CABINET
11. DESK
12. WATER CLOSET 0' x 2' x 2' OF CLR SPA (BY CLR FROM CENTER OF RATER IN BACK) PROVIDE IN-TOILET RGS RGR
13. BATH CLOSET 10' x 10' x 8' W/ CURTAIN ROD AND HANDCROCK TO TOP OF DOOR - MINIMUM RESISTANT GIP BAL - VERIFY DUB W/ MFR SPEC.
14. DRAIN W/ KILUS ON 2" X 4" HANG FRAMED PLACEMENT - VERIFY DUB W/ MFR SPEC.
15. SHOWER PAN W/ HANDCROCK TO 2" MIN. ADR. DRAIN OVER 1/2" MIN. RESISTANT GIP BAL - VERIFY DUB W/ MFR SPEC.
16. LAVATORY - REFER TO SPEC.

REFER TO BASE PLAN FOR
INFORMATION NOT SHOWN HERE

CADFILES
FILET PLAYS

SHEET TITLE:
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
W/ TANDEM GARAGE
& W/ BEDROOM 4
SHEET NO:

AA.37

PARTIAL REAR ELEV. 'A' (TYP. ALL ELEV.)

PARTIAL FLOOR PLAN

PARTIAL REAR ELEV. 'A' (TYP. ALL ELEV.)

PARTIAL FLOOR PLAN

FLOOR PLAN NOTES

- [illegible]

ELEVATION NOTES

- [illegible]

Design &
D33
Planning

PRINCIPAL: DAVID R. WILSON
PROJECT MANAGER: BRIAN WELLS

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
	09.26.2016	BLDG. DEPT. CORRECTIONS
	10.19.2016	BLDG. DEPT. CORRECTIONS
	11.5.2016	CLIENT CHANGES
	02.22.2017	CLIENT CHANGES
	03.06.2017	CODE UPDATE
	04.30.2017	CLIENT CHANGES
	06.07.2017	CLIENT CHANGES
	08.04.2019	BLDG. DEPT. COMMENTS

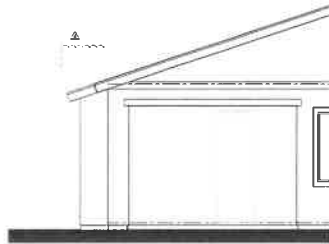
THE UNITED STATES OF AMERICA
DOES hereby certify that the following is a true and correct copy of the original as the same appears in the records of the Department of the Interior, Bureau of Land Management, Washington, D.C.

SHEET TITLE:
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. MULTI-SLIDE •
ALTERNAT FLOOR PLAN

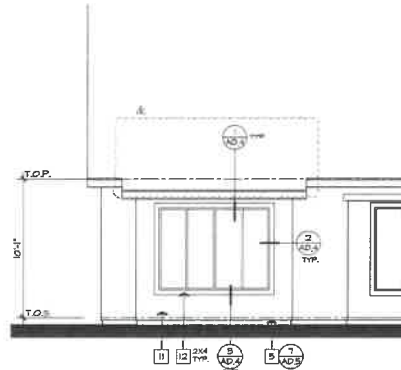
SHEET NO:

AA.310

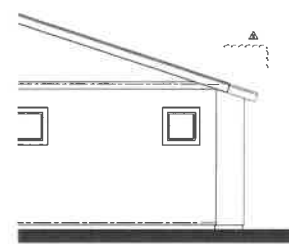
CADFILE
FILE DATE



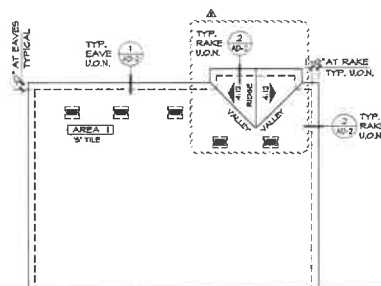
PARTIAL LEFT ELEV. 'A'



PARTIAL REAR ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



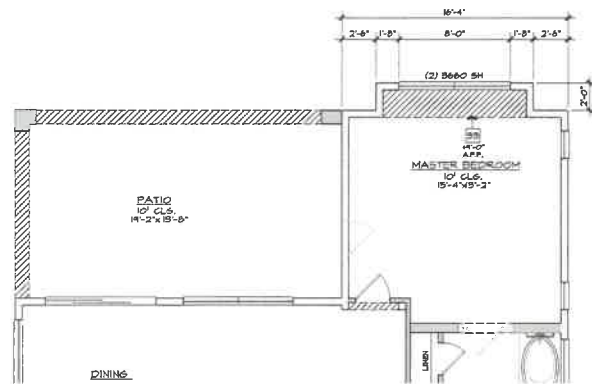
ROOF PLAN 'A'

SCALE: 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	3122	SQ. FT. / 300 =	10.4	SQ. FT.
		X 144 =	1497	SQ. IN.
		X 50% =	749	SQ. IN.
VENTILATION PROVIDED:				
1801				
(8) DOUBLE END VENTS:	90	SQ. IN. EA. =	0	SQ. IN.
(8) CHIMNEY CLOWED VENTS:	878	SQ. IN. EA. =	780	SQ. IN.
LOW				
(8) CHIMNEY CLOWED VENTS:	878	SQ. IN. EA. =	780	SQ. IN.
(9) LEAVE VENTS: "BIRDS MOUTH"	6	SQ. IN. EA. =	0	SQ. IN.
3 PER BAY @ 225" DIA. EA.				
				560

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. BOX BAY @ ALTERNATE FLOOR PLAN - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR SPEC.
2. DOWNSPELDR SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR SPEC.
3. SLEEVES IN RANGE HOOD W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC).
4. 37" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR EXHAUST RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. KITCHEN W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. ISLAND
11. WATER CLOSET 30" WD x 24" DP. CLR. SPACE 18" CLR. FROM CENTER OF PARTURE IN EACH DIRECTION PER IRC 1201.
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND HANDSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR SPEC.
13. DRYER IN TUB ON 20" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR SPEC.
14. SHOWER PAN W/ HANDSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF ITEMIZED GL. SHOWER ENCLOSURE W/ T.B. TOWEL BARRING - PROVIDE 2" SOLID BACKING AT 24" AFF.
17. TOWEL PAPER HOLDER - PROVIDE 2" SOLID BACKING AT 24" AFF.
18. RECESSED MEDICINE CABINET (APPROVED)
19. PEDESTAL LAVATORY - REFER TO SPEC.
20. SHELVE - REFER TO PLAN FOR SIZE & QUANTITY
21. HANGING CLOSET - PROVIDE 24" MIN. W/ DOWN BELOW WORKER FOR WATER AND WASTE CONTROL. VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
22. DRYER VENT PER IRC. SEC. M501 & M502 1/4".
23. PROVIDE DOOR KICKER PER MESA. SPEC. CODE 205.
24. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE. MIN. 1/4" ADV. - FLASH GRADE PER IRC. SEC. M507.3 & SEC. P2803 SEE DETAILS.
25. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 18" & 24" ADV. SPACE & 30" AWAY FROM ANY DS.
26. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED.
27. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED.
28. NOT USED
29. NOT USED
30. NOT USED
31. SHELVE & POLE (DOUBLE)
32. NOT USED
33. PLAT. SLOTT - REFER TO PLAN FOR HEIGHT
34. HANGING SLOTT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 2" x 4" ATT. ACCESS PER IRC. SEC. R807 & M505.12
40. CALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. PIPE SEPARATION GARAGE FROM RESIDENCE AND ATTIC PER IRC. TABLE 302.8
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GRouted PIPE BOLLARD SEE DETAIL 5/409
48. CONCRETE PLAT. WORK. SLOPE 1/4" PER FOOT
49. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNDO 5/403
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK & LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. 12" x 8" GL. SCREENED & LOMERED EXHAUST VENTS LOCATE: (1) AT 4" ADV. GARAGE CLUB HGT. (1) WITHIN 4" BELOW C.O.G. PER IRC. M1202
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE W/IMO ER-8003
2. 26 FASGIA
3. BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL. FLASHING
5. GL. Drip SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEM/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-258
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MIMO ER-8003)
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWDER - REFER TO ELEVATION FOR SIZE
17. STUCCO FINISH W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" OC.
19. CORNELL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHUTTER FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (FOR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" GL. SCREENED & LOMERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
1033
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN FELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3837 EAST EMERALD AVE. SUITE 100, MESA, AZ 85205
P. 480.936.4422

No.	Date	Issue / Description
01	02.11.2016	BLDG. DEPT. SUBMITTAL
02	04.28.2016	BLDG. DEPT. CORRECTIONS
03	10.14.2016	BLDG. DEPT. CORRECTIONS
04	11.15.2016	CLIENT CHANGES
05	02.22.2017	CLIENT CHANGES
06	05.25.2017	CODE UPDATE
07	02.15.2017	CLIENT CHANGES
08	06.21.2017	CLIENT CHANGES
09	06.04.2017	BLDG. DEPT. COMMENTS

SHEET TITLE:
**PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. BOX BAY @
ALTERNATE FLOOR PLAN**

SHEET NO:
AA.311



ATTIC VENT CALCULATIONS



SCALE: 1/4" = 1'-0"

1. ROOF MATERIAL - EAQUE ROOF TILE APARO EN3000 ^{1/2"}
2. 26% FASCA
3. 2. DAPARE BAWO - REFER TO ELEVATION FOR SIZE
4. GLU PING
5. CLIP SPOURED
6. NOT LUNED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. DECORATIVE GROUND POOR PERI AND ICTUAL THEMSELVE
10. DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES ENR-352/2
12. SLOPED DOWN TO INLET SNAI DROUD - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOWN - REFER TO FLOOR PLAN
16. STONE/SKIRP TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" SLOPED POOP UP BY DECORATIVE TUBE STEEL
18. DECORATED CEMENT PLASTER - UNILLY SPACED 2" OC
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. SLOPED OVER BAWO DOWN TRIM
21. CORBEL SPECIFICATIONS
22. DRED, BLACK OUT WINDOW, REFER TO ELEV FOR SIZE
23. DECORATIVE FINE BRICK VENERE TRIM
24. POLYURETHANE OUTDOOR (OR APPROVED EQUE)
25. DECORATIVE PIPE VENTS
26. TRIM SYNTHETIC BRICK VENERE TRIM
27. SLOPED ROCESS WY TRIM
28. CORBELS - REFER TO ELEVATION FOR SIZE
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. CORBELS - REFER TO ELEVATION FOR SIZE

PROJECT NUMBER: 2012 -

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SHEET TITLE:

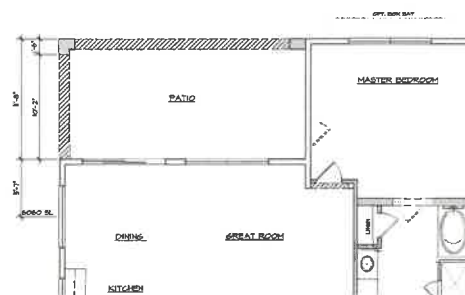
AA.312

CADFILE
FLGT RATE

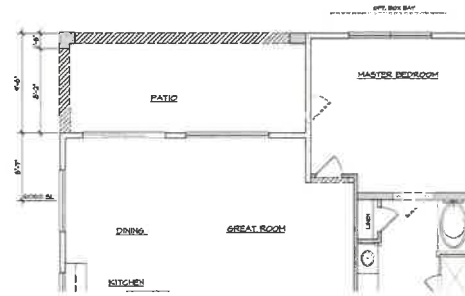
FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DOWNSIDE PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. LINE IN FRANGE OVER W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 37" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKERS (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KITCHEN SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 37" W.D. x 24" D.P. C.L.R. SPACE 18" C.L.R. FROM CENTER OF PICTURE IN EACH DIRECTION PER IRC TO 2007
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WINGS TO 72" ABV. DRAIN W/ MOISTURE RESISTANT G.P. B.D. - VERIFY DIM. W/ MFR. SPEC.
13. CROCK. IN TUB ON 20" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WINGS TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT G.P. B.D. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF TEMPERED GL. SHOWER ENCLOSURE W/ T.D.
17. TONEL BATHING - PROVIDE 2x SOLID BACKING AT 24" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
19. RECESSED MEDICINE CABINET (IMPROVED)
20. JEWELRY LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASH/DRESS SPACE - PROVIDE 50" H.T. W/ TUB IN DOWN BELOW WASHER FOR WATER AND WASTE INHIBIT CONTROL W/ H.S. - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT PER IRC SEC. M1003 (A).
24. PROVIDE DOOR VENTILATION PER MESA RES. CODE R202
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN. 1" ABV. - FINISH GRADE PER IRC SEC. M1003 & SEC. P2003 SEE DETAILS
26. TRIP RELAY VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 40" & 42" ABV. GRADE & 30" AWAY FROM ANY D.P.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D-DOUBLE)
32. NOT USED
33. PLAT. SLOTT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOUTH-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 22" x 37" ATTIC ACCESS PER IRC SEC. R107 AT M1003/12
40. FAULT IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 18" LAYER OF 1/2" G.P. B.D. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.4)
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/4/09
49. CONCRETE PLAT. WORK SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB SLOPE 1/4" PER FOOT UNQ. SPACED
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SW. & LAUNDRY
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
54. 12" x 8" GL. SCREENED & LOOMERD EXHAUST VENTS LOCATE 18" AT 4" ABV. GARAGE CLUB HGT. 18" WITHIN 4" BELOW CLUB PER IRC M1003
55. 1/2" STEEL RAILING
56. GAS SERVICE METER - REFER TO UTILITY PLAN
57. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE



OPT. 2' EXTENDED DINING/ GREAT ROOM INTO PATIO



OPT. 4' EXTENDED DINING/ GREAT ROOM INTO PATIO

ALTERNATE FLOOR PLAN OPTIONS

SCALE: 1/4" = 1'-0"



PRINCIPAL: DAVID R. MULLOCH
PROJECT MANAGER: BRIAN FELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3821 EAST BROADWAY, SUITE 100, MESA, ARIZONA 85205
P. 480.542.4442

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
▲	04.26.2016	BLDG. DEPT. CORRECTIONS
▲	10.14.2016	BLDG. DEPT. CORRECTIONS
▲	11.15.2016	CLIENT CHANGES
▲	02.22.2017	CLIENT CHANGES
▲	09.05.2017	CODE UPDATE
▲	04.12.2017	CLIENT CHANGES
▲	05.01.2017	CLIENT CHANGES
▲	05.01.2017	BLDG. DEPT. COMMENTS

SHEET TITLE:
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
OPTIONS

SHEET NO:
AA.37-1

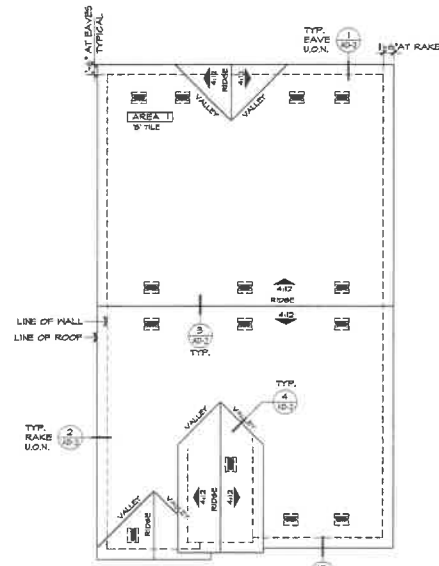
CAD/PLOT
PLOT DATE:



PLAN 2000 ITALIAN FARMHOUSE ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stone / brick	55%
stucco	45%



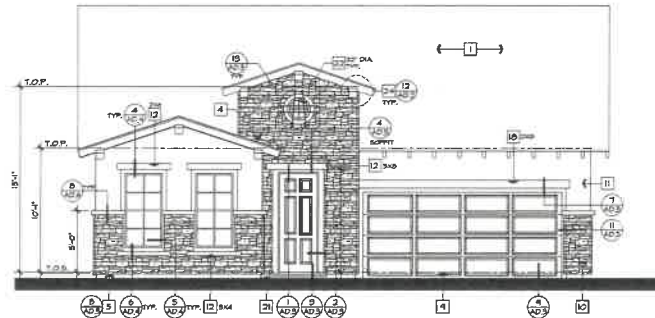
ROOF PLAN 'B'

SCALE : $\frac{1}{8}" = 1'-0"$

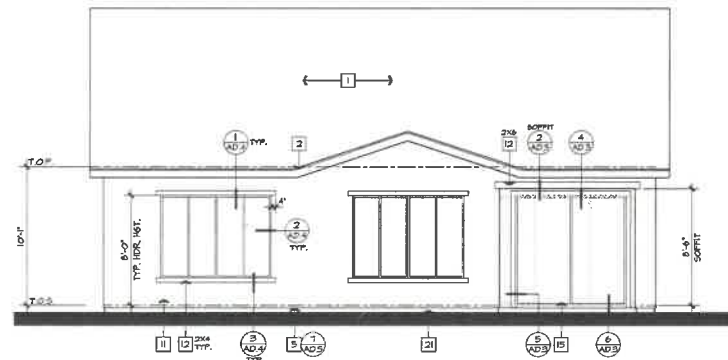
ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2,721	SQ. FT. / 300 =	9.1 SQ. FT.
		X 144 =	1,310 SQ. IN.
		X 50% =	655 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
() DABLE END VENTS:	92	SQ. IN. EA =	0 SQ. IN.
(7) CHAIGN CLOAKED VENTS:	975	SQ. IN. EA =	6825 SQ. IN.
LOW			
(7) CHAIGN CLOAKED VENTS:	975	SQ. IN. EA =	6825 SQ. IN.
() LEAVE VENTS 18" OR MORE:	2	SQ. IN. EA =	0 SQ. IN.
3 PER DAY @ 22° DA. EA.			
			1,065 SQ. IN.

ATTIC VENT CALCULATIONS



FRONT ELEVATION 'B' ITALIAN FARMHOUSE



REAR ELEVATION 'B' ITALIAN FARMHOUSE

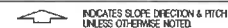
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE BAFNO GR-9000 5' X 10' 1/2"
2. DRAIN BASIN
3. DRAIN BASIN - REFER TO ELEVATION FOR SIZE
4. GL CLASHING
5. GL DRAIN SPORE
6. NOT TO INTERFERE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
7. WINDOW DELETED AT OPT
8. DECORATIVE PLASTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEMSELVES
10. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAF-382/3
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAF-382/3
12. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
13. WINDOW AT OPTION - REFER TO FLOOR PLAN
14. EXTERIOR PLASTER - REFER TO FLOOR PLAN
15. STONE/CORBEL TRIM AT MOUND - REFER TO ELEVATION FOR SIZE
16. STONE/CORBEL TRIM AT MOUND - REFER TO ELEVATION FOR SIZE
17. STONE/CORBEL TRIM AT MOUND - REFER TO ELEVATION FOR SIZE
18. STONE/CORBEL TRIM AT MOUND - REFER TO ELEVATION FOR SIZE
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. STONE/CORBEL TRIM AT MOUND - REFER TO ELEVATION FOR SIZE
21. CONCRETE STOODPOOF
22. RIGID BUILT-UP WINDOW - REFER TO ELEVATION FOR SIZE
23. DECORATIVE PLASTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
24. POLYURETHANE OUTLOOKER (DR APPROVED ELEVATION)
25. DECORATIVE PLASTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
26. STICK SYNTHETIC BRICK VENEER TRIM
27. STICK SYNTHETIC BRICK VENEER TRIM
28. 1/2" #4 GROUTED & COVERED VENT
29. GAS SERVICE INTER - REFER TO UTILITY PLAN
30. SERVICE PIPES - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES



- 1 ROOF MATERIAL: EAGLE-14000 ER-800 / 
- CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
- CONCRETE S/TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
- ALL ROOFING TO BE INSTALLED OVER MINIMUM 1" LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPEC.
- REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
- NO ROOF PENETRATIONS (E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 18" OF VALLEY, HIPS OR RIDGES
- 5 REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IBC, SEC. R0603.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION
- C. ATTIC VENTILATION WILL BE 1/500 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 34" ABOVE THE PLATE LINE PER IRC R0602 EXEMPTION 10.2.1.1.

VENTILATION SCHEDULE:

-  CHIMNEY CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCI REPORT No. 9650A

CADFILE:
PLOT DATE:

Design &
ID33
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN YELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
1921 EAST BASELINE ROAD GILBERT, ARIZONA 85234

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
	09.26.2016	BLDG. DEPT. CORRECTIONS
	10.19.2016	BLDG. DEPT. CORRECTIONS
	11.5.2016	CLIENT CHANGES
	02.22.2019	CLIENT CHANGES
	03.08.2019	CODE UPDATE
	04.02.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
	28.08.2019	BLDG. DEPT. COMMENTS

Figure 1. The effect of the concentration of the polymer solution on the surface free energy of the polymer film. The surface free energy of the polymer film decreased as the concentration of the polymer solution increased. The surface free energy of the polymer film was 1.5 J/m² at 0.1 g/dl, 1.0 J/m² at 0.5 g/dl, and 0.5 J/m² at 1.0 g/dl.

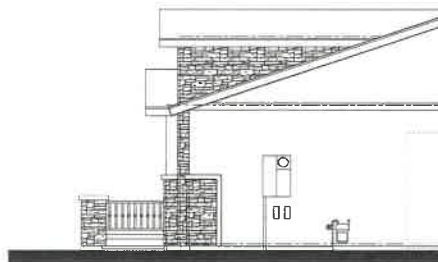
SHEET TITLE:

PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'B'
ITALIAN FARMHOUSE
SHEET NO:

AB.21



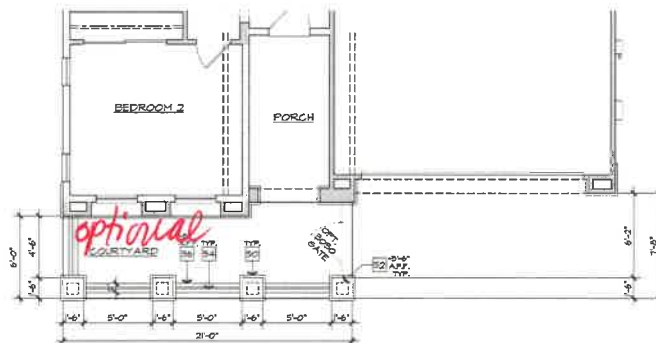
PARTIAL LEFT ELEV. 'B'



PARTIAL RIGHT ELEV. 'B'



PARTIAL FRONT ELEV. 'B'



PARTIAL FLOOR PLAN 'B'

OPT. COURTYARD - 'B' ITALIAN FARMHOUSE

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC.
3. SLEEC IN BRASS OVERHANG W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.)
4. 3P CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR DEMANDER (PROCESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR - REFER TO SPEC.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-40" WD x 24" DR CLR SPACE (8" CLR FROM CENTER OF FEATURE IN EACH DIRECTION PER IRC TO R807)
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSCOOT TO 72" ABV DRAIN (1" MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.)
13. DROOP IN TILE ON 20" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WANSCOOT TO 72" MIN ABV DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHOWER ENCLOSURE W/ TB
17. TONEL BARRING - PROVIDE 2x SOLID BACKING AT 24" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" AFF.
19. RECESSED MEDICINE CABINET (MIRROR)
20. RECESSED LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. HANGEROVER SPACE - PROVIDE 2x4x8 W/ DOWN BELOW WASH. FOR WATER AND WASTE W/ HOOKS CONTROL VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M103.3) (A)
24. PROVIDE DOOR VENTILATION PER MESA RES. CODE R205
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE MIN 1/2" ABV - FINISH GRADE PER IRC. SEC. M103.3 & SEC. P2809 SEE DETAILS
26. 1/2" ABV WALK TERMINATE IN DOWNWARD POSITION BETWEEN 1/2" & 1/2" ABV GRADE & 30" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF - 1/2" POLE (D-DOUBLE)
32. NOT USED
33. PLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHIT. SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 22" x 37" ATTIC ACCESS PER IRC. SEC. R107.1 (M103.3)
40. CALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" UNEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD (SLOPE 1/4" PER FOOT)
43. NOT USED
44. PIPE SEPARATION GAP (FROM RESIDENCE AND ATTIC) PROVIDE 12 LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302B)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/40B
48. CONCRETE PLAT WORK. SLOPE 1/4" PER FOOT
49. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNID. SLOPS
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK IN LAUNDRY
52. OPT. SINK IN LAUNDRY
53. 18" x 6" GL. SCREENED & LOUVERED EXHAUST VENTS LOCATE (8" AT 4" ABV GARAGE CLUB HGHT, (8" WITHIN 4" BELOW CLUB PER IRC. M103.3)
54. 1/2" STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MIMO ER-803)
2. 2x6 FASCIA
3. BAYGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL. FLASHING
5. GL. DRAIN SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL TRIM ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2608
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MIMO ER-300)
12. STUCCO OVER FOAM TRIM (SND TEXTURE - REFER TO ELEVATION FOR SIZE)
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MONITOR - REFER TO ELEVATION FOR SIZE
17. STUCCO POPOUT W/ DECORATIVE FINE STEEL
18. SCOPED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORREL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHARD FOAM TRIM
21. CONCRETE STUCCO/POUCH
22. REED BLACK OUT WINDOW - REFER TO ELEV. FOR SIZE
23. DECORATIVE FINE STEEL RAILING
24. POLYURETHANE OUTDOOR (FOR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 6" GL. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

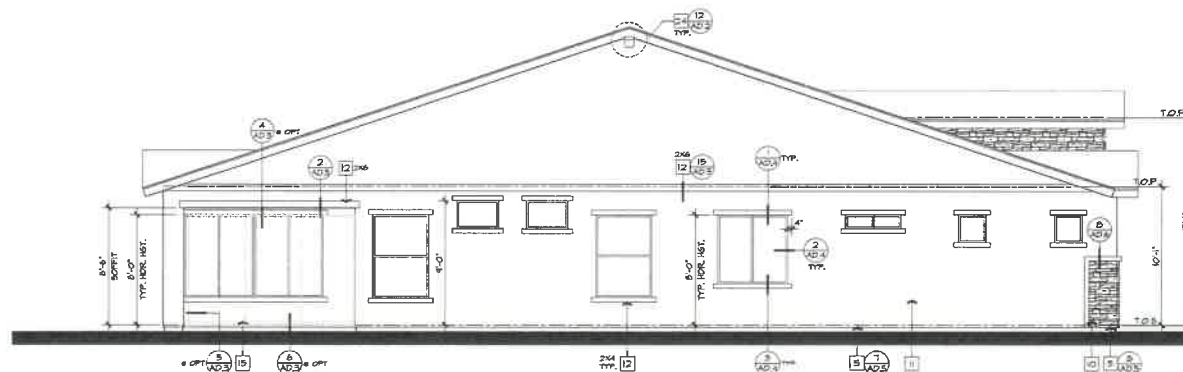
PROJECT NUMBER: 2012 -



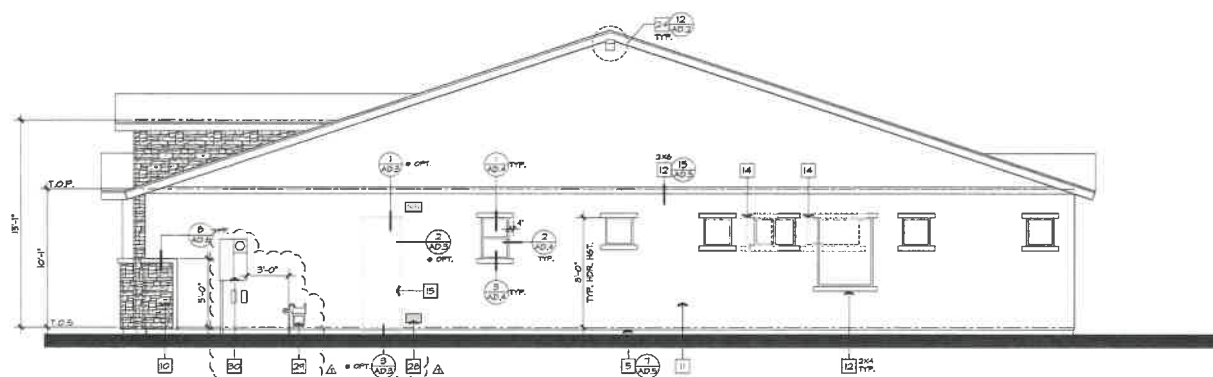
NO.	DATE	NAME / DESCRIPTION
1	08.11.2016	BLDG. DEPT. SUBMITTAL
2	04.28.2016	BLDG. DEPT. CORRECTIONS
3	10.14.2016	BLDG. DEPT. CORRECTIONS
4	11.19.2016	CLIENT CHANGES
5	02.22.2017	CLIENT CHANGES
6	03.28.2017	CLIENT CHANGES
7	04.10.2017	CLIENT CHANGES
8	06.07.2017	CLIENT CHANGES
9	05.04.2017	BLDG. DEPT. COMMENTS

SHEET TITLE:
PLAN 2000 (PLAN 3)
'B' ITALIAN FARMHOUSE
OPT. COURTYARD

SHEET NO:
AB.31



LEFT ELEVATION 'B' ITALIAN FARMHOUSE



RIGHT ELEVATION 'B' ITALIAN FARMHOUSE

LEFT AND RIGHT EXTERIOR ELEVATIONS 'B'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BAMO ER-800)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DWP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - SSR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAMO ER-380
12. STUCCO OVER FOAM TRIM INS. SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWDER - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POP-OUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUIV.)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" O.C. ROUGHENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design &
1033
Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3001 GALT ROAD, SUITE 100, MESA, ARIZONA 85204
P. 480.945.4442

No.	Date	Issue / Description
01	08.11.2016	B.L.D.G. DEPT. SUBMITTAL
02	04.26.2016	B.L.D.G. DEPT. CORRECTIONS
03	10.14.2016	B.L.D.G. DEPT. CORRECTIONS
04	11.15.2016	CLIENT CHANGES
05	02.22.2017	CLIENT CHANGES
06	03.23.2017	CODE UPDATES
07	04.10.2017	CLIENT CHANGES
08	05.01.2017	CLIENT CHANGES
09	05.04.2017	B.L.D.G. DEPT. COMMENTS

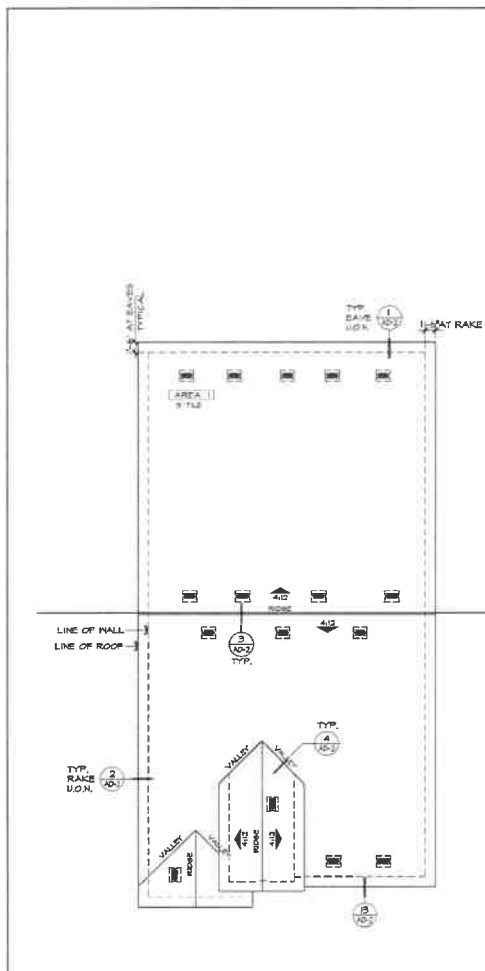
THIS SET OF DRAWINGS IS THE PROPERTY OF B.L.D.G. DEPT. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF B.L.D.G. DEPT. IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SHEET TITLE:
PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'B'
ITALIAN FARMHOUSE

SHEET NO:

AB.22

CAD/PLS
PLOT DATE



ROOF PLAN 'B'

SCALE: 1/8" = 1'-0"

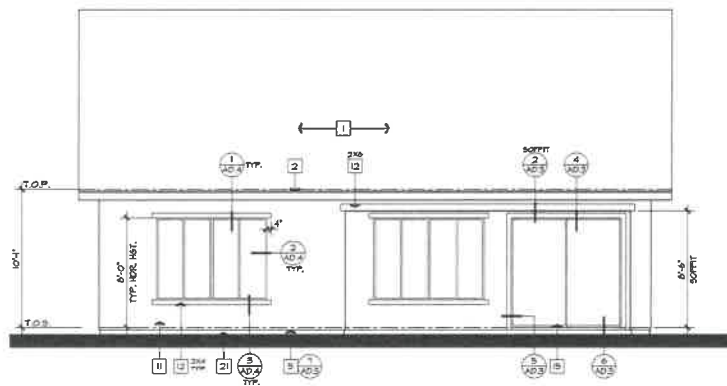
ATTIC VENT CALCULATIONS

AREA 1	
VENTILATION REQUIRED:	3099 SQ. FT. / 300 = 103 SQ. FT.
	X 144 = 14832 SQ. IN.
	X 50% = 7416 SQ. IN.
VENTILATION PROVIDED:	
(8) GABLE END VENTS	92 SQ. IN. EA. = 0 SQ. IN.
(8) CHIMNEY CLOAKED VENTS	975 SQ. IN. EA. = 7800 SQ. IN.
LOW	
(8) CHIMNEY CLOAKED VENTS	975 SQ. IN. EA. = 7800 SQ. IN.
(8) EAVE VENTS "BIRD MOUTH"	12 SQ. IN. EA. = 0 SQ. IN.
3 PER BAY @ 225" DIA. EA.	1500 SQ. IN.

ATTIC VENT CALCULATIONS



FRONT ELEV. 'B'



REAR ELEV. 'B'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'B'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (BAND ER-800)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - E39-2688
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (BAND ER-800)
12. STUCCO OVER FOAM TRIM (PINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO PORTUL W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHARPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RED, BLACK OUT WINDOW REFER TO ELEV FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTDOORER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 1/4" G.I. SCREENED & LUMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

1. INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED
2. ROOF MATERIAL - EAGLE (BAND ER-800)
3. CONCRETE PLANT TILE REFER TO ROOF PLAN - ELEV. 'D' & 'E'
4. CONCRETE 9" TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'C'
5. ALL ROOFING TO BE INSTALLED OVER MINIMUM (8) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
6. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
7. NO ROOF PENETRATIONS BE ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HPIS OR RIDGES
8. REFER TO ROOF PLAN FOR OVERHANGS AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IBC, SEC. R602.3.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- ATTIC VENTILATION WILL BE 1/30 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 24" ABOVE THE PLATE LINE PER IRC R602.3 EXCEPTION 14.2.2.

VENTILATION SCHEDULE:

- CHIMNEY CLOAKED VENT TILE:
 - MODEL: "FLAT" #50043
 - MODEL: "S" #50046
- NET FREE VENT: 975 SQ. IN. (FLAT), 975 SQ. IN. (S)
- SECCI REPORT NO. 9650A

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN FELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE MESA, ARIZONA BLANDFORD HOMES 3801 EAST BROADWAY, SUITE 100, MESA, ARIZONA 85204 P: 480.912.1443

No.	Date	Issue / Description
	08.11.2016	B.LDG. DEPT. SUBMITTAL
	08.28.2016	B.LDG. DEPT. CORRECTIONS
	10.14.2016	B.LDG. DEPT. CORRECTIONS
	11.15.2016	CLIENT CHANGES
	02.22.2019	CLIENT CHANGES
	03.08.2019	CODE UPDATE
	04.10.2019	CLIENT CHANGES
	05.01.2019	CLIENT CHANGES
	05.01.2019	B.LDG. DEPT. COMMENTS

IF IT IS DETERMINED THAT THE PROJECT IS NOT TO BE PROCEEDING, THE CLIENT SHALL BE RESPONSIBLE FOR THE COSTS OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR THE COSTS OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR THE COSTS OF THE PROJECT.

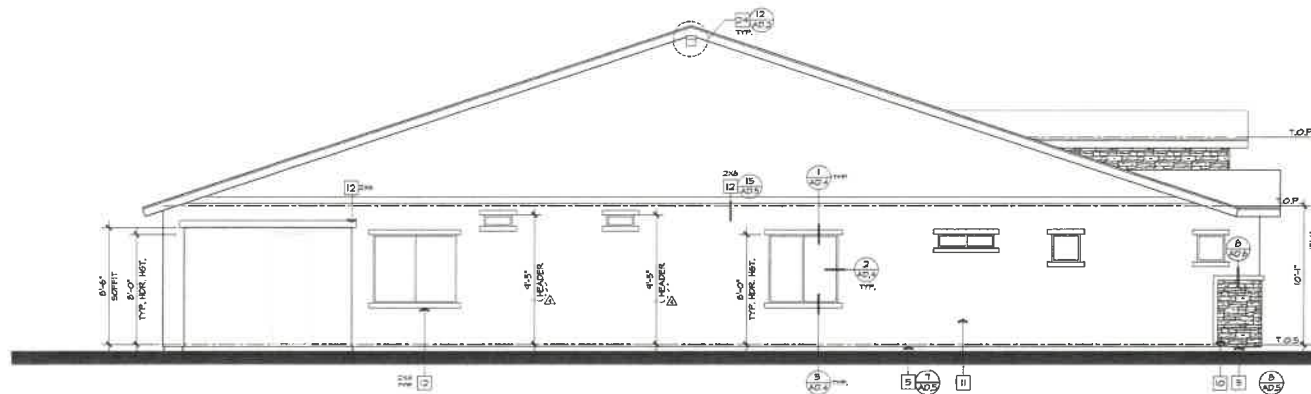
SHEET TITLE:

PLAN 2000 (PLAN 3)
'B' ITALIAN FARMHOUSE
ALTERNATE FLOOR PLAN
FRONT & REAR ELEV.
& ROOF PLAN

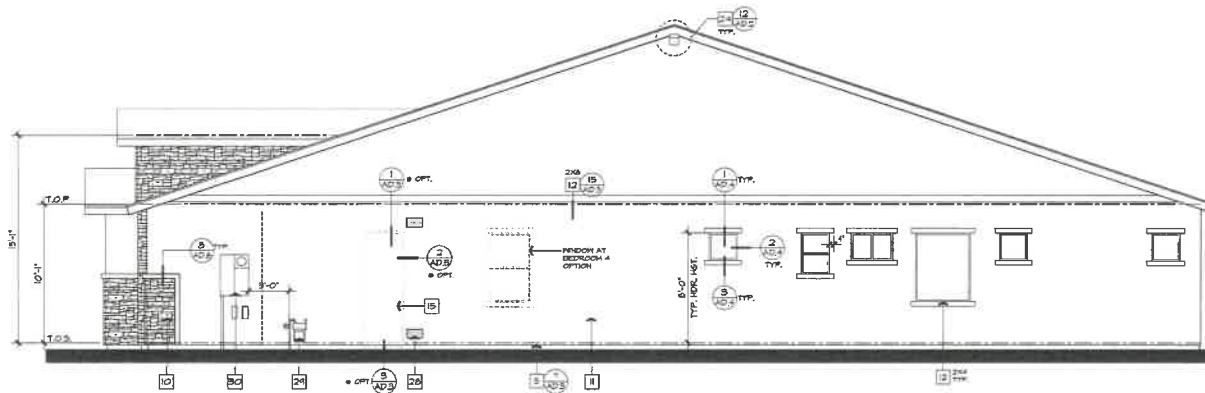
SHEET NO:

AB.38

CAD/PLOT
PLOT DATE:



LEFT ELEV. 'B'



RIGHT ELEV. 'B'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'B'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - ENGLE ROOF TILE W/IMO ER-800
2. 2x6 FASCI
3. 2x THICK SYNTHETIC STONE/BRICK VENEER - ESR-668
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-668
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES W/IMO ER-800
12. STUCCO OVER FOAM TRIM FINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPCOFF W/ DECORATIVE TUBE SUEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/POUCH
22. PINK BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
25. DECORATIVE TUBE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 4" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

- INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED
1. ROOF MATERIAL: ENGLE W/IMO ER-800
 2. CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. D & E
 3. CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. H, I, J, & K
 4. ALL ROOFING TO BE INSTALLED OVER MINIMUM 8 LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR SPECS.
 5. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
 6. NO ROOF PENETRATIONS IE ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
 7. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER UPC SEC. R802.1.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION
- ATTIC VENTILATION WILL BE 1/60 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS
- ATTIC VENTILATION WILL BE 1/30 OF ATTIC AREA PROVIDED 4/8" AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 2'-0" ABOVE THE PLATE LINE PER IRC R802 DIRECTION 1 & 2

VENTILATION SCHEDULE:

- CHIMNEY CROWNED VENT TILE
MODEL: "FLAT" #50043
NET FREE VENT: 8.0 SQ. IN (PLATE), 97.5 SQ. IN (S) SECC REPORT NO. 9650A

Design & Planning

PRINCIPAL: DAVID R. HALLIDAY
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
300 EAST BROADWAY, SUITE 200, MESA, ARIZONA 85204
P: 480.742.4413

No.	Date	Issue / Description
05.11.2016	BLDG. DEPT. SUBMITTAL	
04.26.2016	BLDG. DEPT. CORRECTIONS	
12.14.2016	BLDG. DEPT. CORRECTIONS	
11.15.2016	CLIENT CHANGES	
02.22.2017	CLIENT CHANGES	
03.28.2017	CODE UPDATE	
04.10.2017	CLIENT CHANGES	
08.01.2017	CLIENT CHANGES	
08.04.2017	BLDG. DEPT. COMMENTS	

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SHEET TITLE:
PLAN 2000 (PLAN 3)
'B' ITALIAN FARMHOUSE
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

SHEET NO.:
AB.39

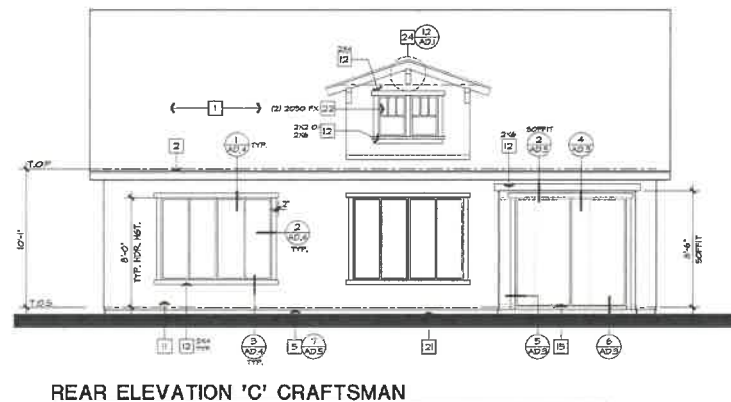
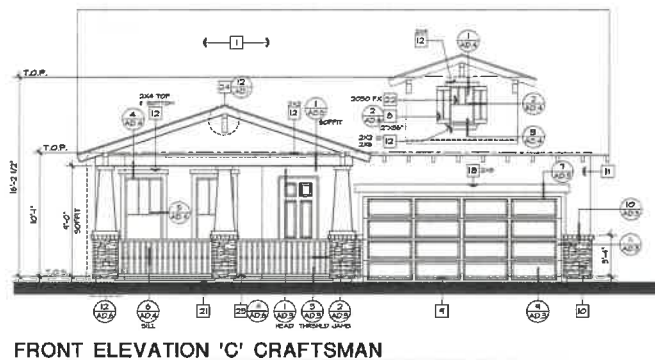
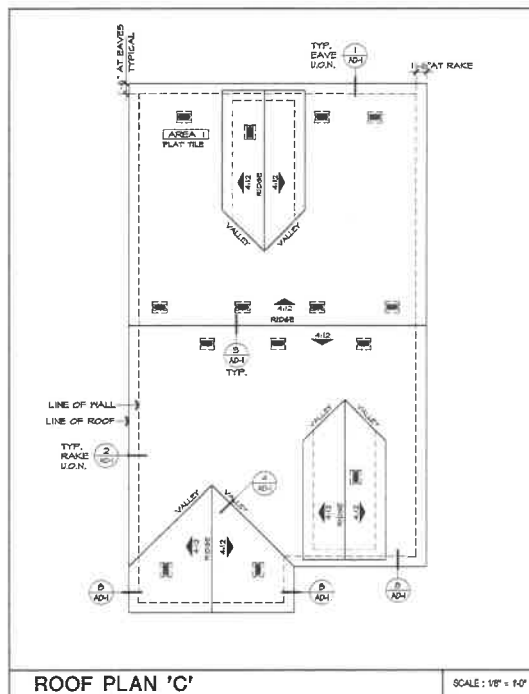
CADFILED
PLOT DATE



PLAN 2000 CRAFTSMAN ELEVATION

“All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials.”

stucco 82%
stone/brick 18%



ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2832	SQ. FT. / 300 =	9.44 SQ. FT.
		X 144 =	1360 SQ. IN.
		X 50% =	680 SQ. IN.
VENTILATION PROVIDED:			
ME3			
(1) CHABLE END VENTS:	82	SQ. IN. EA. =	0.30 SQ. IN.
(7) CHAGIN CLOWED VENTS:	975	SQ. IN. EA. =	6825 SQ. IN.
LOW			
(7) CHAGIN CLOWED VENTS:	975	SQ. IN. EA. =	6825 SQ. IN.
(1) EAVE VENTS: 18"BS MOUTH	12	SQ. IN. EA. =	0.30 SQ. IN.
3 PER DAY @ 22° DA. EA.			3.60 SQ. IN.
			1065 SQ. IN.

- #### **ELEVATION NOTES**

1. ROOF MATERIAL - EAGLE ROOF TILE IMPAO ER-808 7/8"
2. FASQ BOARD
3. 6" DANCE DRAINAGE - REFER TO ELEVATION FOR SIZE
4. GLI DRIP
5. GLI PLUMB SPOKE
6. NOT USED
7. WINDOW DELETED AT QTY
8. DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR REFER ARCHITECTURAL/INTERIORS/REAR
10. 6" X 6" STUDS - REFER TO ELEVATION FOR SIZE/SPACING
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES IMPAO ER-382/3
12. WINDOW DETAIL TRIM LINE AND EXTEND - REFER TO ELEVATION FOR SIZE
13. EXTERIOR VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DETAIL - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POOF UP WINDOW - W/ DECORATIVE RUBBIE STEEL
18. STUCCO DETAIL STUDS - REFER TO ELEVATION FOR SIZE/SPACING 12" OC
19. CONCRETE - REFER ELEVATION FOR SIZE
20. STUCCO OVERHANG - 6" MAX TRIM
21. CORBEL STUCCO/POOF
22. FRED BACK UP WINDOW - REFER TO ELEVY FOR SIZE
23. DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
24. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
25. DECORATIVE SHUTTER SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
26. TRUCK SYNTHETIC BRICK VENEER TRIM
27. STUCCO FINISH W/ TRIM
28. 4" x 4" GLI SCHEDULE 40 - DIMENSIONED W/ TRIM
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANS - REFER TO UTILITY PLAN
31. GAS CONDENSER - REFER TO UTILITY PLAN

- ### ROOF PLAN NOTES

 INDICATES SLOPE DIRECTION & PITCH
UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE-IRMA ER-800 
 - CONCRETE FLAT: SEE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
 - CONCRETE 'S' TYLE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TIE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS.
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, HUMPS OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, RING OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

- ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R803.6.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 3'4" ABOVE THE PLATE LINE PER IRC 305.2 (EXCEPTION 1 & 2) Δ.

- VENTILATION SCHEDULE:

CHAGEN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

**D e s i g n &
ID33
P l a n n i n g**

PRINCIPAL: DAVID R. MCDONALD
PROJECT MANAGER: BRIAN WELLS

PROJECT NUMBER: 2012 -

NEW VINTAGE

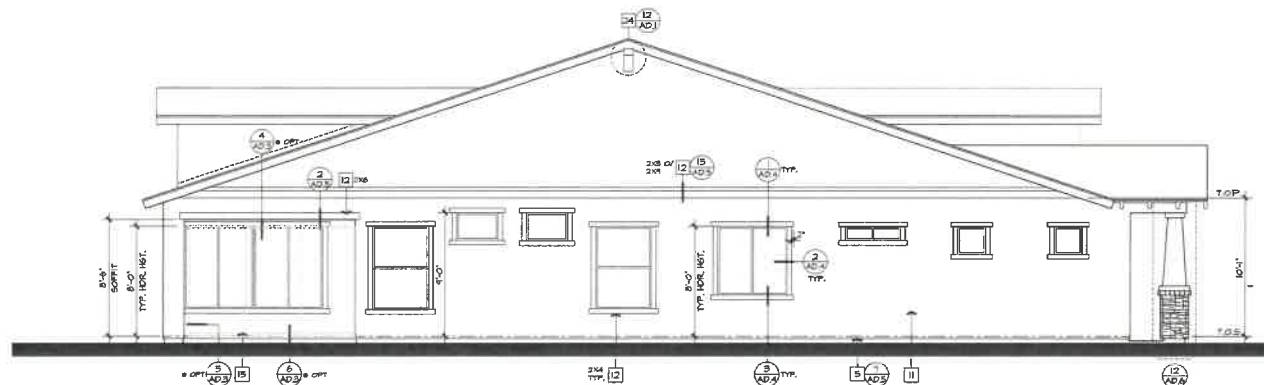
BLANDFORD HOMES

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
	04.16.2016	BLDG. DEPT. CORRECTIONS
	10.14.2016	BLDG. DEPT. CORRECTIONS
	11.15.2016	CLIENT CHANGES
	02.22.2019	CLIENT CHANGES
	03.08.2019	CODE UPDATE
	06.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
	08.04.2019	BLDG. DEPT COMMENTS

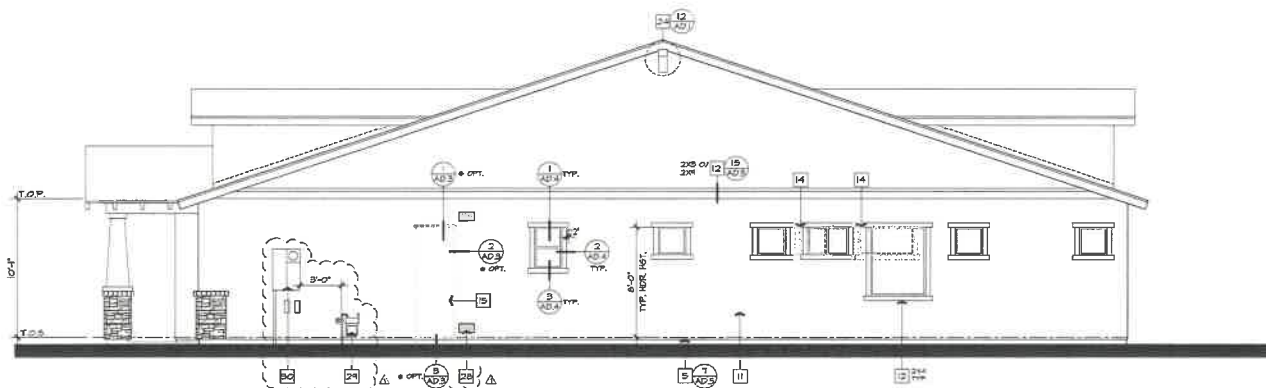
2025 RELEASE UNDER E.O. 14176

SHEET TITLE:
PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'C'
CRAFTSMAN
SHEET NO:

AC.21



LEFT ELEVATION 'C' CRAFTSMAN



RIGHT ELEVATION 'C' CRAFTSMAN

LEFT AND RIGHT EXTERIOR ELEVATIONS 'C'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE BAPMO BR-1003
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DWP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - SSR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAPMO BR-3801
12. STUCCO OVER FOAM TRIM (PINE AND YOUTHE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MONOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/POUCH
22. FRIED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL FINING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3022 EAST EMERALD AVENUE, SUITE 100
MESA, ARIZONA 85205
P: 480.543.4400

No.	Date	Issue / Description
08.11.2016	BLDG. DEPT. SUBMITTAL	
08.26.2016	BLDG. DEPT. CORRECTIONS	
10.14.2016	BLDG. DEPT. CORRECTIONS	
11.15.2016	CLIENT CHANGES	
02.22.2017	CLIENT CHANGES	
03.28.2017	COPE UPDATE	
04.10.2017	CLIENT CHANGES	
05.01.2017	CLIENT CHANGES	
05.01.2017	BLDG. DEPT. COMMENTS	

IF 13-4-2017 REVISIONS WERE MADE TO THE DRAWINGS, THE REVISIONS WILL BE INDICATED BY A CIRCLE WITH A NUMBER AND A LETTER. THE REVISIONS WILL BE MADE TO THE DRAWINGS AND THE REVISIONS WILL BE INDICATED BY A CIRCLE WITH A NUMBER AND A LETTER. THE REVISIONS WILL BE MADE TO THE DRAWINGS AND THE REVISIONS WILL BE INDICATED BY A CIRCLE WITH A NUMBER AND A LETTER.

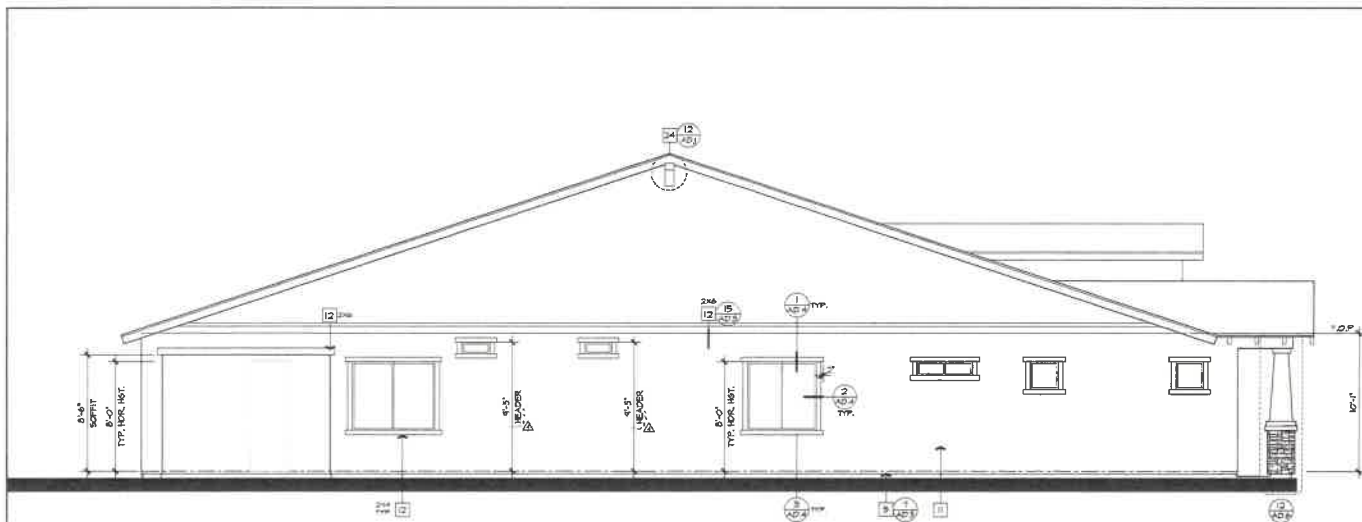
SHEET TITLE:
PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'C'
CRAFTSMAN

SHEET NO:

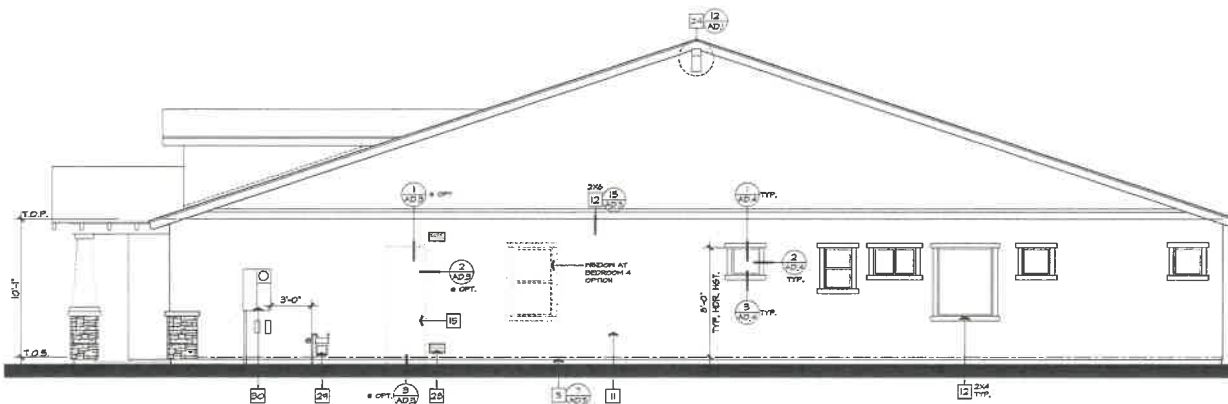
AC.22

CADFILES
PLOT DATE

GAOPLB
PL 07 DATE



LEFT ELEV. 'C'



RIGHT ELEV. 'C'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'C'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (WPMO EP-803) - A
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G1 FLASHING
5. G1 DWP SORBED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2619
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (WPMO EP-802)
12. STUCCO OVER FOAM TRIM PER SAND TO STUD - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" OC
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL BALING
24. POLYURETHANE OUTDOOR (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" x 2" G1 SORBED & LOMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED

1. ROOF MATERIAL: EAGLE: WPMO EP-803 - A
2. CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
3. ALL ROOFING TO BE INSTALLED OVER MINIMUM (2) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
4. NO ROOF PENETRATIONS (E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER UIC. SEC. R602.5.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION SHALL BE 1/100 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION SHALL BE 1/100 OF ATTIC AREA PROVIDED AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 2'-0" ABOVE THE PLANE LINE PER RC 802.2 DECEPTION 1 & 2 - A

VENTILATION SCHEDULE

- CHASIN CLOAKED VENT TILE
MODEL: "PLAT" #50043
MODEL: "ST" #50046
NET FREE VENT: 9875 SQ. IN. (PLAT), 975 SQ. IN. (ST)
SUBJECT REPORT No. 9850A

Design &
1033
Planning

PRINCIPAL: DAVID R. HALLCHADSE
PROJECT MANAGER: BRIAN VELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

3021 EAST TANDER ROAD, MESA, ARIZONA 85204
P. 480.943.4443

No.	Date	Issue / Description
01	05.11.2016	BLDG. DEPT. SUBMITTAL
02	04.26.2016	BLDG. DEPT. CORRECTIONS
03	12.14.2016	BLDG. DEPT. CORRECTIONS
04	11.15.2016	CLIENT CHANGES
05	02.22.2017	CLIENT CHANGES
06	09.08.2017	CODE UPDATE
07	04.10.2017	CLIENT CHANGES
08	05.01.2017	CLIENT CHANGES
09	05.04.2017	BLDG. DEPT. COMMENTS

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SHEET TITLE:

PLAN 2000 (PLAN 3)
'C' CRAFTSMAN
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

SHEET NO:

AC.39

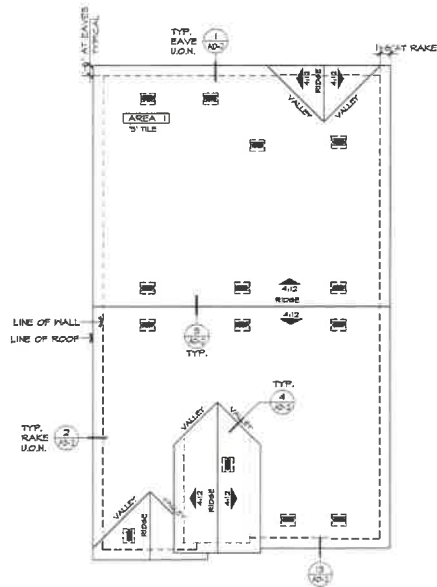
CADFILE
PLOT DATE



PLAN 2000 ANDALUSIAN ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

brick/stone	64%
stucco	36%

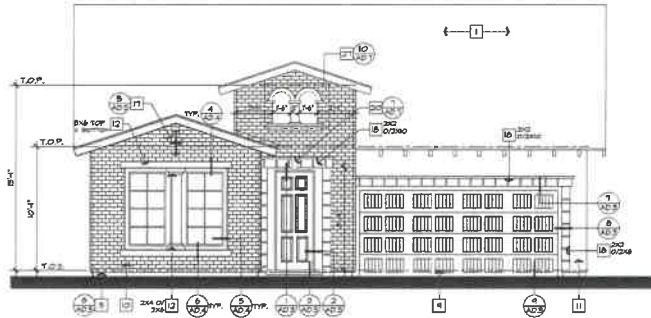


ROOF PLAN 'D'

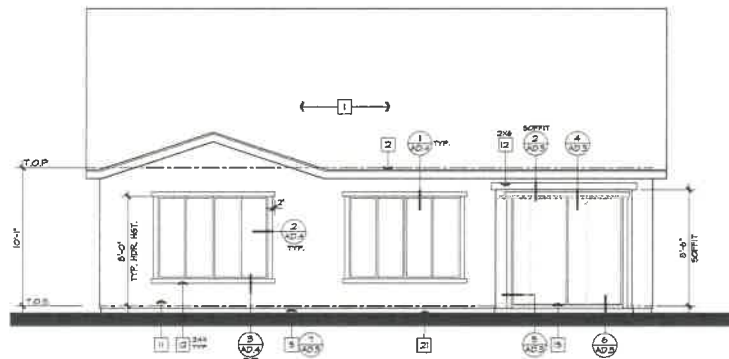
SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:		2721	SQ. FT. / 300 = 81 SQ. FT. X .44 = 359 SQ. IN. X .50% = 655 SQ. IN.
VENTILATION PROVIDED:			
(0) 1 GARLE END VENTS	92	SQ. IN. EA. =	0 SQ. IN.
(1) 1 CHAGIN CLOAKED VENTS	975	SQ. IN. EA. =	9825 SQ. IN.
LOW			
(1) 1 CHAGIN CLOAKED VENTS	975	SQ. IN. EA. =	9825 SQ. IN.
(0) 1 EAVE VENTS 18"X25" MOUTH	12	SQ. IN. EA. =	0 SQ. IN.
3 PER DAY @ 225° SW EA.			1365 SQ. IN.



FRONT ELEVATION 'D' ANDALUSIAN



REAR ELEVATION 'D' ANDALUSIAN

ELEVATION NOTES

1. FLOOR MATERIAL - EAGLE FLOOR TILE MAPRO ER 1903 1/4"
2. RAFT BOARD
3. 2" SWAGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL GRADING
5. 1/2" GIRD
6. G/L SPORED
7. NOT USED
8. WINDOW DELETED AT OPT.
9. DECORATIVE UTILITY SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
10. SECTIONAL GARGOLE DOOR REFER TO ELEVATION AND RECURRAL. THEMSELV. 1/4"
11. 1/2" DECORATIVE STONE BRICK REVER 1/4" 199-2988
12. EXTERIOR PLASTER - REFER TO GENERAL NOTES. MAPRO ER 2827
13. 1/2" DECORATIVE UTILITY SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
14. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
15. WINDOW AT OPTION - REFER TO ELEVATION FOR SIZE
16. OPTIONAL CROWN - REFER TO ELEVATION FOR SIZE
17. STONE BRICK TILE AT WINDOW - REFER TO ELEVATION FOR SIZE
18. 1/2" DECORATIVE UTILITY SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
19. STONECUT SLOUCH OVER FORM TEAM EQUALLY SPACED 12" O.C.
20. CORBEL - REFER TO ELEVATION FOR SIZE
21. SLOUCH CHANNELED - REFER TO ELEVATION FOR SIZE
22. CONCRETE STONECROP 1/4"
23. SLOUCH CHANNELED - REFER TO ELEVY FOR SIZE
24. DECORATIVE UTILITY SEE SPECIFICATIONS - REFER TO ELEVY FOR SIZE
25. DECORATIVE TIE STEEL RAILING
26. POLYURETHANE OUTLOOKER (OR APPROVED SOUND)
27. DECORATIVE VENT
28. 1/2" THICK SYNTHETIC BRICK VENER TIE
29. STUCCO REINFORCED WITH TIE
30. 1/4" (P) G/L SCREENED & LOUVERED VENT
31. GAS SERVICE METER - REFER TO UTILITY PLAN
32. SERVICE PAN - REFER TO UTILITY PLAN
33. AND CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES



INDICATES SLOPE DIRECTION & PITCH
UNLESS OTHERWISE NOTED.

- 1 ROOF MATERIAL: EAGLE-IMP-9000
- 2 CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
- 3 CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
- 4 ALL ROOFING TO BE INSTALLED OVER MINIMUM 18 LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
- 5 REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
- 6 NO ROOF PENETRATIONS I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRIVER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HPS OR RIDGES
- 7 REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IBC SEC. 1503.3.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1/50 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 24" ABOVE THE PLATE LINE PER IRC EXCEPTION 15.2.7. Δ

VENTILATION SCHEDULE:

-  QHAGEN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCOI REPORT No. 9650A

Design &
ID33
Planning

PRINCIPAL: DAVID R. WALDON

PROJECT MANAGER: BRIAN WELER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3521 EAST BAYLINE ROAD GLENZET, ARIZONA 85244

P: 400.812.4492

100

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
	04.06.2016	BLDG. DEPT. CORRECTIONS
	14.12.2016	BLDG. DEPT. CORRECTIONS
	11.5.2015	CLIENT CHANGES
	02.22.2017	CLIENT CHANGES
	03.03.2018	CODE UPDATE
	04.10.2017	CLIENT CHANGES
	06.07.2018	CLIENT CHANGES
	30.07.2019	BLDG. DEPT COMMENTS

[illegible]

SHEET TITLE:

PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'D'
ANDALUSIAN

SHEET NO:

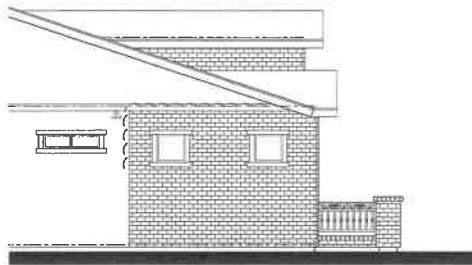
AD.21

ATTIC VENT CALCULATIONS

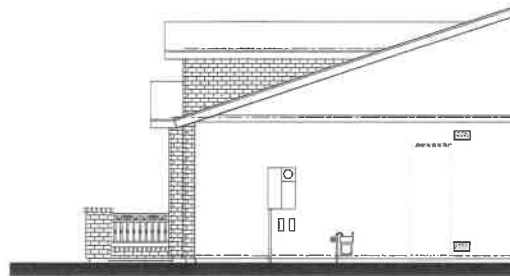
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE: 1/4" = 1'-0"

CADFILE-
PLOT DATE



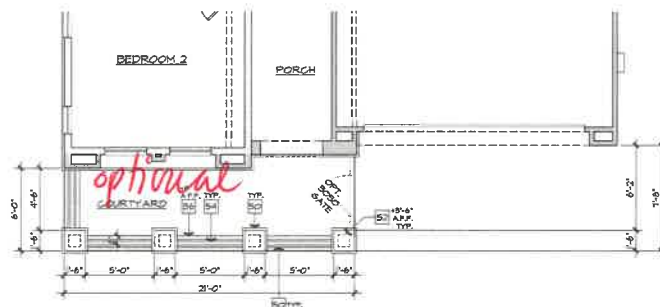
PARTIAL LEFT ELEV. 'D'



PARTIAL RIGHT ELEV. 'D'



PARTIAL FRONT ELEV. 'D'



PARTIAL FLOOR PLAN 'D'

OPTIONAL COURTYARD - 'D' ANDALUSIAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DOWNSIDE PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC.
3. SINK IN RANGE OVEN W/ VENT HOOD 1000 CFM, MICROWAVE - REFER TO SPEC.
4. 30" CLEAR REFRIGERATOR SPACE - PROVIDE RUMBLING FOR EXHAUST RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. BENCH
11. WATER CLOSET 5'0" W.D. x 2'0" D.P. CLR. SPACE (BY CLR. FROM CENTER OF STRUCTURE IN EACH DIRECTION PER IRC R301.7)
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN ON MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROPPY IN TUB ON 20" HIGH FRAMED PLATFORM - VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF ITEM/TEMPER GL. SHOWER ENCLOSURE W/ T.B. TONEL BARRING - PROVIDE 2x SOLID BACKING AT 32" AFF.
17. TONEL BARRING - PROVIDE 2x SOLID BACKING AT 32" AFF.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 32" AFF.
19. RECESSED MEDICINE CABINET (IMPROVED)
20. RECESSED LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. UNDERCLOSET SPACE - PROVIDE 2x 1/2" W/ DRAIN BELOW WASHET FOR WATER AND WASTE W/ WASHET CONTROL VALVES - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT OVER IRC. SEC. MESH & 600" Δ
24. PROVIDE DOOR W/ VENT PER MESA SEC. CODE R202
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRAIN PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE 1/2" NPT. FINISH GRADE PER IRC SEC. M202.3 & SEC. P2003 SEE DETAILS
26. 1/2" REL. VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 1/2" & 2" ABV. GRADE & 2" MIN. TROUGH ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D-DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT - REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOORWALL ABOVE
38. NOT USED
39. 22" x 37" ATTIC ACCESS PER IRC SEC. R301.7 & M202.3
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 1/2" LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE PER IRC TABLE R302
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9A/09
49. CONCRETE FLAT WORK - SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT UNDO. 9A/09
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK IN LAUNDRY
53. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
54. 12" x 8" GL. SCREENED & LOMBERED EXHAUST VENTS LOCATE (1) AT 4" AOK GARAGE CURB HGT. (1) WITHIN 4" BELOW C.G. PER IRC M102.3
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE 30/100 ER-800
2. 2x6 FASQA
3. BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL. FLASHING
5. GL. DRAIN SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEN ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2513
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MFR. ER-302)
12. STUCCO OVER ROAM TRIM (SND. TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO POINT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER ROAM TRIM EQUALLY SPACED 12" O.C.
19. CORNELL - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHARD FORM TRIM
21. CONCRETE STUCCO/POINT
22. 7/8" BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL SHADING
24. POLYURETHANE OUTLOOKER (FOR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 8" GL. SCREENED & LOMBERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. WILSON
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3015 EAST BASELINE AVENUE, SUITE 100, ANTONIO, ARIZONA 85004
P. 520.535.4400

No.	Date	Issue / Description
01	09.11.2016	B.L.D.G. DEPT. SUBMITTAL
02	09.26.2016	B.L.D.G. DEPT. CORRECTIONS
03	10.14.2016	B.L.D.G. DEPT. CORRECTIONS
04	11.15.2016	CLIENT CHANGES
05	02.22.2017	CLIENT CHANGES
06	05.09.2017	CODE UPDATES
07	04.10.2017	CLIENT CHANGES
08	08.01.2017	CLIENT CHANGES
09	08.04.2017	B.L.D.G. DEPT. COMMENTS

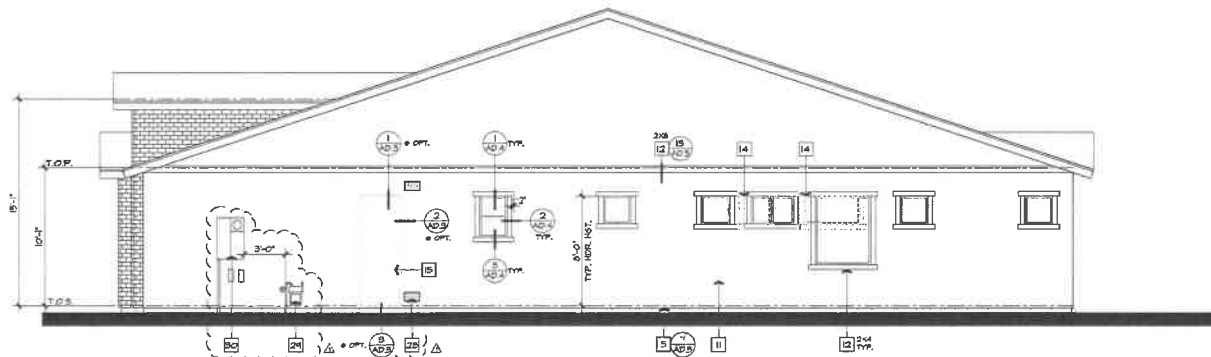
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SHEET TITLE:
PLAN 2000 (PLAN 3)
'D' ANDALUSIAN
OPT. COURTYARD

SHEET NO.:
AD.31



LEFT ELEVATION 'D' ANDALUSIAN



RIGHT ELEVATION 'D' ANDALUSIAN

LEFT AND RIGHT EXTERIOR ELEVATIONS 'D'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE IMPRO ER-8003
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. CL DWP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2668
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES IMPRO BR-352
12. STUCCO OVER FOAM TRIM (SND TESSILE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWCOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCOPED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED BLACK OUT WINDOW - REFER TO ELEV FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" CL SCREED & LOOSEBED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. WILCOX
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3031 DUTY ROAD, SUITE 100, MESA, ARIZONA 85205
P: 480.545.4443

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
⚠	09.26.2016	BLDG. DEPT. CORRECTIONS
⚠	10.19.2016	BLDG. DEPT. CORRECTIONS
⚠	11.15.2016	CLIENT CHANGES
⚠	02.22.2017	CLIENT CHANGES
⚠	03.08.2017	CODE UPDATE
⚠	04.10.2017	CLIENT CHANGES
⚠	06.01.2017	CLIENT CHANGES
⚠	08.01.2017	BLDG. DEPT COMMENTS

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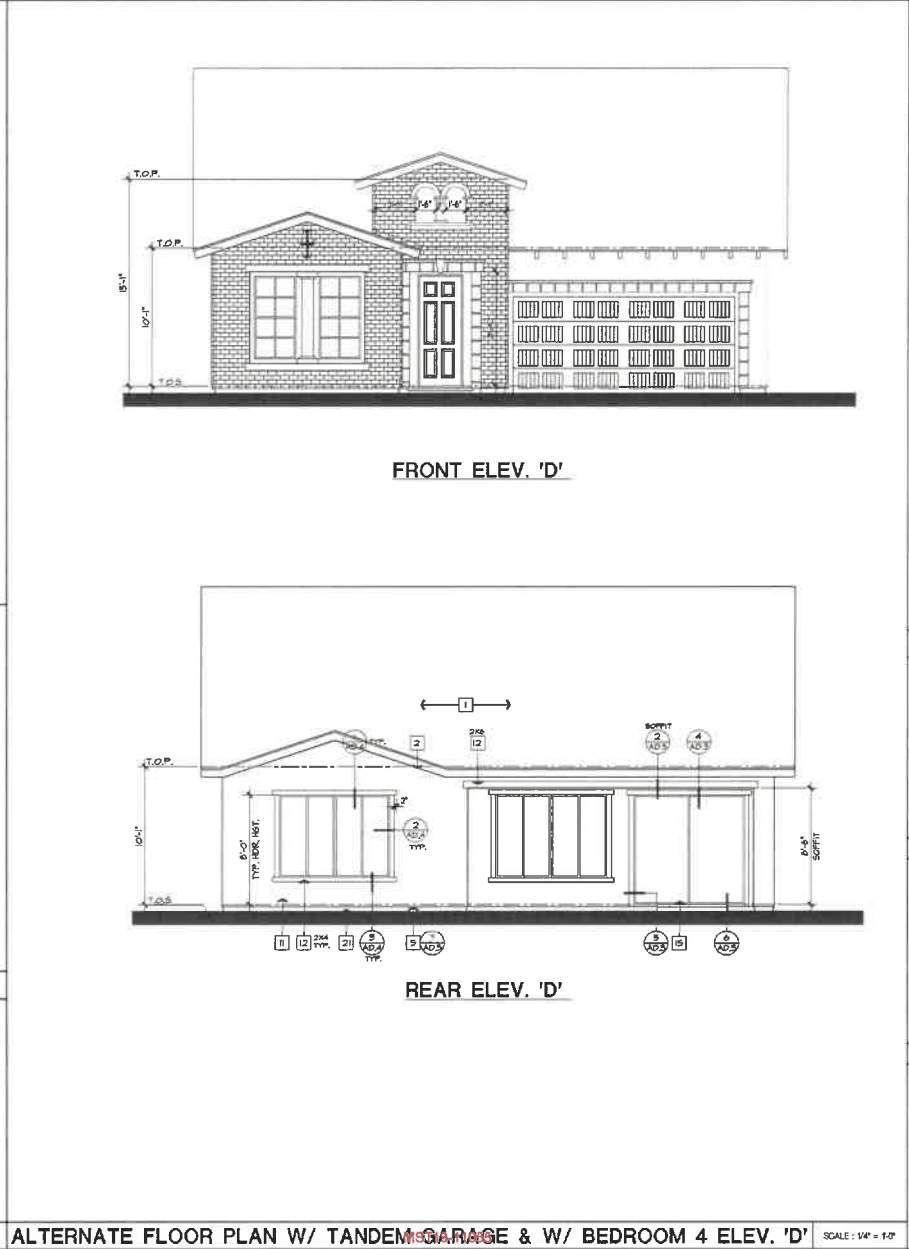
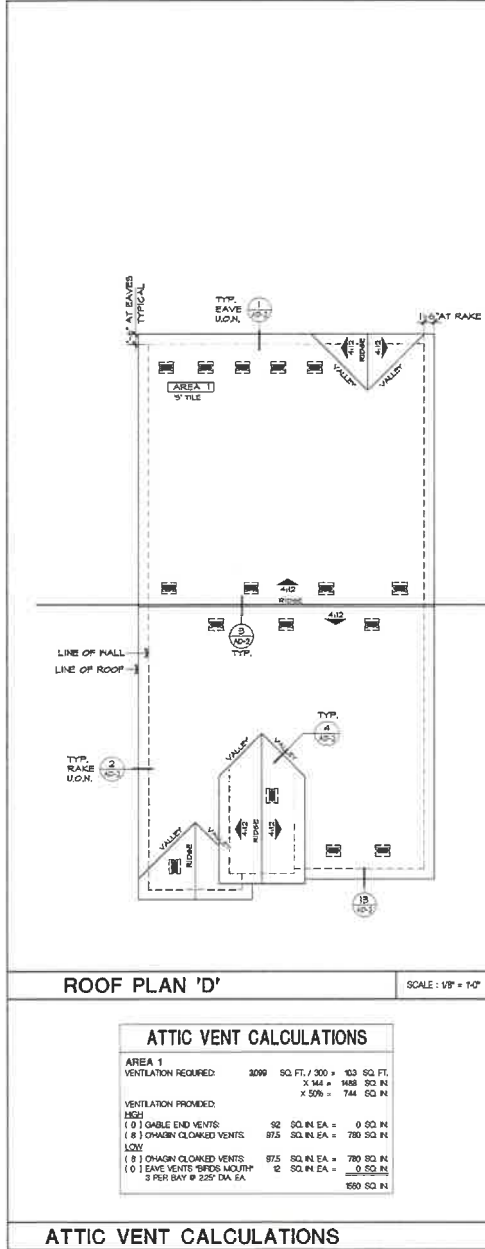
SHEET TITLE:

PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'D'
ANDALUSIAN

SHEET NO.:

AD.22

CADFILES
PLOT DATA



ELEVATION NOTES	
1. ROOF MATERIAL - EAGLE ROOF TILE (W/NO ER-300)	
2. 2x6 FASCI	
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE	
4. G.I. FLASHING	
5. G.I. Drip SCREED	
6. NOT USED	
7. WINDOW DELETED AT OPT.	
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE	
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEM/ELEV.	
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2600	
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (W/NO ER-300)	
12. STUCCO OVER FOAM TRIM (PRE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE	
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE	
14. WINDOW AT OPTION - REFER TO FLOOR PLAN	
15. OPTIONAL DOOR - REFER TO FLOOR PLAN	
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE	
17. STUCCO POPOUT W/ DECORATIVE TUBE STEEL	
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.	
19. CORBEL - REFER ELEVATION FOR SIZE	
20. STUCCO OVER SHARED FOAM TRIM	
21. CONCRETE STUCCO/FORM	
22. FROD. BLACK OUT WINDOW REFER TO ELEV. FOR SIZE	
23. DECORATIVE TUBE STEEL SAILING	
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUIV.)	
25. DECORATING THE VENTS	
26. 2" THICK SYNTHETIC BRICK VENEER TRIM	
27. STUCCO RECESS W/ TRIM	
28. 1/4" x 1/4" G.I. SCREENED & LOCKED VENT	
29. GAS SERVICE METER - REFER TO UTILITY PLAN	
30. SERVICE PANEL - REFER TO UTILITY PLAN	
31. A/C CONDENSER - REFER TO UTILITY PLAN	

ROOF PLAN NOTES	
INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED	
1. ROOF MATERIAL: EAGLE: W/NO ER-300	
2. CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'D' & 'E'	
3. ALL ROOFING TO BE INSTALLED OVER MINIMUM (8) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP: INSTALL PER ROOF TILE MFR. SIZES	
4. NO ROOF PENETRATIONS IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC. TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES	
5. REFER TO ROOF PLAN FOR OVERHANGS AT EAVE & RAKE	

ATTIC VENTILATION NOTES:	
A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IBC, SEC. R0501.	
B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION	
C. ATTIC VENTILATION WILL BE 1/60 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS	
D. ATTIC VENTILATION WILL BE 1/60 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 2'-0" ABOVE THE PLATE LINE PER IRC R0502 EXCEPTION 1 & 2 ; Δ	

VENTILATION SCHEDULE:	
CHIMNEY CROWN VENT TILE	
MODEL: "FLAT" #50043	
MODEL: "S" #50046	
NET FREE VENT: 9475 SQ. IN. (PLAT), 975 SQ. IN. (S)	
SECCI REPORT No. 9650A	

Design & Planning

PRINCIPAL: DAVID R. MCDONALD

PROJECT MANAGER: BRIAN FELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
320 EAST BASIN RD. SUITE 200, MESA, ARIZONA 85204
P. 480.942.4443

No.	Date	Issue / Description
Δ	08.11.2016	BLDG. DEPT. CORRECTIONS
Δ	04.26.2016	BLDG. DEPT. CORRECTIONS
Δ	10.14.2016	BLDG. DEPT. CORRECTIONS
Δ	11.15.2016	CLIENT CHANGES
Δ	02.22.2017	CLIENT CHANGES
Δ	09.08.2017	CODE UPDATE
Δ	04.10.2018	CLIENT CHANGES
Δ	03.01.2019	CLIENT CHANGES
Δ	03.04.2019	BLDG. DEPT. COMMENTS

SHEET TITLE:
 PLAN 2000 (PLAN 3)
 'D' ANDALUSIAN
 ALTERNATE FLOOR PLAN
 FRONT & REAR ELEV.
 & ROOF PLAN
 SHEET NO.:

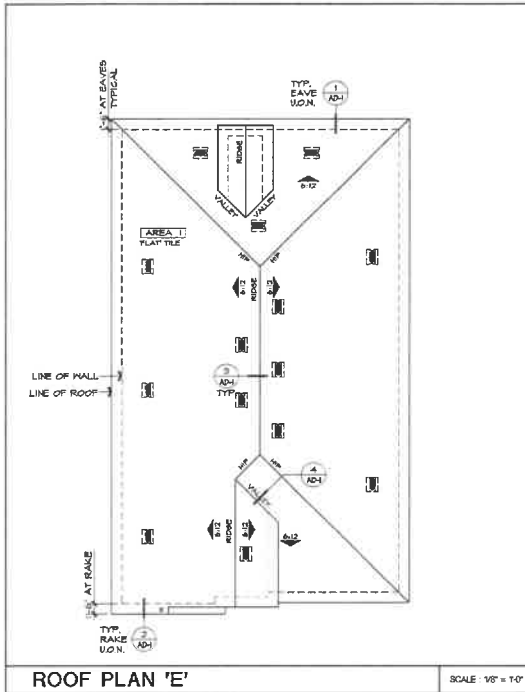
AD.38



PLAN 2000 COUNTRY FRENCH ELEVATION

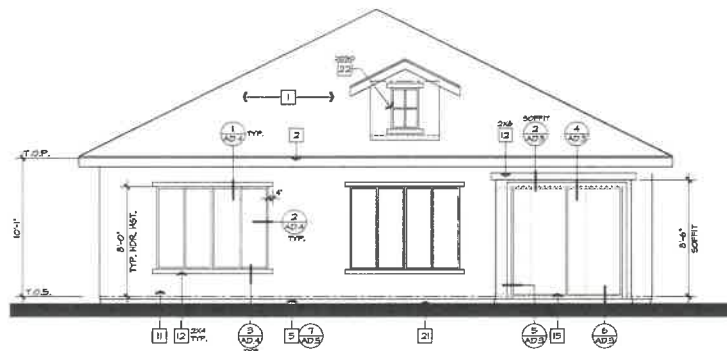
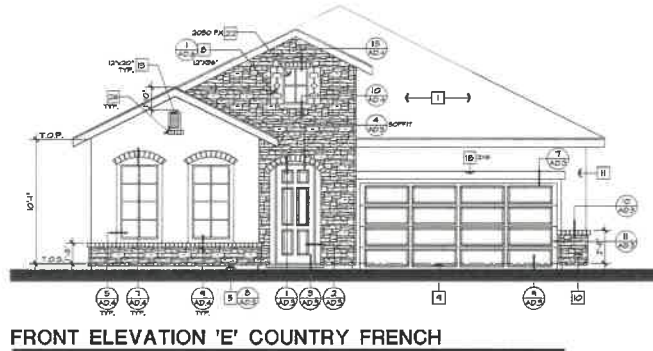
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 5290
stone 4890



ATTIC VENT CALCULATIONS

AREA 1					
VENTILATION REQUIRED:	2221	SQ. FT. / 300 =	81	SQ. FT.	
	X 144 =		117	SQ. IN.	
	X 30% =		35	SQ. IN.	
VENTILATION PROVIDED:					
1 (6) DOUBLE END VENTS:	92	SQ. IN. EA. =	552	SQ. IN.	
1 (7) CHIMNEY CLOWNED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.	
LOW					
1 (7) CHIMNEY CLOWNED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.	
1 (6) DOUBLE END VENTS:	92	SQ. IN. EA. =	552	SQ. IN.	
3 PER BAY @ 2227 DIA. EA.					



FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE BAPMO ER-8000 1/4"
2. 2x6 FASOM
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DWP SCHED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SIZE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2888
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES BAPMO ER-8000
12. STUCCO OVER FOAM TRIM PINE SAND TEXTURE - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWER - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POP/OUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORREL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARPED FOAM TRIM
21. CONCRETE STOOP/POUCH
22. RIGID BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/4" X 1/4" GI SCHEDDED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

1. INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED
2. ROOF MATERIAL: EAGLE - BAPMO ER-8000 1/4"
3. CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 12' & 12'
4. CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. 12' & 12'
5. ALL ROOFING TO BE INSTALLED OVER MINIMUM (8) LAYER OF 30# ROOF FELT, WEATHERBOARD LAR. INSTALL PER ROOF TILE MFR. SPEC.
6. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
7. NO ROOF PENETRATIONS IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
8. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC SEC. R806.3
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION
- C. ATTIC VENTILATION WILL BE 1/600 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS
- D. ATTIC VENTILATION WILL BE 1/200 OF ATTIC AREA PROVIDED 40% AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 2'-0" ABOVE THE PLATE LINE, PER IRC R802 EXCEPION 1 & 2, &

VENTILATION SCHEDULE:

- A. CHIMNEY CLOWNED VENT TILE
- B. MODEL: "FLAT" #50043
- C. MODEL: "S" #50046
- D. NET FREE VENT: 9875 SQ. IN. (PLAT), 975 SQ. IN. (S)
- E. SBCCI REPORT No. 9650A

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

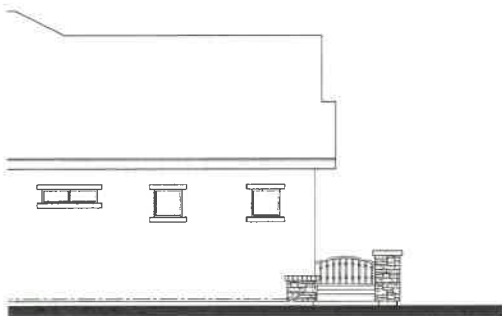
BLANDFORD HOMES
3821 EAST HAZEL AVE. SUITE 100
MESA, ARIZONA 85204

No.	Date	Issue / Description
1	09.11.2016	BLDG. DEPT. SUBMITTAL
2	09.28.2016	BLDG. DEPT. CORRECTIONS
3	10.19.2016	BLDG. DEPT. CORRECTIONS
4	11.15.2016	CLIENT CHANGES
5	02.22.2017	CLIENT CHANGES
6	03.08.2017	CODE UPDATE
7	04.10.2017	CLIENT CHANGES
8	05.01.2017	CLIENT CHANGES
9	05.04.2017	BLDG. DEPT. COMMENTS

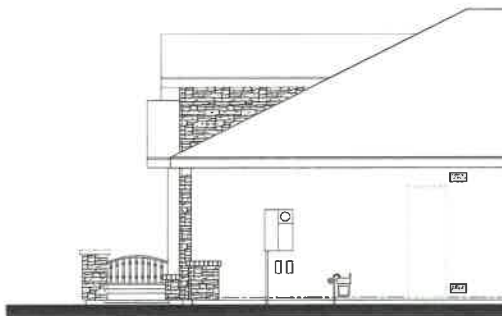
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SHEET TITLE:
PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'E'
COUNTRY FRENCH
SHEET NO.

AE.21



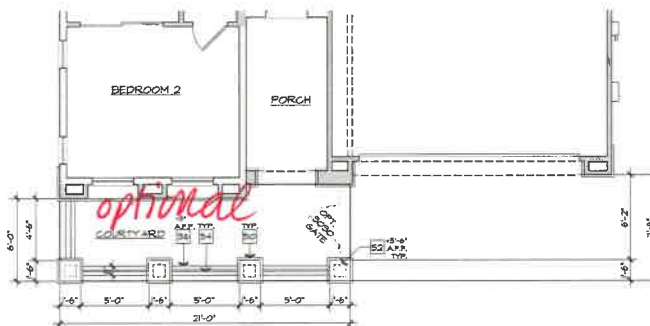
PARTIAL LEFT ELEV. 'E'



PARTIAL RIGHT ELEV. 'E'



PARTIAL FRONT ELEV. 'E'



PARTIAL FLOOR PLAN 'E'

OPT. COURTYARD - 'E' COUNTRY FRENCH

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR SPEC.
2. DISHWASHER PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR SPEC.
3. SLEEK IN FRANKENSTEIN W/ VENT HOOD EXPT. MICROWAVE - REFER TO SPEC.
4. 3P CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR CUPBOARD RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET 3'0" WID. x 2'0" DEEP. 0.3 SPACE 15' CLR FROM CENTER OF FIXTURE IN EACH DIRECTION PER IRC 10.0.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WANSKOT TO 72" AOV.
13. DRAIN OR MOISTURE RESISTANT GIP. BD. - VERIFY DIM W/ MFR SPEC.
14. DROP IN TUB ON TOP WHEN FRAMED PLATFORM. VERIFY DIM W/ MFR SPEC.
15. SHOWER PAN W/ WANSKOT TO 72" MIN. AOV. DRAIN OVER MOISTURE RESISTANT GIP. BD. - VERIFY DIM W/ MFR SPEC.
16. LAVATORY - REFER TO SPEC.
17. SHATTERPROOF TEMPERED GL. SHOWER ENCLOSURE W/ T.D.
18. TOWEL BARRING - PROVIDE 2" SOLID BACKING AT 32" AFF.
19. TOILET PAPER HOLDER - PROVIDE 2" SOLID BACKING AT 24" AFF.
20. RECESSED MEDICINE CABINET IMPROVED
21. RECESSED LAVATORY - REFER TO SPEC.
22. SELF - REFER TO PLAN FOR SIZE & QUANTITY
23. WASKER/SPRAYER SPACE - PROVIDE 5" MIN. PAN IN DRAIN BELOW WASHER FOR WATER AND WASTE. IMPROVED CONTROL. W/ VENT - RECESSED IN WALL PROVIDE AIR HAMMER ARRESTOR
24. DRYER VENT OVER IRC. SEC. M507 6/8001 A.
25. PROVIDE DOOR NEVER PER. MESA DES. CODE R205
26. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL CRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE. MIN. 4" AOV - FINISH GRADE PER IRC. SEC. M503 & SEC. P8003 SEE DETAILS
27. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN 4" & 12" AOV. SPACE & 32" AWAY FROM ANY DR.
28. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
29. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
30. NOT USED
31. SHEET & POLE 0.0.0.0.0.0
32. NOT USED
33. FLAT SOFT - REFER TO PLAN FOR HEIGHT
34. ARCHIT. SPLIT - REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 37" ATTIC ACCESS PER IRC. SEC. R107 A/V30512
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPEC.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
45. PROVIDE 18" LAYER OF 1/2" GIP. BD. APPLIED TO GARAGE SIDE PER IRC. TABLE 302.6
46. NOT USED
47. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
48. SOLID GROUTED PIPE BOLLARD SEE DETAIL 5A/29
49. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT
50. CONCRETE GARAGE SLAB. SLOPE 1/4" PER FOOT UNID. 5A/29
51. STONE/BRICK VENEER - REFER TO ELEVATIONS
52. OPT. SINK & LAUNDRY
53. COURTYARD CALLMAN - REFER TO PLAN FOR HEIGHT
54. 12" x 8" GL. SCREENED & LOWEDED EXHAUST VENTS LOCATE (8 AT 4" AOV. GARAGE CLUB HOT, (8 WITHIN 4" BELOW CLG PER IRC. M103)
55. TUBE STEEL RAILING
56. GAS SERVICE METER - REFER TO UTILITY PLAN
57. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE MPMO ER-8003
2. 2x6 FASOM
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL PLASTER
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEM/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESP-2500
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES MPMO ER-3003
12. STUCCO OVER FIBERGLASS INSULATION - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWOR - REFER TO ELEVATION FOR SIZE
17. STUCCO SPOTLIGHT W/ DECORATIVE TUBE STEEL
18. SCORPED STUCCO OVER FIBERGLASS INSULATION EQUALLY SPACED 12" O.C.
19. CONCRETE - REFER TO ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FIBERGLASS INSULATION
21. CONCRETE STUCCO/POUCH
22. PRED. BLACK OUT WINDOW. REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
26. STUCCO RECESS W/ TRIM
27. 1/2" x 1/2" GL. SCREENED & LOWEDED VENT
28. GAS SERVICE METER - REFER TO UTILITY PLAN
29. SERVICE PANEL - REFER TO UTILITY PLAN
30. A/C CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. HALLONADE
PROJECT MANAGER: BRIAN J. KELLY

PROJECT NUMBER: 2012 -

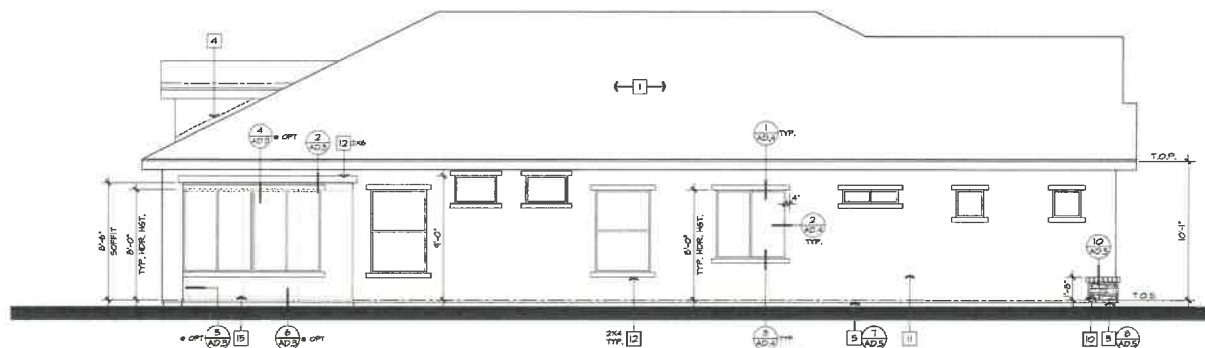


No.	Date	Issue / Description
05.11.2016	BLDG. DEPT. SUBMITTAL	
04.26.2016	BLDG. DEPT. CORRECTIONS	
12.14.2016	BLDG. DEPT. CORRECTIONS	
11.15.2016	CLIENT CHANGES	
02.22.2017	CLIENT CHANGES	
03.28.2017	CLIENT CHANGES	
04.12.2017	CLIENT CHANGES	
05.21.2017	CLIENT CHANGES	
08.04.2017	BLDG. DEPT. COMMENTS	

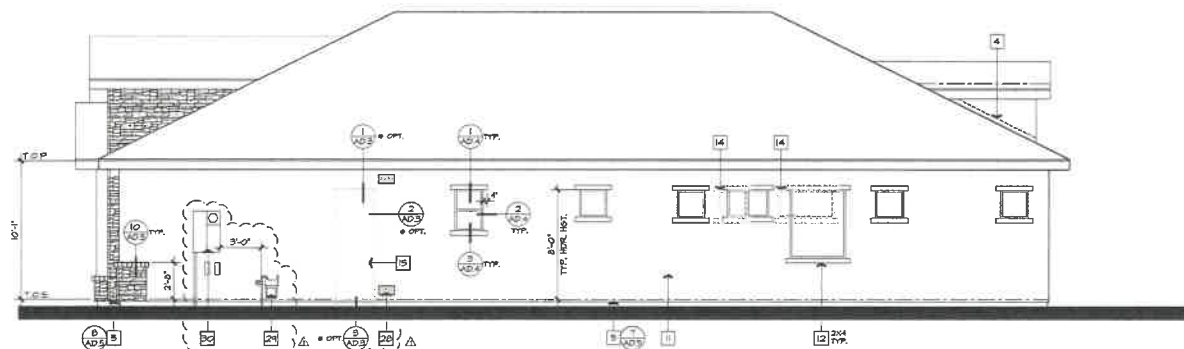
FOR ALL INFORMATION REFER TO THE PROJECT MANUAL AND THE PROJECT ARCHITECT'S OFFICE. THE PROJECT ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE PROJECT ARCHITECT'S OFFICE'S DESIGN OR CONSTRUCTION. THE PROJECT ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE PROJECT ARCHITECT'S OFFICE'S DESIGN OR CONSTRUCTION. THE PROJECT ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE PROJECT ARCHITECT'S OFFICE'S DESIGN OR CONSTRUCTION.

SHEET TITLE:
PLAN 2000 (PLAN 3)
'E' COUNTRY FRENCH
OPT. COURTYARD

SHEET NO.:
AE.31



LEFT ELEVATION 'E' COUNTRY FRENCH



RIGHT ELEVATION 'E' COUNTRY FRENCH

LEFT AND RIGHT EXTERIOR ELEVATIONS 'E'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE IMPRO ER-8003
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G. FLASHING
5. G. DWP SCREED
6. NOT USED
7. WINDOW UNLETTED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES IMPRO DR-382
12. STUCCO OVER FOAM TRIM (SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWTOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL BRACKS
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" G. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. AC CONDENSER - REFER TO UTILITY PLAN



PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES

3521 EAST BROADWAY, SUITE 100, MESA, ARIZONA 85204
P: 480.913.4412

No.	Date	Issue / Description
01	08.11.2016	B.D.S. DEPT. SUBMITTAL
02	09.26.2016	B.D.S. DEPT. CORRECTIONS
03	10.14.2016	B.D.S. DEPT. CORRECTIONS
04	11.15.2016	CLIENT CHANGES
05	02.22.2017	CLIENT CHANGES
06	03.23.2017	CODE UPDATE
07	04.10.2017	CLIENT CHANGES
08	05.01.2017	CLIENT CHANGES
09	09.04.2017	B.D.S. DEPT. COMMENTS

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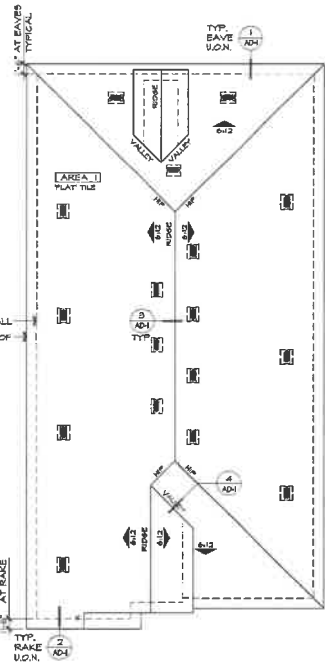
SHEET TITLE:

PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'E'
COUNTRY FRENCH

SHEET NO:

AE.22

CAD/P&P
PLOT DATE:



ROOF PLAN 'E'

SCALE: 1/8" = 1'-0"

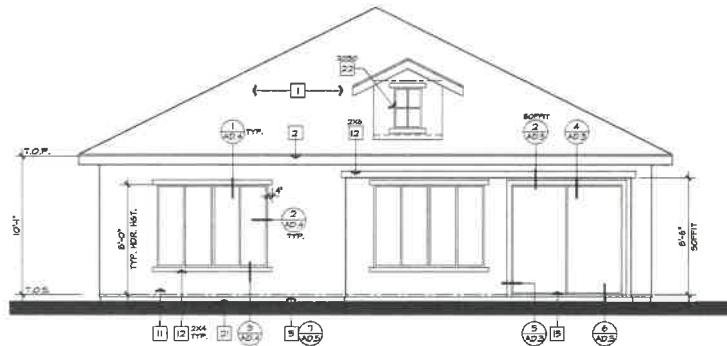
ATTIC VENT CALCULATIONS

AREA 1	
VENTILATION REQUIRED:	3088 SQ. FT. / 300 = 10.3 SQ. FT.
	X 144 = 1488 SQ. IN.
	X 50% = 744 SQ. IN.
VENTILATION PROVIDED:	
HIGH	
(1) 1 GABLE END VENTS	92 SQ. IN. EA. = 0 SQ. IN.
(1) 1 CHIMNEY CROWNED VENTS	975 SQ. IN. EA. = 780 SQ. IN.
LOW	
(1) 1 CHIMNEY CROWNED VENTS	975 SQ. IN. EA. = 780 SQ. IN.
(1) 1 EAVE VENTS "BRED MOUTH"	12 SQ. IN. EA. = 0.50 SQ. IN.
3 PER BAY @ 225" DIA. EA.	1500 SQ. IN.

ATTIC VENT CALCULATIONS



FRONT ELEV. 'E'



REAR ELEV. 'E'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'E'

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE W/AMO ER-8000
2. DUE FASCH
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEMSELVES
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2288
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES W/AMO ER-802
12. STUCCO OVER FOAM TRIM (SHO. TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. STUCCO PORTOUT W/ DECORATIVE FLUTE STILES
18. STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHARPED FOAM TRIM
21. CONCRETE STOOD/PORTOUT
22. ROED. BLACK OUT WINDOW REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUT COVER FOR APPROVED BOARD
25. DECORATIVE PINE VENTS
26. 2" THICK SYNTHETIC STONE/BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 1/2" x 1/2" G.I. SCREENED & LOCKED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

1. INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.
1. ROOF MATERIAL: EAGLE - W/AMO ER-8000 / 2. CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 10' & 17' CONCRETE SL. TILE REFER TO ROOF PLAN - ELEV. 10' & 17'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPEC.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE ATTIC VENTS CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-0" OF VALLEY, HPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANGS AT EAVE & RAKE

ATTIC VENTILATION NOTES:

- A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC, SEC. R802.
- B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
- C. ATTIC VENTILATION WILL BE 1% OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.
- D. ATTIC VENTILATION WILL BE 1% OF ATTIC AREA PROVIDED AND NOT MORE THAN 50% OF THE VENTS ARE LOCATED 5'0" ABOVE THE PLATE LINE PER IRC R802 EXCEPTION 1 & 2.

VENTILATION SCHEDULE:

- CHIMNEY CROWNED VENT TLE
- MODEL: "FLAT" #50043
- MODEL: "ST" #50046
- NET FREE VENT: 9675 SQ. IN. (PLATE), 975 SQ. IN. (ST)
- SBCCI REPORT NO. 9650A



PRINCIPAL: DAVID R. HALLIDAY
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
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P. 480.914.1412

No.	Date	Issue / Description
01	08.11.2016	BLDG. DEPT. SUBMITTAL
02	03.26.2016	BLDG. DEPT. CORRECTIONS
03	11.04.2016	BLDG. DEPT. CORRECTIONS
04	11.05.2016	CLIENT CHANGES
05	02.22.2017	CLIENT CHANGES
06	03.28.2017	CODE UPDATE
07	04.10.2017	CLIENT CHANGES
08	06.07.2017	CLIENT CHANGES
09	06.04.2017	BLDG. DEPT. COMMENTS

1. THIS SHEET IS A PART OF A SET OF DRAWINGS FOR THE PROJECT. IT IS NOT TO BE USED SEPARATELY. 2. THE DRAWINGS SHALL BE USED IN ACCORDANCE WITH THE PROJECT MANUAL. 3. THE DRAWINGS SHALL BE USED IN ACCORDANCE WITH THE PROJECT MANUAL. 4. THE DRAWINGS SHALL BE USED IN ACCORDANCE WITH THE PROJECT MANUAL.

SHEET TITLE:

PLAN 2000 (PLAN 3)
'E' COUNTRY FRENCH
ALTERNATE FLOOR PLAN
FRONT & REAR ELEV.
& ROOF PLAN

SHEET NO.:

AE.38

CAD/PLOT
PLOT DATE:

CADFILE:
PLST DATE: