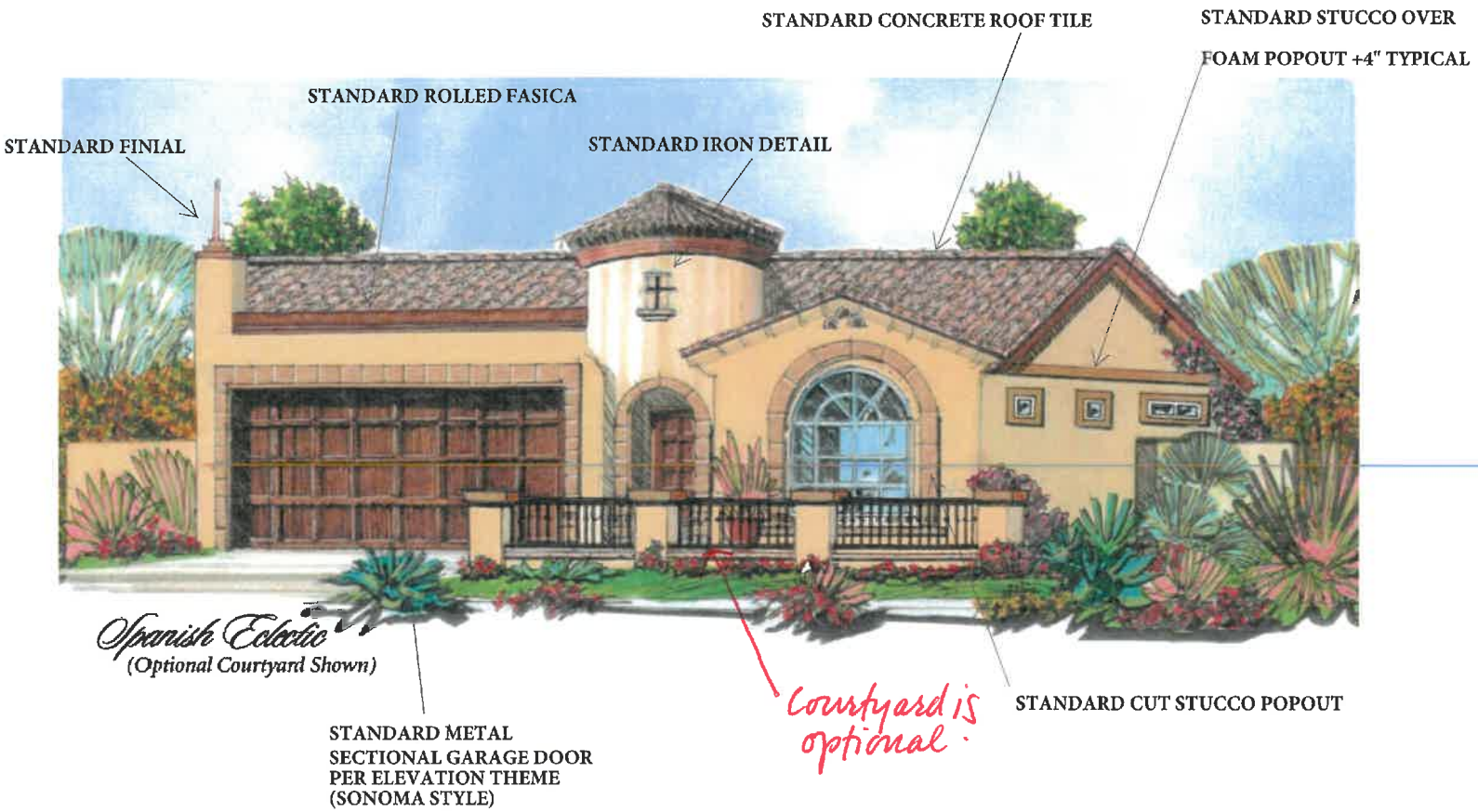
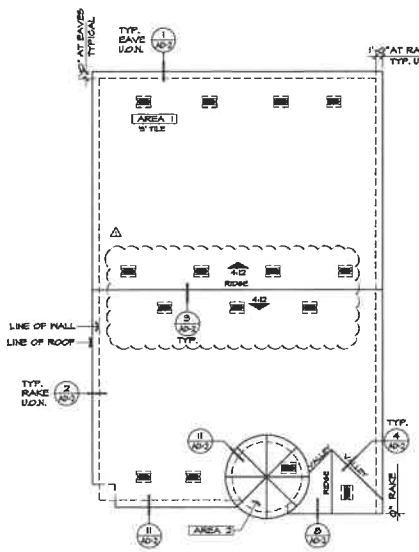


PLAN 1700 SPANISH ELEVATION

[redacted]

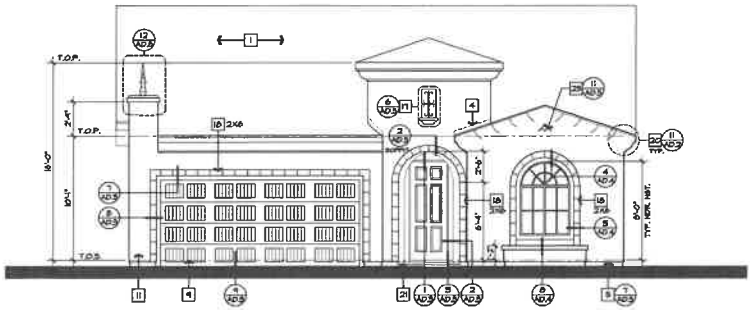
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 100%
2nd material 0%

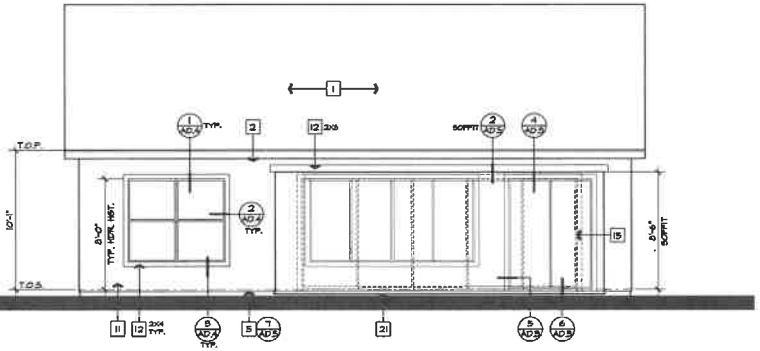


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'A' SPANISH ECLECTIC



REAR ELEVATION 'A' SPANISH ECLECTIC

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED: 2,481 SQ. FT. / 300 = 8.3 SQ. FT.
X 144 = 1195 SQ. IN
X 50% = 598 SQ. IN

VENTILATION PROVIDED:

HIGH
(0) GABLE END VENTS: 92 SQ. IN. EA. = 0 SQ. IN
(7) OHAGIN CLOAKED VENTS: 97.5 SQ. IN. EA. = (682.5 SQ. IN
LOW
(7) OHAGIN CLOAKED VENTS: 97.5 SQ. IN. EA. = 682.5 SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA. 12 SQ. IN. EA. = 0 SQ. IN.
1365 SQ. IN

AREA 2

VENTILATION REQUIRED: 78 SQ. FT. / 150 = .52 SQ. FT.
X 144 = 75 SQ. IN
X 50% = * SQ. IN

VENTILATION PROVIDED:

(7) OHAGIN CLOAKED VENTS: 97.5 SQ. IN. EA. = 97.5 SQ. IN
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA. 12 SQ. IN. EA. = 0 SQ. IN.
97.5 SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE [APMO ESR-1900] ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES [APMO ER-382]
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FRED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- [APMO ER-1900] ⚠
   CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 10' & 12'
   CONCRETE "S" TILE REFER TO ROOF PLAN - ELEV. 14', 8', & 10'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R802 EXCEPTION 1 & 2 ⚠

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

Design & DESIGN Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3001 EAST GAGE LINE ROAD GILBERT, ARIZONA 85234
PH. 480.545.4413

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	05.09.2019	BLDG. DEPT. CORRECTIONS

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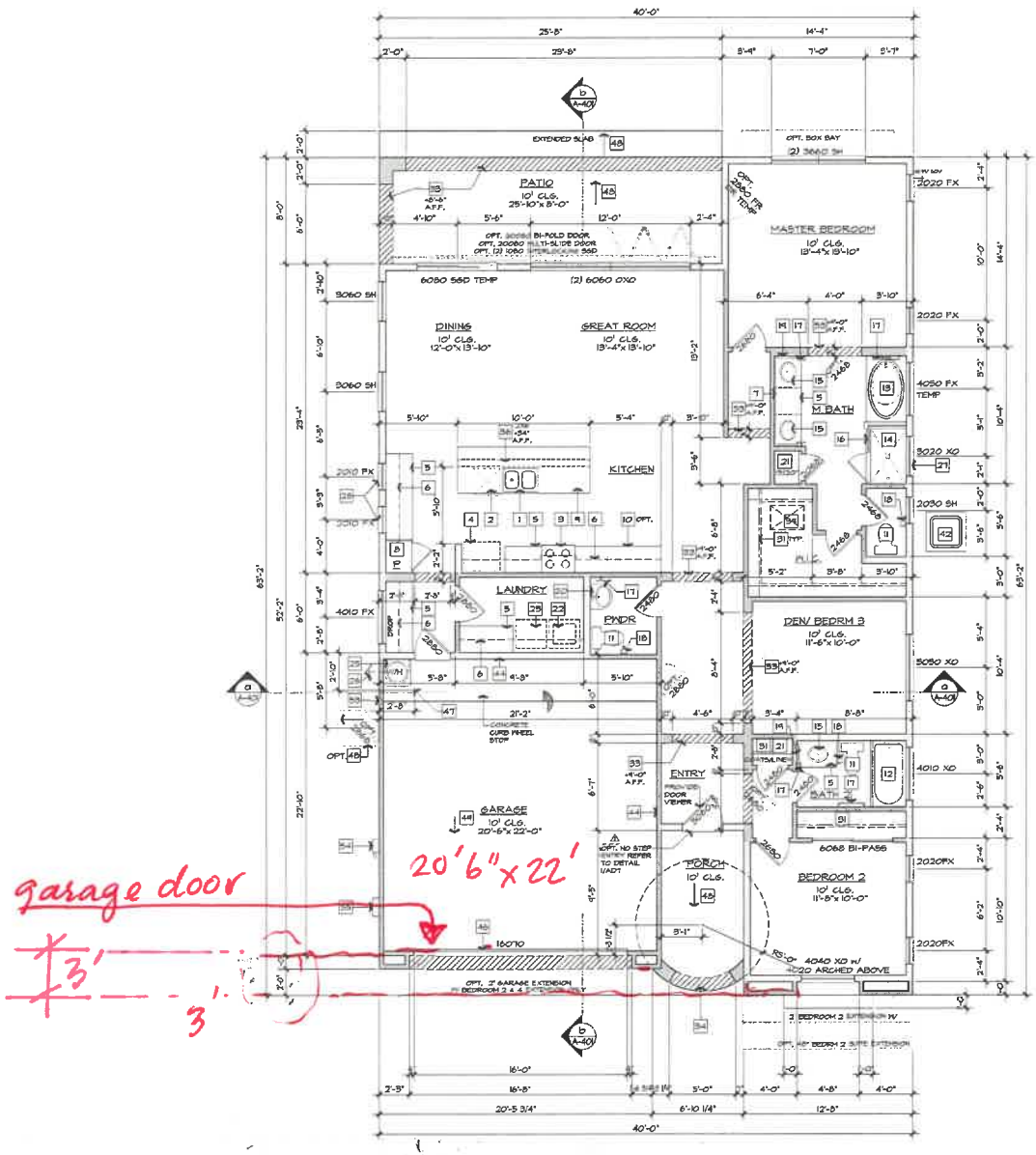
SHEET TITLE:

PLAN 1700 (PLAN 1) FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A' SPANISH ECLECTIC

SHEET NO:

AA.21

CADFILE:
PLOT DATE:



FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR.
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER R.C. R.C. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN O/ MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 32" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SMITTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE, WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER I.R.C. SEC. M1501.1 & 504) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER I.R.C. SEC. M2073 & SEC. P2803) SEE DETAILS
26. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN -6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D-DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL S/A03
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. S/A03
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW C.L.G (PER I.R.C. M7203.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

4" WALL
6" WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE)
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, W/SELF CLOSER & TIGHT FITTINGS (REFER TO PLAN FOR SIZE) OR 20 MIN. FIRE-RATED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD. TO BE APPLIED PER (2018 I.R.C. SECTION 702.3) ⚠
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ (2018 I.R.C. SEC. R310) ⚠
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION
9. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
10. GLAZING PER (2018 I.R.C. SEC. R308.4) ⚠
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE UL (GAS: NFA5822; ELEC: E22223)STANDARDS FOR FIXED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED.
12. WATER CLOSET TO HAVE AN AVERAGE OF 1.6 GALLONS PER FLUSH. (U.P.C SEC. 402.2)

FLOOR PLAN 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

DASPLUS
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN WELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD ALBERT, ARIZONA 85234
P: 480 962 4412

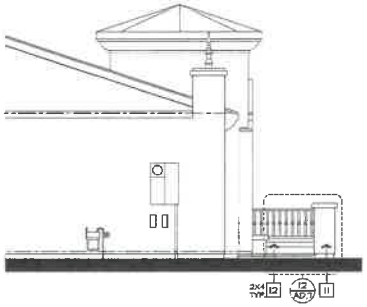
No.	Date	Issue / Description
	01.18.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.04.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

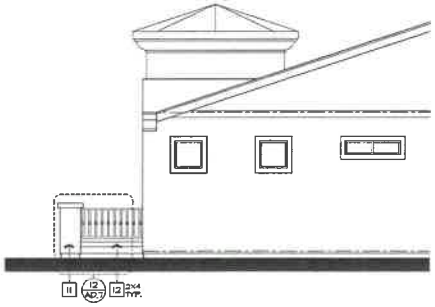
PLAN 1700 (PLAN 1)
FLOOR PLAN 'A'
SPANISH ECLECTIC

SHEET NO:

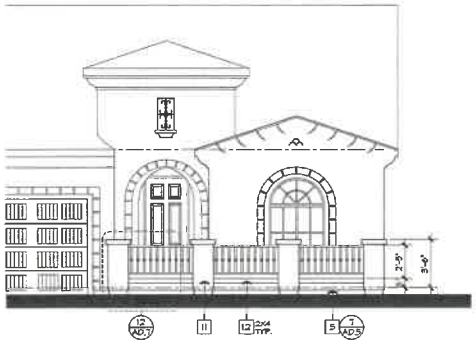
AA.11



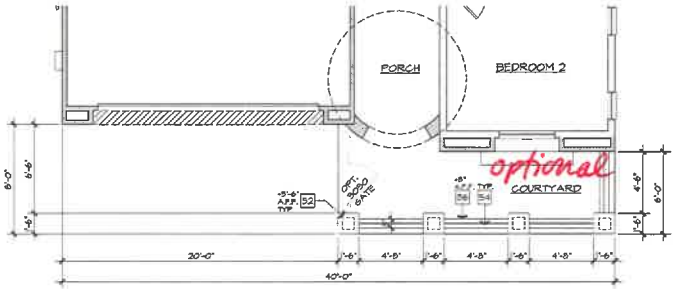
PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FRONT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. COURTYARD - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. P3071
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" DRAIN O/ MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE 1SATIY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & 6021) ⚠
24. PROVIDE DOOR VIEWER (PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2073 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETW. +6" & +24" ABV. GRADE & 36" AWAY FROM ANY OPI.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD.9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT (U.N.O. 9/AD.9)
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. ⚠ (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW C.L.G (PER IRC. M1305.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPWO ESR-1900) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPIO ER-3523)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWDOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

CADFILE
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN MELLER

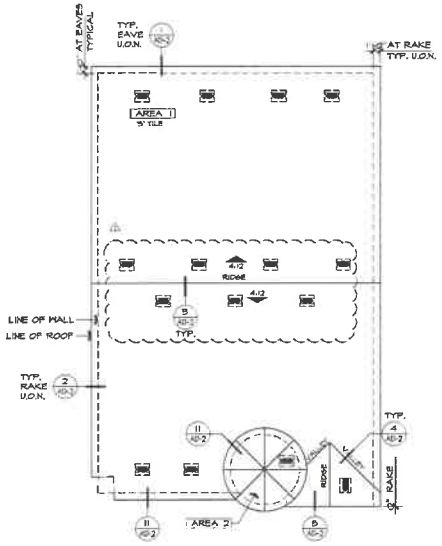
PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.218.4412

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2018	CLIENT CHANGES
5	08.09.2018	BLDG. DEPT. CORRECTIONS

THIS PLAN, AS THE PROPRIETARY PROPERTY OF THE DESIGN ENTITY, THE ARCHITECT OF RECORD, THE ARCHITECT OF RECORD'S CONSULTANTS, THE ARCHITECT OF RECORD'S CONSULTANTS' PROFESSIONAL ENGINEERS, THE ARCHITECT OF RECORD'S CONSULTANTS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS, THE ARCHITECT OF RECORD'S CONSULTANTS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS, THE ARCHITECT OF RECORD'S CONSULTANTS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS, THE ARCHITECT OF RECORD'S CONSULTANTS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS, THE ARCHITECT OF RECORD'S CONSULTANTS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS' PROFESSIONAL ENGINEERS, THE ARCHITECT OF RECORD'S CONSULTANTS' PROFESSIONAL ENGINEER



ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

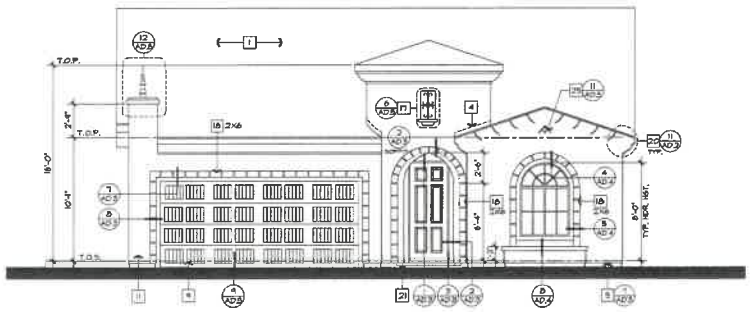
AREA 1

VENTILATION REQUIRED:	2,461	SQ. FT. / 300 =	8.3	SQ. FT.
		X 144 =	1195	SQ. IN.
		X 50% =	598	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW:				
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 225" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

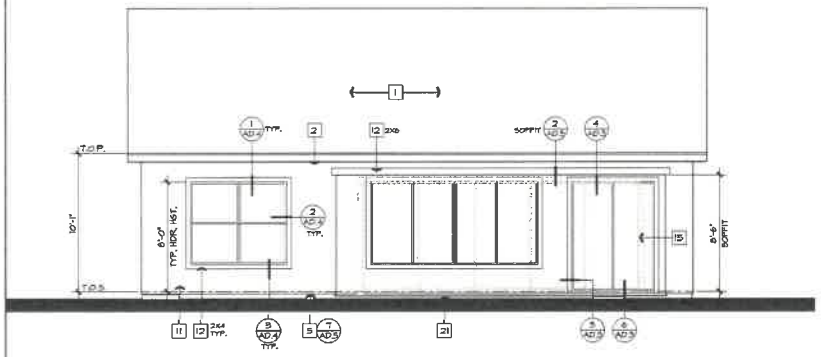
AREA 2

VENTILATION REQUIRED:	78	SQ. FT. / 150 =	.52	SQ. FT.
		X 144 =	75	SQ. IN.
		X 50% =	*	SQ. IN.
VENTILATION PROVIDED:				
(1) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	97.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 225" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			97.5	SQ. IN.

ATTIC VENT CALCULATIONS



FRONT ELEVATION 'A' SPANISH ECLECTIC



REAR ELEVATION 'A' SPANISH ECLECTIC

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPC ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1900) CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 10" & 12" CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. 14, 15, & 17
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R802 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE

MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3501 EAST BASELINE ROAD @ SUBURY, ARIZONA 85204
PH. 480-962-4473

No.	Date	Issue / Description
	07.16.2016	BLDG. DEPT. SUBMITTAL
1	09.28.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.09.2017	BLDG. DEPT. CORRECTIONS

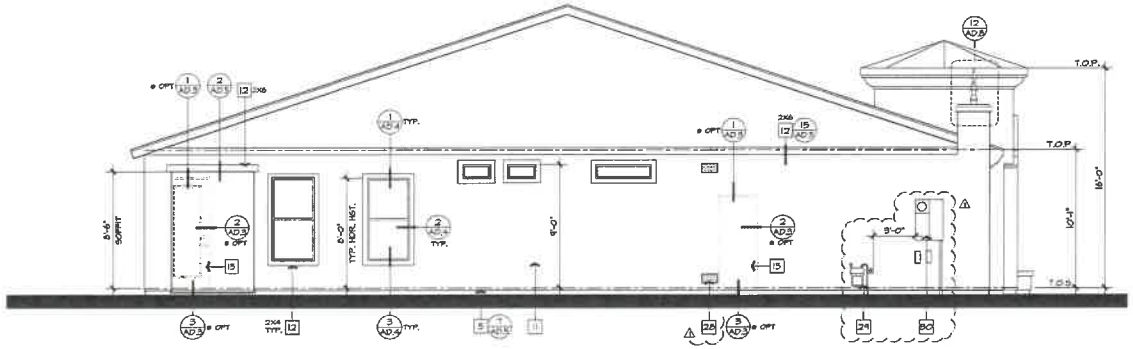
SHEET TITLE:

PLAN 1700 (PLAN 1) FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A' SPANISH ECLECTIC

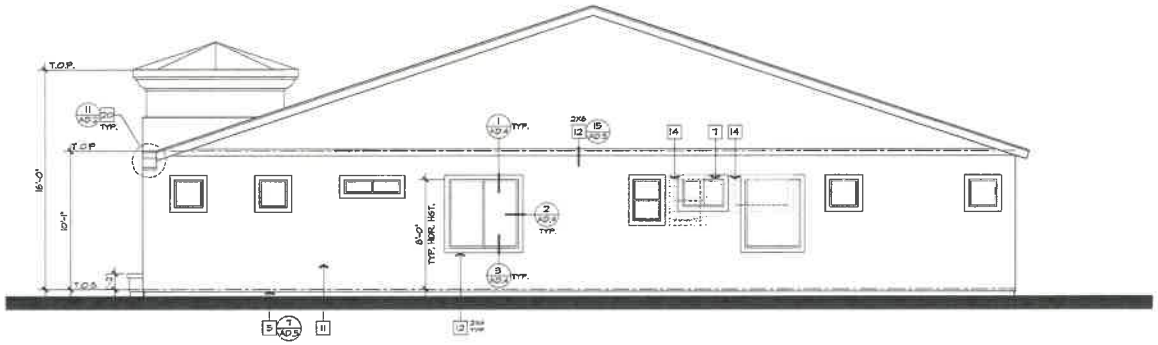
SHEET NO:

AA.21

CADFILE
PLOT DATE:



LEFT ELEVATION 'A' SPANISH ECLECTIC



RIGHT ELEVATION 'A' SPANISH ECLECTIC

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ESR-1609)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINWOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID M. MALDONADO

PROJECT MANAGER: BRIAN WELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
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No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

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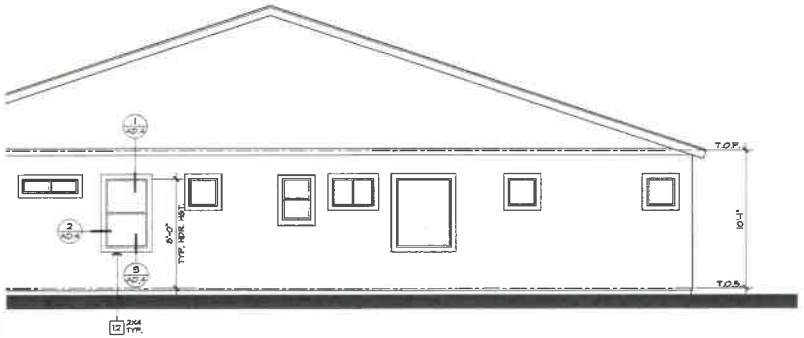
SHEET TITLE:

PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'A'
SPANISH ECLECTIC

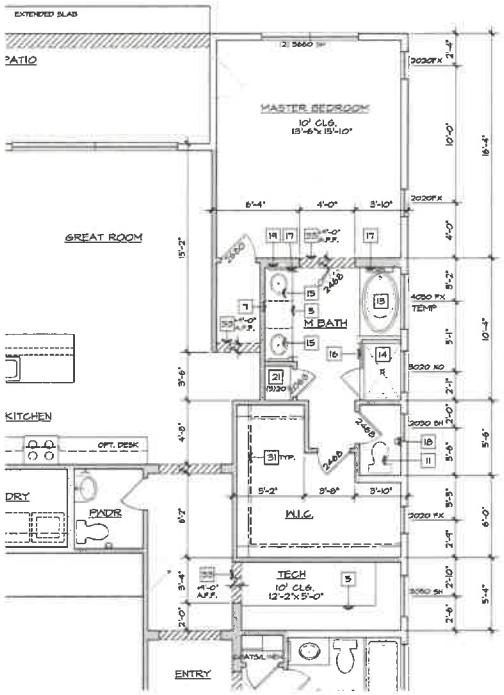
SHEET NO:

AA.22

CADFILE:
PLOT DATE:



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. ENLARGED MASTER BEDROOM W/ OPT. DEN - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER/DROP SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-32" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC R1. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OV MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARVRING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SMITY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE, (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1601 & 1602) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2073 & SEC P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GI SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" ⚠ BELOW CLG (PER IRC. M1703.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APM0 ESR-1900) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2566 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (AMPO ER-3821)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE FIRE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

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No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

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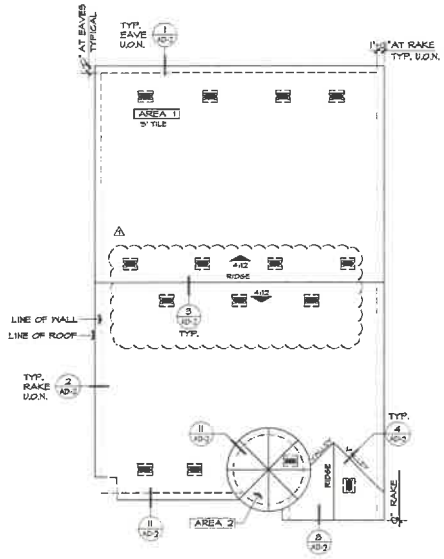
SHEET TITLE:

PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. ENLARGED MASTER

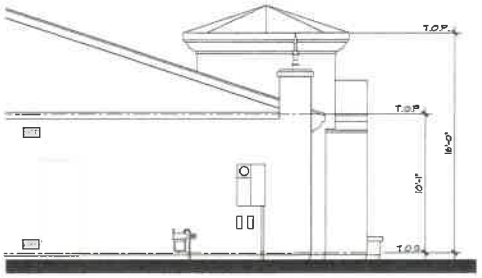
SHEET NO:

AA.31

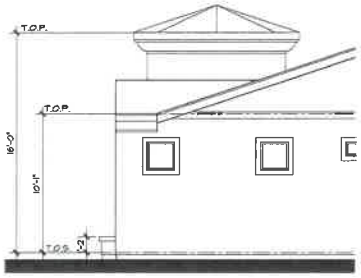


ROOF PLAN 'A'

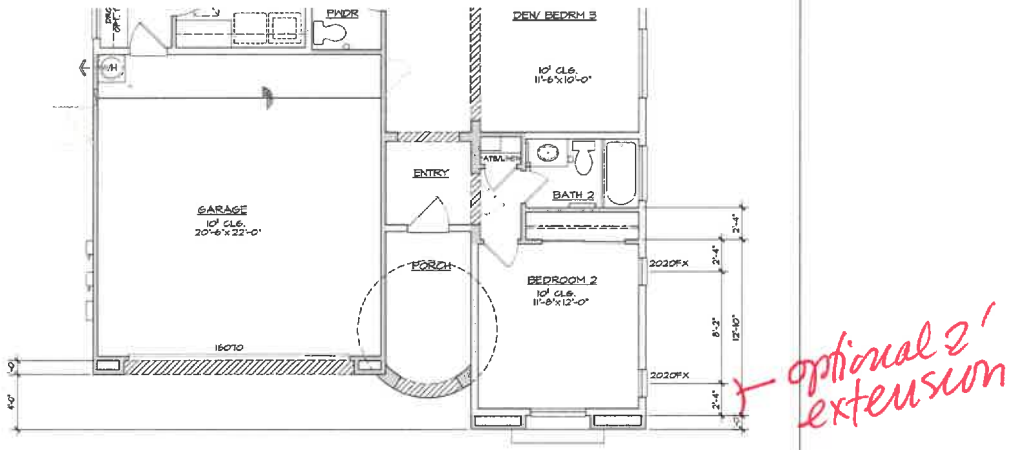
SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-1609)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2508
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWYOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2508	SQ. FT. / 300 =	83	SQ. FT.
		X 144 =	1195	SQ. IN.
		X 50% =	598	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS.	975	SQ. IN. EA. =	6825	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS.	975	SQ. IN. EA. =	6825	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

OPT. 2' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MOLLOR

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3521 EAST BASELINE ROAD GILBERT, ARIZONA 85234
PH: 480-892-4472

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	05.09.2019	BLDG. DEPT. CORRECTIONS

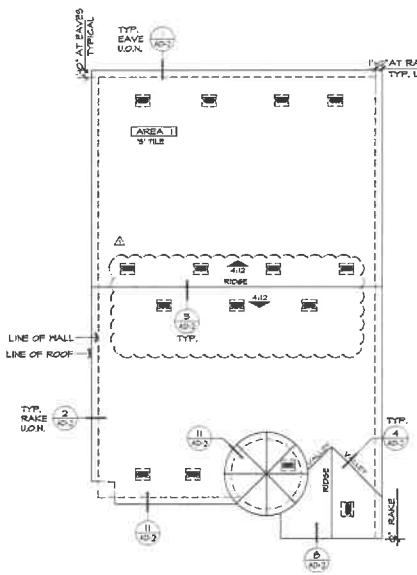
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF DESIGN & ID33 PLANNING AND MAY NOT BE REPRODUCED OR USED WITHOUT THE WRITTEN PERMISSION OF DESIGN & ID33 PLANNING. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED FOR THIS PROJECT ONLY. THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED FOR CONSTRUCTION PURPOSES ONLY AFTER THEY HAVE BEEN SIGNED, SEALED AND DATED BY THE ARCHITECT OF RECORD. DESIGN & ID33 PLANNING HAS NOT BEEN RETAINED TO PROVIDE SUPERVISION OF CONSTRUCTION OR TO PROVIDE SUPERVISION OF THE WORK OF ANY CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE ELEVATION DATA, THE SIZE AND LOCATION OF ALL STRUCTURAL MEMBERS, AND FOR THE ACCURACY OF ALL DIMENSIONS. DESIGN & ID33 PLANNING DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. DESIGN & ID33 PLANNING DOES NOT REPRESENT THE OWNER OR CLIENT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF WORK. DESIGN & ID33 PLANNING DOES NOT ASSUME ANY RESPONSIBILITY FOR ANY EFFECTS TO OTHER PARTS OF THE STRUCTURE RESULTING FROM THE ALTERATIONS.

SHEET TITLE:

PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. 2' BEDRM 2
EXTENSION

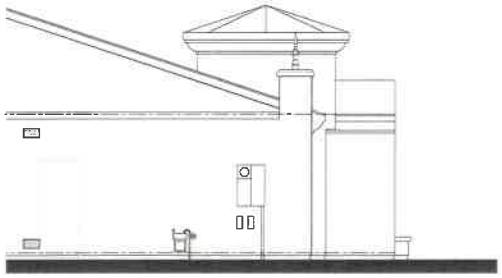
SHEET NO:

AA.33

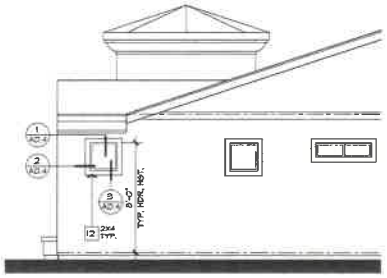


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'

ELEVATION NOTES

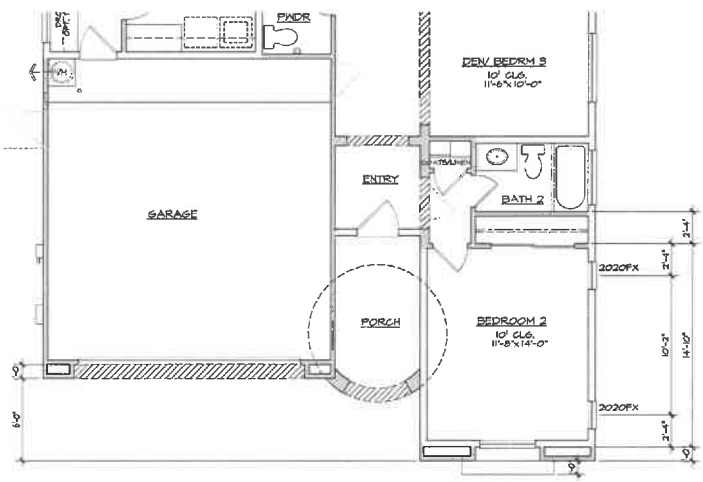
1. ROOF MATERIAL - EAGLE ROOF TILE (IAPMO ESR-1603)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2578
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-3823)
12. STUCCO OVER FOAM TRIM (INK SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2531	SQ. FT. / 300 =	8.4	SQ. FT.
		X 144 =	1210	SQ. IN.
		X 50% =	605	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
[0] GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
[7] OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
[7] OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
[0] EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. 4' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3521 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.4412

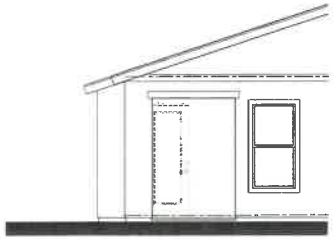
No.	Date	Issue / Description
	01.15.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.04.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

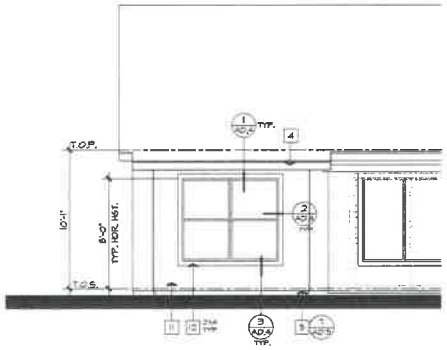
PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. 4' BEDROOM
EXTENDSION

SHEET NO:

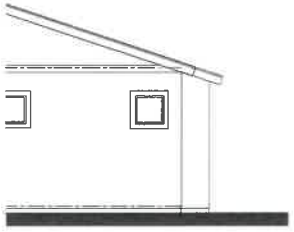
AA.34



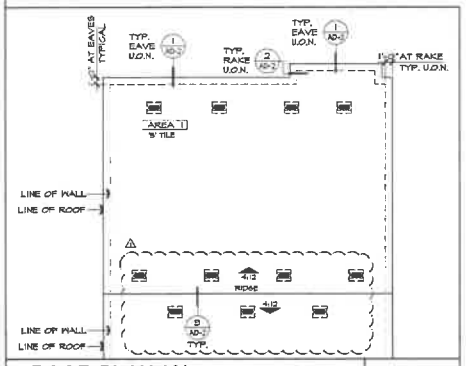
PARTIAL LEFT ELEV. 'A'



PARTIAL REAR ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



ROOF PLAN 'A'

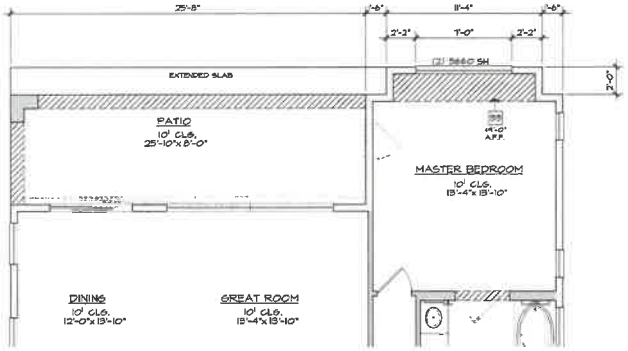
SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2508	SQ. FT. / 300 =	8.3	SQ. FT.
		X 144 =	1195	SQ. IN.
		X 50% =	598	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA =	0	SQ. IN.
(7) OMAGIN CLOAKED VENTS:	975	SQ. IN. EA =	6825	SQ. IN.
LOW:				
(7) OMAGIN CLOAKED VENTS:	975	SQ. IN. EA =	6825	SQ. IN.
(0) EAVE VENTS "SPIDS MOUTH" 3 PER BAY @ 225" DIA. EA	92	SQ. IN. EA =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. BOX BAY - 'A' SPANISH ECLECTIC MST19-11040

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 35" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR SPACE (15" CLR FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARVRING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE. (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & 1502) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2003 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS.
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" ⚠ BELOW CLG (PER IRC. M7.03.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-8009) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (AMPO ER-362)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

CADFILE:
PLOT DATE:

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MOLLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3527 EAST BASELINE ROAD @ GILBERT, ARIZONA 85234
P. 480-313-4413

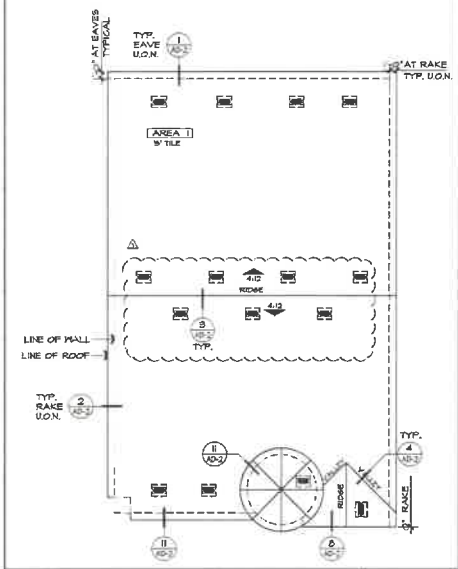
No.	Date	Issue / Description
	01.18.2016	BLDG. DEPT. SUBMITTAL
⚠	09.28.2016	BLDG. DEPT. CORRECTIONS
⚠	10.14.2016	BLDG. DEPT. CORRECTIONS
⚠	03.24.2018	CODE UPDATE
⚠	04.12.2018	CLIENT CHANGES
⚠	08.09.2018	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1700
'A' SPANISH ECLECTIC
OPT. BOX BAY

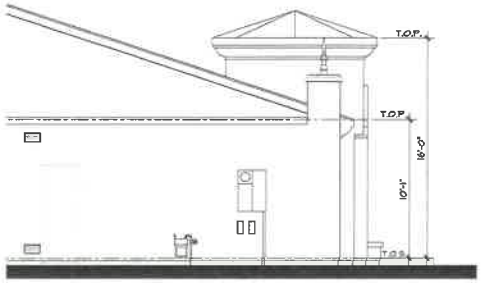
SHEET NO:

AA.35

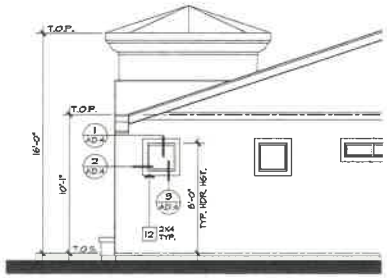


ROOF PLAN 'A'

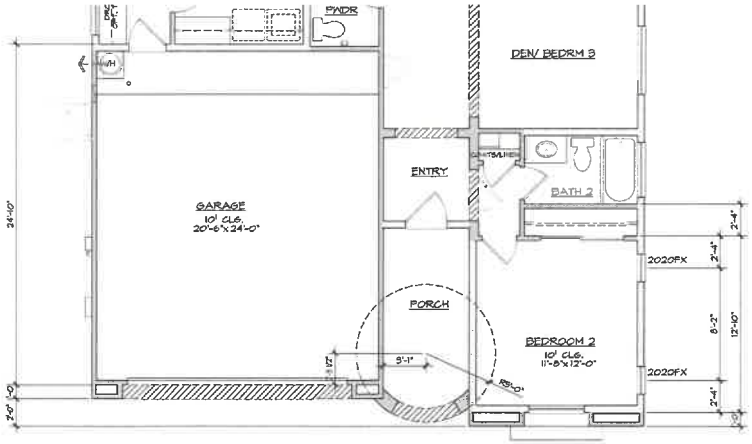
SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2,561	SQ. FT. / 300 =	8.5	SQ. FT.
		X 144 =	1224	SQ. IN.
		X 50% =	612	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
(7) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS *SIROS MOUTH 3 PER BAY @ 225" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

OPT. 2' GARAGE EXT. @ 2' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/OR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14"x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3501 EAST BASELINE ROAD, SUITE 101, ARIZONA 85234
480 926-4472

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	05.24.2018	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.04.2019	BLDG. DEPT. CORRECTIONS

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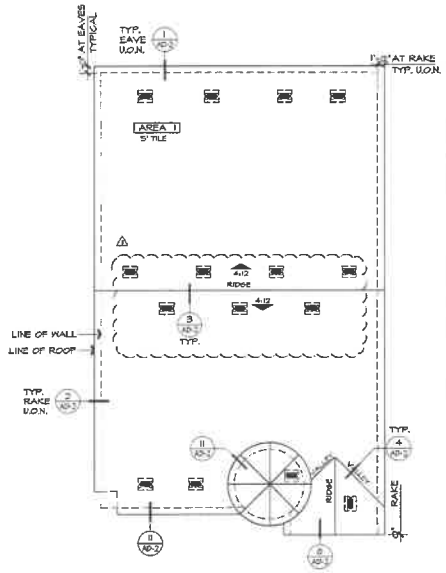
SHEET TITLE:

PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. 2' GARAGE EXT. @
2' BEDROOM 2 EXT.

SHEET NO:

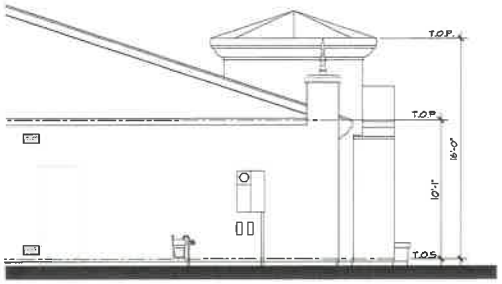
AA.36

CADFILE:
PLOT DATE:

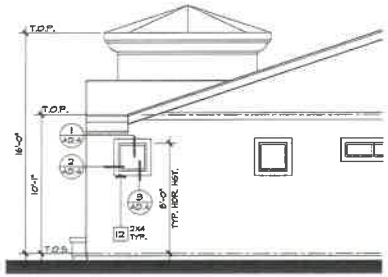


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



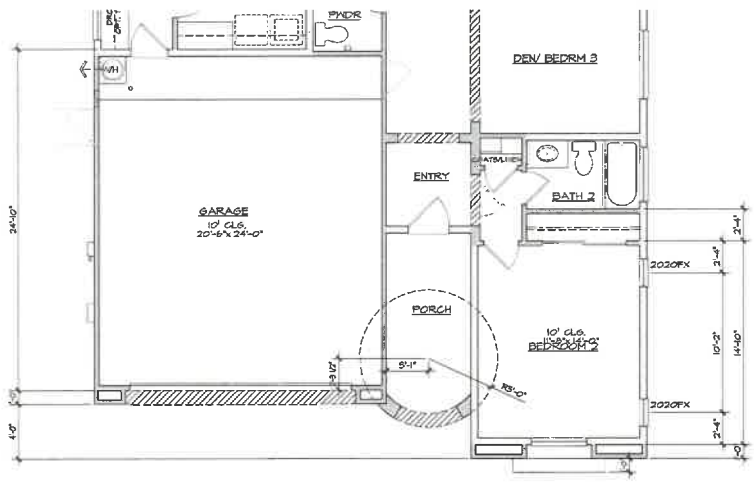
PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RKED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PARTIAL FLOOR PLAN 'A'

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	2586	SQ. FT. / 300 =	8.6	SQ. FT.
		X 144 =	1241	SQ. IN.
		X 50% =	621	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS.	975	SQ. IN. EA. =	6825	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

OPT. 2' GARAGE EXT. @ 4' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3321 EAST BASELINE ROAD SUBERTY, ARIZONA 85234
P: 480.345.4412

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	09.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

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SHEET TITLE:

PLAN 1700 (PLAN 1)
'A' SPANISH ECLECTIC
OPT. 2' GARAGE EXT. @
4' BEDROOM 2 EXT.

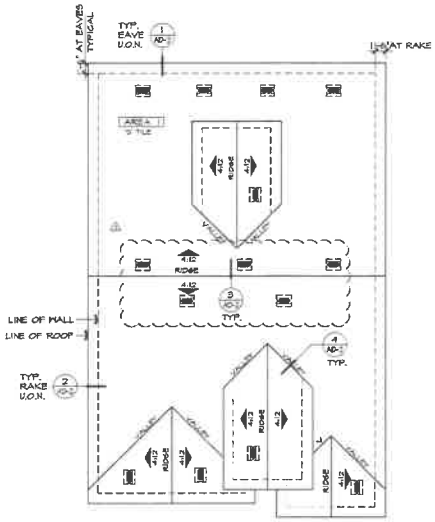
SHEET NO:

AA.37

PLAN 1700 ITALIAN FARMHOUSE ELEVATION

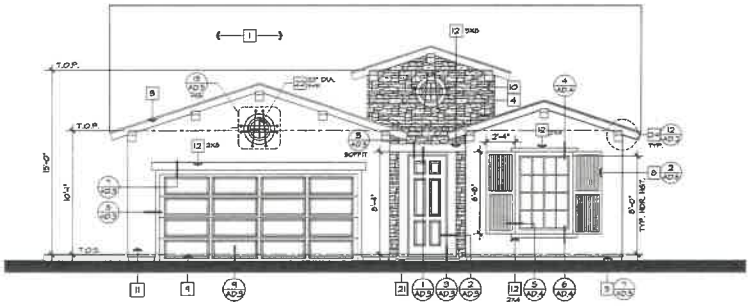
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 74%
stone/brick 26%

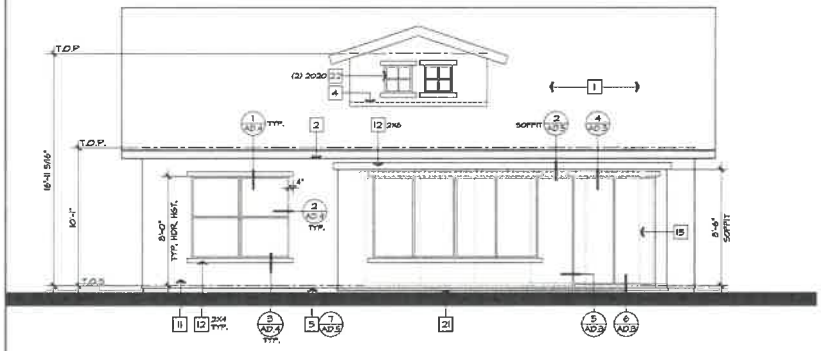


ROOF PLAN 'B'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'B' ITALIAN FARMHOUSE



REAR ELEVATION 'B' ITALIAN FARMHOUSE

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2461	SQ. FT. / 300 =	8.2	SQ. FT.
		X 144 =	1182	SQ. IN.
		X 50% =	591	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(2) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
LOW:				
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
(0) EAVE VENTS "SPIDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			7395	SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (IAPMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-3822)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURED) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOMOOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- IAPMO ER-1900
   CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (2) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE.

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT. PER UAC. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE. PER IRC R802 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

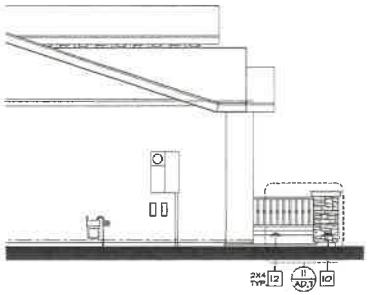
BLANDFORD HOMES
5321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.821.4412

No.	Date	Issue / Description
	01.15.2016	BLDG. DEPT. SUBMITTAL
1	01.28.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.09.2017	BLDG. DEPT. CORRECTIONS

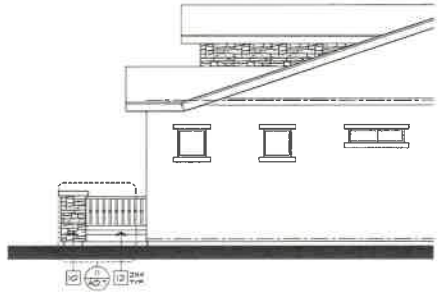
SHEET TITLE:
PLAN 1700 (PLAN 1)
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'
ITALIAN FARMHOUSE

SHEET NO:
AB.21

CADFILE:
PLOT DATE:

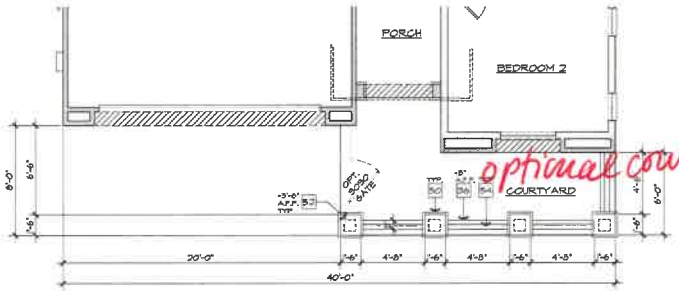


PARTIAL LEFT ELEV. 'B'



PARTIAL RIGHT ELEV. 'B'

PARTIAL FRONT ELEV. 'B'



PARTIAL FLOOR PLAN 'B'

OPT. COURTYARD - 'B' ITALIAN FARMHOUSE

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV DRAIN O/ MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SMITTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE, WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC, SEC. M1501 &1502) ⚠
24. PROVIDE DOOR VIEWER PER MESA REG. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE, TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC, SEC. M2005 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 30" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC, SEC. R807 & M1305.1.2)
40. FAU IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL S/AD3
48. CONCRETE FLAT WORK SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB SLOPE 1/8" PER FOOT U.N.O. S/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW C.L.G. (PER IRC, M1703.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFMO ESR-1900) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-382)
12. STUCCO OVER FOAM TRIM (ENE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM (EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

CAD FILE:
PLOT DATE:

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3501 EAST BASELINE RD. #116-GILBERT, ARIZONA 85234
P: 480 892 4413

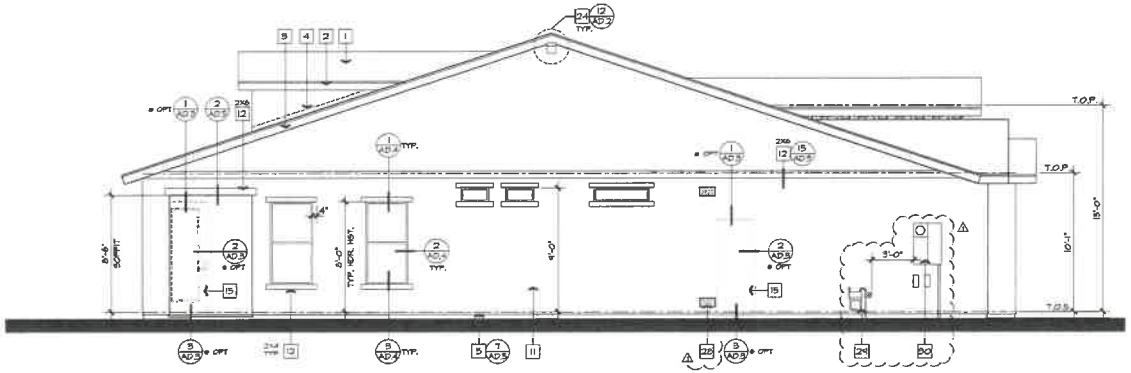
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.28.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	09.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

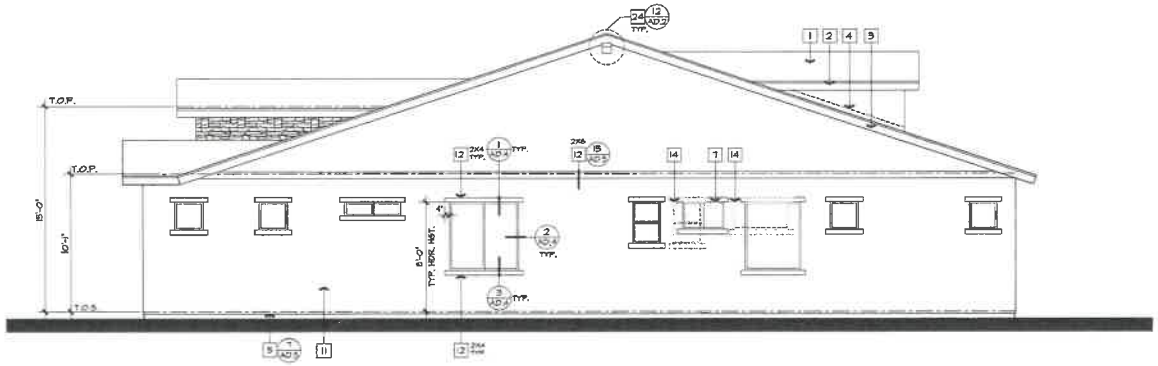
PLAN 1700 (PLAN 1)
'B' ITALIAN FARMHOUSE
OPT. COURTYARD

SHEET NO:

AB.32



LEFT ELEVATION 'B' ITALIAN FARMHOUSE



RIGHT ELEVATION 'B' ITALIAN FARMHOUSE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1309)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-382)
12. STUCCO OVER FOAM TRIM (PRE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3521 EAST BASELINE, SUITE G, GILBERT, ARIZONA 85234
P. 480.892.4442

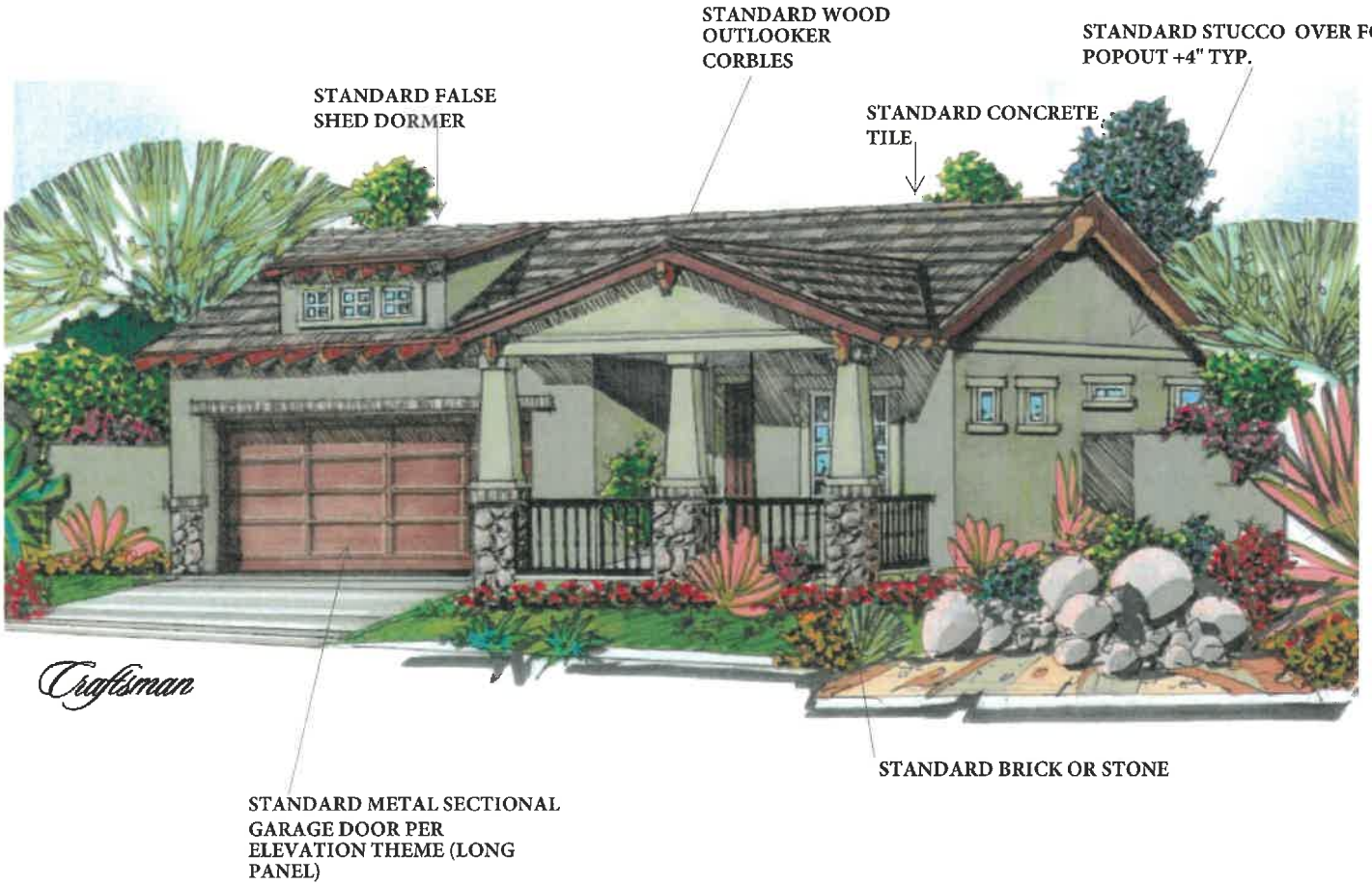
No.	Date	Issue / Description
	07.10.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'B'
ITALIAN FARMHOUSE

SHEET NO:

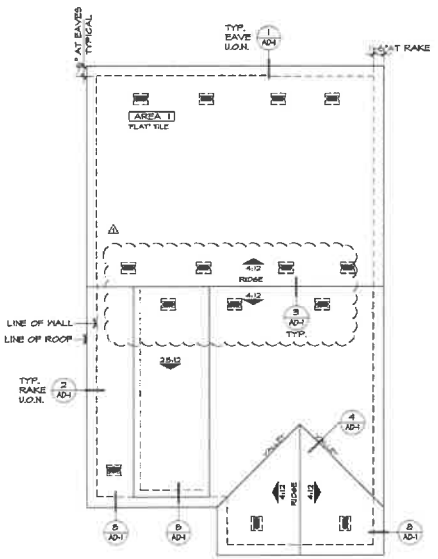
AB.22



PLAN 1700 CRAFTSMAN ELEVATION

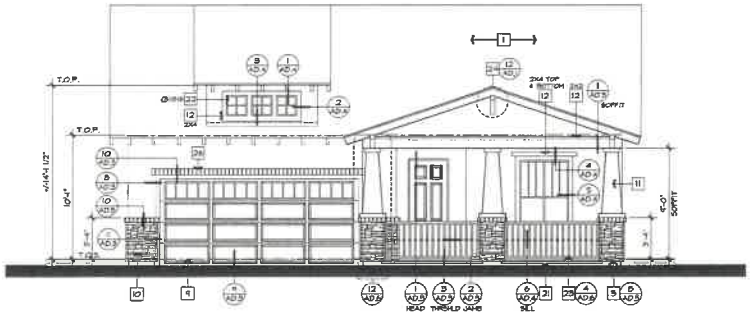
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

80% stucco
20% stone skirts (or brick)

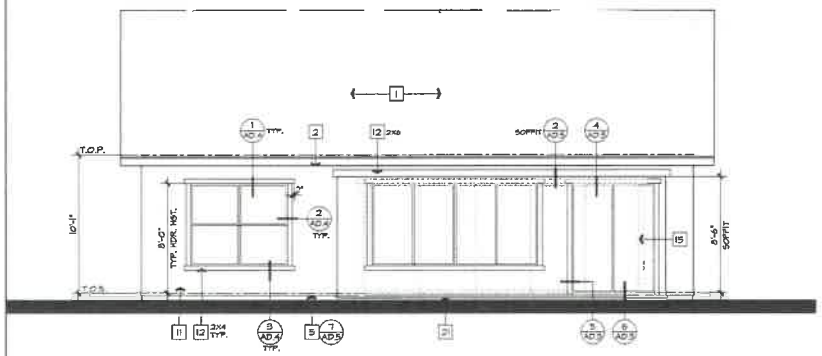


ROOF PLAN 'C'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'C' CRAFTSMAN



REAR ELEVATION 'C' CRAFTSMAN

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2594	SQ. FT. / 300 =	8.6	SQ. FT.
		X 144 =	1245	SQ. IN.
		X 50% =	623	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) O'HAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
(7) O'HAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- IAPMO ER-1900
   CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-0" OF VALLEY, 1'-0" OF RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 1002 EXCEPTION 1 & 2

VENTILATION SCHEDULE

O'HAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50045
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S")
SBCCI REPORT No. 9650A

Design & DESIGN Planning

PRINCIPAL: DAVID R. HALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5931 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.558.4242

No.	Date	Issue / Description
	07.19.2016	BLDG. DEPT. SUBMITTAL
1	09.28.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

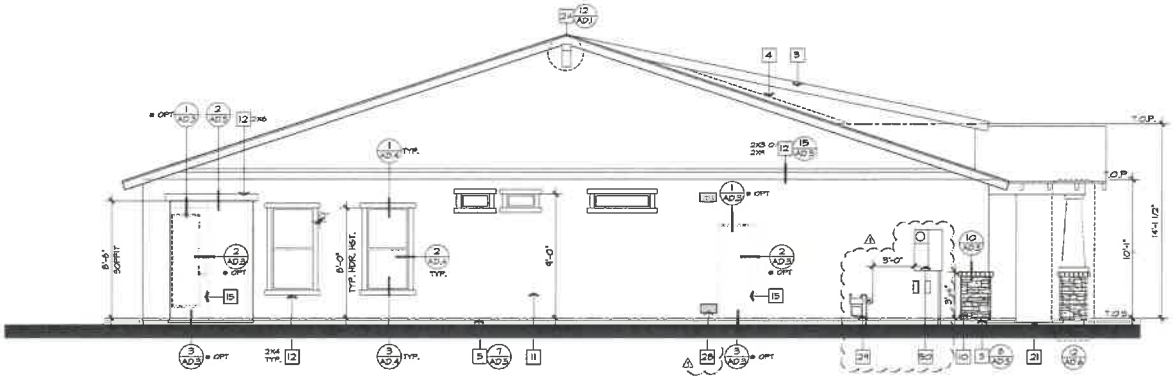
SHEET TITLE:

PLAN 1700 (PLAN 1)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'C'
CRAFTSMAN

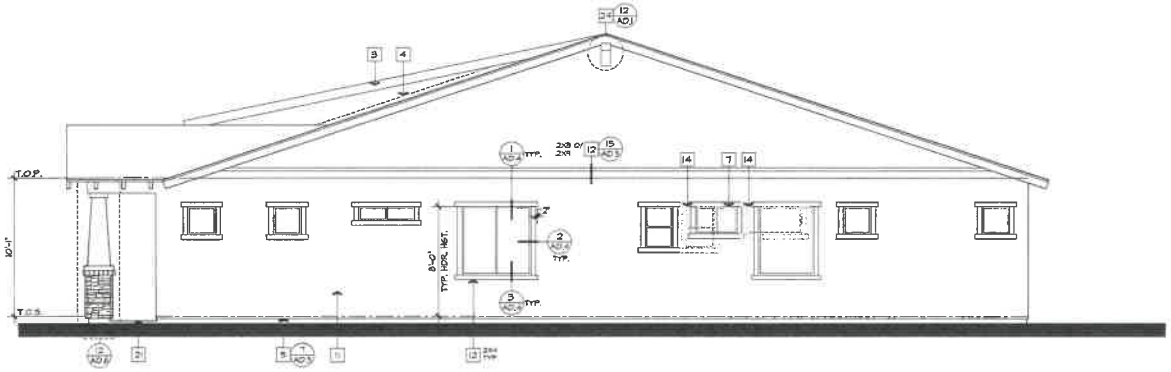
SHEET NO:

AC.21

CADFILE
PLOT DATE



LEFT ELEVATION 'C' CRAFTSMAN



RIGHT ELEVATION 'C' CRAFTSMAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-1600)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3862)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURED) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWWOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FRIED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID R. HALDONADO

PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
PH. 480 892 8402

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	09.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'C'
CRAFTSMAN

SHEET NO:

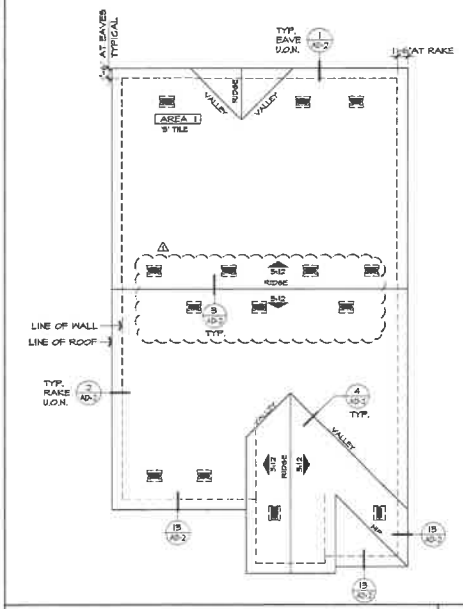
AC.22

CADFILE:
PLOT DATE:

PLAN 1700 ANDALUSIAN ELEVATION

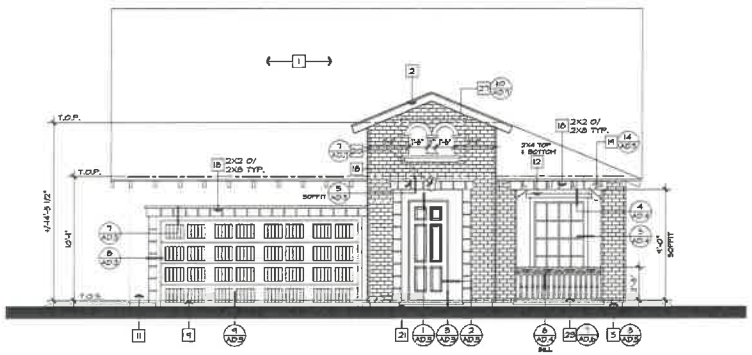
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

brick/stone 60%
stucco 40%

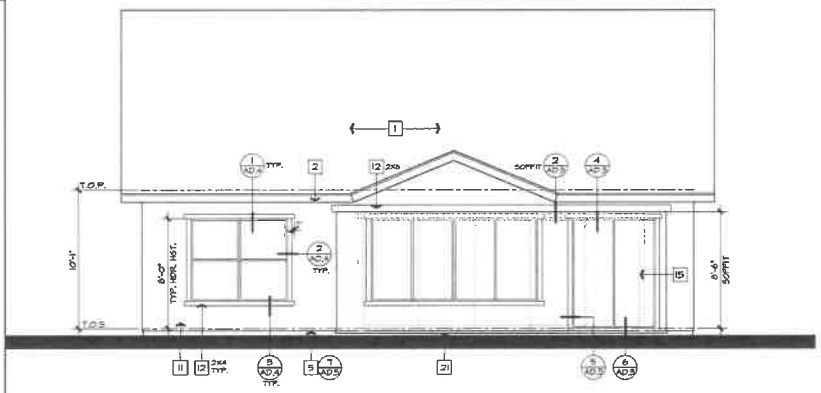


ROOF PLAN 'D'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'D' ANDALUSIAN



REAR ELEVATION 'D' ANDALUSIAN

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2628	SQ. FT. / 300 =	8.8	SQ. FT.
		X 144 =	1267	SQ. IN.
		X 50% =	634	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW:				
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "SPIDS MOUT" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/OR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1900)
   CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE. PER IRC R802 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE

MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 96.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9630A

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

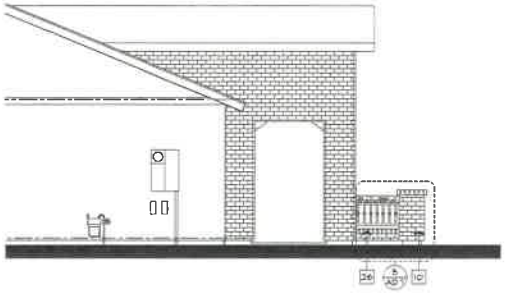
NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST SHELLINE ROAD @ GILBERT, ARIZONA 85234
P: 480.812.9442

No.	Date	Issue / Description
	01.15.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.04.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1700 (PLAN 1)
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'D' ANDALUSIAN

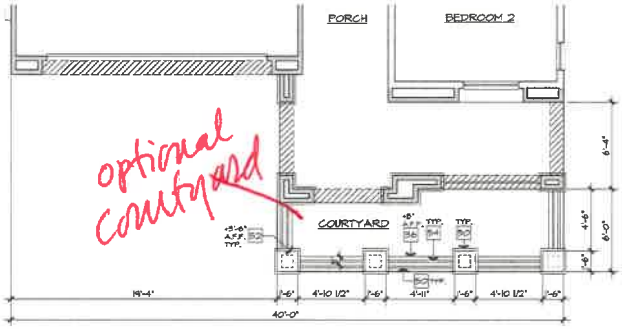
SHEET NO:
AD.21



PARTIAL LEFT ELEV. 'D'

PARTIAL RIGHT ELEV. 'D'

PARTIAL FRONT ELEV. 'D'



PARTIAL FLOOR PLAN 'D'

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF RITURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OV MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARVRING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SMITTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE, WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & 1502) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE PER IRC SEC.M2001 & SEC. P2803 SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD.9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD.0
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GI. SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" ⚠ BELOW C.L.G (PER I.R.C. M1703.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFMO ESR-3003) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2308 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

MCR94-1104 OPT. COURTYARD - 'D' ANDALUSIAN

SCALE : 1/4" = 1'-0"

CADFILE
PLOT DATE

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
8921 EAST BASELINE ROAD @ GILBERT, ARIZONA 85234
PH. 480 218 4472

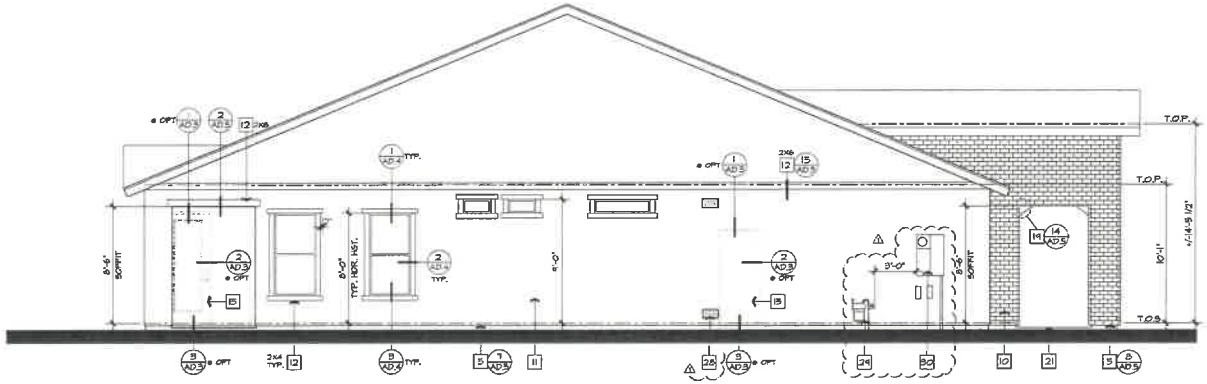
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	05.01.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

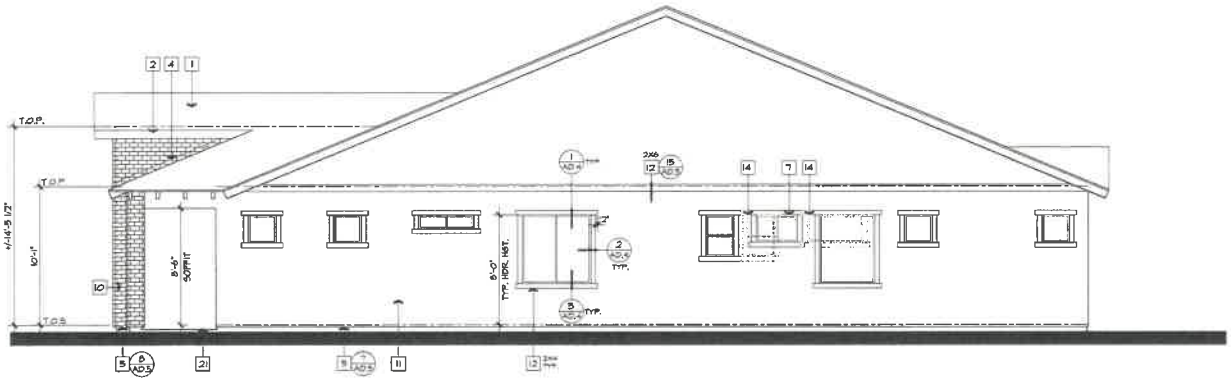
PLAN 1700 (PLAN 1)
'D' ANDALSIAN
OPT. COURTYARD

SHEET NO:

AD.32



LEFT ELEVATION 'D' ANDALUSIAN



RIGHT ELEVATION 'D' ANDALUSIAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-8609)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2698
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3521 EAST BASELINE ROAD GILBERT, ARIZONA 85234
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No.	Date	Issue / Description
	01.13.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2014	CODE UPDATE
4	04.12.2014	CLIENT CHANGES
5	06.03.2014	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'D'
ANDALUSIAN

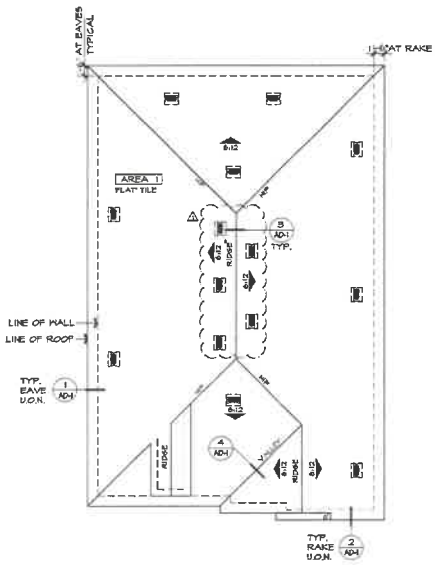
SHEET NO:

AD.22

PLAN 1700 COUNTRY FRENCH ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

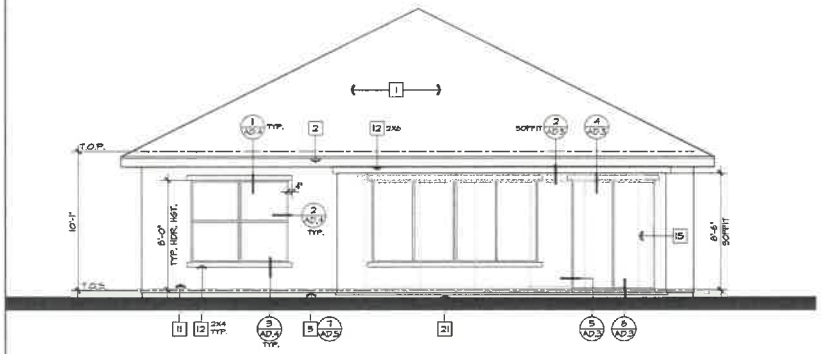
stucco 50%
brick/stone 50%



ROOF PLAN 'E'

SCALE : 1/8" = 1'-0"

FRONT ELEVATION 'E' COUNTRY FRENCH



REAR ELEVATION 'E' COUNTRY FRENCH

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1909)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1909) CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE "S" TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (E.G. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 7'-0" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER (R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE. PER IRC 1052 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.("FLAT"), 97.5 SQ. IN.("S")
SBCCI REPORT No. 9650A

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2,480	SQ. FT. / 300 =	8.3	SQ. FT.
		X 144 =	1195	SQ. IN.
		X 50% =	598	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW:				
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE : 1/4" = 1'-0"

CADFILE
PLOT DATE

Design & DESIGN Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

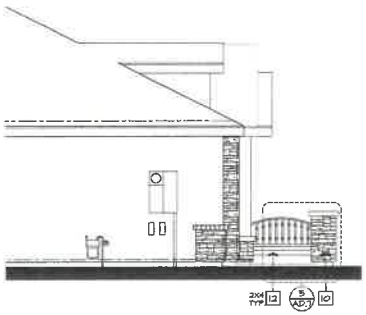
NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5231 EAST SOUTHLINE ROAD @ ELLSWORTH, ARIZONA 85234
P: 480-702-0412

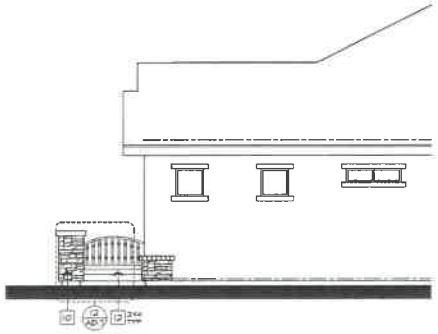
No.	Date	Issue / Description
	07.19.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1700 (PLAN 1)
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'E'
COUNTRY FRENCH

SHEET NO:
AE.21

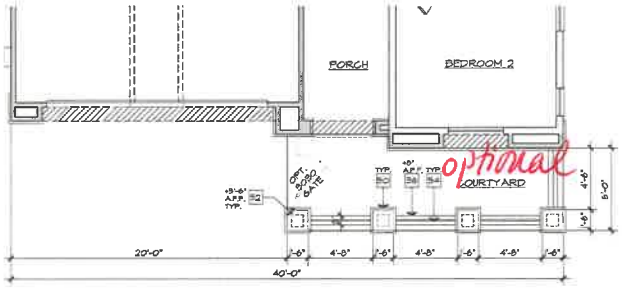


PARTIAL LEFT ELEV. 'E'



PARTIAL RIGHT ELEV. 'E'

PARTIAL FRONT ELEV. 'E'



PARTIAL FLOOR PLAN 'E'

OPT. COURTYARD - 'E' COUNTRY FRENCH

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-32" WD. x 24" DP. CLR. SPACE (18" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC R.G. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL /BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & E3028) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2007.3 & SEC. P2803) SEE DETAILS
26. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 37" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.3)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC. TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GI SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" ⚠ BELOW CLG (PER IRC. M1703.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-9009) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPO ER-3623)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WIN/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN WELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5525 EAST BASELINE ROAD, GILBERT, ARIZONA 85234
PH. 480-812-4410

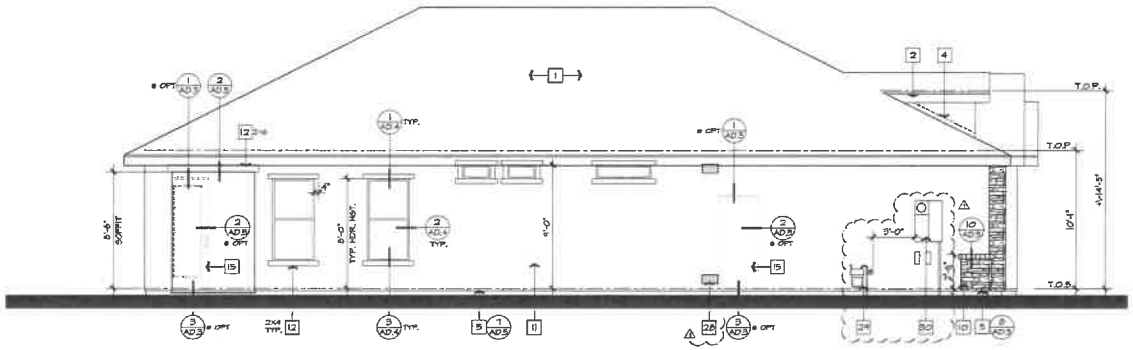
No.	Date	Issue / Description
	01.18.2016	BLDG. DEPT. SUBMITTAL
⚠	04.28.2016	BLDG. DEPT. CORRECTIONS
⚠	10.19.2016	BLDG. DEPT. CORRECTIONS
⚠	09.24.2018	CODE UPDATE
⚠	04.12.2019	CLIENT CHANGES
⚠	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

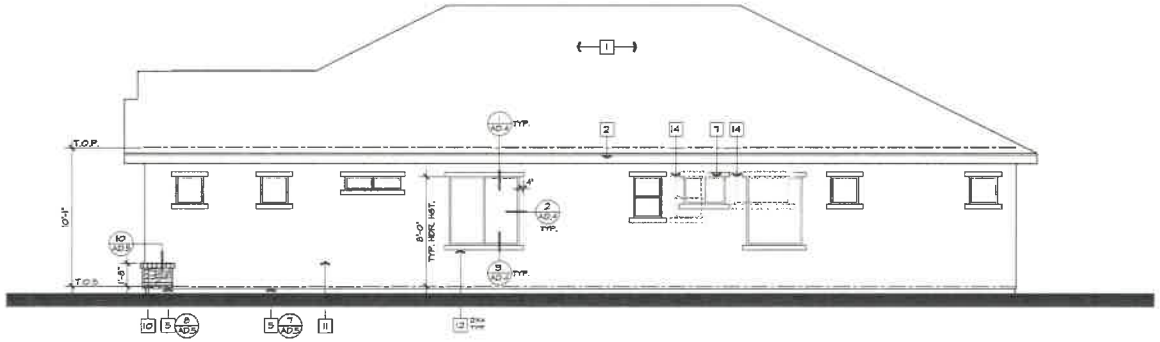
PLAN 1700 (PLAN 1)
'E' COUNTRY FRENCH
OPT. COURTYARD

SHEET NO:

AE.32



LEFT ELEVATION 'E' COUNTRY FRENCH



RIGHT ELEVATION 'E' COUNTRY FRENCH

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (IAPMO ESR-1603)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2588
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-3821)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWDOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID R. HALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5921 EAST BASELINE ROAD & LIBERTY, ARIZONA 85234
PL 480 (602) 441-0

No.	Date	Issue / Description
	01.13.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	05.09.2019	BLDG. DEPT. CORRECTIONS

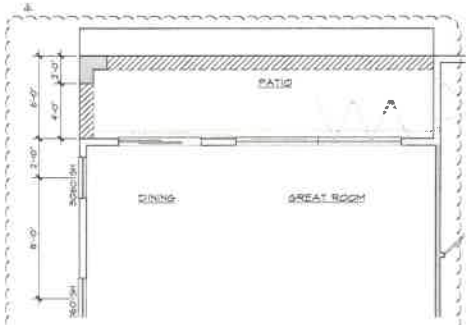
SHEET TITLE:

PLAN 1700 (PLAN 1)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'E'
COUNTRY FRENCH

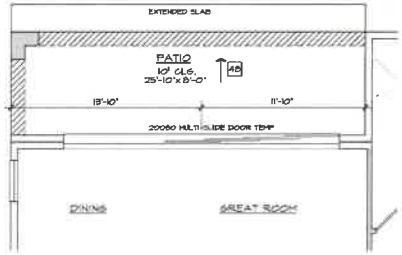
SHEET NO:

AE.22

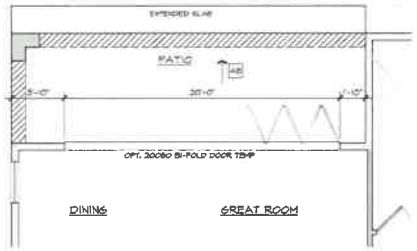
CADFILE:
PLOT DATE:



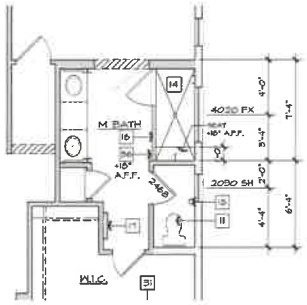
OPT. 2' EXTENDED GREAT ROOM & DINING INTO PATIO



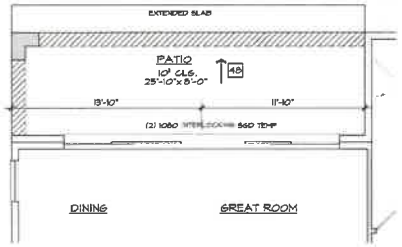
OPT. MULTI-SLIDE DOOR



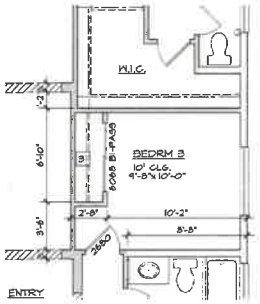
OPT. BI-FOLD DOOR



OPT. WALK-IN SHOWER



OPT. 10' INTERLOCKING DOORS



OPT. BEDROOM 3

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" W.O. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC R.R. R307.1
12. TUB/SHOWER (COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN (V. MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARYRING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE, WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & 5302) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2001) & SEC. P2803 SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN -6" & +24" ABV. GRADE & 30" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD3
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 3" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER I.R.C. M1703.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

4" WALL
6" WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE)
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, W/SELF CLOSER & TIGHT FITTINGS (REFER TO PLAN FOR SIZE) OR 20 MIN. FIRE-RATED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GVP. BD. TO BE APPLIED PER (2018 I.R.C. SECTION 702.3.5) ⚠
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ (2018 I.R.C. SEC. R310) ⚠
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION.
9. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
10. GLAZING PER (2018 I.R.C. SEC. R308.4) ⚠
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE UL (GAS M4.5967; ELEC E22223)(STANDARDS FOR FIXED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED.
12. WATER CLOSET TO HAVE AN AVERAGE OF 1.6 GALLONS PER FLUSH (UPC SEC. 402.2)

MST19-11040 FLOOR PLAN OPTIONS 'A'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
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P: 480 892 4472

No.	Date	Issue / Description
	01.18.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2018	CLIENT CHANGES
5	08.09.2018	BLDG. DEPT. CORRECTIONS

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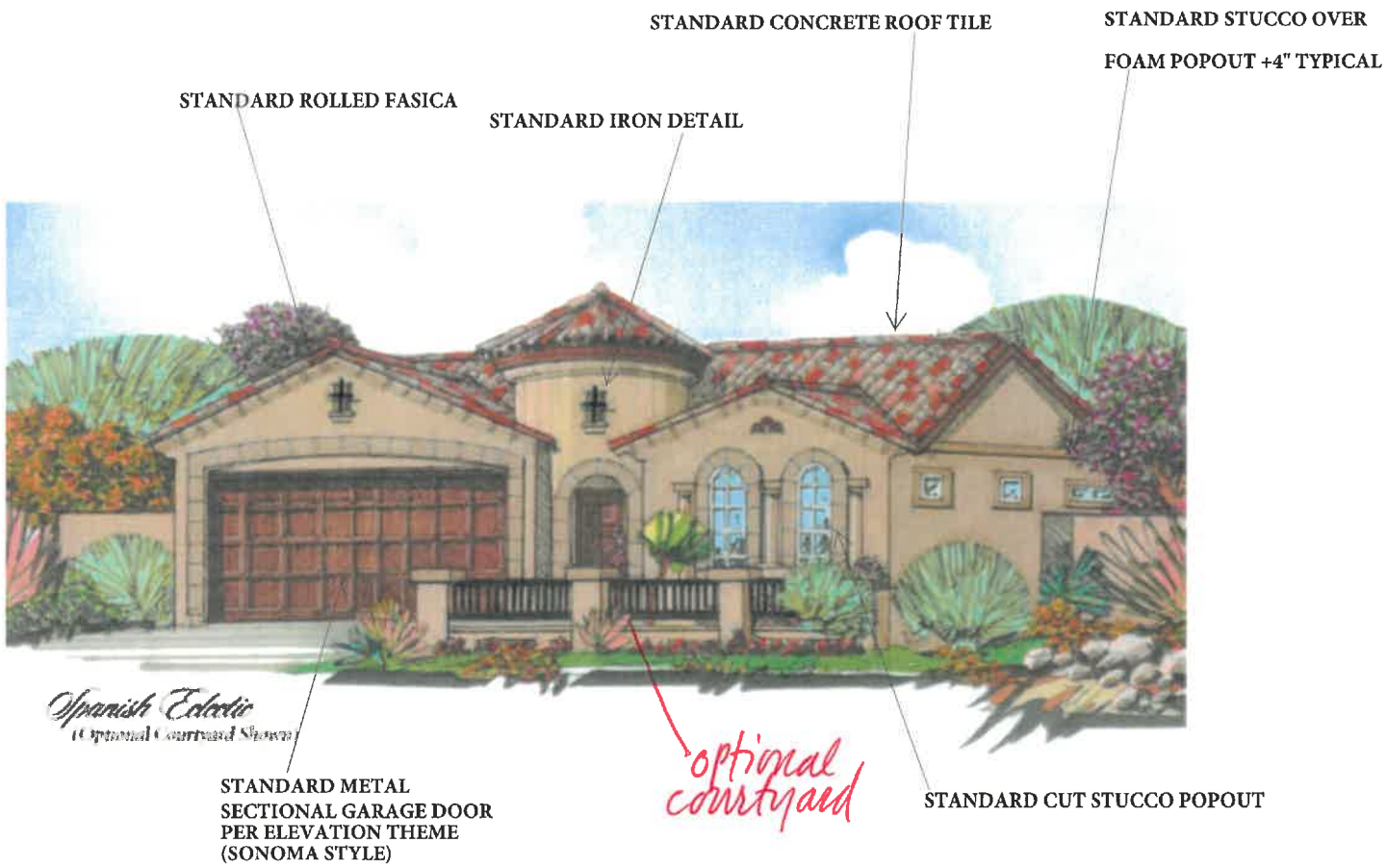
SHEET TITLE:

PLAN 1700 (PLAN 1)
FLOOR PLAN OPTIONS 'A'
SPANISH ECLECTIC

SHEET NO:

AA.12

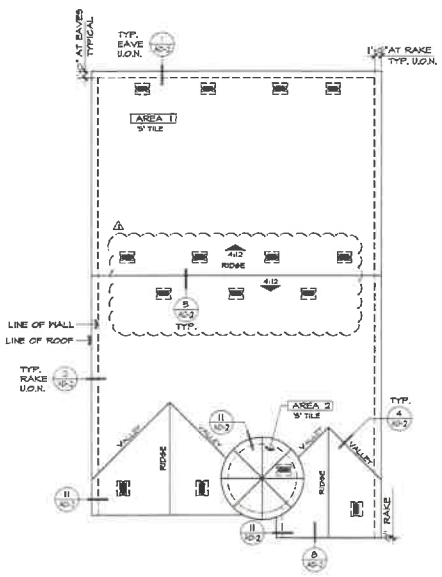


PLAN 1900 SPANISH ELEVATION

BLANDFORD HOMES

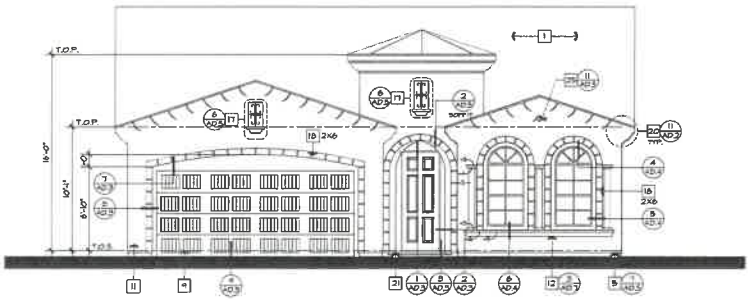
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 100%
2nd primary material 0%

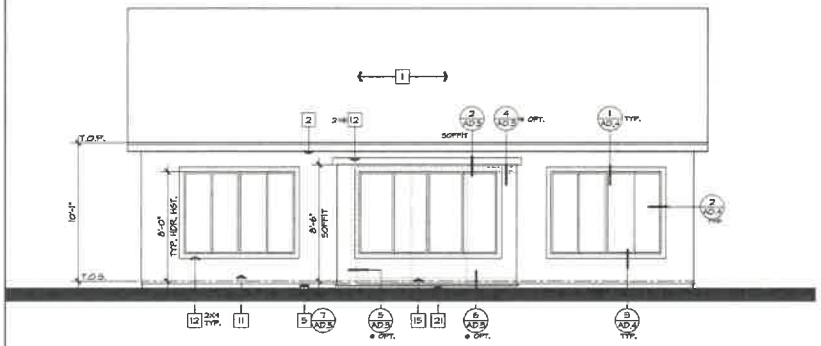


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'A' SPANISH ECLECTIC



REAR ELEVATION 'A' SPANISH ECLECTIC

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2587	SQ. FT. / 300 =	8.6	SQ. FT.
		X 144 =	1238	SQ. IN.
		X 50% =	619	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW:				
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

AREA 2

VENTILATION REQUIRED:	78	SQ. FT. / 150 =	.52	SQ. FT.
		X 144 =	75	SQ. IN.
		X 50% =	*	SQ. IN.
VENTILATION PROVIDED:				
(1) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	97.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			97.5	SQ. IN.

ATTIC VENT CALCULATIONS

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1803)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2818
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14"x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1803)
   CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (2) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER UBC SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE, PER RC 1002 EXCEPTION 1 & 2 !

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE

MODEL: "FLAT" #50043
MODEL: "S" #50045
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE : 1/4" = 1'-0"

CADFILE
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

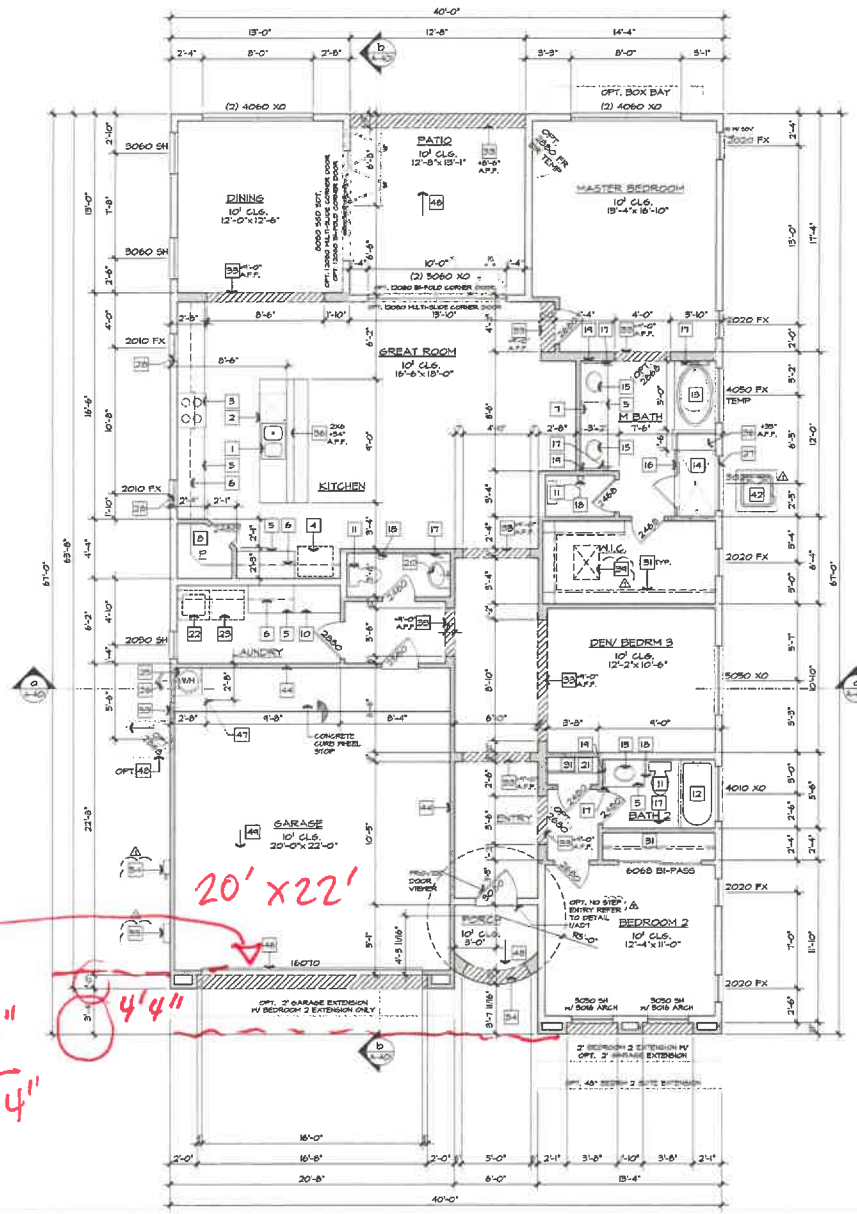
NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5920 EAST BASELINE ROAD @ ELLSWORTH, ARIZONA 85234
PH. 480-702-4472

No.	Date	Issue / Description
	07.13.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'A'
SPANISH ECLECTIC

SHEET NO:
AA.21



FLOOR PLAN 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DR. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC P.G. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARVRING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SMITTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE. (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & E1005) ⚠
24. PROVIDE DOOR VIEWER PER MESA REG. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2003/3 & SEC. P2803) SEE DETAILS
26. TAP RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 30" AWAY FROM ANY DR
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. PULL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD3
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 3" G.I. SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

2X4 WALL

2X6 WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE)
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, W/SELF CLOSER & TIGHT FITTINGS (REFER TO PLAN FOR SIZE), OR 20 MIN. FIRE-RATED DOOR
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD TO BE APPLIED PER (2018 I.R.C. SECTION 702.3.5) ⚠
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ (2018 I.R.C. SEC. R310) ⚠
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION.
9. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
10. GLAZING PER (2018 I.R.C. SEC. R308.4) ⚠
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE UL 1995 ANSI/UL SEC. 2322 2015 STANDARDS FOR FIXED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED. WATER CLOSET TO HAVE AN AVERAGE OF 1.6 GALLONS PER FLUSH. (UPC SEC. 402.2)

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN WELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5021 EAST BASELINE ROAD @ LINDSAY, ARIZONA 85234
P: 480-924-4412

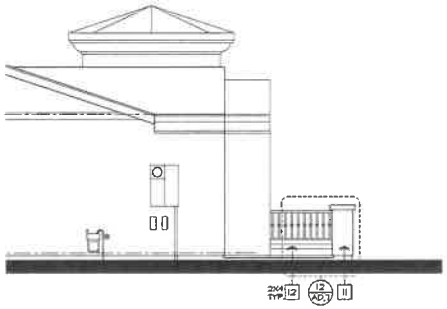
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	12.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

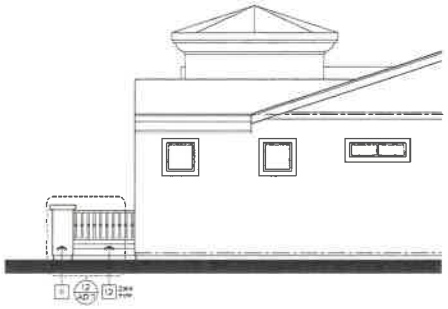
PLAN 1900 (PLAN 2)
FLOOR PLAN 'A'
SPANISH ECLECTIC

SHEET NO:

AA.11

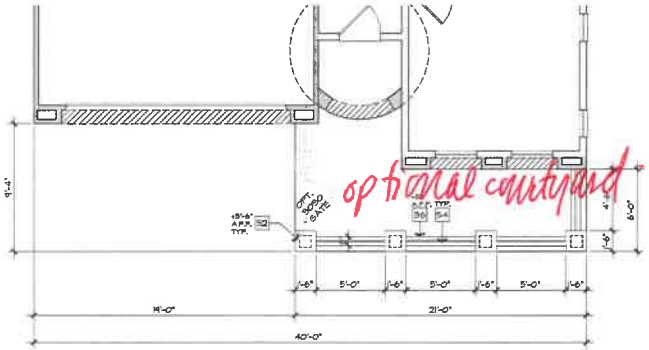


PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'

PARTIAL FRONT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. COURTYARD - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATES

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ 10REE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR SPACE (15" CLR FROM CENTER OF FIXTURE IN EACH DIRECTION) PER RC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV DRAIN O/ MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE "SAFITY PAN" W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & 1502) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1003 & SEC. P2803) SEE DETAILS
26. TAP RELEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/A09
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/A03
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFMO ESR-1900) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3923)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBELL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5831 EAST BASELINE ROAD SUBERT, ARIZONA 85234
P. 480.892.4442

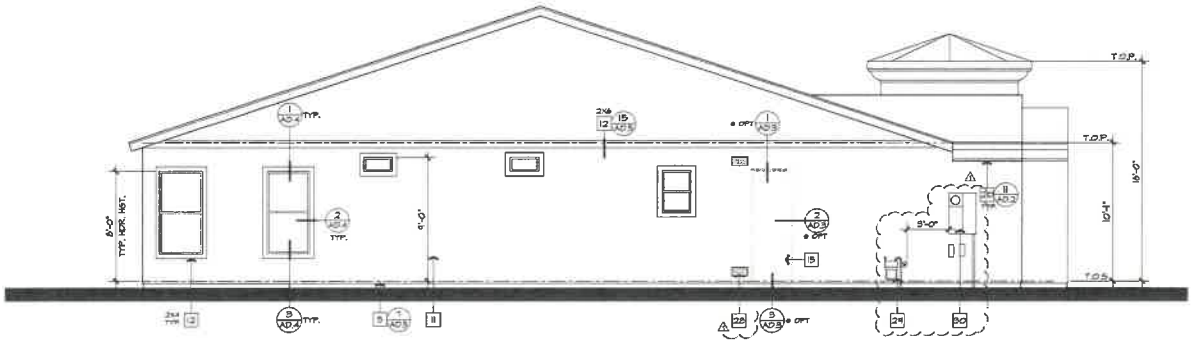
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.04.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

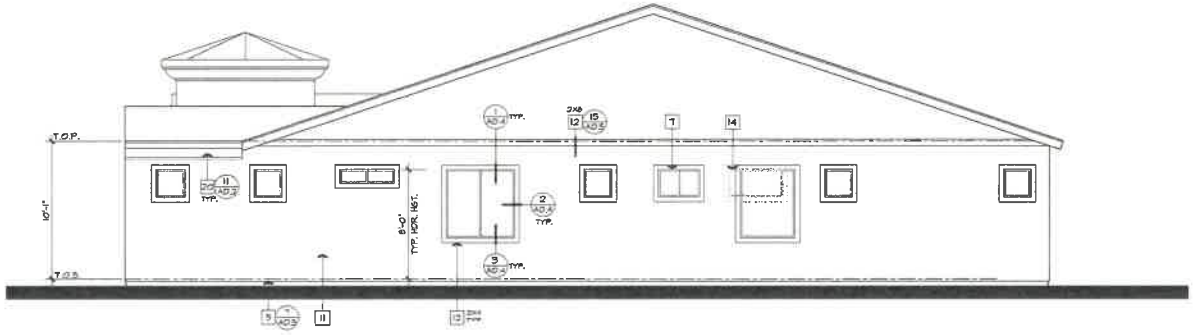
PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. COURTYARD

SHEET NO:

AA.32



LEFT ELEVATION 'A' SPANISH ECLECTIC



RIGHT ELEVATION 'A' SPANISH ECLECTIC

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-1600)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2698
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-3829)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FRED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14"x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
8501 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.3442

No.	Date	Issue / Description
	07.15.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.07.2019	BLDG. DEPT. CORRECTIONS

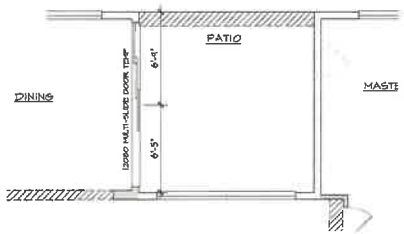
SHEET TITLE:

PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'A'
SPANISH ECLECTIC

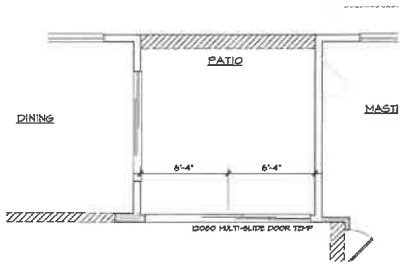
SHEET NO:

AA.22

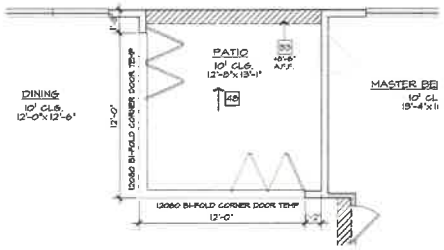
CADFILE:
PLOT DATE:



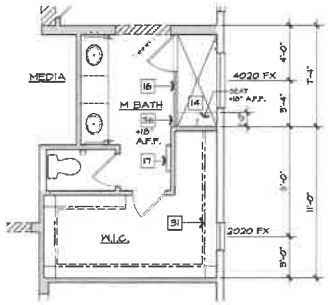
OPT. MULTI-SLIDE @ DINING



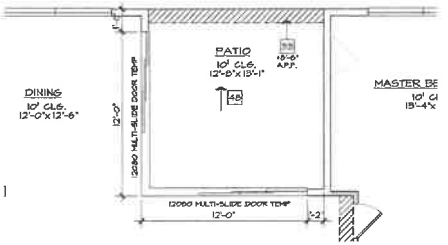
OPT. MULTI-SLIDE @ GREAT ROOM



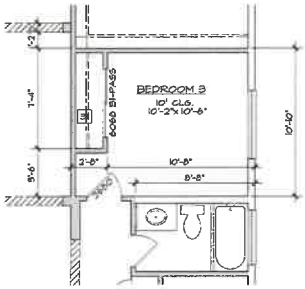
OPT. BI-FOLD DOOR



OPT. WALK-IN SHOWER



OPT. MULTI-SLIDE DOOR



OPT. BEDROOM 3

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER/RANGE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 30" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARVTING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (IMPROVED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE. WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC, SEC. M1501 & 1502) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC, SEC. M1003 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. FAN IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD8
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER I.R.C. M1703.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

2X4 WALL
2X6 WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE)
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, W/SELF CLOSER & TIGHT FITTINGS (REFER TO PLAN FOR SIZE), OR 20 MIN. FIRE-RATED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD. TO BE APPLIED PER (2018 I.R.C. SECTION 702.3.5) ⚠
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ (2018 I.R.C. SEC. R310) ⚠
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION
9. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
10. GLAZING PER (2018 I.R.C. SEC. R308.4) ⚠
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE UL (GAS M4.5957, ELEC E222.2.93)STANDARDS FOR FIXED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB, INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED.
12. WATER CLOSET TO HAVE AN AVERAGE OF 16 GALLONS PER FLUSH (UPC SEC. 402.2)

MST19-11042 **FLOOR PLAN OPTIONS 'A'** SCALE: 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3321 EAST BASELINE ROAD G.ILBERT, ARIZONA 85234
PH. (480) 962-4473

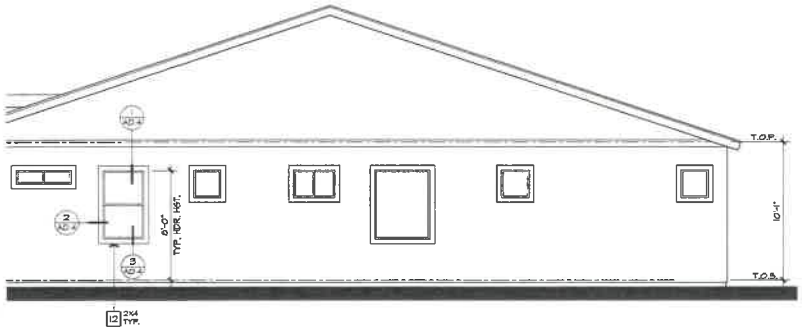
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	05.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

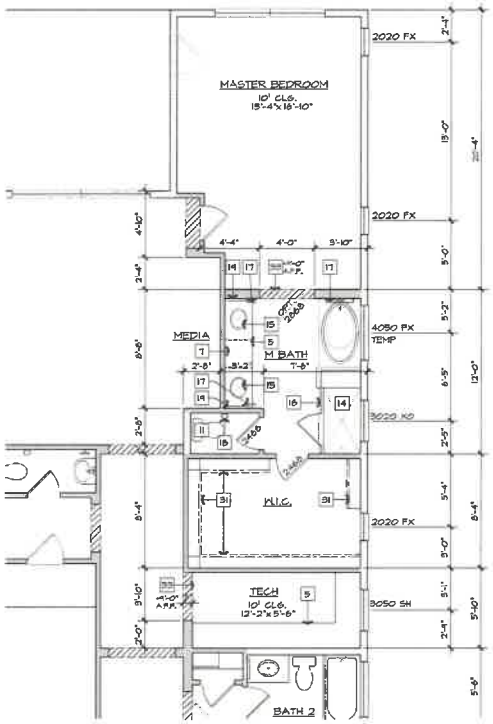
PLAN 1900 (PLAN 2)
FLOOR PLAN 'A' OPTIONS
SPANISH ECLECTIC

SHEET NO:

AA.12



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. ENLARGED MASTER BEDROOM & OPT. DEN - 'A' SPANISH ECLECTIC

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OV MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARVTING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE. (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC, SEC. M1501 & R302) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC SEC. M1003 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD3
48. CONCRETE FLAT WORK SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GLI SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER I.R.C. M1703.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MPMD ESR-1903) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GLI FLASHING
5. GLI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-382) ⚠
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO REGESS W/ TRIM
28. 14" x 8" GLI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3551 EAST BASELINE ROAD #LUBBOCK, ARIZONA 85234
PH. 480 898 4473

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.09.2017	BLDG. DEPT. CORRECTIONS

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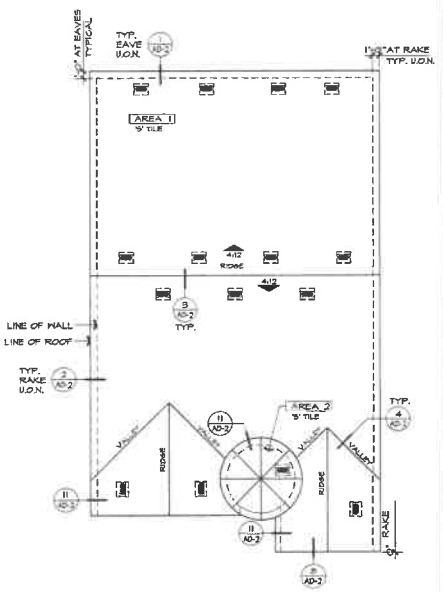
SHEET TITLE:

PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. ENLARGED MASTER

SHEET NO:

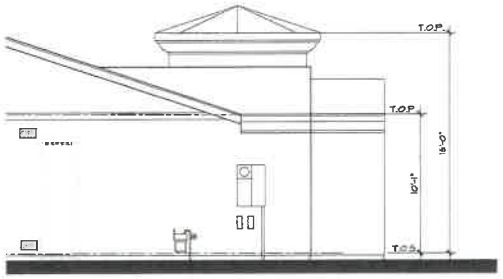
AA.31

CADFILE:
PLOT DATE:

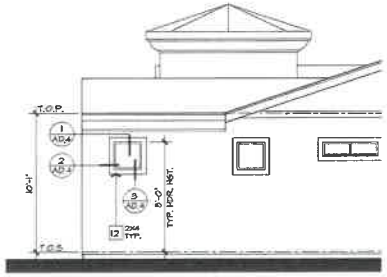


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



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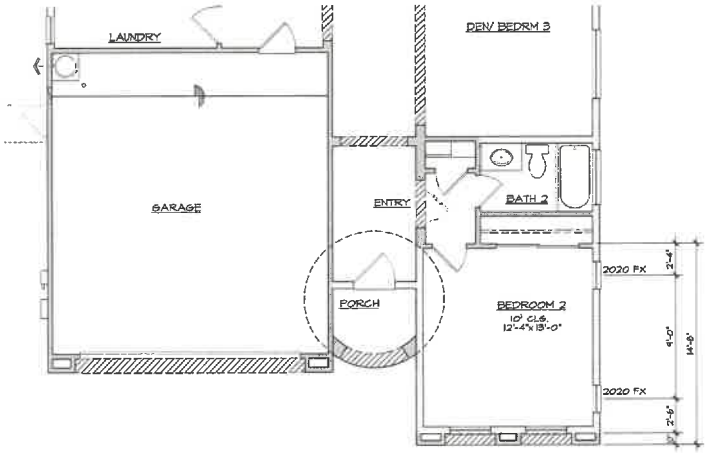


PARTIAL FLOOR PLAN 'A'

SCALE : 1/4" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	2614	SQ. FT. / 300 =	87	SQ. FT.
		X 144 =	1253	SQ. IN
		X 50% =	627	SQ. IN
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN
LOW				
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 225" DIA. EA	12	SQ. IN. EA. =	0	SQ. IN
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

OPT. 2' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE @APMO ESR-1903
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES @MPO ER-3620
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURED) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD ALBERT T. ARIZONA 85234
P. 480 812 4412

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.28.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2018	CLIENT CHANGES
5	08.04.2019	BLDG. DEPT. CORRECTIONS

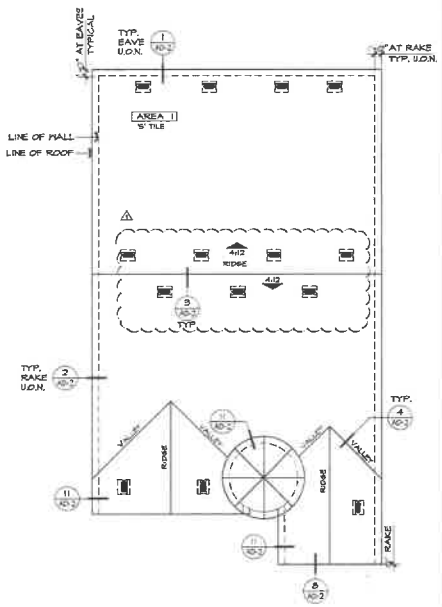
SHEET TITLE:

PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 2' BEDROOM 2
EXTENSION

SHEET NO:

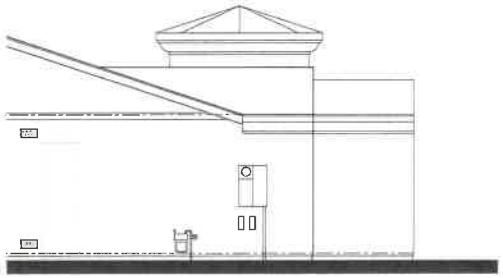
AA.33

CASEFILE:
PLOT DATE:

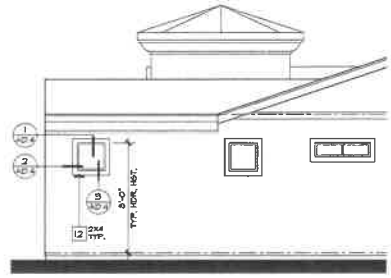


ROOF PLAN 'A'

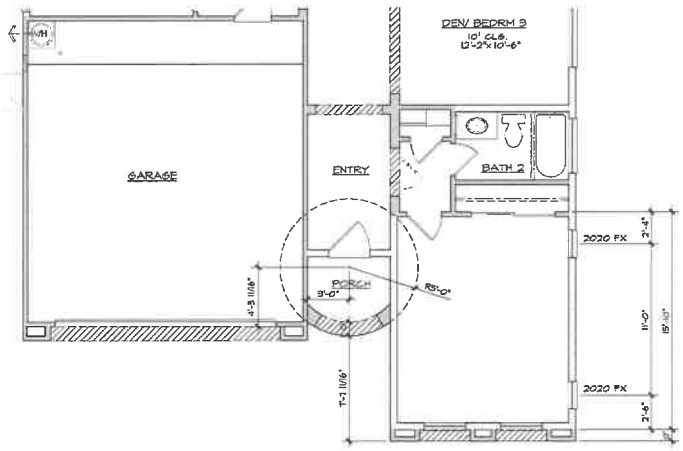
SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2539	SQ. FT. / 300 =	8.8	SQ. FT.
		X 144 =	1267	SQ. IN.
		X 50% =	634	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN EA =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS.	975	SQ. IN EA =	6825	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS.	975	SQ. IN EA =	6825	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 225" DIA. EA	12	SQ. IN EA =	0	SQ. IN.
			1365	SQ. IN.

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMC ESR-1500)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2611
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (AMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3521 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.8472

No.	Date	Issue / Description
	01.18.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.04.2017	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

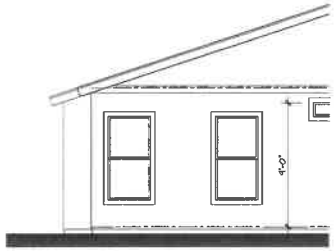
PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 4' BEDROOM
EXTENDSION

SHEET NO:

AA.34

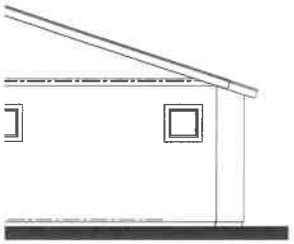
ATTIC VENT CALCULATIONS | OPT. 4' BEDROOM 2 EXTENSION 'A' SPANISH ECLECTIC | SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

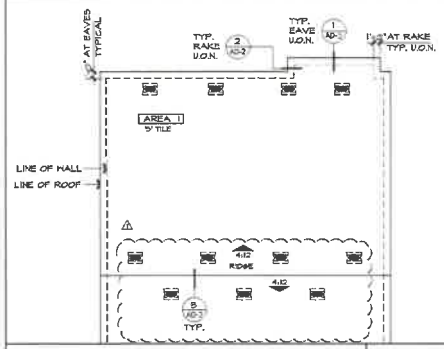


PARTIAL LEFT ELEV. 'A'

PARTIAL REAR ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



ROOF PLAN 'A'

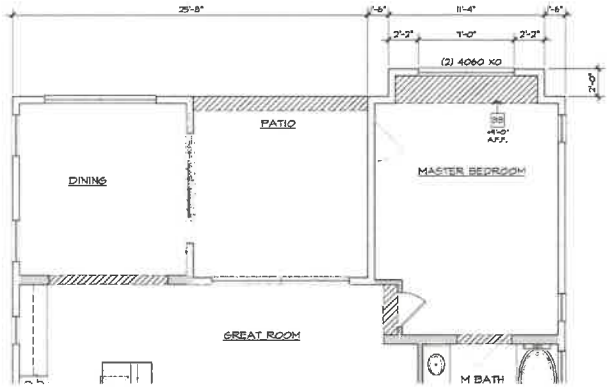
SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2810	SQ. FT. / 300 =	9.37	SQ. FT.
		X 144 =	1353	SQ. IN.
		X 50% =	677	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
[0] GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
[7] OHA/SIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
LOW				
[7] OHA/SIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
[0] EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 225" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. BOX BAY - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OV MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1601.4.5(2)) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2703 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D-DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER FIG. TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD3
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW C.L.G (PER IRC. M7002) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFMO ESR-1900) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

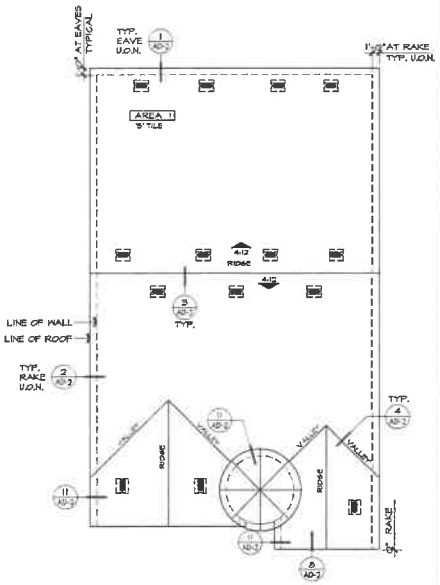
PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3321 EAST BASELINE ROAD @ GILBERT, ARIZONA 85234
PH. 480.312.4412

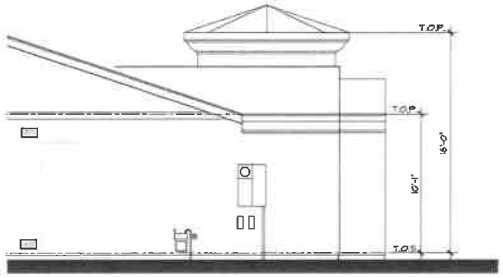
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	08.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

THE ARCHITECTURAL DESIGN, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED FOR THE CONSTRUCTION OF ONE BUILDING ONLY. THE ARCHITECT RETAINS ALL RIGHTS TO THE DESIGN, PLANS AND SPECIFICATIONS. THE ARCHITECT HAS NO RESPONSIBILITY FOR THE CONSTRUCTION OF ANY BUILDING OTHER THAN THE BUILDING SPECIFICALLY DESIGNED BY THE ARCHITECT. THE ARCHITECT HAS NO RESPONSIBILITY FOR THE CONSTRUCTION OF THE BUILDING DESIGNED BY THE ARCHITECT IF ANY PERSON OTHER THAN THE ARCHITECT MAKES ANY CHANGES IN THE DESIGN, PLANS AND SPECIFICATIONS. THE ARCHITECT HAS NO RESPONSIBILITY FOR THE CONSTRUCTION OF THE BUILDING DESIGNED BY THE ARCHITECT IF THE CONSTRUCTION OF THE BUILDING IS NOT COMPLETED IN ACCORDANCE WITH THE ARCHITECT'S

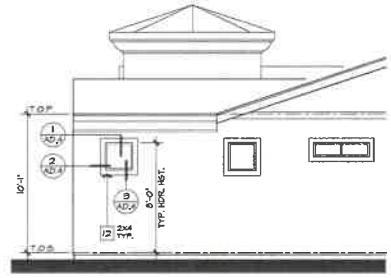


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



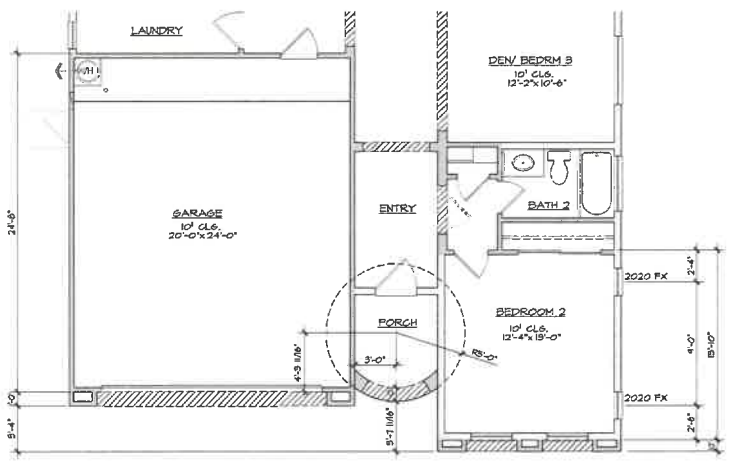
PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN



PARTIAL FLOOR PLAN 'A'

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2,667	SQ. FT. / 300 =	8.9	SQ. FT.
		X 144 =	1282	SQ. IN.
		X 50% =	641	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
(7) O'HAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

OPT. 2' BEDROOM 2 W/ 2' GARAGE EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3501 EAST BASELINE ROAD, SUITE 1
PH. (480) 962-4412

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

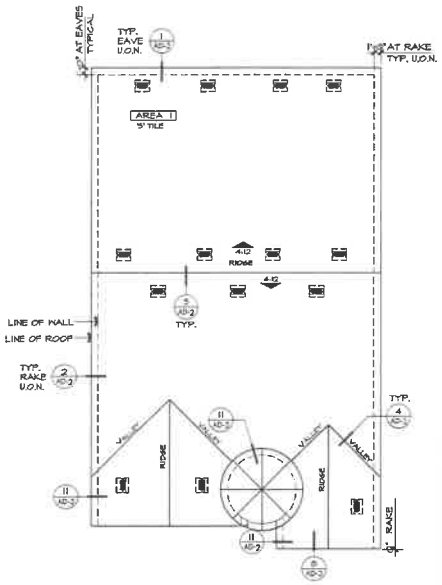
SHEET TITLE:

PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 2' BEDRM 2 W/
2' GARAGE EXTENSION

SHEET NO:

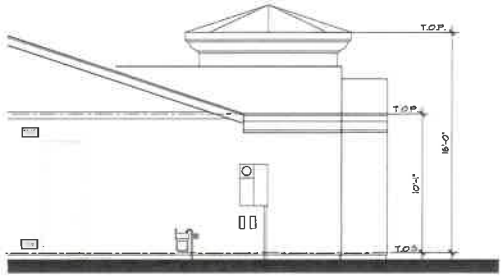
AA.36

CADFILE:
PLOT DATE:

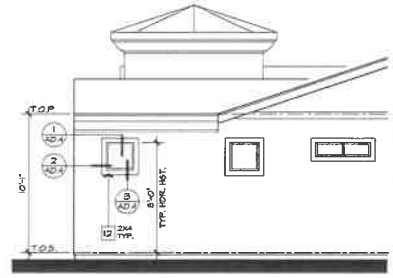


ROOF PLAN 'A'

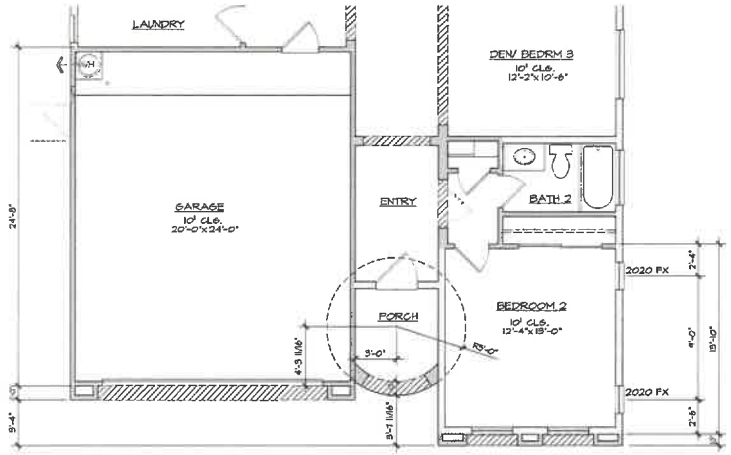
SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ESR-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-3823)
12. STUCCO OVER FOAM TRIM (INC SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWDR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FRED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	2693	SQ. FT. / 300 =	9	SQ. FT.
		X 144 =	1296	SQ. IN
		X 50% =	648	SQ. IN
VENTILATION PROVIDED				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN EA =	0	SQ. IN.
(7) CHAGIN CLOAKED VENTS.	97.5	SQ. IN EA =	682.5	SQ. IN
LOW				
(7) CHAGIN CLOAKED VENTS.	97.5	SQ. IN EA =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA	12	SQ. IN EA =	0	SQ. IN
			1365	SQ. IN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ATTIC VENT CALCULATIONS

OPT. 4' BEDROOM 2 W/ 2' GARAGE EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID R. VALDONADO

PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5531 EAST BASELINE ROAD SUITE 107, ARIZONA 85234
P. 480.892.4472

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2018	CLIENT CHANGES
5	06.04.2018	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

PLAN 1900 (PLAN 2)
'A' SPANISH ECLECTIC
OPT. 4' BEDRM 2 W/
2' GARAGE EXTENSION

SHEET NO:

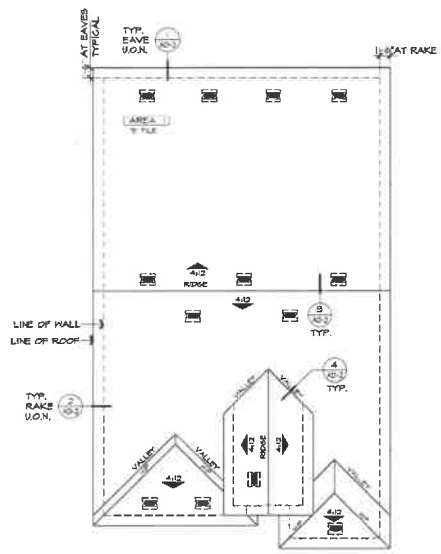
AA.37

CADFILE:
PLOT DATE:

PLAN 1900 ITALIAN FARMHOUSE ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

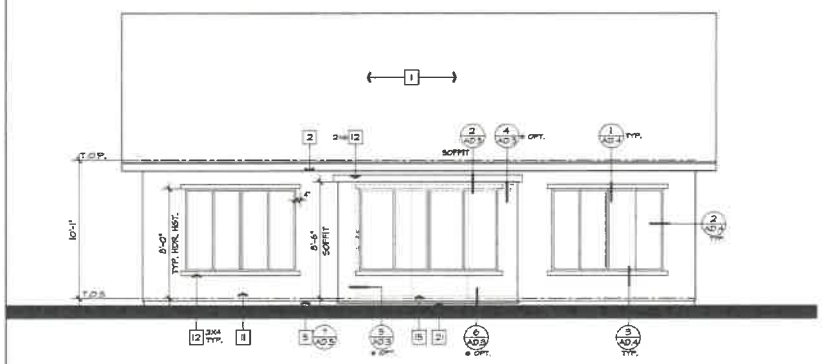
stucco: 75%
stone/brick 25%



ROOF PLAN 'B'

SCALE : 1/8" = 1'-0"

FRONT ELEVATION 'B' ITALIAN FARMHOUSE



REAR ELEVATION 'B' ITALIAN FARMHOUSE

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2581	SQ. FT. / 300 =	8.6 SQ. FT.
		X 144 =	1238 SQ. IN.
		X 50% =	619 SQ. IN.
VENTILATION PROVIDED:			
MEH			
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0 SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
LOW			
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
(0) EAVE VENTS "BROS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0 SQ. IN.
			1365 SQ. IN.

ATTIC VENT CALCULATIONS

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2588
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWNOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1900) CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE "S" TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT. PER IRC. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE. PER IRC 806.2 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

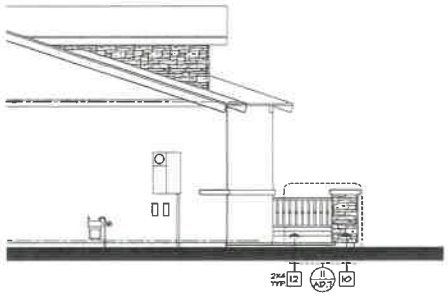
NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.545.4470

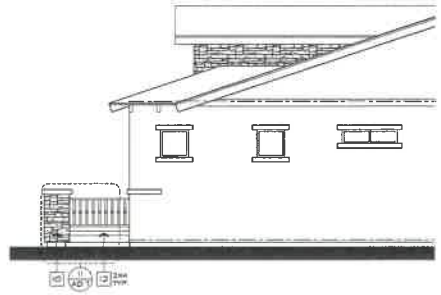
No.	Date	Issue / Description
	07.19.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.01.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'B'
ITALIAN FARMHOUSE

SHEET NO:
AB.21

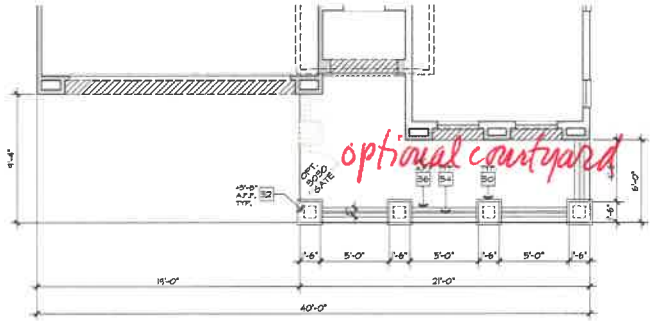


PARTIAL LEFT ELEV. 'B'



PARTIAL RIGHT ELEV. 'B'

PARTIAL FRONT ELEV. 'B'



PARTIAL FLOOR PLAN 'B'

OPT. COURTYARD - 'B' ITALIAN FARMHOUSE

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SMITTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER I.R.C. SEC. M1501 & R302)
24. PROVIDE DOOR VIEWER PER MESA PES. CODE P325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE TEMPERATURE & PRESSURE RELIEF VALVE, MIN 2" ABV. - FINISH GRADE (PER I.R.C. SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY OP.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD3
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW CLG (PER I.R.C. M1703.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1609)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2538
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (ICR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDONADO
PROJECT MANAGER: BRIAN MOLLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3507 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.926.4142

No.	Date	Issue / Description
	01.18.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	03.07.2019	BLDG. DEPT. CORRECTIONS

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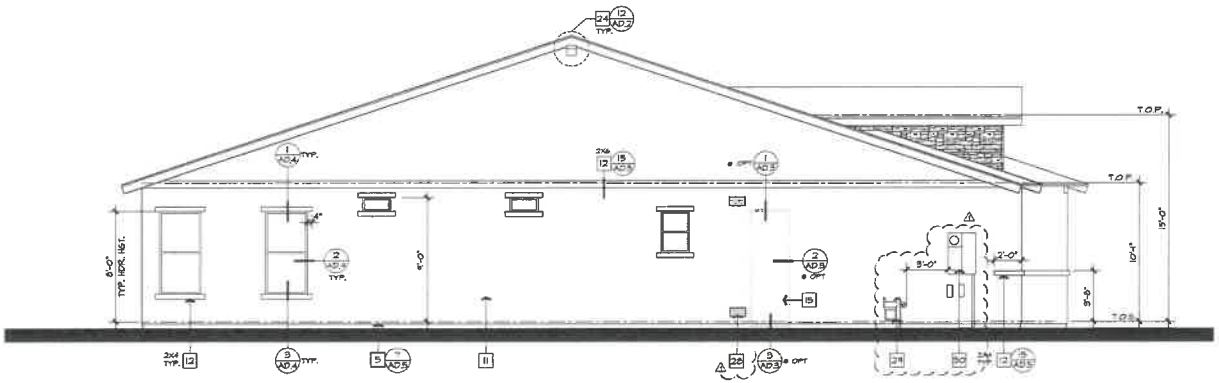
SHEET TITLE:

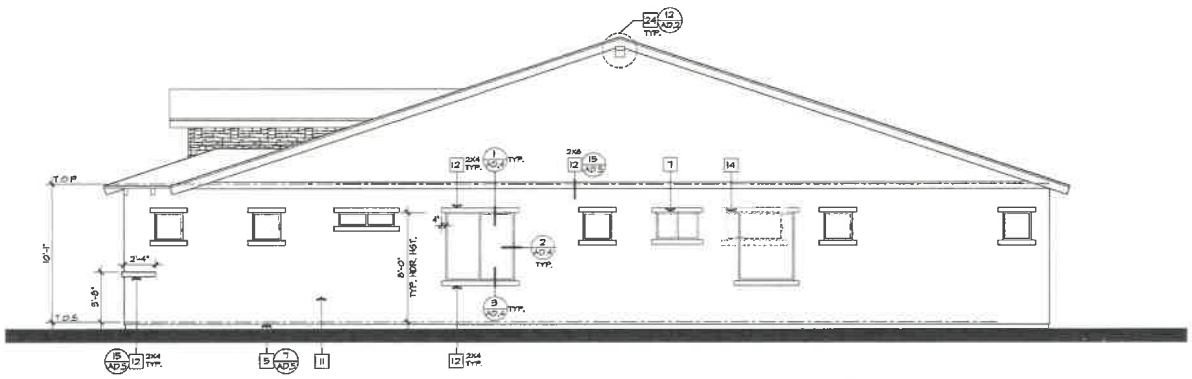
PLAN 1900
'B' ITALIAN FARMHOUSE
OPT. COURTYARD

SHEET NO:

AB.32



LEFT ELEVATION 'B' ITALIAN FARMHOUSE



RIGHT ELEVATION 'B' ITALIAN FARMHOUSE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1909)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWNOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK CUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. M" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3931 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480 924-4472

No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	09.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

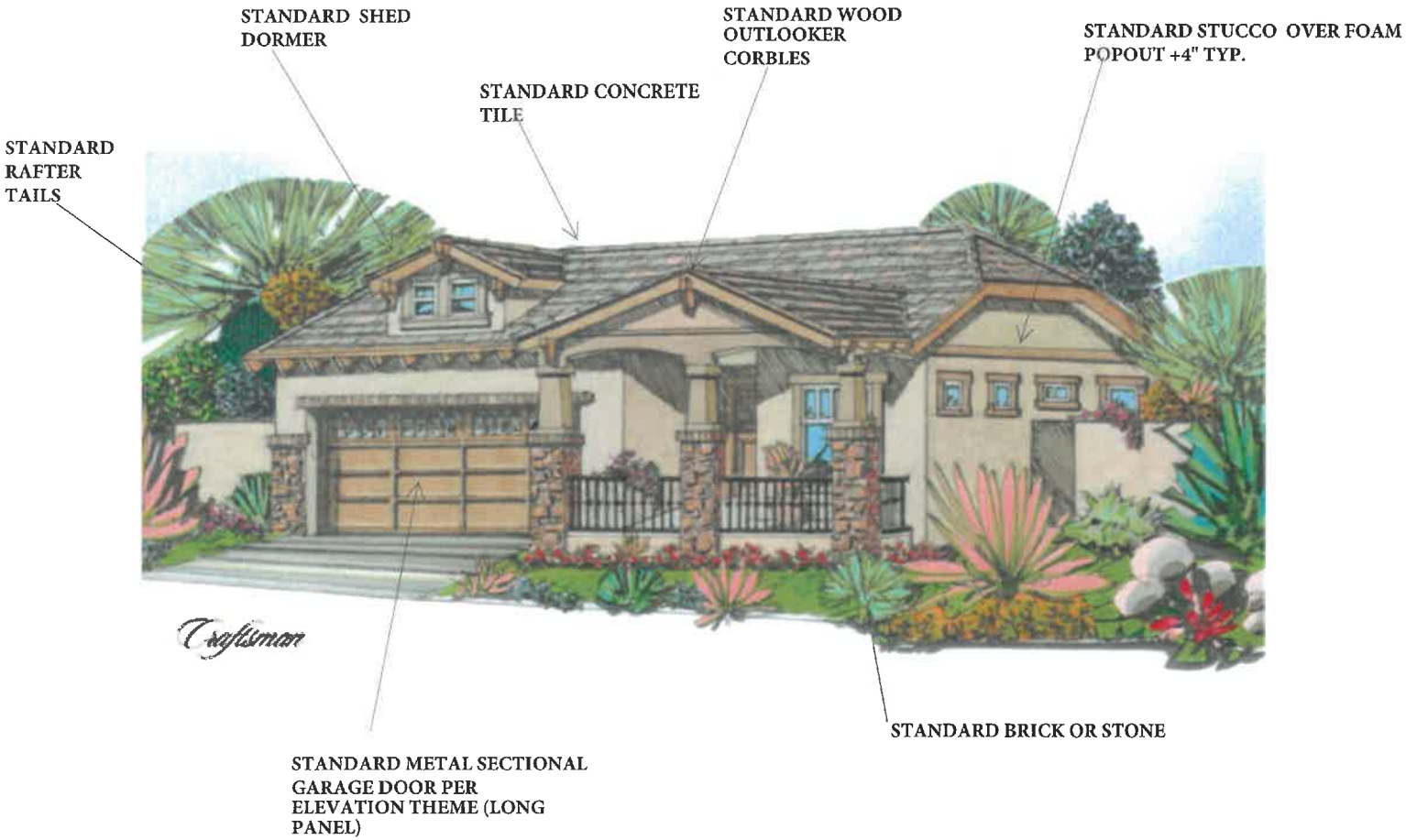
SHEET TITLE:

PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'B'
ITALIAN FARMHOUSE

SHEET NO:

AB.22

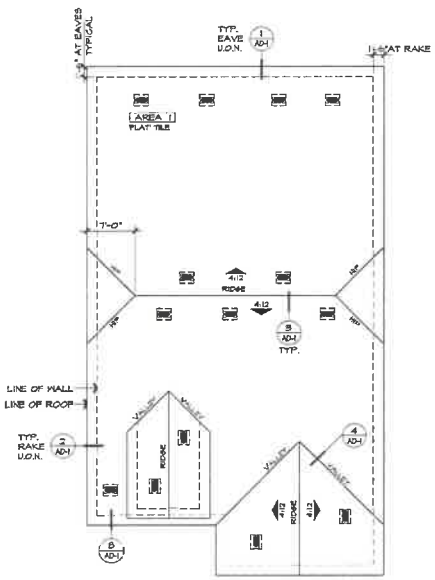
CADFILE:
PLOT DATE:



PLAN 1900 CRAFTSMAN ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 75%
brick/stone 25%



ROOF PLAN 'C'

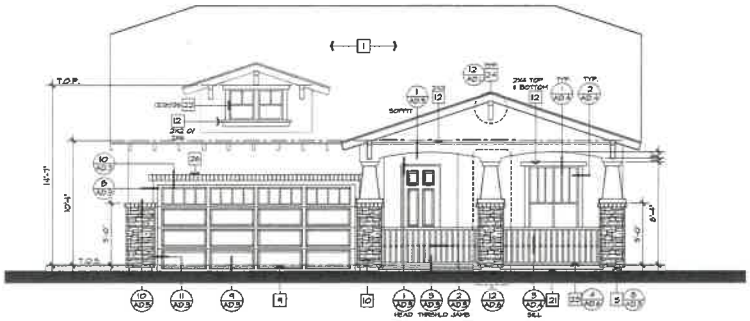
SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

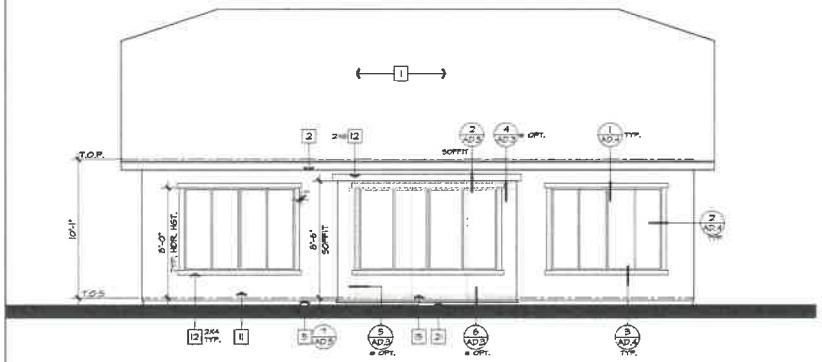
AREA 1

VENTILATION REQUIRED:	2703	SQ. FT. / 300 =	9.0	SQ. FT.
		X 144 =	1296	SQ. IN.
		X 50% =	648	SQ. IN.
VENTILATION PROVIDED				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 8 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS



FRONT ELEVATION 'C' CRAFTSMAN



REAR ELEVATION 'C' CRAFTSMAN

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPCO ER-3825)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (MAPMO ER-1900) CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER U.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 1302 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

CADFILE:
PLOT DATE:

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

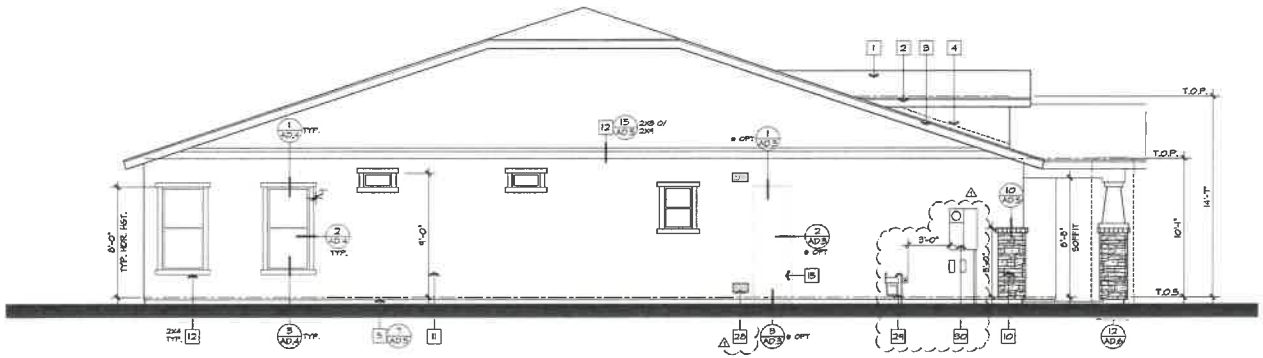
NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5931 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.926.4412

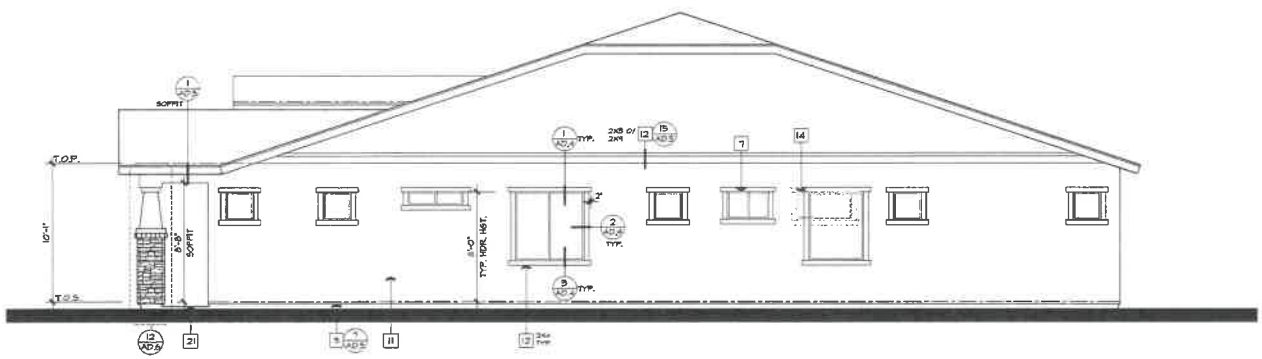
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2018	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'C'
CRAFTSMAN

SHEET NO:
AC.21



LEFT ELEVATION 'C' CRAFTSMAN



RIGHT ELEVATION 'C' CRAFTSMAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-1609)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWDR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO REGESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE : 1/4" = 1'-0"

CAD FILE:
PLOT DATE:

Design & Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5521 EAST BASELINE ROAD SUITE 107
FT. MORGAN, CO 80701

No.	Date	Issue / Description
	01.13.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	09.24.2018	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.07.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

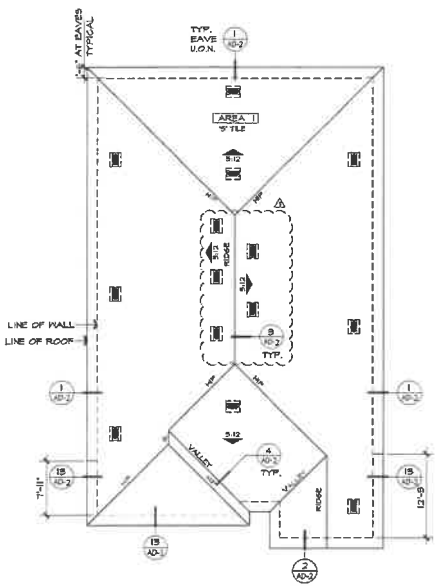
PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'C'
CRAFTSMAN

SHEET NO:

AC.22

PLAN 1900 ANDALUSIAN ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

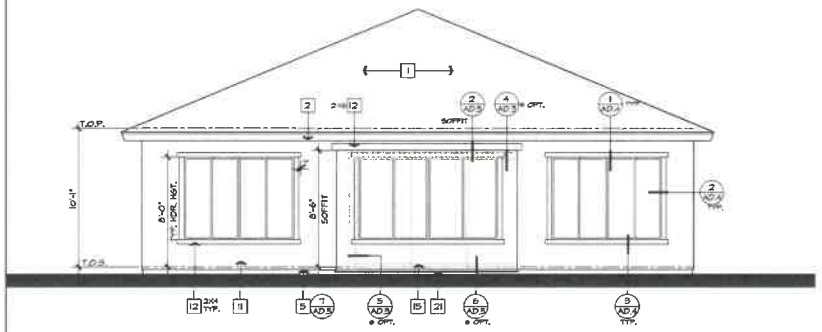


ROOF PLAN 'D'

SCALE : 1/8" = 1'-0"

stucco 50%
Brick/stone 50%

FRONT ELEVATION 'D' ANDALUSIAN



REAR ELEVATION 'D' ANDALUSIAN

ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2579	SQ. FT. / 300 =	8.6 SQ. FT.
		X 144 =	1238 SQ. IN.
		X 50% =	619 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0 SQ. IN.
(7) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
LOW			
(7) O'HAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5 SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0 SQ. IN.
			1365 SQ. IN.

ATTIC VENT CALCULATIONS

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1909)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP STAND
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPCO ER-362)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWNOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1909) CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER U.B.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R802 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

O'HAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE : 1/4" = 1'-0"

CADFILE
PLOT DATE

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

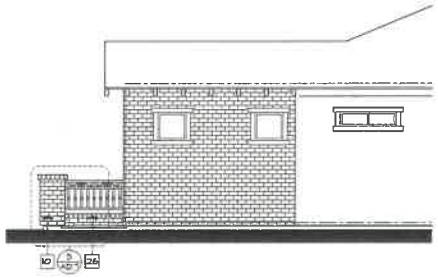
BLANDFORD HOMES
3931 EAST BASELINE ROAD (SUITE 1), ARIZONA 85234
PH. 480-892-4472

No.	Date	Issue / Description
	07.19.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'D'
ANDALUSIAN

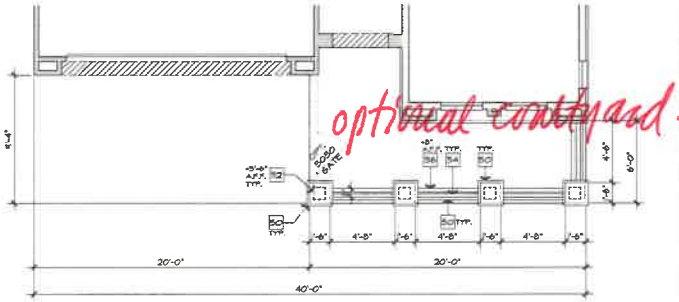
SHEET NO:
AD.21

PARTIAL LEFT ELEV. 'D'



PARTIAL RIGHT ELEV. 'D'

PARTIAL FRONT ELEV. 'D'



PARTIAL FLOOR PLAN 'D'

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC (R1.R307.1)
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OV MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BARVRING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER I.R.C. SEC. M1501 & R320) 4
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE MIN 6" ABV. - FINISH GRADE (PER I.R.C. SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
4 PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD.9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD.9
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GI SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT. (1) WITHIN -4" BELOW C.L.G (PER I.R.C. M1703.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MFMO ESR-1900) 4
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

OPT. COURTYARD - 'D' ANDALUSIAN

SCALE : 1/4" = 1'-0"

DATE/FILE: 1.08.2014

PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
8501 EAST BASELINE ROAD SUITE 101, ARIZONA 85234
P. 480.924.4400

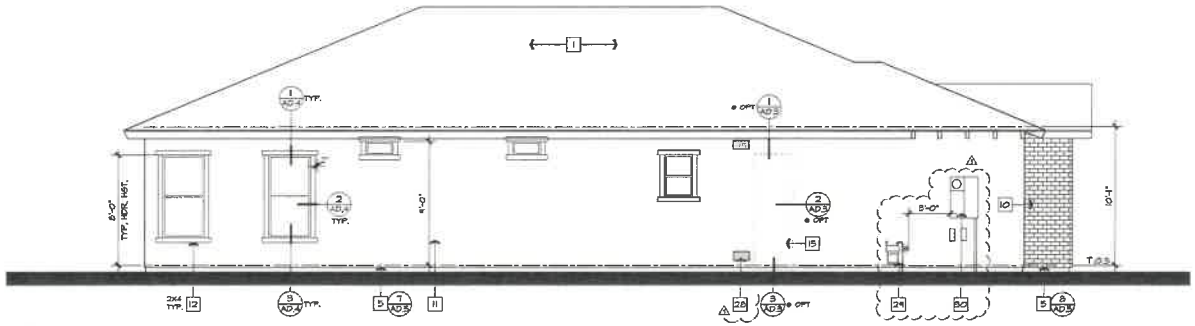
No.	Date	Issue / Description
	07.18.2013	BLDG. DEPT. SUBMITTAL
1	04.28.2014	BLDG. DEPT. CORRECTIONS
2	10.19.2013	BLDG. DEPT. CORRECTIONS
3	03.24.2014	CODE UPDATE
4	04.12.2014	CLIENT CHANGES
5	05.04.2014	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

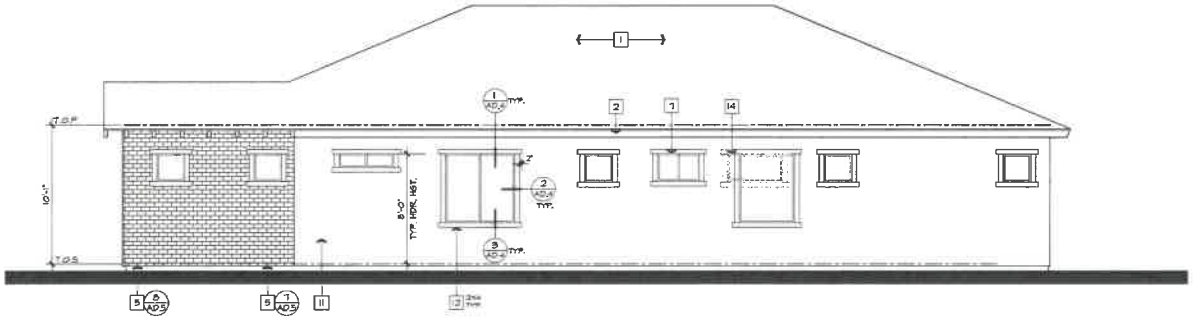
PLAN 1900 (PLAN 2)
'D' ANDALUSIAN
OPT. COURTYARD

SHEET NO:

AD.32



LEFT ELEVATION 'D' ANDALUSIAN



RIGHT ELEVATION 'D' ANDALUSIAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ESR-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPO ER-3822)
12. STUCCO OVER FOAM TRIM (ONE BAND TEXTURED) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOMWOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FRED. BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14"x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRYAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD G.LBERT, ARIZONA 85234
P: 480.962.4472

No.	Date	Issue / Description
	07.19.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2017	CODE UPDATE
4	04.12.2017	CLIENT CHANGES
5	08.09.2017	BLDG. DEPT. CORRECTIONS

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SHEET TITLE:

PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'D'
ANDALUSIAN

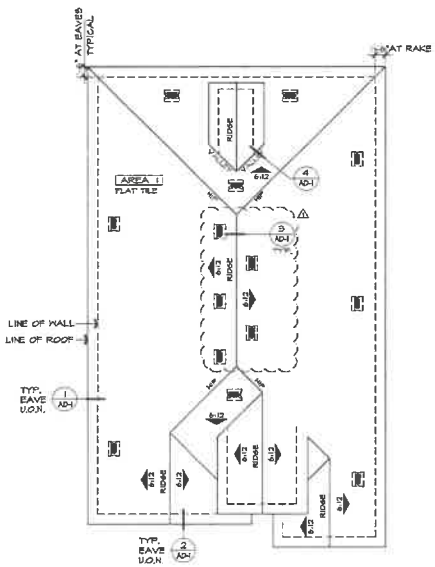
SHEET NO:

AD.22

PLAN 1900 COUNTRY FRENCH ELEVATION

"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

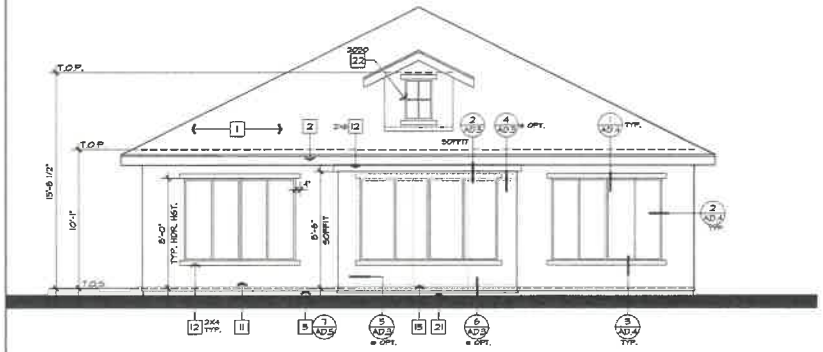
brick/stone 74%
stucco 26%



ROOF PLAN 'E'

SCALE : 1/8" = 1'-0"

FRONT ELEVATION 'E' COUNTRY FRENCH



REAR ELEVATION 'E' COUNTRY FRENCH

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ESR-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-3822)
12. STUCCO OVER FOAM TRIM (NO BAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWDOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- IAPMO ER-1900 CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-0" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC, SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R806.2 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED	2581	SQ. FT. / 300 =	8.6	SQ. FT.
		X 144 =	1238	SQ. IN.
		X 50% =	619	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW:				
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

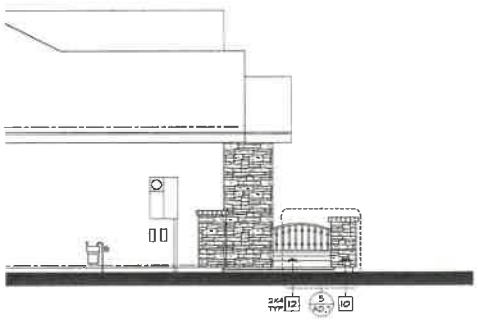
NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
8321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.4472

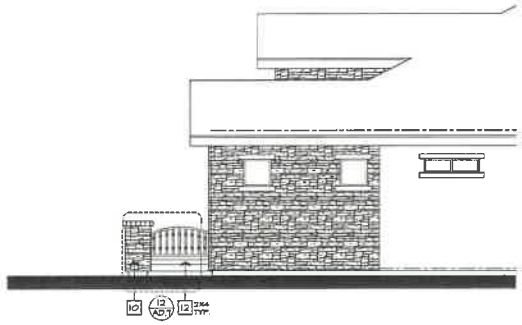
No.	Date	Issue / Description
	07.15.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2018	CODE UPDATE
4	04.12.2018	CLIENT CHANGES
5	08.09.2018	BLDG. DEPT. CORRECTIONS

SHEET TITLE:
PLAN 1900 (PLAN 2)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'E'
COUNTRY FRENCH

SHEET NO:
AE.21

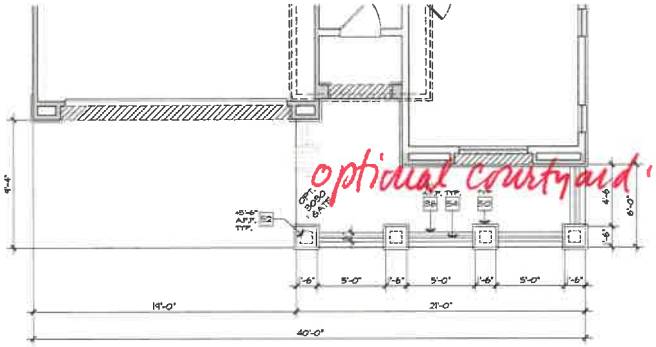


PARTIAL LEFT ELEV. 'E'



PARTIAL RIGHT ELEV. 'E'

PARTIAL FRONT ELEV. 'E'



PARTIAL FLOOR PLAN 'E'

OPT. COURTYARD - 'E' COUNTRY FRENCH

SCALE : 1/4" = 1'-0"

CADFILE
PLOT DATE

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER R.C. R.C. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE. WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER I.R.C. SEC. M1501 & 6202) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER I.R.C. SEC. M1007.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER I.R.C. TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL S/AD3
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. S/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER I.R.C. M1703.2) ⚠
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ESR-1603) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMO ER-3923)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & D33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5031 EAST BASELINE ROAD ALBERT, ARIZONA 85234
P. 480 313 4412

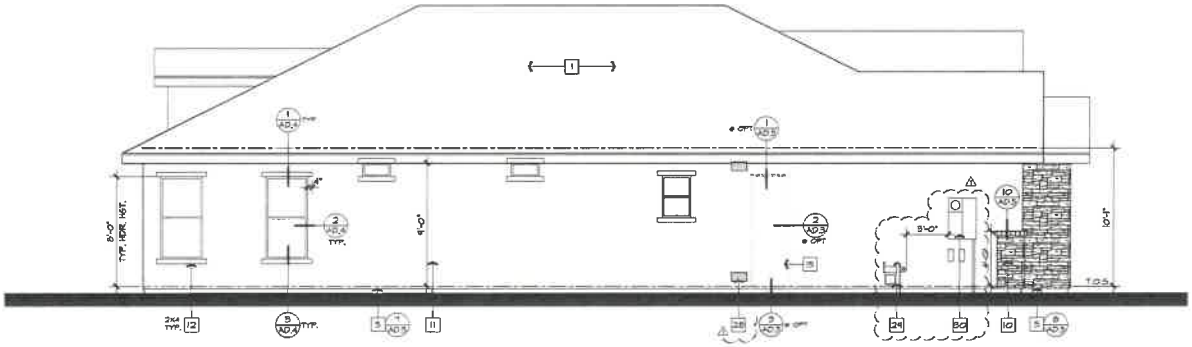
No.	Date	Issue / Description
	07.18.2016	BLDG. DEPT. SUBMITTAL
⚠	08.26.2016	BLDG. DEPT. CORRECTIONS
⚠	10.19.2016	BLDG. DEPT. CORRECTIONS
⚠	03.24.2017	CODE UPDATE
⚠	04.12.2018	CLIENT CHANGES
⚠	08.09.2019	BLDG. DEPT. CORRECTIONS

SHEET TITLE:

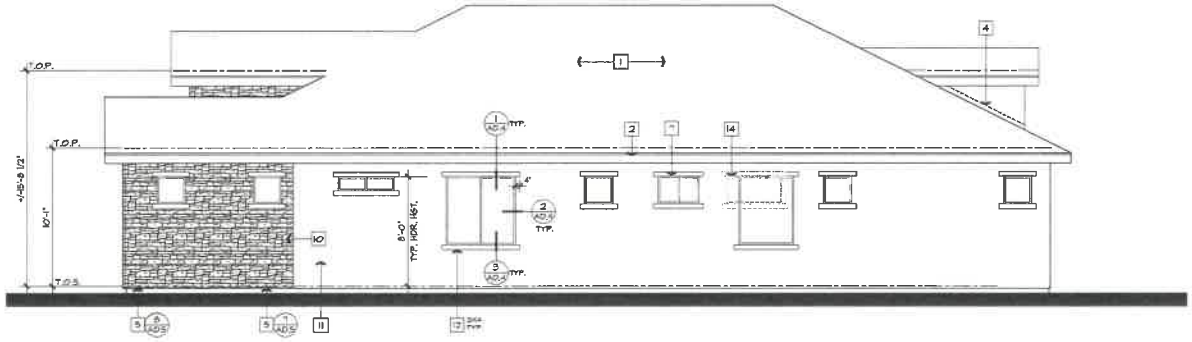
PLAN 1900 (PLAN 2)
'E' COUNTRY FRENCH
OPT. COURTYARD

SHEET NO:

AE.32



LEFT ELEVATION 'E' COUNTRY FRENCH



RIGHT ELEVATION 'E' COUNTRY FRENCH

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ESR-1803)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2616
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPCO ER-3827)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE : 1/4" = 1'-0"

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5931 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.926.4472

No.	Date	Issue / Description
	01.15.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	03.24.2019	CODE UPDATE
4	04.12.2019	CLIENT CHANGES
5	08.09.2019	BLDG. DEPT. CORRECTIONS

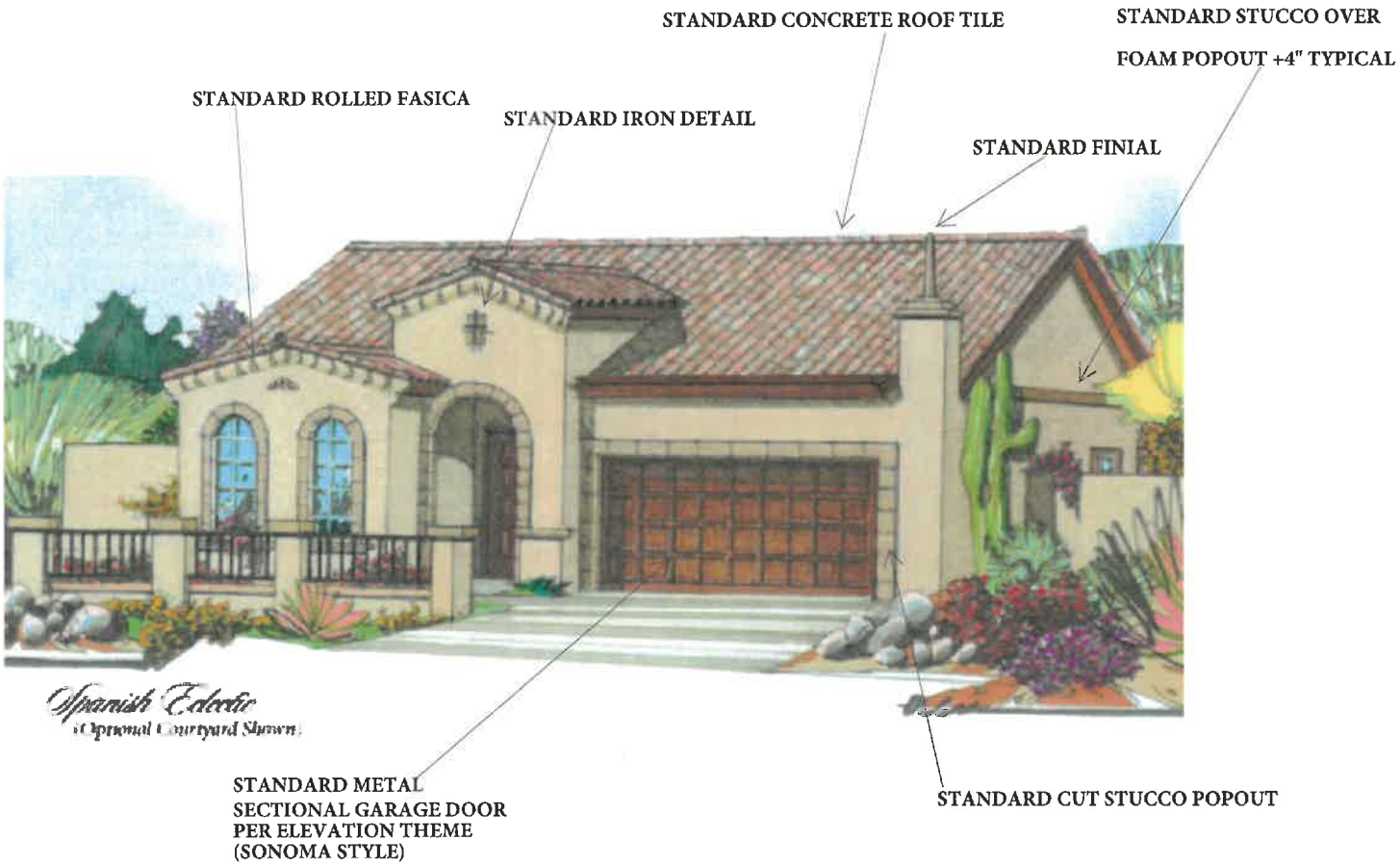
SHEET TITLE:

PLAN 1900 (PLAN 2)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'E'
COUNTRY FRENCH

SHEET NO:

AE.22

CADFILE:
PLOT DATE:

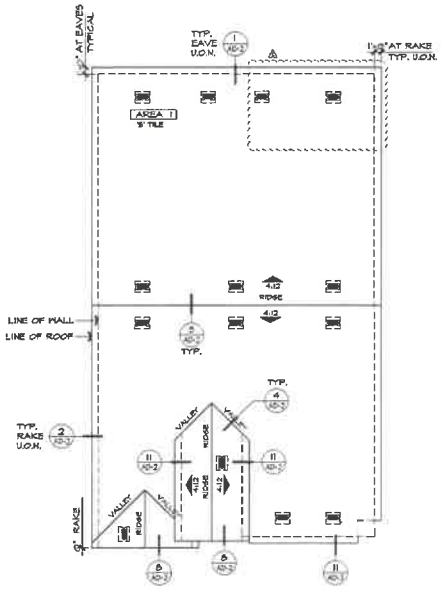


PLAN 2000 SPANISH ELEVATION

BLANDFORD HOMES

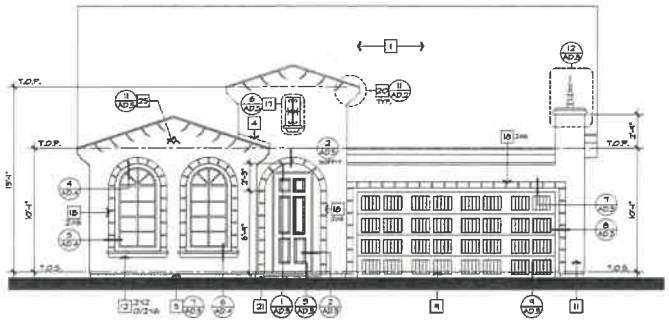
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

Stucco 100 %
2nd material 0 %

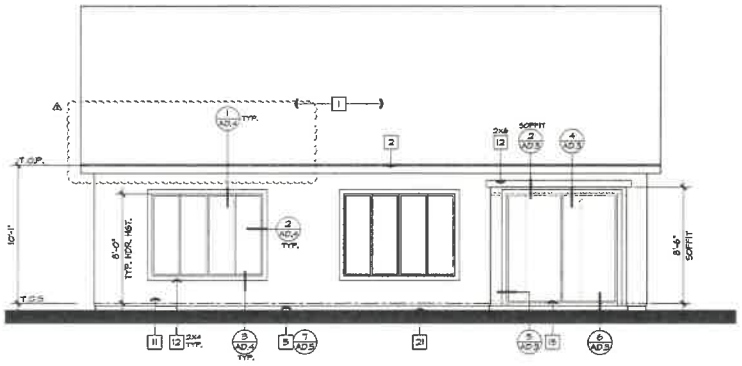


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'A' SPANISH ECLECTIC



REAR ELEVATION 'A' SPANISH ECLECTIC

ATTIC VENT CALCULATIONS

AREA 1			
VENTILATION REQUIRED:	2721	SQ. FT. / 300 =	9.1 SQ. FT.
		X 144 =	1310 SQ. IN.
		X 50% =	655 SQ. IN.
VENTILATION PROVIDED:			
HIGH:			
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0 SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
LOW			
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0 SQ. IN.
			1365 SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'A'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2698
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1900) CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER (IRC SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R806 EXCEPTION 1 & 2)

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P - 480.892.4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.18.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.08.2019	BLDG. DEPT. COMMENTS

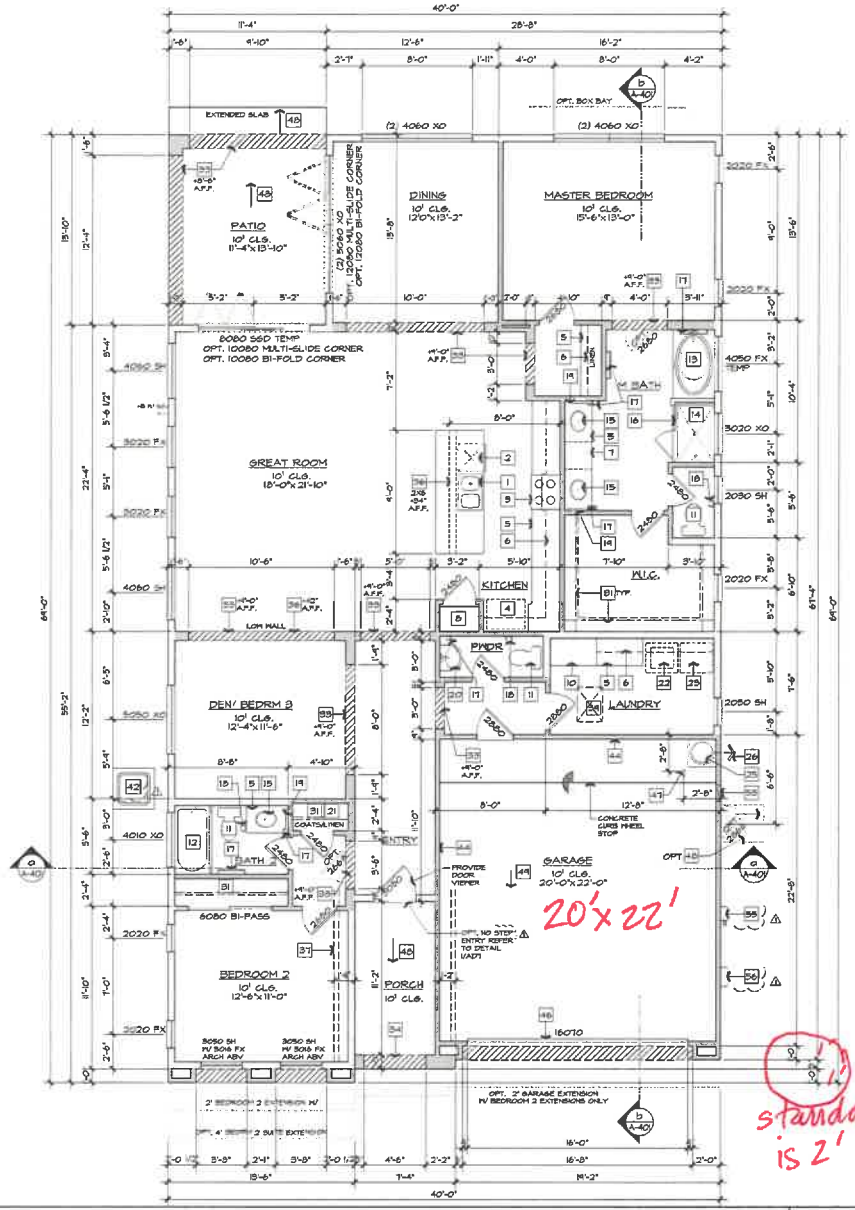
SHEET TITLE:

PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'A'
SPANISH ECLECTIC

SHEET NO:

AA.21

CADFILE
PLOT DATE



FLOOR PLAN 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501.1 & 1502.) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M2072 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 30" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. FAN IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE. (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD3
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

WALL LEGEND

2X4 WALL

2X6 WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE)
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, W/SELF CLOSER & TIGHT FITTINGS (REFER TO PLAN FOR SIZE), OR 20 MIN. FIRE-RATED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD. TO BE APPLIED PER 2006 I.R.C. SECTION 702.3.5) ⚠
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ 2006 I.R.C. SEC. R310) ⚠
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 18" OR UNDER FIN FLR. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION.
9. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
10. GLAZING PER 2006 IRC. SEC. R308.4) ⚠
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE UL (GAS M1405/57, ELEC E22223)STANDARDS FOR FIXED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED.
12. WATER CLOSET TO HAVE AN AVERAGE OF 1.6 GALLONS PER FLUSH (U.P.C. SEC. 402.2)

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MILDENHALL

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3231 EAST BASELINE ROAD GILBERT, ARIZONA 85234
PH. 480 892 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.08.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	06.07.2017	CLIENT CHANGES
7	08.08.2017	BLDG. DEPT. COMMENTS

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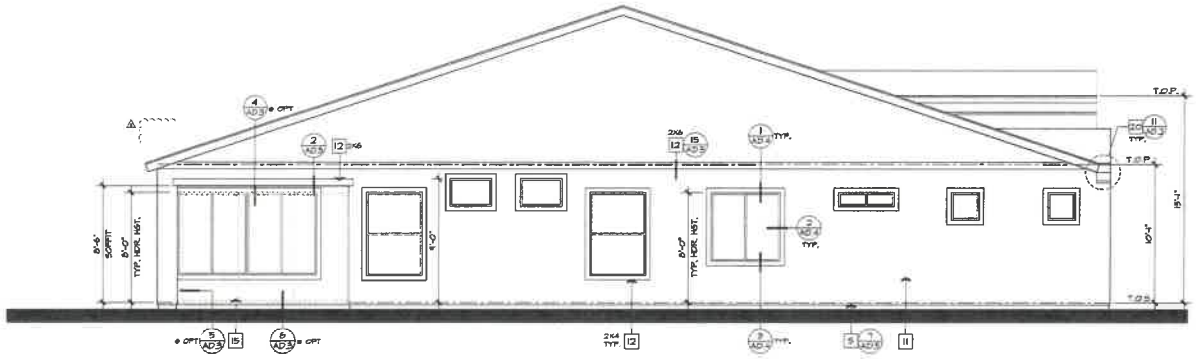
SHEET TITLE:

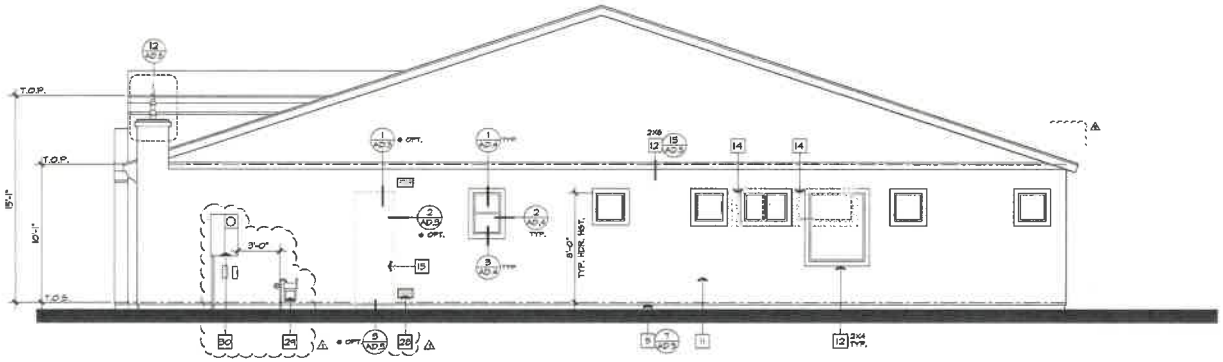
PLAN 2000 (PLAN 3)
FLOOR PLAN 'A'
SPANISH ECLECTIC

SHEET NO:

AA.11



LEFT ELEVATION 'A' SPANISH ECLECTIC



RIGHT ELEVATION 'A' SPANISH ECLECTIC

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3821)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWNOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS 'A'

SCALE : 1/4" = 1'-0"

Design & ID33 Planning

PRINCIPAL: DAVID R. HILDEBRANDT

PROJECT MANAGER: BRIAN NEILLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	09.04.2019	BLDG. DEPT COMMENTS

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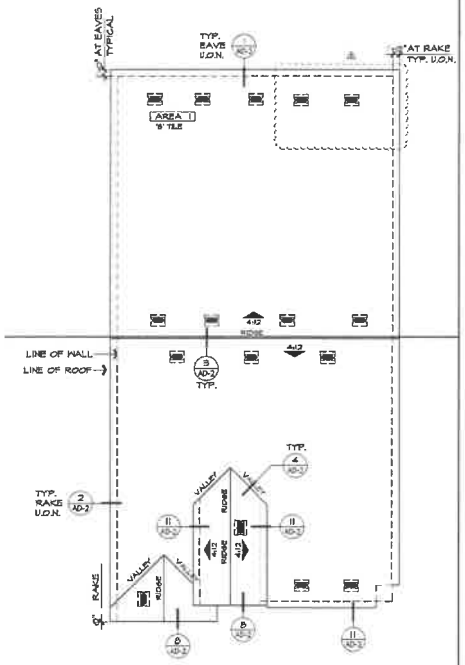
SHEET TITLE:

PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'A'
SPANISH ECLECTIC

SHEET NO:

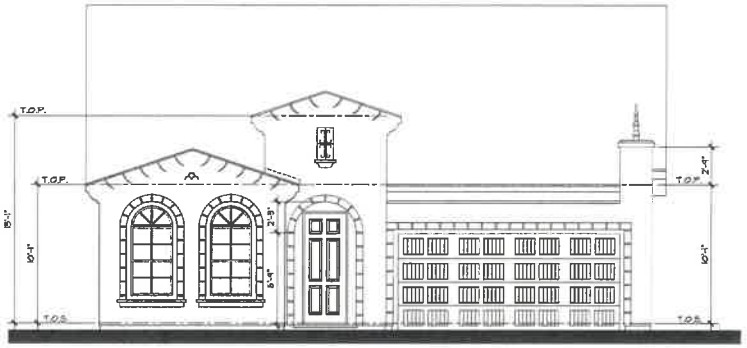
AA.22

CADFILE:
PLOT DATE:

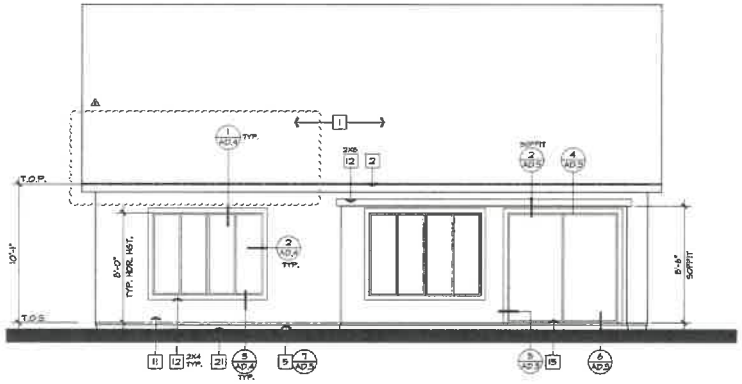


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



FRONT ELEV. 'A'



REAR ELEV. 'A'

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	2099	SQ. FT. / 300 =	10.3	SQ. FT.
		X 144 =	1488	SQ. IN.
		X 50% =	744	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(8) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
LOW				
(8) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1560	SQ. IN.

ATTIC VENT CALCULATIONS

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'A'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1600)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2596
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. PICED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1600)
   CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R806.2 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

O'HAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

Design & IDEA Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5821 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480 892 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2014	CLIENT CHANGES
5	03.05.2014	CODE UPDATE
6	04.10.2014	CLIENT CHANGES
	06.07.2014	CLIENT CHANGES
7	06.09.2014	BLDG. DEPT COMMENTS

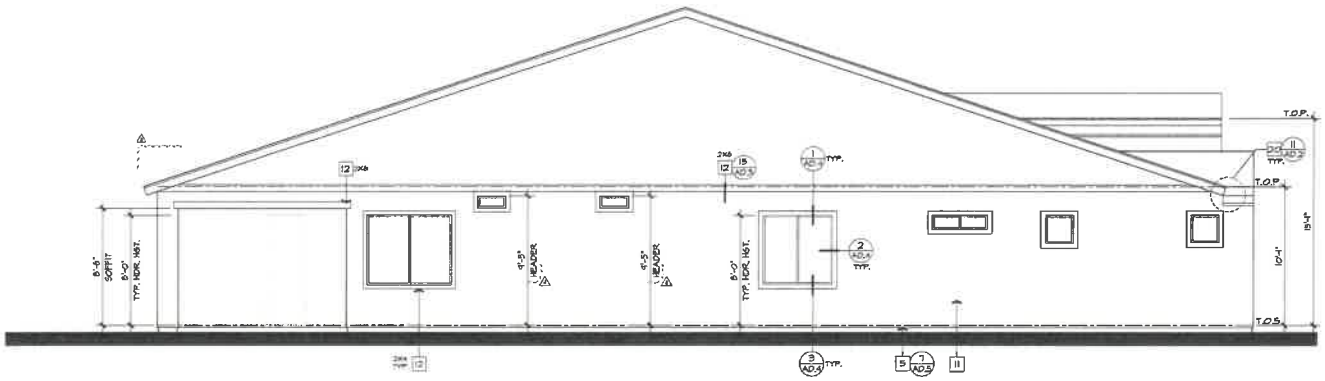
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
FRONT & REAR ELEV.
& ROOF PLAN

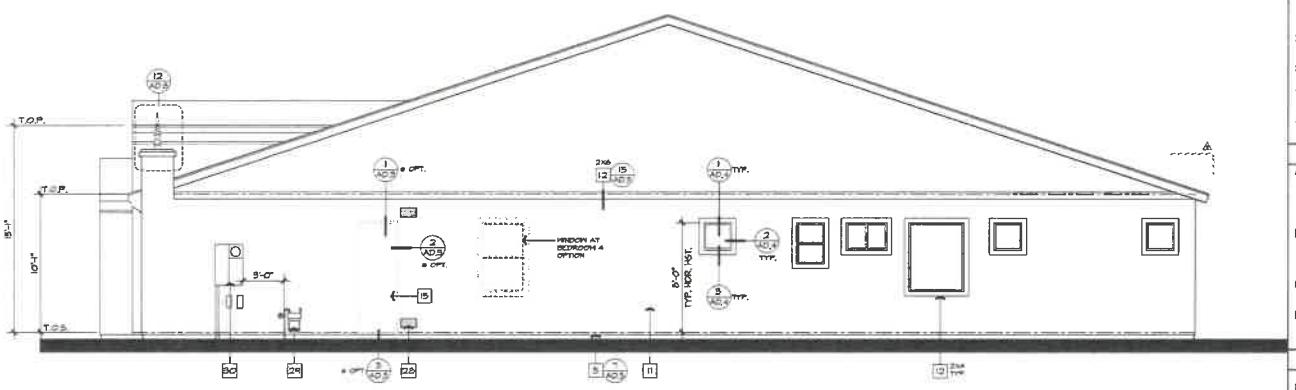
SHEET NO:

AA.38

CADFILE:
PLOT DATE:



LEFT ELEV. 'A'



RIGHT ELEV. 'A'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'A'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ER-1800) 1
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMO ER-392)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (MAMO ER-1800) 1
   CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 7'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER UBC SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 806.2 (EXCEPTION 1 & 2) 1

VENTILATION SCHEDULE:

CHAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50045
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD @ GILBERT, ARIZONA 85234
PH. 480 812 9412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.18.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.06.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	06.07.2017	CLIENT CHANGES
7	08.04.2017	BLDG. DEPT COMMENTS

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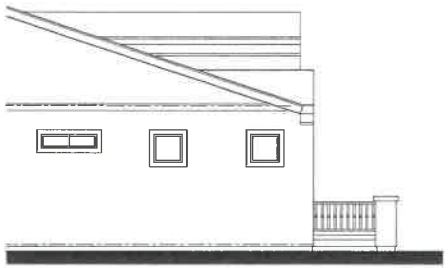
SHEET TITLE:

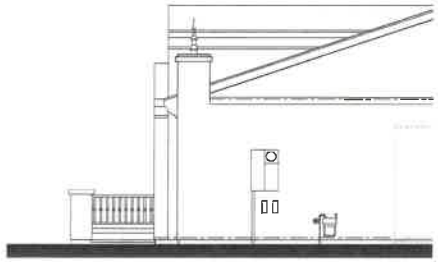
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

SHEET NO:

AA.39

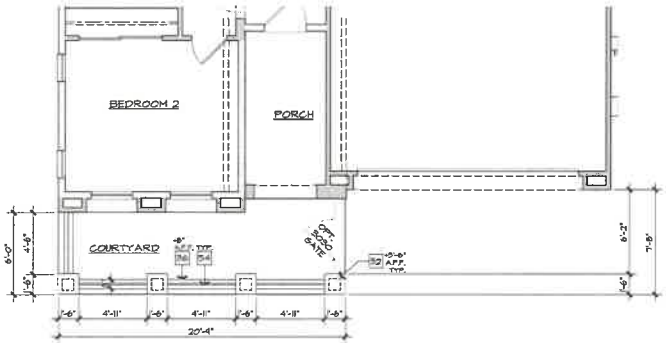


PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'

PARTIAL FRONT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. COURTYARD - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/WASH SPACE - PROVIDE SUMPTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & 6.02) ⚠
24. PROVIDE DOOR MEMBER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1003.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 30" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE (FROM RESIDENCE AND ATTICS PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6) ⚠
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PPE BOLLARD SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK SLOPE 1/4" PER FOOT
49. CONCRETE GARAGE SLAB SLOPE 1/8" PER FOOT U.N.O. 9/AD9
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2)
53. TUBE STEEL RAILING
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN
56. ⚠

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MPMO ER-1900) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3862)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDEMAN

PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P - 480 892 4472

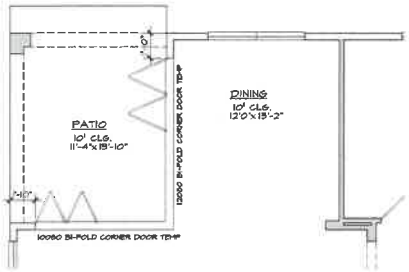
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.09.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

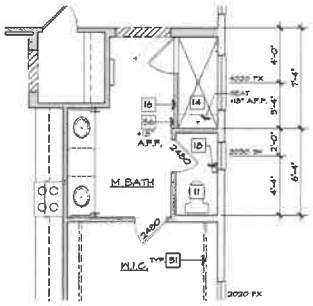
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. COURTYARD

SHEET NO:

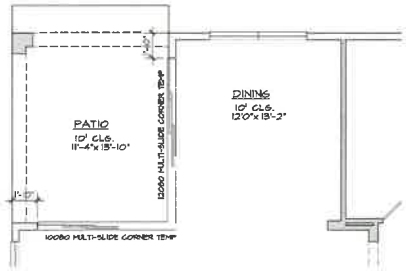
AA.31



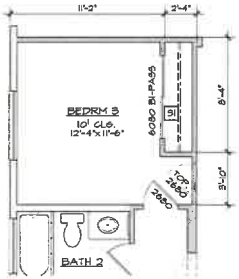
OPT. BI-FOLD DOOR



OPT. WALK-IN SHOWER



OPT. MULTI-SLIDE DOOR



OPT. BEDROOM 3

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WID. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR. SPEC.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE "SAFETY PAN" W/ DRAIN BELOW WASHER FOR WATER AND WASTE. WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501.1/E3021) △
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1307.3. SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED △
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. FAN IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS △ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL S/AD9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. S/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN
△

WALL LEGEND

2X4 WALL
2X6 WALL

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE)
2. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/8" THICK EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
3. ALL HOUSE TO GARAGE DOORS TO BE SOLID WOOD NOT LESS THAN 1 3/8" THICK, W/SELF CLOSER & TIGHT FITTINGS (REFER TO PLAN FOR SIZE), OR 20 MIN FIRE-RATED DOOR.
4. ALL ENTRY DOORS & EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE)
5. ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR - UNLESS OTHERWISE NOTED
6. ALL GYP. BD. TO BE APPLIED PER (2018 IRC. SECTION 702.3) △
7. EMERGENCY ESCAPE & RESCUE OPENINGS ARE TO COMPLY W/ (2018 IRC. SEC. R310) △
8. PROVIDE TEMPERED SAFETY FOR HAZARDOUS GLASS AREAS & ALL GLASS 18" OR UNDER FIN FLR. AND WITHIN A 24" ARC TO A DOOR IN ITS CLOSED POSITION.
9. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
10. GLAZING PER (2018 IRC. SEC. R308.4) △
11. THESE APPLIANCES HAVE BEEN TESTED IN ACCORDANCE WITH THE UL (GAS MH4565) ELEC E22723(STANDARDS FOR FIXED AND LOCATION-DEDICATED ROOM HEATERS IN THE UNITED STATES AND HAVE BEEN LISTED BY UNDERWRITERS LAB. INC. ALL COMPONENTS ARE UL SAFETY CERTIFIED.
12. WATER CLOSET TO HAVE AN AVERAGE OF 1.6 GALLONS PER FLUSH (U.P.C. SEC. 402.2)

MST19-11055 **FLOOR PLAN OPTIONS 'A'** SCALE: 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
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No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
△	09.26.2016	BLDG. DEPT. CORRECTIONS
△	10.19.2016	BLDG. DEPT. CORRECTIONS
△	11.15.2016	CLIENT CHANGES
△	02.22.2019	CLIENT CHANGES
△	03.08.2019	CODE UPDATE
△	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
△	08.09.2019	BLDG. DEPT COMMENTS

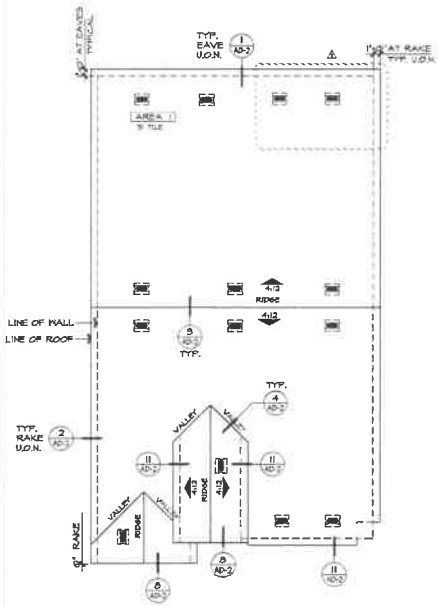
THE IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING, AND THE ARCHITECTURAL WORK TO BE PERFORMED AND DESIGNED FROM THEM, ARE OWNED BY AND THE PROPERTY OF ID33 PLANNING. NO PART OF THIS DRAWING MAY BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY PURPOSE EXCEPT THE PURPOSE FOR WHICH IT IS FURNISHED. ANY REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF ID33 PLANNING. THE VISUAL CONTENT OF THIS DRAWING IS INTENDED TO CONVEY THE DESIGN INTENT AND MAY NOT REPRESENT TECHNICALLY CORRECT OR COMPLETE DESIGN. BE RESPONSIBLE FOR YOUR OWN SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ALL DIMENSIONS AND CONDITIONS. ID33 PLANNING DOES NOT ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS RESULTING FROM ALTERATIONS OR OTHER CHANGES MADE TO THIS DRAWING WITHOUT ID33 PLANNING'S PRIOR WRITTEN PERMISSION.

SHEET TITLE:

PLAN 2000 (PLAN 3)
FLOOR PLAN 'A' OPTIONS
SPANISH ECLECTIC

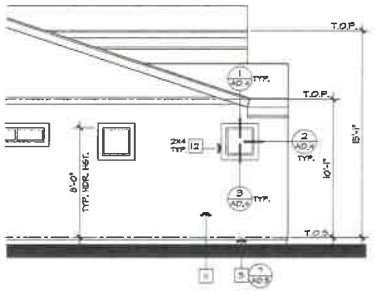
SHEET NO:

AA.12

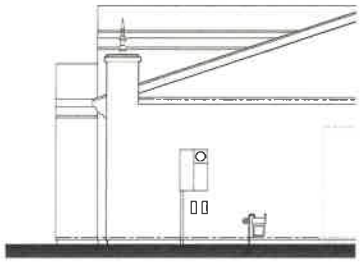


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



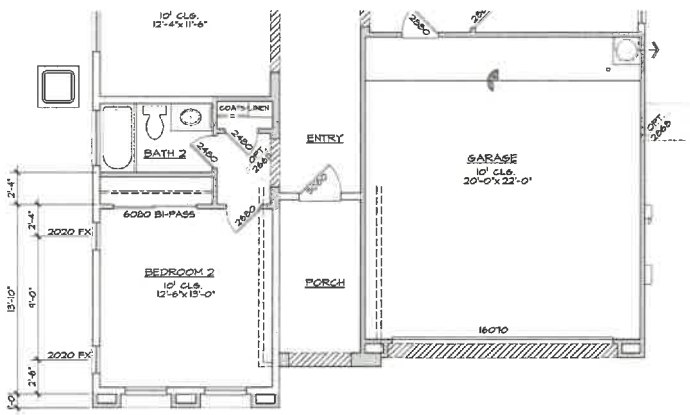
PARTIAL RIGHT ELEV. 'A'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ER-8003)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ATTIC VENT CALCULATIONS

AREA 1					
VENTILATION REQUIRED:	2748	SQ. FT. / 300 =		92	SQ. FT.
		X 144 =		1325	SQ. IN.
		X 50% =		663	SQ. IN.
VENTILATION PROVIDED:					
HIGH					
[0] GABLE END VENTS:	92	SQ. IN. EA =		0	SQ. IN.
[7] OHAGIN CLOAKED VENTS:	975	SQ. IN. EA =		6825	SQ. IN.
LOW					
[7] OHAGIN CLOAKED VENTS:	975	SQ. IN. EA =		6825	SQ. IN.
[0] EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA =		0	SQ. IN.
				1365	SQ. IN.



PARTIAL FLOOR PLAN 'A'

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ATTIC VENT CALCULATIONS

OPT. 2' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

CADFILE
PLOT DATE

Design & ID33 Planning

PRINCIPAL: DAVID R. VALDON
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480 892 4472

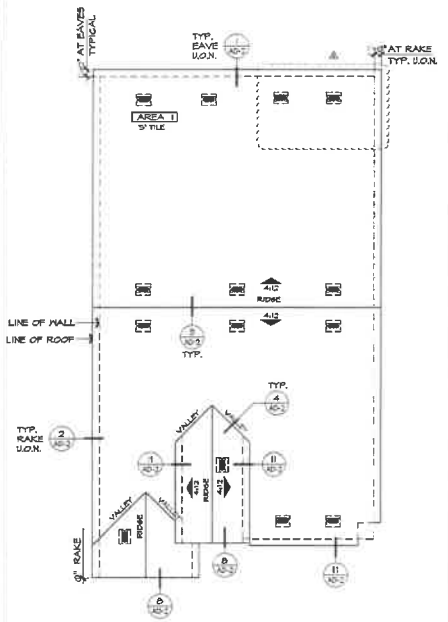
No.	Date	Issue / Description
	08.17.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	12.19.2016	BLDG. DEPT. CORRECTIONS
3	11.13.2018	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.05.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.08.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. 2' BEDROOM 2
EXTENSION

SHEET NO:

AA.32



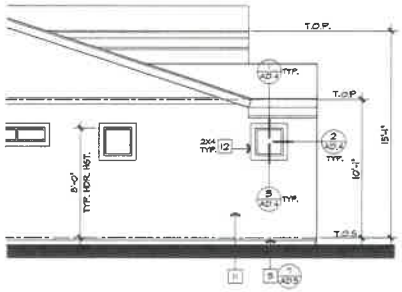
ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"

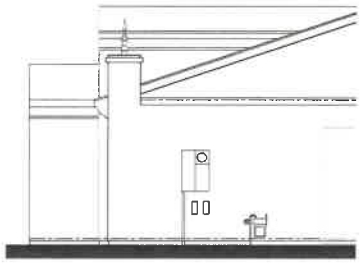
ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	2775	SQ. FT. / 300 =	9.3	SQ. FT.
		X 144 =	1339	SQ. IN
		X 50% =	670	SQ. IN
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN
(7) OHAGIN CLOAKED VENTS.	975	SQ. IN. EA. =	6825	SQ. IN
LOW				
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN
(0) EAVE VENTS: "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN
			1365	SQ. IN

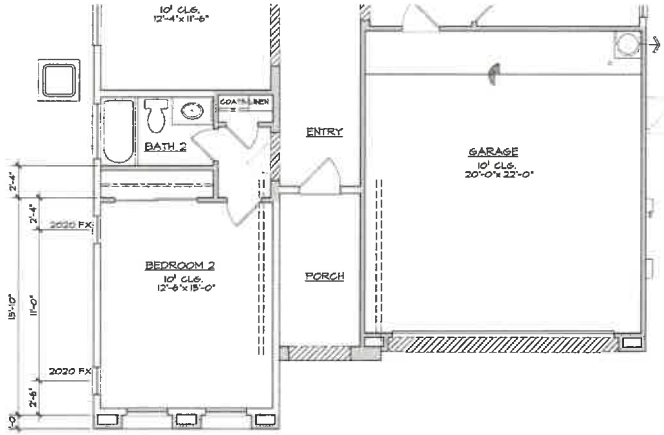
ATTIC VENT CALCULATIONS



PARTIAL LEFT ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



PARTIAL FLOOR PLAN 'A'

OPT. 4' BEDROOM 2 EXTENSION - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1003)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-3829)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RIGID, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5931 EAST BASELINE ROAD SUITE 101, ARIZONA 85234
P: 480 982 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.08.2018	CODE UPDATE
6	04.10.2018	CLIENT CHANGES
	06.01.2018	CLIENT CHANGES
7	08.09.2019	BLDG. DEPT COMMENTS

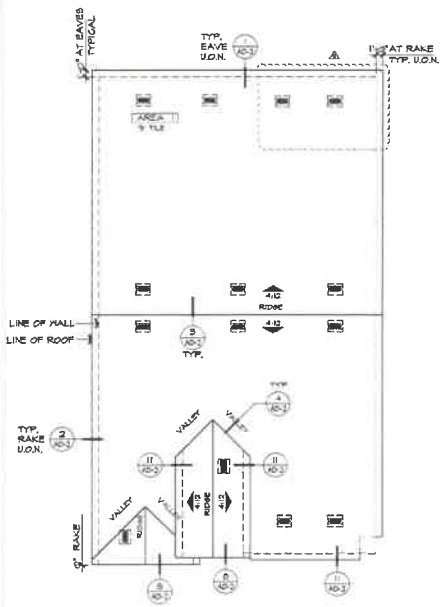
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. 4' BEDROOM 2
EXTENSION

SHEET NO:

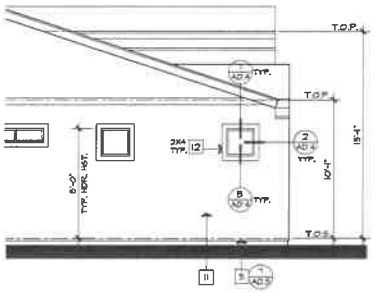
AA.33

CADFILE
PLOT DATE



ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



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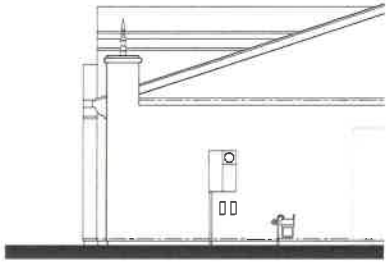

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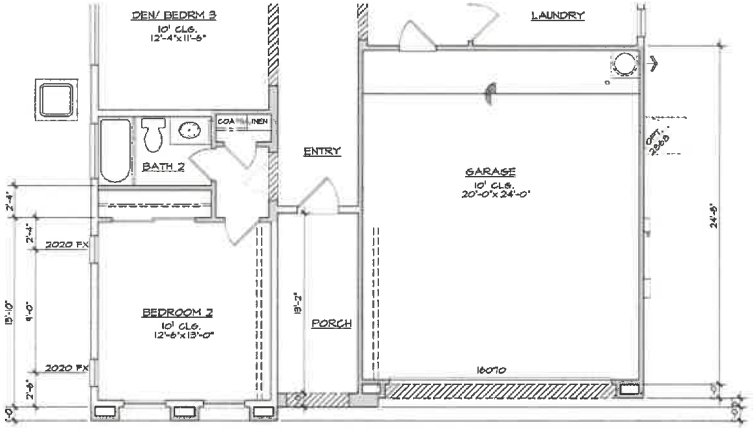

PARTIAL FLOOR PLAN 'A'

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2801	SQ. FT. / 300 =	93	SQ. FT.
		X 144 =	1339	SQ. IN.
		X 50% =	670	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

OPT. 2' BEDROOM 2 EXT. W/ 2' GARAGE EXT. - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MPMD ER-1603)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCHEED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURED - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOW/OR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDIMAN

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3501 EAST BASELINE ROAD SUITE#1 , ARIZONA 85234
PH. 480.890.4492

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.04.2019	BLDG. DEPT COMMENTS

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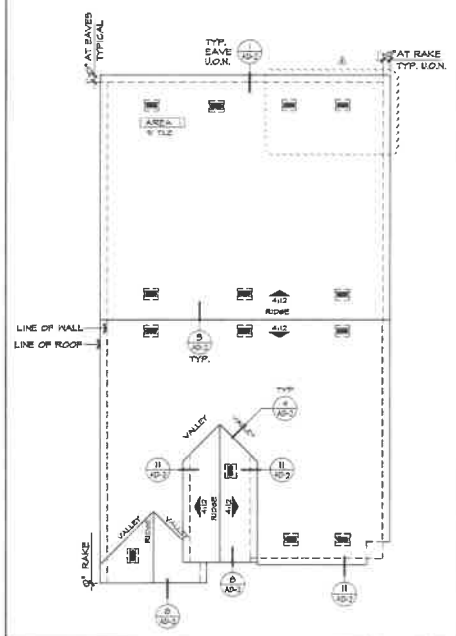
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. 2' BEDROOM 2 EXT.
W/ 2' GARAGE EXT.

SHEET NO:

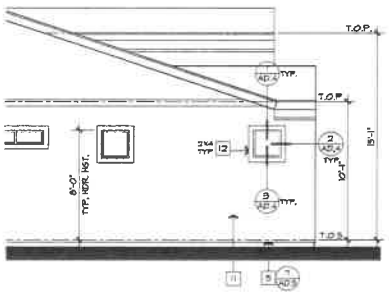
AA.34

CADFILE:
PLOT DATE:

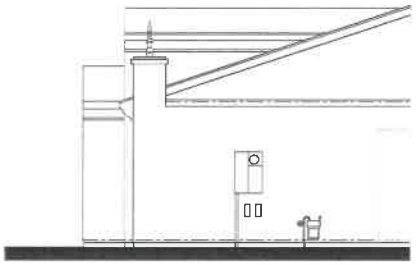


ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"



PARTIAL LEFT ELEV. 'A'



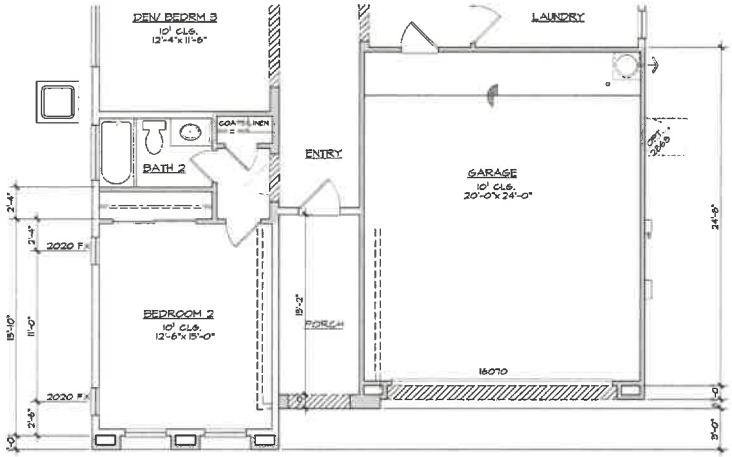
PARTIAL RIGHT ELEV. 'A'

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2,828	SQ. FT. / 300 =	9.4	SQ. FT.
		X 144 =	1354	SQ. IN.
		X 50% =	677	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) O'HAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
(7) O'HAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. 4' BEDROOM 2 EXT. W/ 2' GARAGE EXT. - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMD ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 9" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3521 EAST BASELINE ROAD GILBERT, ARIZONA 85234
PH. 480 892 4442

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.05.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	06.07.2017	CLIENT CHANGES
7	08.04.2017	BLDG. DEPT COMMENTS

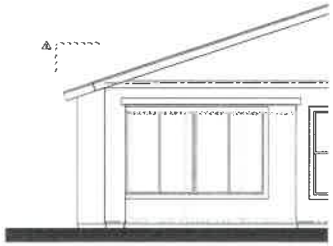
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. 4' BEDROOM 2 EXT.
W/ 2' GARAGE EXT.

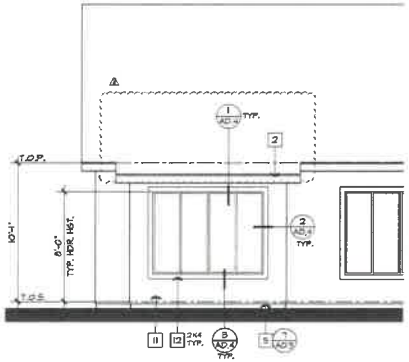
SHEET NO:

AA.35

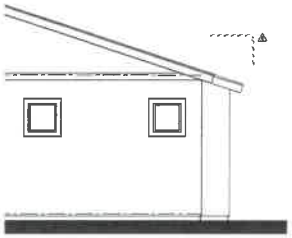
CADFILE:
PLOT DATE:



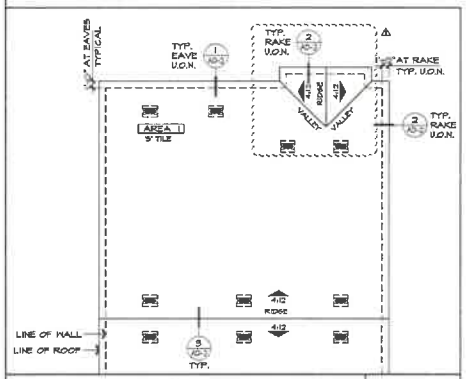
PARTIAL LEFT ELEV. 'A'



PARTIAL REAR ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



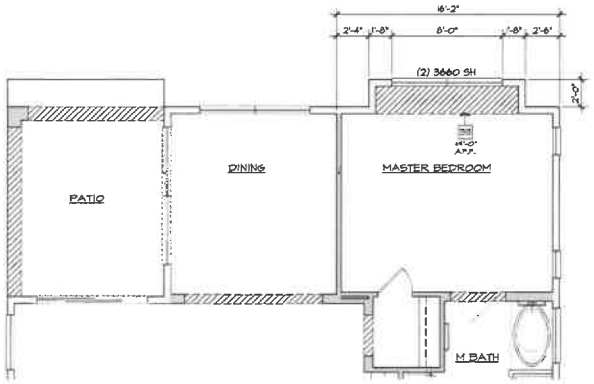
ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	2744	SQ. FT. / 300 =	9.1	SQ. FT.
		X 144 =	1310	SQ. IN.
		X 50% =	655	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. BOX BAY - 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC REQ. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT (GYP. BD.) - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SMITTY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & R307) ⚠
24. PROVIDE DOOR VIEWER PER MESA REG. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & ROLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2) ⚠
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD. SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ER-9300) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPO ER-3822)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

CADFILE
PLOT DATE

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480 892 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
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5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.04.2019	BLDG. DEPT COMMENTS

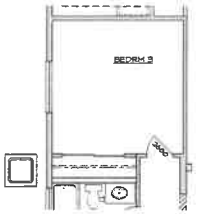
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. BOX BAY

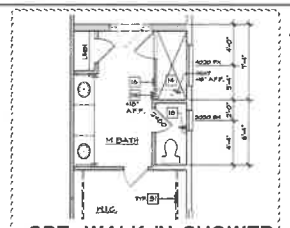
SHEET NO:

AA.36

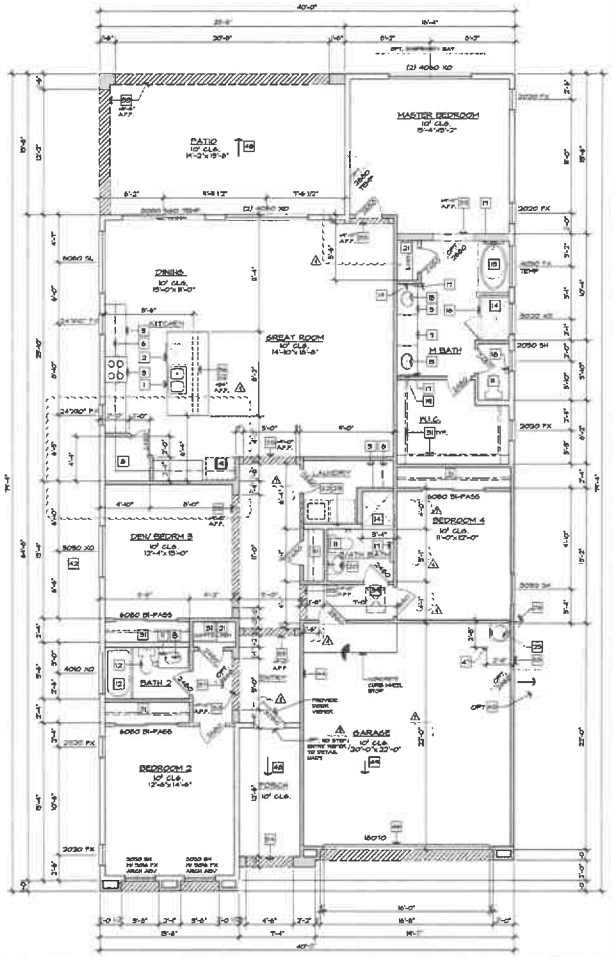
MST19-11055



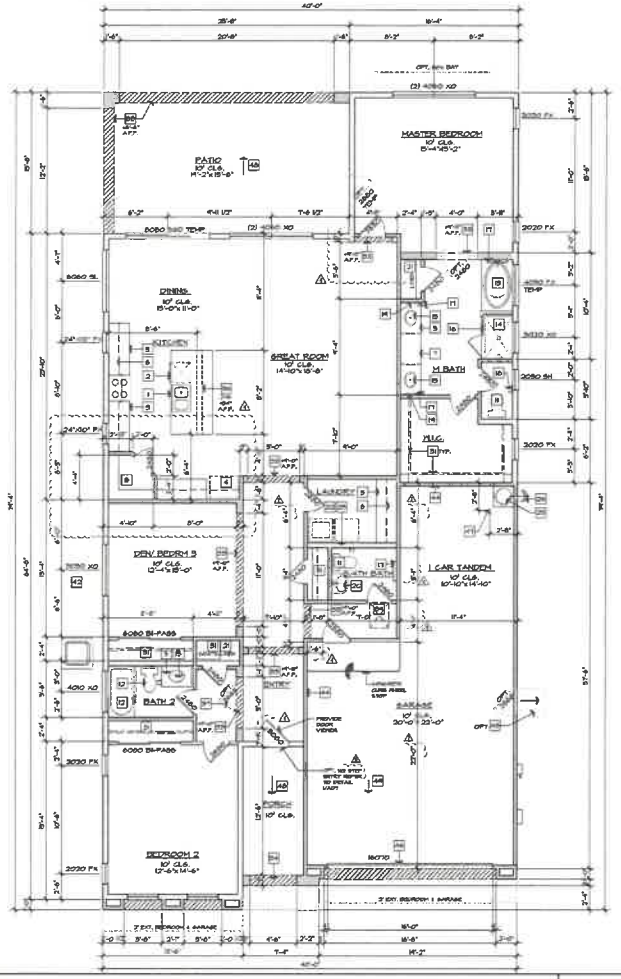
OPT. BEDROOM 3



OPT. WALK-IN SHOWER



ALTERNATE FLOOR PLAN W/ BEDROOM 4 - ELEV. 'A' SCALE : 1/4" = 1'-0"



ALTERNATE FLOOR PLAN W/ TANDEM GARAGE ELEV. 'A' SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WID. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFITY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC, SEC. M1501.1.2.2.2) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC, SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & -24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D)=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER IRC, SEC. R807 & M1305.1.2) ⚠
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD3
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW CLG (PER IRC, M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

CADFILE
PLOT DATE

Design & ID333 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
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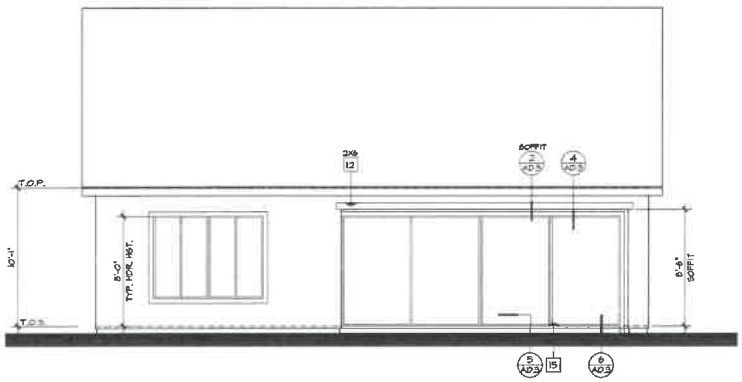
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.21.2019	CLIENT CHANGES
7	08.04.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

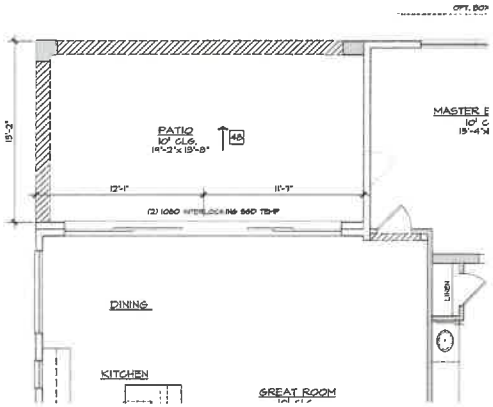
PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
W/ TANDEM GARAGE
& W/ BEDROOM 4

SHEET NO:

AA.37

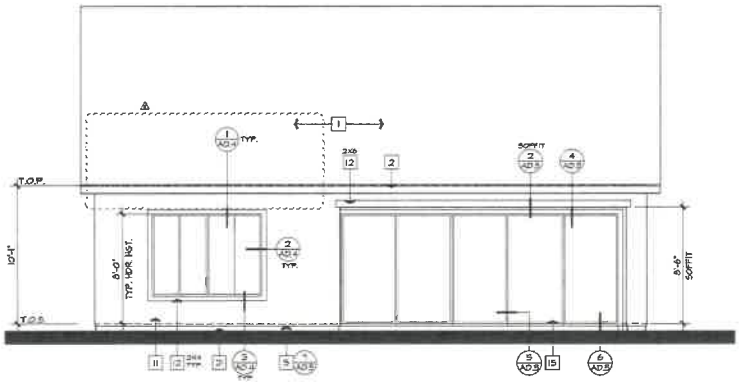


PARTIAL REAR ELEV. 'A' (TYP. ALL ELEV.)

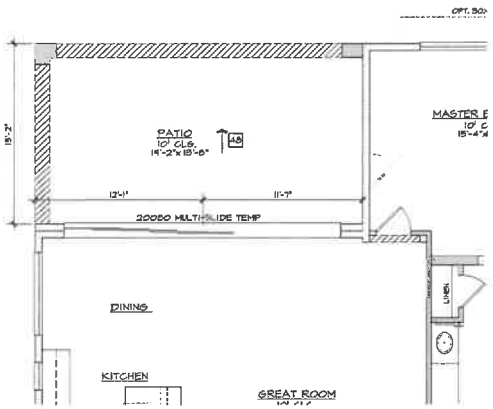


PARTIAL FLOOR PLAN

OPT. 10' INTERLOCKING DOORS @ ALTERNATE FLOOR PLAN - (TYP. ALL ELEV.) SCALE : 1/4" = 1'-0"



PARTIAL REAR ELEV. 'A' (TYP. ALL ELEV.)



PARTIAL FLOOR PLAN

OPT. MULTI-SLIDE @ ALTERNATE FLOOR PLAN - (TYP. ALL ELEV.) SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE 15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION PER IRC RG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER I.R.C. SEC. M1501 & R1021) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GAL VANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER I.R.C. SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 30" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD. SEE DETAIL 9/AD.9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD.9
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +6" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER I.R.C. M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPVO ER-1300) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV. ⚠
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPVO ER-3821)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FRED. BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE FIRE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

DATE/FILE
PLOT DATE

Design & ID33 Planning

PRINCIPAL: DAVID R. [illegible]
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3231 EAST BASELINE ROAD, SUBDIVT, ARIZONA 85234
P: 480 892 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.08.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	06.01.2017	CLIENT CHANGES
7	08.01.2017	BLDG. DEPT COMMENTS

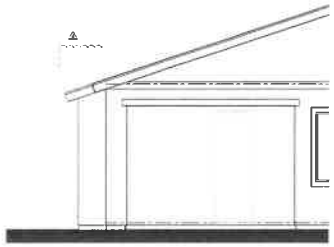
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. MULTI-SLIDE @
ALTERNAT FLOOR PLAN

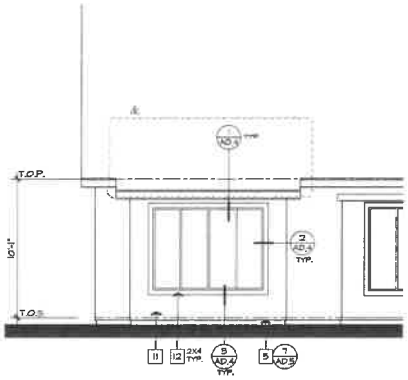
SHEET NO:

AA.310

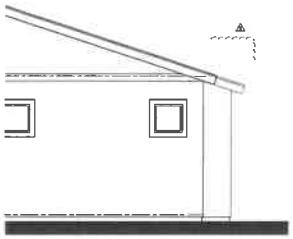
MSP19-0155



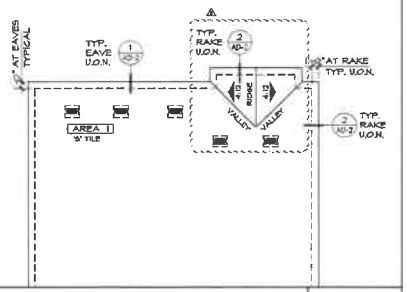
PARTIAL LEFT ELEV. 'A'



PARTIAL REAR ELEV. 'A'



PARTIAL RIGHT ELEV. 'A'



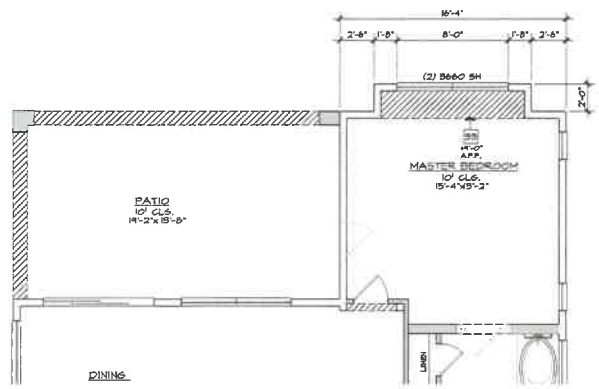
ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	3,122	SQ. FT. / 300 =	10.4	SQ. FT.
		X 144 =	1497	SQ. IN.
		X 50% =	749	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(8) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
LOW				
(8) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 225" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1560	SQ. IN.

ATTIC VENT CALCULATIONS



PARTIAL FLOOR PLAN 'A'

OPT. BOX BAY @ ALTERNATE FLOOR PLAN- 'A' SPANISH ECLECTIC

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC FIG. R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE "SMITTY PAN" W/ DRAIN BELOW WASHER FOR WATER AND WASTE. (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1601 & 1502) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1973 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC R807 & M1305.1.2)
40. FAN IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD. SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS. LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-9303)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RIGID, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

GADFILE
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5837 EAST BASELINE ROAD SUITE 107
MESA, ARIZONA 85206
P: 480 592 8412

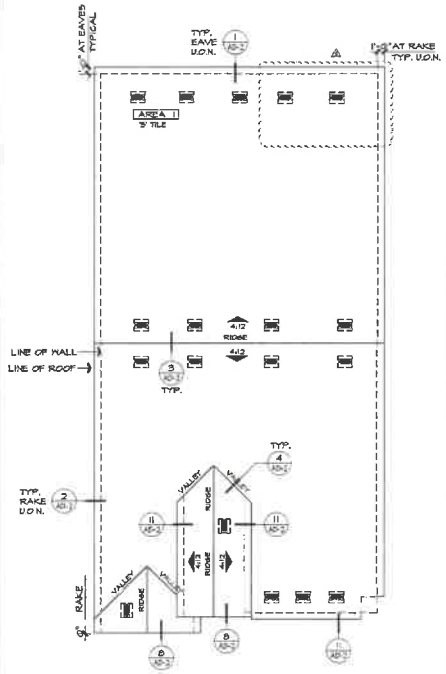
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.28.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.27.2019	CLIENT CHANGES
7	08.04.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
OPT. BOX BAY @
ALTERNAT FLOOR PLAN

SHEET NO:

AA.311



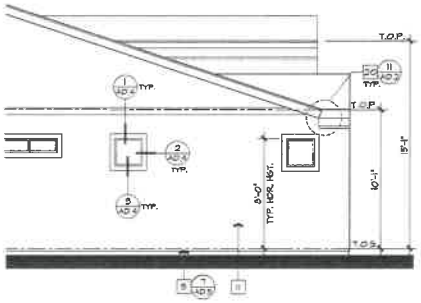
ROOF PLAN 'A'

SCALE : 1/8" = 1'-0"

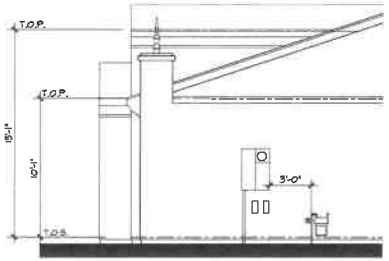
ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	3179	SQ. FT. / 300 =	11	SQ. FT.
		X 144 =	1584	SQ. IN.
		X 50% =	792	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA =	0	SQ. IN.
(8) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA =	780	SQ. IN.
LOW:				
(9) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA =	877.5	SQ. IN.
(0) EAVE VENTS "SINGLE MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA =	0	SQ. IN.
			1657.5	SQ. IN.



PARTIAL LEFT ELEV. 'A'



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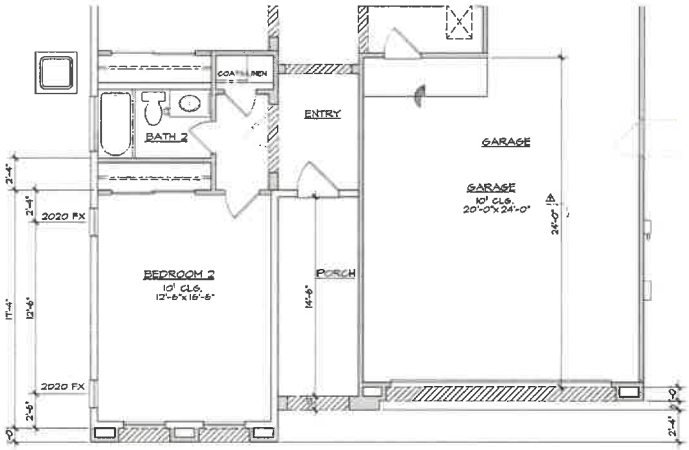


PARTIAL FLOOR PLAN 'A'

OPT. 2' EXTENDED BEDROOM 2, PORCH, & GARAGE @ ALTERNATE

FLOOR PLAN W/ TANDEM GARAGE ELEV. 'A' (TYP. @ OPT. BED 4 PLAN)

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2596
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (IAMPO ER-352)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWDOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RIVED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

Design & ID333 Planning

PRINCIPAL: DAVID R. VALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
2321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
PH. 480 892 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.06.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.09.2019	BLDG DEPT COMMENTS

[illegible]

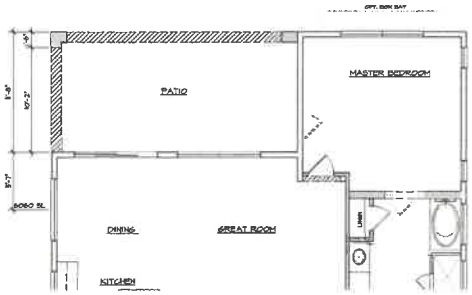
SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
W/ TANDEM GARAGE
OPT. 2' EXT. BED & GARAGE)

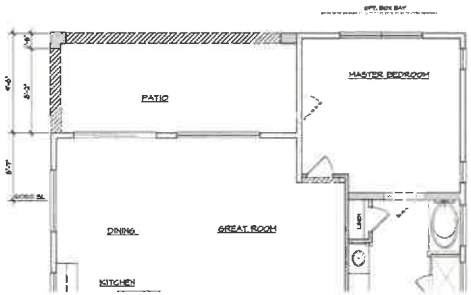
SHEET NO:

AA.312

CADFILE
PLOT DATE



OPT. 2' EXTENDED DINING/ GREAT ROOM INTO PATIO



OPT. 4' EXTENDED DINING/ GREAT ROOM INTO PATIO

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 33" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (MIRRORED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SAFETY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & 6.02) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. F.A.U. IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD9
48. CONCRETE FLAT WORK SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB SLOPE 1/8" PER FOOT U.N.O. 9/AD3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW CLG (PER IRC. M1702.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

⚠

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ALTERNATE FLOOR PLAN OPTIONS

SCALE : 1/4" = 1'-0"

MST19-1105

CADFILE
PLOT DATE

Design & ID333 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD @ GILBERT, ARIZONA 85234
PH. 480 892 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.05.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	05.07.2019	CLIENT CHANGES
7	05.09.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
'A' SPANISH ECLECTIC
ALTERNATE FLOOR PLAN
OPTIONS

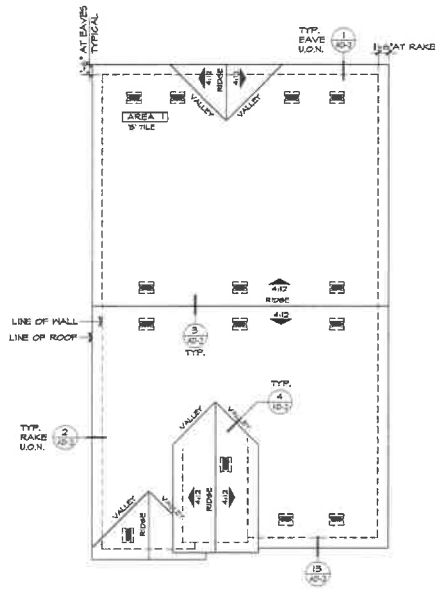
SHEET NO:

AA.37-1

PLAN 2000 ITALIAN FARMHOUSE ELEVATION

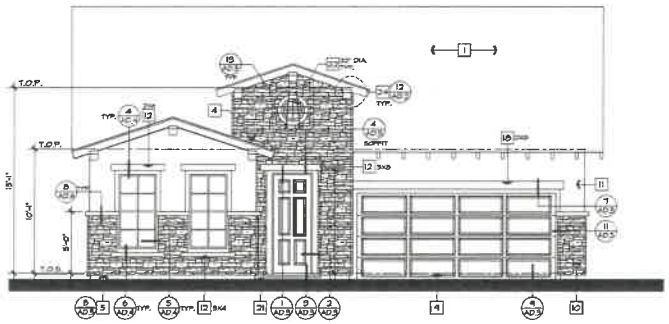
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

Stone / brick 55%
stucco 45%

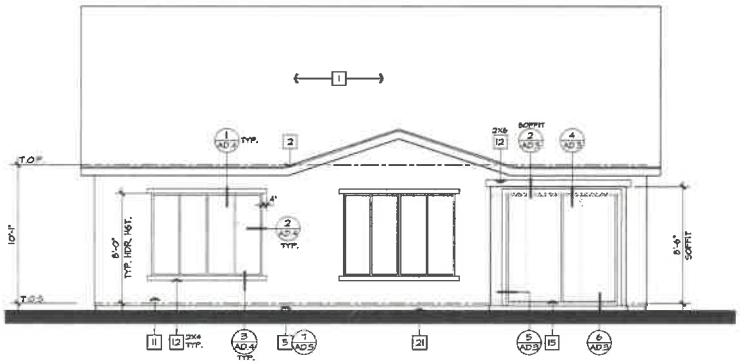


ROOF PLAN 'B'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'B' ITALIAN FARMHOUSE



REAR ELEVATION 'B' ITALIAN FARMHOUSE

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	2721	SQ. FT. / 300 =	91	SQ. FT.
		X 144 =	1310	SQ. IN.
		X 50% =	655	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5	SQ. IN.
(0) EAVE VENTS 'SPIDER MOUTH' 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER U.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER RC 8092 EXCEPTION 1 & 2 ! ⚠

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #500343
MODEL: "S" #500046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1900) ! ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3820)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RIGID BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED

1. ROOF MATERIAL: EAGLE- (APMO ER-1900) ! ⚠ CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP, INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
2901 EAST BASELINE ROAD G, GILBERT, ARIZONA 85234
PH. 480 892 4410

No.	Date	Issue / Description
	08.31.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.18.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2014	CLIENT CHANGES
5	03.06.2014	CODE UPDATE
6	04.10.2014	CLIENT CHANGES
	06.07.2014	CLIENT CHANGES
7	08.04.2014	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'B'
ITALIAN FARMHOUSE

SHEET NO:

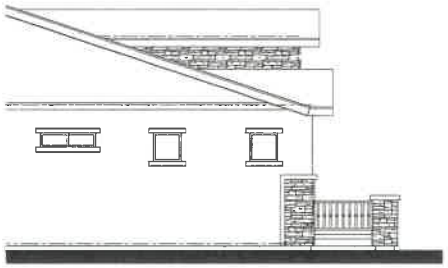
AB.21

ATTIC VENT CALCULATIONS

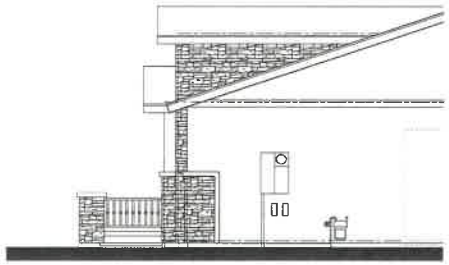
FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'B'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

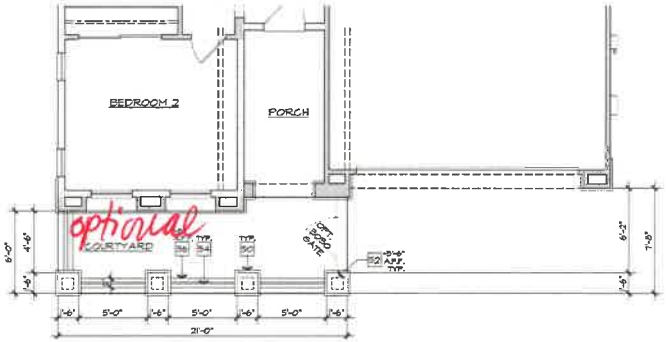


PARTIAL LEFT ELEV. 'B'



PARTIAL RIGHT ELEV. 'B'

PARTIAL FRONT ELEV. 'B'



PARTIAL FLOOR PLAN 'B'

OPT. COURTYARD - 'B' ITALIAN FARMHOUSE

SCALE : 1/4" = 1'-0"

CADFILE
PLOT DATE:

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR SPACE (15" CLR. FROM CENTER OF FIXTURE IN EACH DIRECTION PER IRC FIG R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (IMPROVED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE SANITY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER IRC. SEC. M1501 & E3202) ⚠
24. PROVIDE DOOR VIEWER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED ⚠
39. 22" x 30" ATTIC ACCESS (PER IRC. SEC. R807 & M1305.1.2)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS ⚠ PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD. SEE DETAIL 9/A09
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB. SLOPE 1/8" PER FOOT U.N.O. 9/A03
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN ⚠

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ER-1800) ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. G.I. FLASHING
5. G.I. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-3822)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RECD. BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" G.I. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5821 EAST BASELINE ROAD S.JUBERT, ARIZONA 85234
P: 480-314-4410

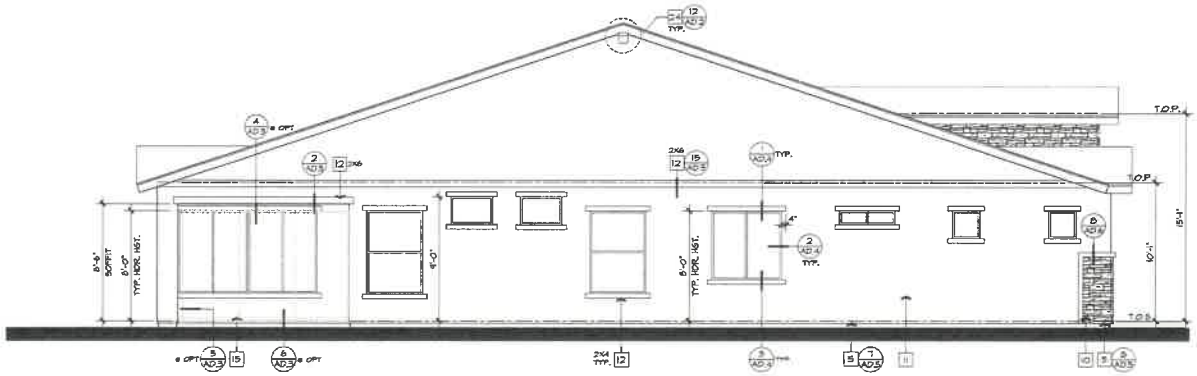
No.	Date	Issue / Description
	06.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT CORRECTIONS
2	10.14.2016	BLDG. DEPT CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.06.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	06.04.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

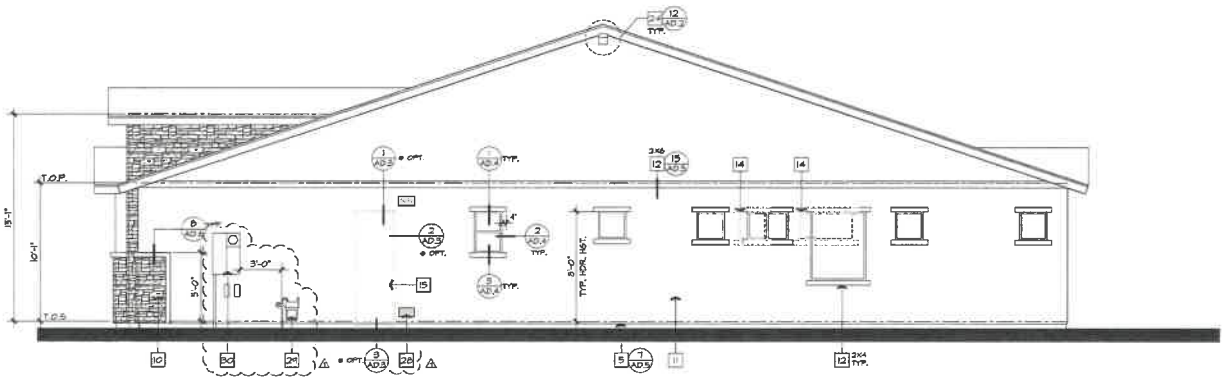
PLAN 2000 (PLAN 3)
'B' ITALIAN FARMHOUSE
OPT. COURTYARD

SHEET NO:

AB.31



LEFT ELEVATION 'B' ITALIAN FARMHOUSE



RIGHT ELEVATION 'B' ITALIAN FARMHOUSE

LEFT AND RIGHT EXTERIOR ELEVATIONS 'B'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAMO ER-1800)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDWOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
PH. 480.892.4410

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.05.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	06.24.2019	BLDG. DEPT COMMENTS

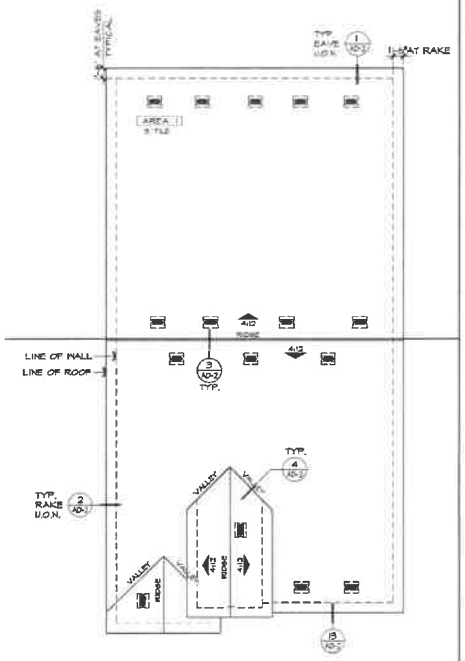
SHEET TITLE:

PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'B'
ITALIAN FARMHOUSE

SHEET NO:

AB.22

CADFILE
PLOT DATE



ROOF PLAN 'B'

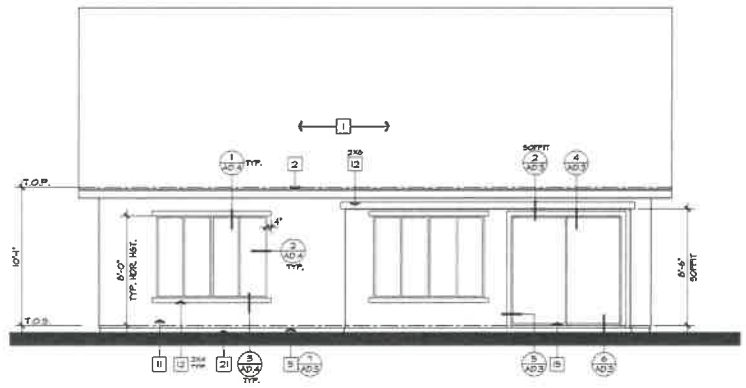
SCALE : 1/8" = 1'-0"

ATTIC VENT CALCULATIONS

AREA 1				
VENTILATION REQUIRED:	3,099	SQ. FT. / 300 =	10.3	SQ. FT.
		X 144 =	1483	SQ. IN.
		X 50% =	744	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(8) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
LOW				
(8) O'HAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1560	SQ. IN.

ATTIC VENT CALCULATIONS

FRONT ELEV. 'B'



REAR ELEV. 'B'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1603)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2558
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (AMPO ER-382)
12. STUCCO OVER FOAM TRIM (PAK SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1603) CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE, ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER UBC SEC. R806.3

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 806.2 EXCEPTION 1 & 2 ?

VENTILATION SCHEDULE:

O'HAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50045
NET FREE VENT: 98.75 S.O. IN(FLAT), 97.5 S.O. IN(S)
SBCCI REPORT No. 9650A

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'B'

SCALE : 1/4" = 1'-0"

MISSING IMAGE

CADFILE
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN PELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.4442

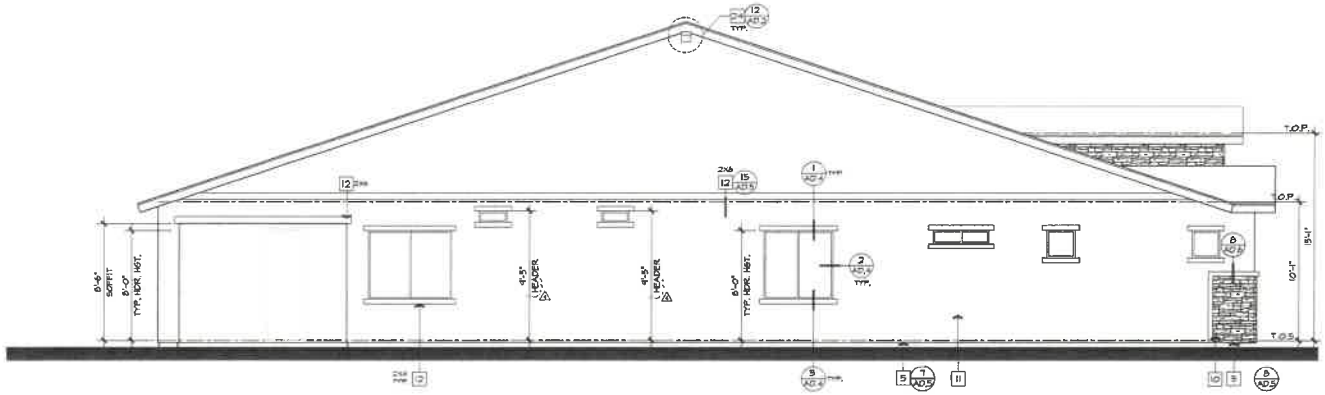
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.06.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	06.07.2017	CLIENT CHANGES
7	06.09.2017	BLDG. DEPT COMMENTS

SHEET TITLE:

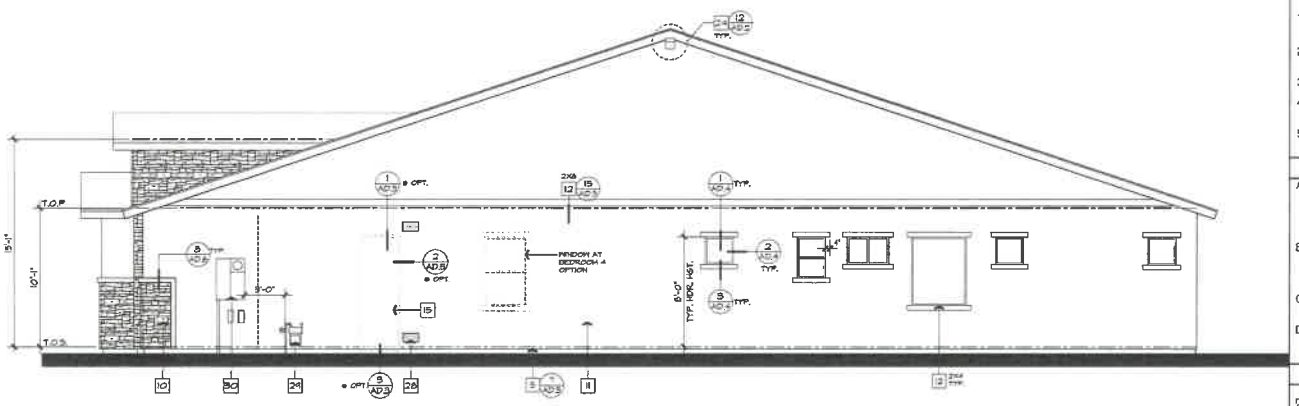
PLAN 2000 (PLAN 3)
'B' ITALIAN FARMHOUSE
ALTERNATE FLOOR PLAN
FRONT & REAR ELEV.
& ROOF PLAN

SHEET NO:

AB.38



LEFT ELEV. 'B'



RIGHT ELEV. 'B'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'B'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APWO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APWO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APWO ER-1900) CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'D' CONCRETE S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (E.G. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 8052 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

O'HAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 S.O. IN(FLAT), 97.5 S.O. IN(S)
SBCCI REPORT No. 9650A

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD SUITE 117, ARIZONA 85234
P: 480.342.4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT CORRECTIONS
2	10.14.2016	BLDG. DEPT CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.08.2018	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.04.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
'B' ITALIAN FARMHOUSE
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

SHEET NO:

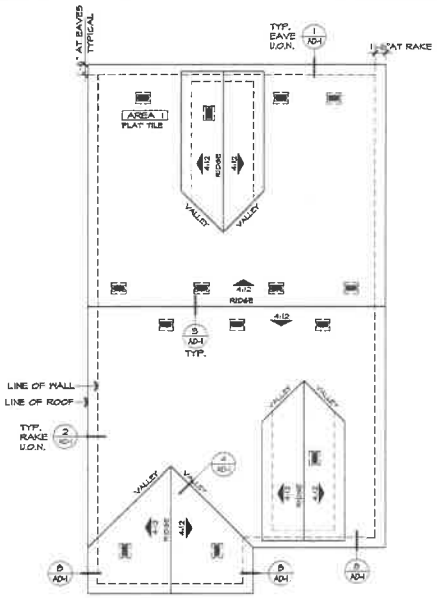
AB.39

CADFILE:
PLOT DATE:

PLAN 2000 CRAFTSMAN ELEVATION

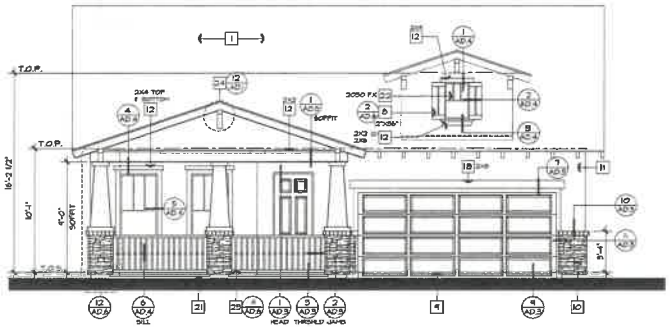
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 82%
stone/brick 18%

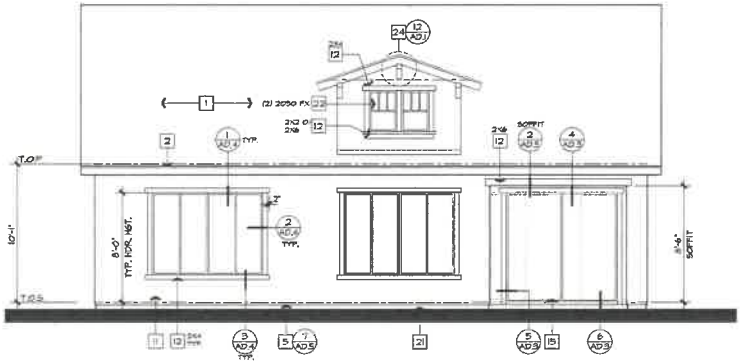


ROOF PLAN 'C'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'C' CRAFTSMAN



REAR ELEVATION 'C' CRAFTSMAN

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2,832	SQ. FT. / 300 =	9.4 SQ. FT.
		X 144 =	1360 SQ. IN.
		X 50% =	680 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0 SQ. IN.
(7) OHAGIN CLOAKED VENTS.	97.5	SQ. IN. EA. =	682.5 SQ. IN.
LOW			
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0 SQ. IN.
			1365 SQ. IN.

ATTIC VENT CALCULATIONS

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1803)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCHEED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOMMOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1803)
   CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE. PER IRC 806.2 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'C'

SCALE : 1/4" = 1'-0"

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN MELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

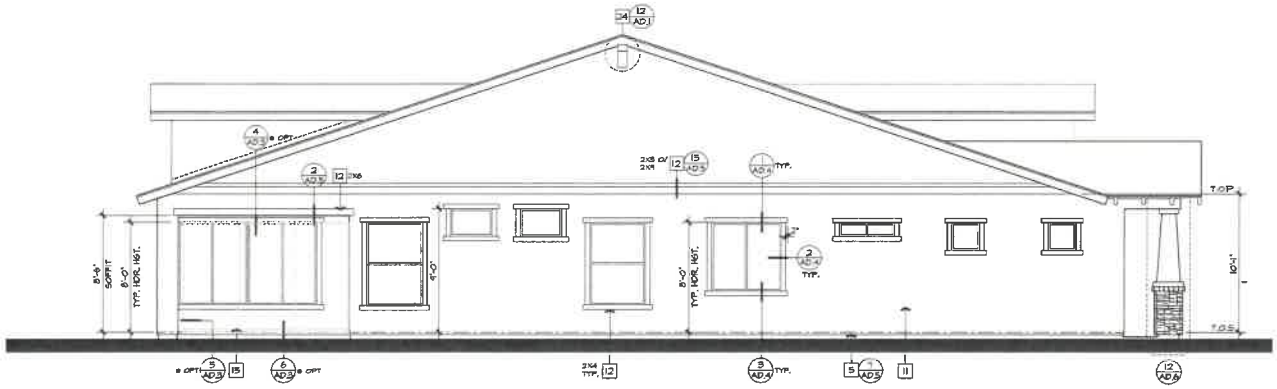
BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480 892 4410

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.04.2019	BLDG. DEPT COMMENTS

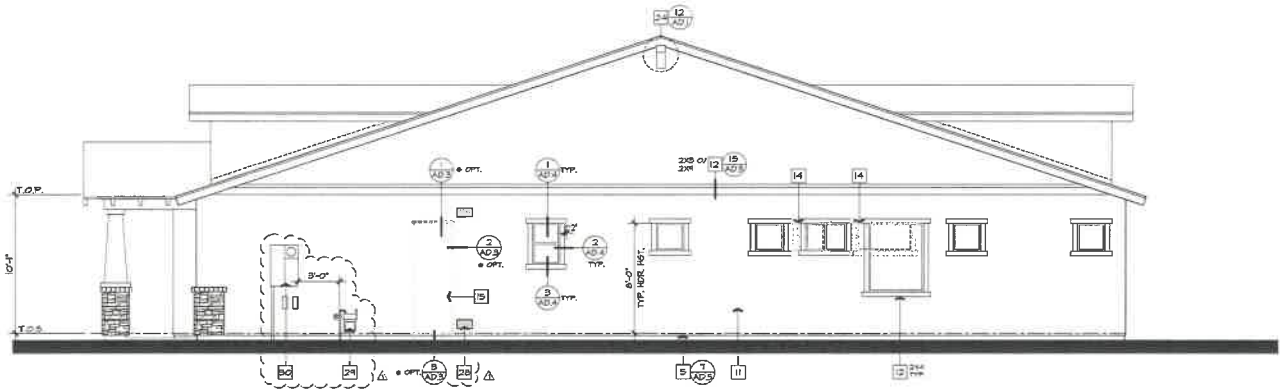
SHEET TITLE:
PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'C'
CRAFTSMAN

SHEET NO:
AC.21

CADFILE
PLOT DATE



LEFT ELEVATION 'C' CRAFTSMAN



RIGHT ELEVATION 'C' CRAFTSMAN

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (AMPO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWNOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 6" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

LEFT AND RIGHT EXTERIOR ELEVATIONS 'C'

SCALE : 1/4" = 1'-0"

NOT FOR CONSTRUCTION

CADFILE
PLOT DATE

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN NELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3021 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P 480.545.4410

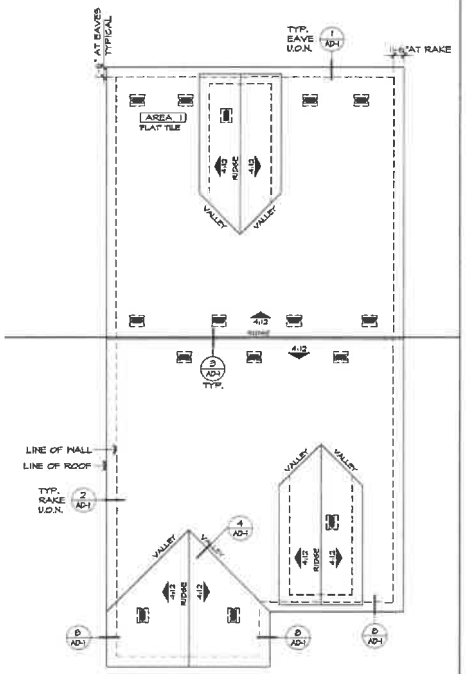
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.18.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	05.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.09.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'C'
CRAFTSMAN

SHEET NO:

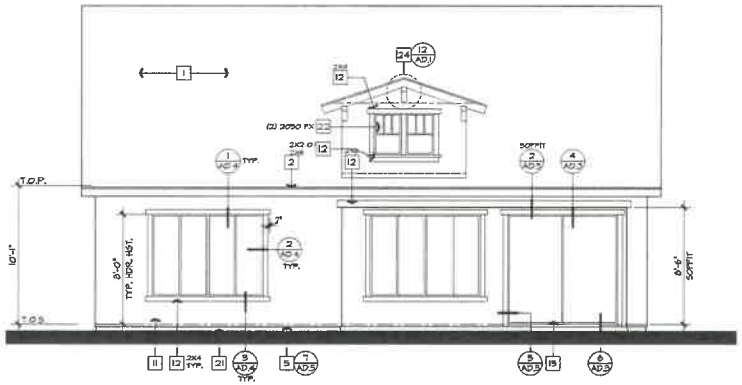
AC.22



ROOF PLAN 'C'

SCALE : 1/8" = 1'-0"

FRONT ELEV. 'C'



REAR ELEV. 'C'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWWER - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1900)
   CONCRETE "FLAT" TILE REFER TO ROOF PLAN - ELEV. "C" & "E"
   CONCRETE "S" TILE REFER TO ROOF PLAN - ELEV. "A", "B", & "D"
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC SEC R806.3

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 806.2 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

CHAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.("FLAT"), 97.5 SQ. IN.("S")
SBCCI REPORT No. 9650A

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	3220	SQ. FT. / 300 =	107	SQ. FT.
		X 144 =	15.46	SQ. IN.
		X 50% =	7.73	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA =	0	SQ. IN.
(8) CHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA =	780	SQ. IN.
LOW				
(8) CHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA =	780	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA	12	SQ. IN. EA =	0	SQ. IN.
			1560	SQ. IN.

ATTIC VENT CALCULATIONS

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'C'

SCALE : 1/4" = 1'-0"

MSTA/MSS

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. VALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P - 480 892 6413

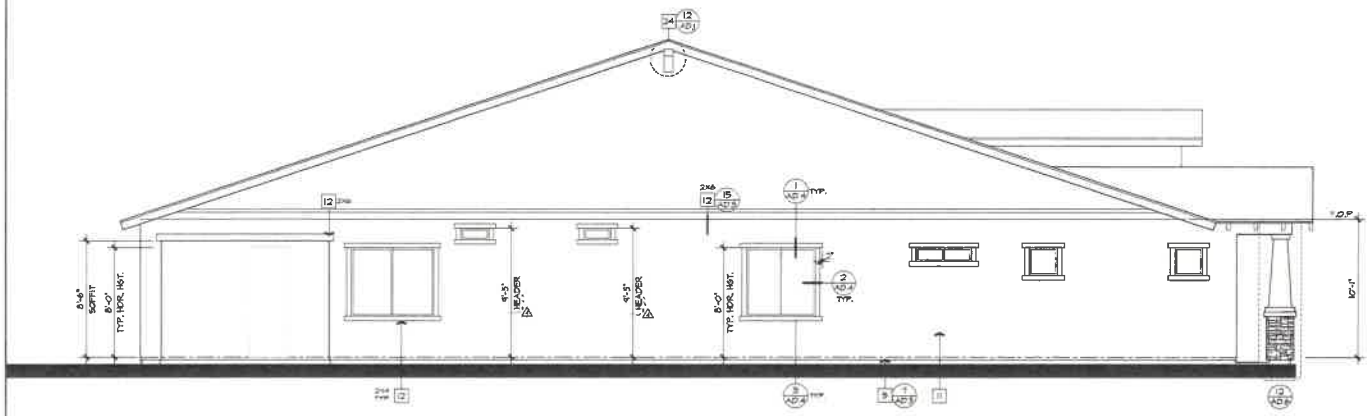
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.06.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	06.07.2017	CLIENT CHANGES
7	08.04.2017	BLDG. DEPT COMMENTS

SHEET TITLE:

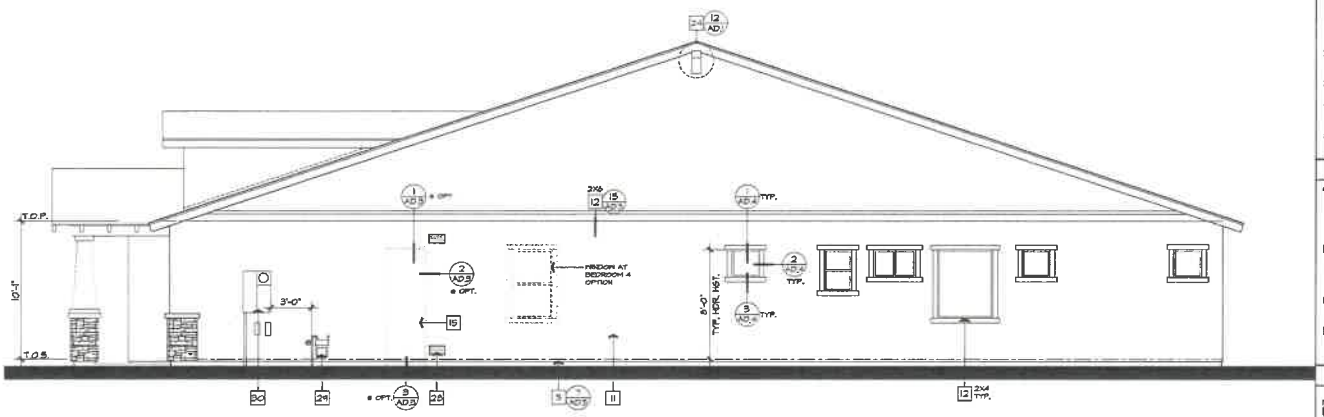
PLAN 2000 (PLAN 3)
'C' CRAFTSMAN
ALTERNATE FLOOR PLAN
FRONT & REAR ELEV.
& ROOF PLAN

SHEET NO:

AC.38



LEFT ELEV. 'C'



RIGHT ELEV. 'C'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'C' | SCALE : 1/4" = 1'-0"

MISCARRIAGE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1900)
2. 2x6 FASCIA.
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2514
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3829)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURED) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWNOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1900) CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFINGS TO BE INSTALLED OVER MINIMUM (2) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS.
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-8" OF VALLEY, HPS OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER UBC. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 806.2 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

CHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P. 480 892 6442

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.01.2019	CLIENT CHANGES
7	08.09.2019	BLDG. DEPT COMMENTS

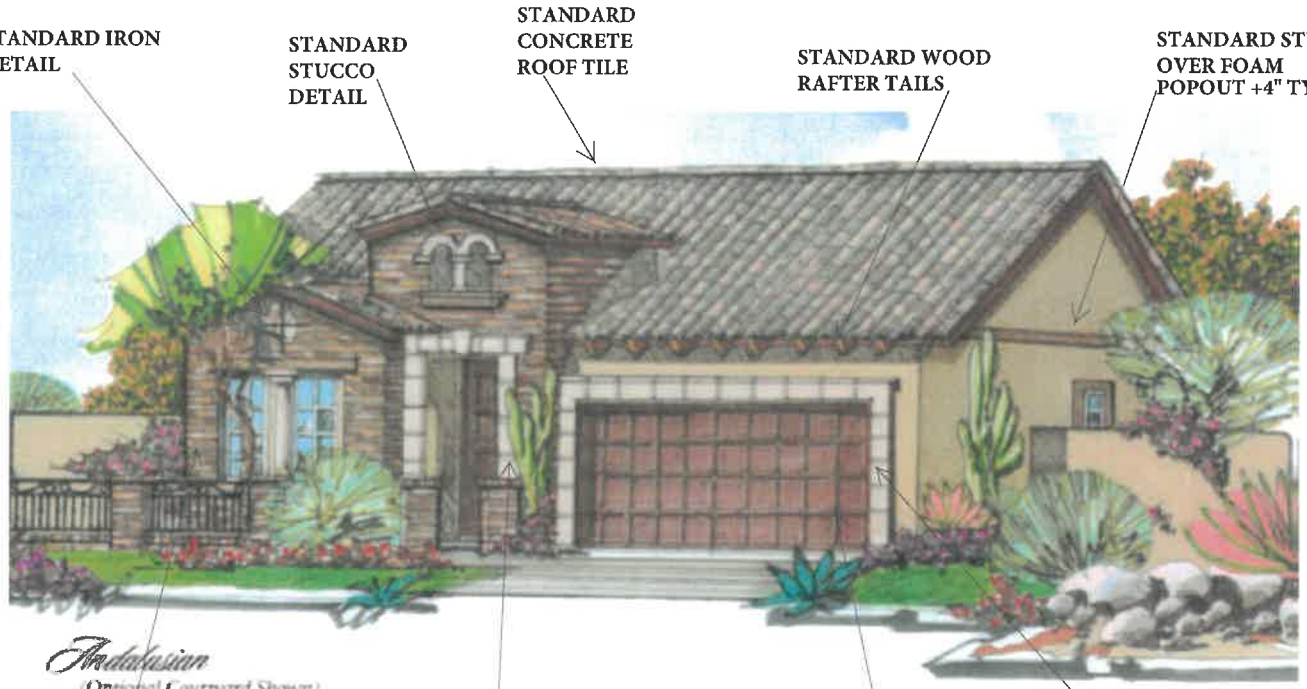
SHEET TITLE:

PLAN 2000 (PLAN 3)
'C' CRAFTSMAN
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

SHEET NO:

AC.39

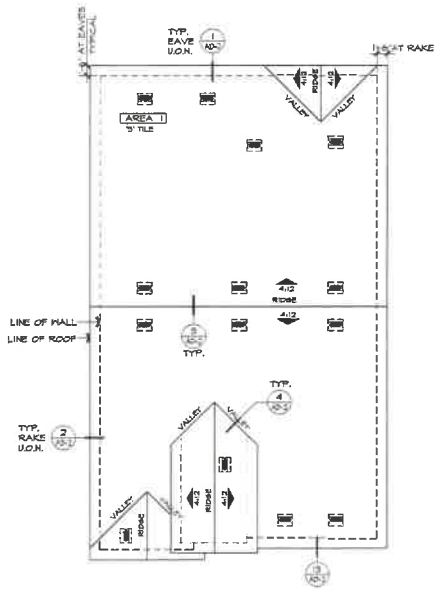
CADFILE:
PLOT DATE:



PLAN 2000 ANDALUSIAN ELEVATION

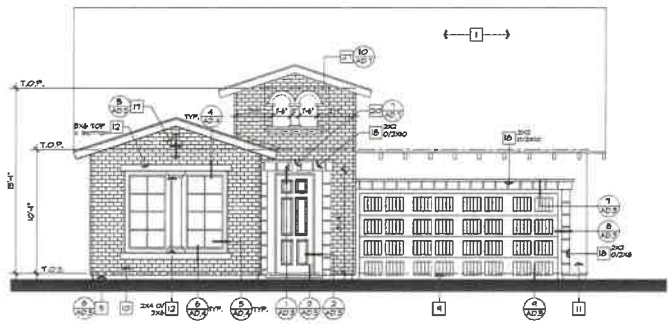
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

brick/stone 64%
stucco 36%

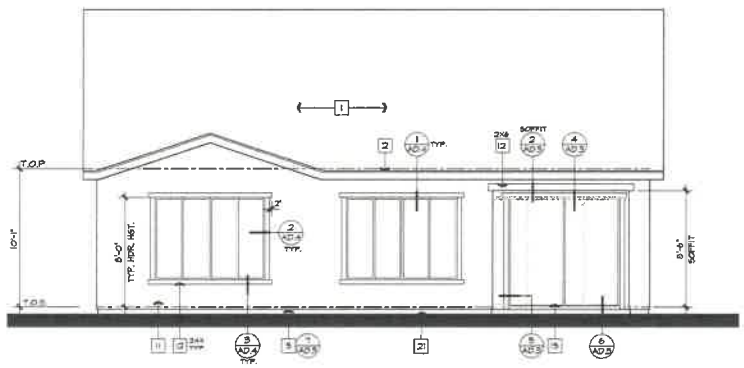


ROOF PLAN 'D'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'D' ANDALUSIAN



REAR ELEVATION 'D' ANDALUSIAN

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2/21	SQ. FT. / 300 =	81	SQ. FT.
		X 144 =	1310	SQ. IN
		X 50% =	655	SQ. IN
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(7) OHAGIN CLOAKED VENTS:	975	SQ. IN. EA. =	6825	SQ. IN.
LOW				
(7) OHAGIN CLOAKED VENTS.	975	SQ. IN. EA. =	6825	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0	SQ. IN.
			1365	SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'D'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APWO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI. FLASHING
5. GI. DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APWO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWDR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI. SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APWO ER-1900)
   CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER U.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 806.2 EXCEPTION 1 & 2.

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

Design & IDEA Planning

PRINCIPAL: DAVID R. HALDOWSKI
PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480 892 4442

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.05.2018	CODE UPDATE
6	04.10.2018	CLIENT CHANGES
	06.07.2018	CLIENT CHANGES
7	08.09.2018	BLDG. DEPT COMMENTS

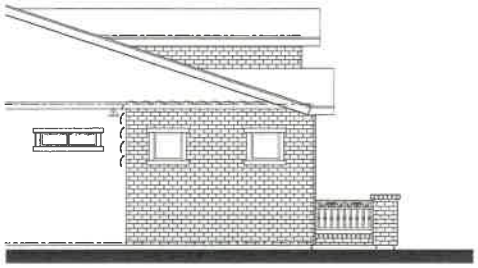
SHEET TITLE:

PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'D'
ANDALUSIAN

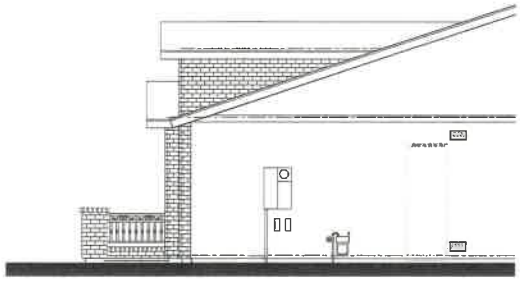
SHEET NO:

AD.21

CADFILE:
PLOT DATE:

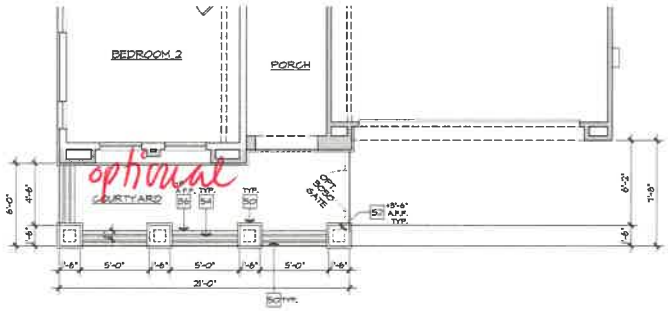


PARTIAL LEFT ELEV. 'D'



PARTIAL RIGHT ELEV. 'D'

PARTIAL FRONT ELEV. 'D'



PARTIAL FLOOR PLAN 'D'

OPT. COURTYARD - 'D' ANDALUSIAN

SCALE : 1/4" = 1'-0"

MC/PST.1058

CAD FILE
PLOT DATE

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT, AIR GAP - VERIFY DIM W/ MFR SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR SPACE (15" CLR FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC PG R307.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV DRAIN OF MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ MFR.
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (IMPROVED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE "SMITY PAN W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER I.R.C. SEC. M1501 & 502) 4
24. PROVIDE DOOR MEMBER PER MESA RES. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRIP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELIEF VALVE, MIN 6" ABV. - FINISH GRADE (PER I.R.C. SEC. M1307.3 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY DR.
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D=DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. FALL IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS
    4 PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE
47. SOLID GROUTED PIPE BOLLARD SEE DETAIL 9/AD.9
48. CONCRETE FLAT WORK SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB SLOPE 1/8" PER FOOT U.N.O. 9/AD.9
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT., (1) WITHIN -4" BELOW CLG (PER IRC. M1703.2)
54. GAS SERVICE METER - REFER TO UTILITY PLAN
55. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPMO ER-9303) 4
2. 2x FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2533 4
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAMPO ER-3821)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MEMWDR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. [illegible]

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3021 EAST BASELINE ROAD S.JUDRT, ARIZONA 85234
P: 480 210 4472

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.03.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	06.01.2017	CLIENT CHANGES
7	08.09.2017	BLDG. DEPT COMMENTS

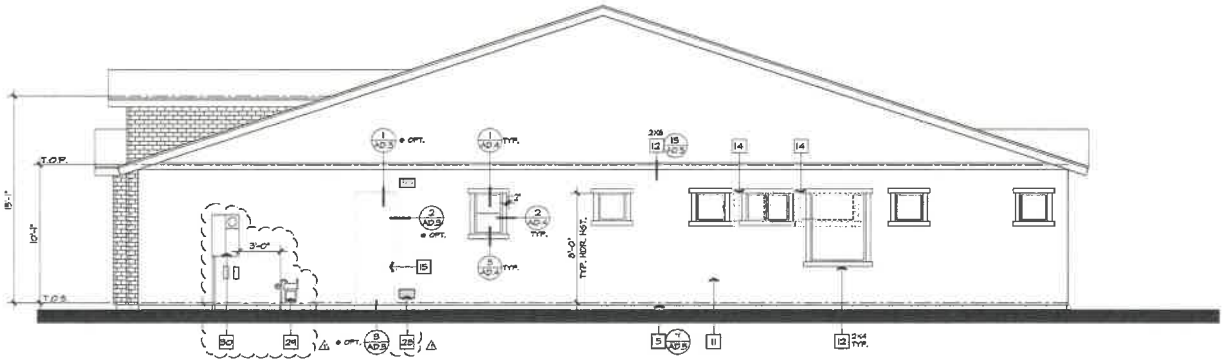
SHEET TITLE:

PLAN 2000 (PLAN 3)
'D' ANDALUSIAN
OPT. COURTYARD

SHEET NO:

AD.31

LEFT ELEVATION 'D' ANDALUSIAN



RIGHT ELEVATION 'D' ANDALUSIAN

LEFT AND RIGHT EXTERIOR ELEVATIONS 'D'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APWO ER-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCHEED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APWO ER-3820)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOWDOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORICH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. MACDONALD

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5531 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P - 480.892.4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.09.2019	BLDG. DEPT COMMENTS

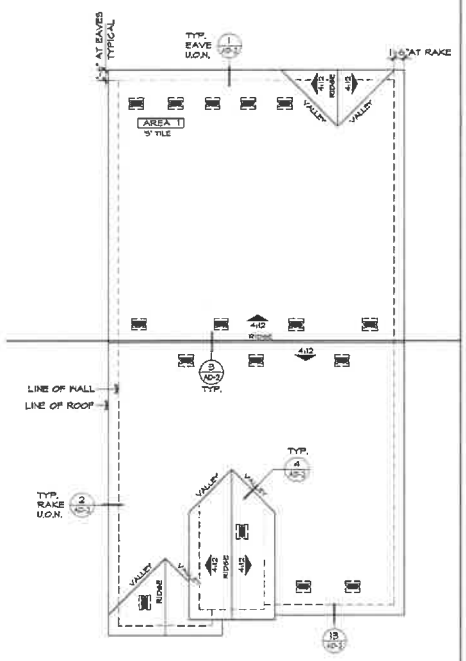
SHEET TITLE:

PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'D'
ANDALUSIAN

SHEET NO:

AD.22

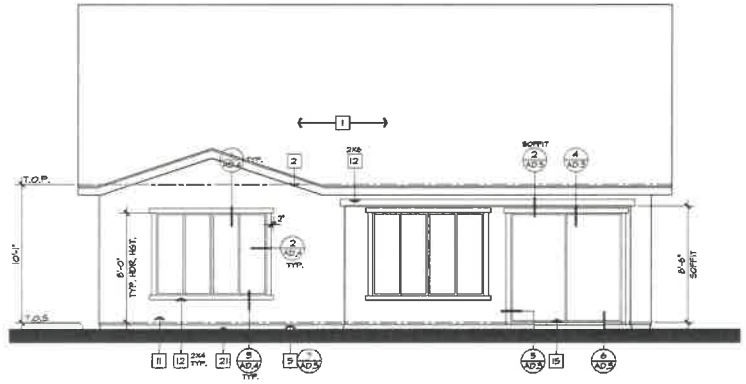
CADFILE
PLOT DATE



ROOF PLAN 'D'

SCALE : 1/8" = 1'-0"

FRONT ELEV. 'D'



REAR ELEV. 'D'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCHEED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-382)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WDW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. RDED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED

1. ROOF MATERIAL: EAGLE- (APMO ER-1900)
   CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R806 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

CHASIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2099	SQ. FT. / 300 =	103	SQ. FT.
		X 144 =	1488	SQ. IN.
		X 50% =	744	SQ. IN.
VENTILATION PROVIDED:				
HIGH				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(8) CHASIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
LOW				
(8) CHASIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 3.25" DIA. EA	12	SQ. IN. EA. =	0	SQ. IN.
			1560	SQ. IN.

ATTIC VENT CALCULATIONS

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'D'

SCALE : 1/4" = 1'-0"

MISCLASSED

CADFILE:
PLOT DATE:

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5321 EAST BASELINE ROAD SUITE 107, ARIZONA 85234
P: 480 962 6403

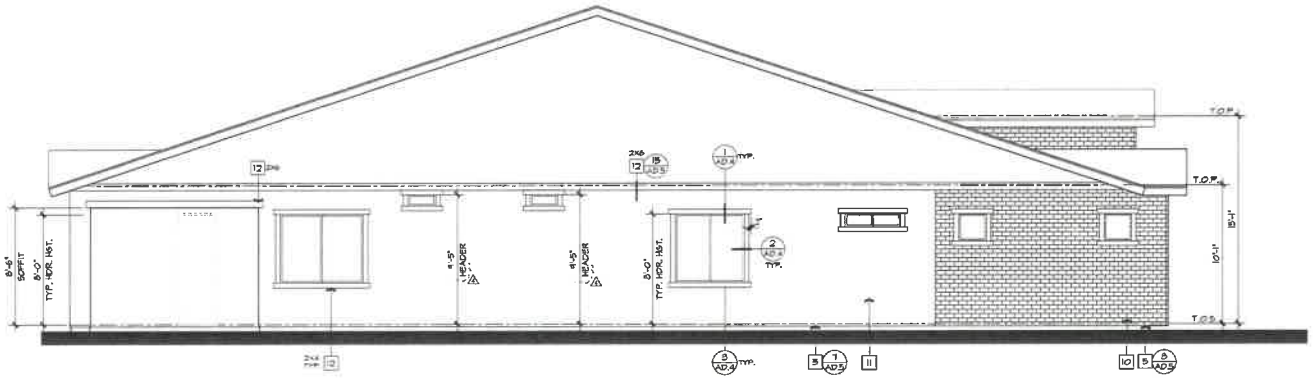
No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT CORRECTIONS
2	10.14.2016	BLDG. DEPT CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.09.2019	BLDG. DEPT COMMENTS

SHEET TITLE:

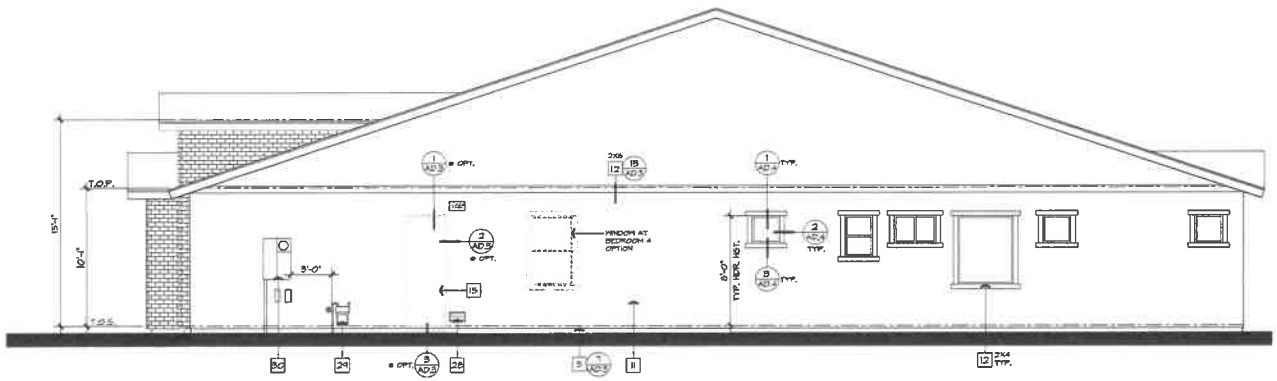
PLAN 2000 (PLAN 3)
'D' ANDAULSIAN
ALTERNATE FLOOR PLAN
FRONT & REAR ELEV.
& ROOF PLAN

SHEET NO:

AD.38



LEFT ELEV. 'D'



RIGHT ELEV. 'D'

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1900)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2568
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WEWKOR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1900)
   CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (2 LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE. PER IRC 806.2 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

CHAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'D'

SCALE : 1/4" = 1'-0"

CADFILE:
PLOT DATE:

Design & IDEA Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
3921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.4410

No.	Date	Issue / Description
	06.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2017	CLIENT CHANGES
5	03.08.2017	CODE UPDATE
6	04.10.2017	CLIENT CHANGES
	05.01.2017	CLIENT CHANGES
7	08.09.2017	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
'D' ANDALUSIAN
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

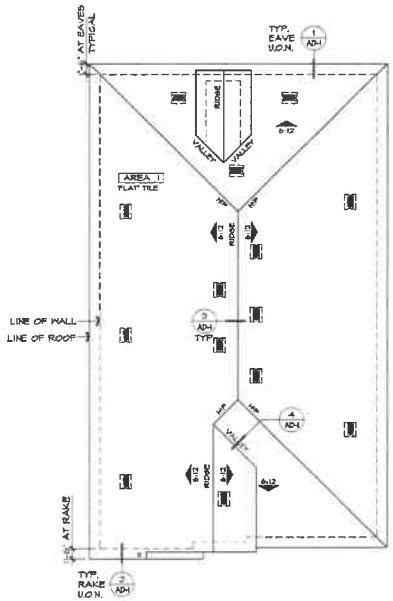
SHEET NO:

AD.39

PLAN 2000 COUNTRY FRENCH ELEVATION

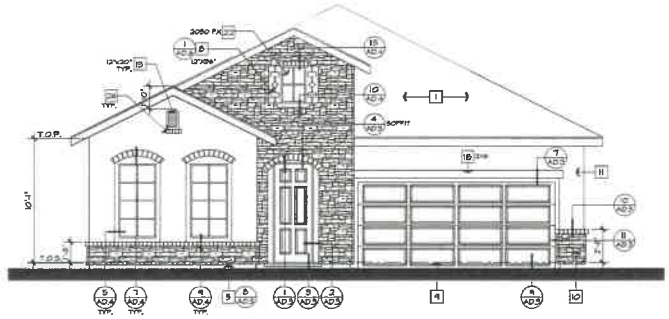
"All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way, parking lot, or common open space shall be designed with a complementary level of detailing and quality of materials."

stucco 52%
stone 48%

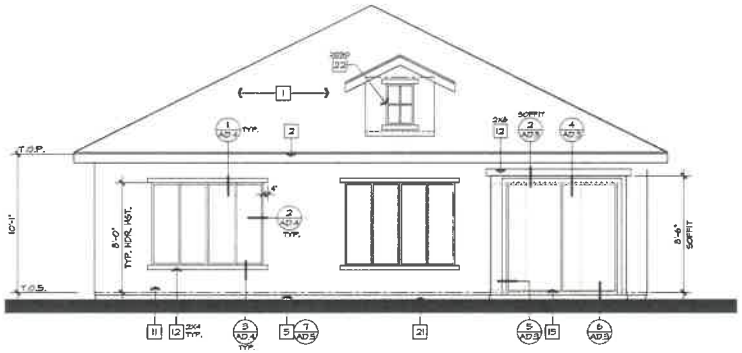


ROOF PLAN 'E'

SCALE : 1/8" = 1'-0"



FRONT ELEVATION 'E' COUNTRY FRENCH



REAR ELEVATION 'E' COUNTRY FRENCH

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	2721	SQ. FT. / 300 =	9.1 SQ. FT.
		X 144 =	1310 SQ. IN.
		X 50% =	655 SQ. IN.
VENTILATION PROVIDED:			
HIGH			
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0 SQ. IN.
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
LOW			
(7) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	682.5 SQ. IN.
(0) EAVE VENTS "BIRDS MOUTH" 3 PER BAY @ 2.25" DIA. EA.	12	SQ. IN. EA. =	0 SQ. IN.
			1365 SQ. IN.

ATTIC VENT CALCULATIONS

FRONT AND REAR EXTERIOR ELEVATIONS & ROOF PLAN 'E'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2566
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (APMO ER-382)
12. STUCCO OVER FOAM TRIM (PIE BAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- (APMO ER-1903) CONCRETE FLAT TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES.
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER IRC SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC R806 EXCEPTION 1 & 2

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50045
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

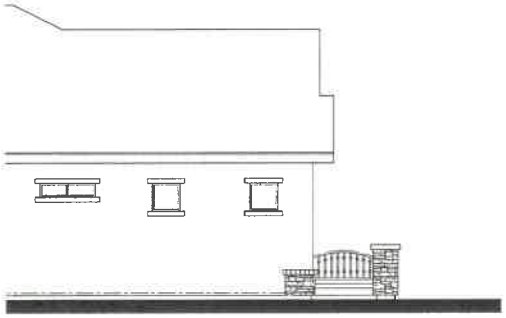
BLANDFORD HOMES
5321 EAST BASELINE ROAD GILBERT, ARIZONA 85234
P: 480.892.4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.18.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	05.07.2019	CLIENT CHANGES
7	05.07.2019	BLDG. DEPT COMMENTS

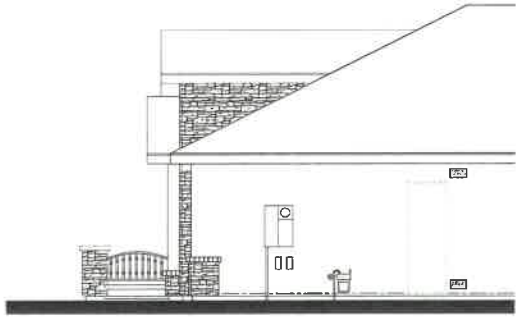
SHEET TITLE:
PLAN 2000 (PLAN 3)
FRONT AND REAR
EXTERIOR ELEVATIONS
& ROOF PLAN 'E'
COUNTRY FRENCH

SHEET NO:
AE.21

CADFILE
PLOT DATE

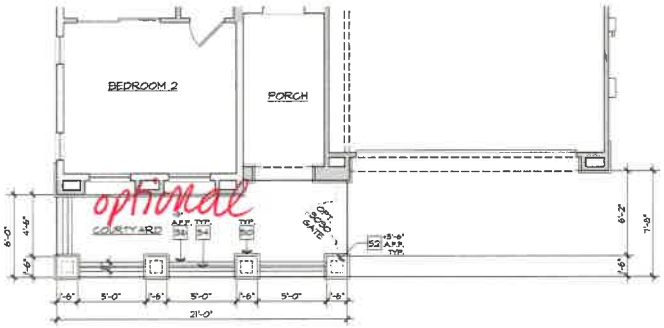


PARTIAL LEFT ELEV. 'E'



PARTIAL RIGHT ELEV. 'E'

PARTIAL FRONT ELEV. 'E'



PARTIAL FLOOR PLAN 'E'

OPT. COURTYARD - 'E' COUNTRY FRENCH

SCALE : 1/4" = 1'-0"

MS COURTYARD

CADFILE
PLOT DATE

FLOOR PLAN NOTES

1. SINK W/ GARBAGE DISPOSAL - VERIFY DIM. W/ MFR. SPEC.
2. DISHWASHER-PROVIDE SURFACE MOUNT AIR GAP - VERIFY DIM. W/ MFR. SPEC. PROVIDE AIR HAMMER ARRESTOR
3. SLIDE-IN RANGE/OVEN W/ VENT HOOD (OPT. MICROWAVE - REFER TO SPEC.
4. 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR.
5. BASE CABINETS
6. UPPER CABINETS
7. VANITY W/ KNEE SPACE
8. PANTRY W/ 5 SHELVES
9. ISLAND CABINET
10. DESK
11. WATER CLOSET-30" WD. x 24" DP. CLR. SPACE (15" CLR FROM CENTER OF FIXTURE IN EACH DIRECTION) PER IRC R3.7.1
12. TUB/SHOWER COMBINATION W/ CURTAIN ROD AND WAINSCOT TO 72" ABV. DRAIN OV MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
13. DROP -IN TUB ON 20" HIGH FRAMED PLATFORM- VERIFY DIM. W/ M
14. SHOWER PAN W/ WAINSCOT TO 72" MIN. ABV. DRAIN OVER MOISTURE RESISTANT GYP. BD. - VERIFY DIM. W/ MFR. SPEC.
15. LAVATORY - REFER TO SPEC.
16. SHATTERPROOF (TEMPERED) GL. SHOWER ENCLOSURE W/ T.B.
17. TOWEL BAR/RING - PROVIDE 2x SOLID BACKING AT 52" A.F.F.
18. TOILET PAPER HOLDER - PROVIDE 2x SOLID BACKING AT 24" A.F.F.
19. RECESSED MEDICINE CABINET (IMPORRED)
20. PEDESTAL LAVATORY - REFER TO SPEC.
21. SHELF - REFER TO PLAN FOR SIZE & QUANTITY
22. WASHER/DRYER SPACE - PROVIDE "SMITY PAN" W/ DRAIN BELOW WASHER FOR WATER AND WASTE (WASHER CONTROL VALVES - RECESSED IN WALL) PROVIDE AIR HAMMER ARRESTOR
23. DRYER VENT (PER I.R.C. SEC. M1501 & 1502)
24. PROVIDE DOOR VIEWER PER MESA BLDG. CODE R325
25. WATER HEATER - LOCATED ON AN 18" PLATFORM TO HAVE A GALVANIZED STEEL DRP PAN WITH DRAIN TO OUTSIDE. TEMPERATURE & PRESSURE RELEF VALVE, MIN 6" ABV. - FINISH GRADE (PER IRC. SEC. M1003 & SEC. P2803) SEE DETAILS
26. T&P RELIEF VALVE TERMINATE IN DOWNWARD POSITION BETWEEN +6" & +24" ABV. GRADE & 36" AWAY FROM ANY OR
27. WINDOW DELETED WHEN OPT. WALK-IN SHOWER SELECTED
28. WINDOW DELETED WHEN OPT. 42" CABINETS SELECTED
29. NOT USED
30. NOT USED
31. SHELF & POLE (D-DOUBLE)
32. NOT USED
33. FLAT SOFFIT - REFER TO PLAN FOR HEIGHT
34. ARCHED SOFFIT-REFER TO ELEVATIONS FOR HEIGHT
35. NOT USED
36. LOW WALL - REFER TO PLAN FOR HEIGHT
37. LINE OF FLOOR/WALL ABOVE
38. NOT USED
39. 22" x 30" ATTIC ACCESS (PER I.R.C. SEC. R807 & M1305.1.2)
40. FAU IN ATTIC - REFER TO MECHANICAL PLAN
41. 18" LINEN CABINET - REFER TO SPECS
42. A/C CONDENSER ON CONCRETE PAD SLOPE 1/4" PER FOOT
43. NOT USED
44. FIRE SEPARATION GARAGE FROM RESIDENCE AND ATTICS PROVIDE (1) LAYER OF 1/2" GYP. BD. APPLIED TO GARAGE SIDE (PER IRC TABLE 302.6)
45. NOT USED
46. SECTIONAL GARAGE DOOR - REFER TO PLAN FOR SIZE.
47. SOLID GROUTED PIPE BOLLARD, SEE DETAIL 9/AD.9
48. CONCRETE FLAT WORK. SLOPE 1/4" PER FOOT.
49. CONCRETE GARAGE SLAB, SLOPE 1/8" PER FOOT U.N.O. 9/AD.3
50. STONE/BRICK VENEER - REFER TO ELEVATIONS
51. OPT. SINK @ LAUNDRY
52. COURTYARD COLUMN - REFER TO PLAN FOR HEIGHT
53. (2) 14" x 8" GL SCREENED & LOUVERED EXHAUST VENTS LOCATE (1) AT +4" ABV. GARAGE CURB HGT, (1) WITHIN -4" BELOW CLG (PER I.R.C. M1703.2)
54. TUBE STEEL RAILING
55. GAS SERVICE METER - REFER TO UTILITY PLAN
56. ELECTRICAL SERVICE PANEL - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (APMO ER-9303)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GL FLASHING
5. GL DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (AMPO ER-3823)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WINDOW - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GL SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & ID33 Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
2821 EAST BASELINE ROAD 3 GILBERT, ARIZONA 85234
P - 480.892.4410

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.19.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.08.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.04.2019	BLDG. DEPT COMMENTS

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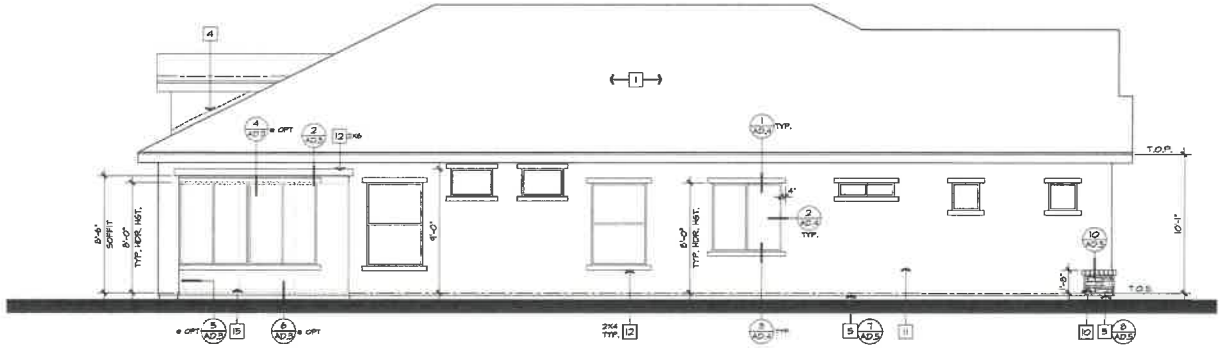
SHEET TITLE:

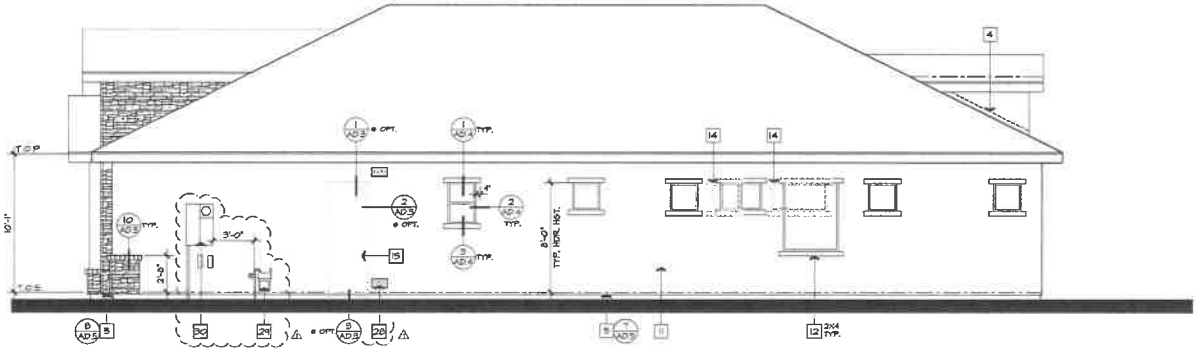
PLAN 2000 (PLAN 3)
'E' COUNTRY FRENCH
OPT. COURTYARD

SHEET NO:

AE.31



LEFT ELEVATION 'E' COUNTRY FRENCH



RIGHT ELEVATION 'E' COUNTRY FRENCH

LEFT AND RIGHT EXTERIOR ELEVATIONS 'E'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MPMO ER-1903)
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCHEED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MMPO ER-3921)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURED) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOM/OR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORICH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

Design & Planning

PRINCIPAL: DAVID R. MALDONADO

PROJECT MANAGER: BRIAN HELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
5921 EAST BASELINE ROAD GILBERT, ARIZONA 85234
PH: 480 892 4412

No.	Date	Issue / Description
	08.11.2016	BLDG. DEPT. SUBMITTAL
1	09.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2019	CLIENT CHANGES
5	03.05.2019	CODE UPDATE
6	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
7	08.09.2019	BLDG. DEPT COMMENTS

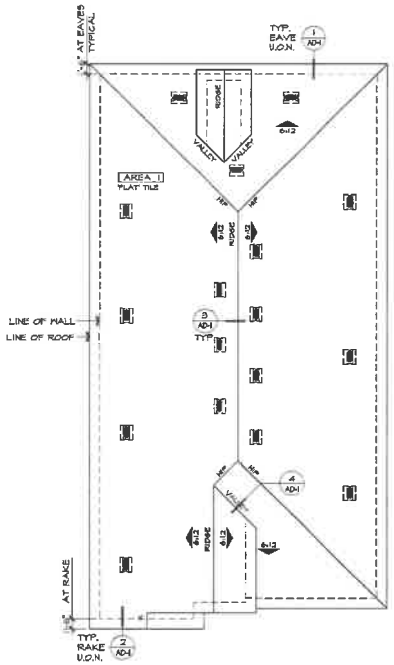
SHEET TITLE:

PLAN 2000 (PLAN 3)
LEFT AND RIGHT
EXTERIOR ELEVATIONS 'E'
COUNTRY FRENCH

SHEET NO:

AE.22

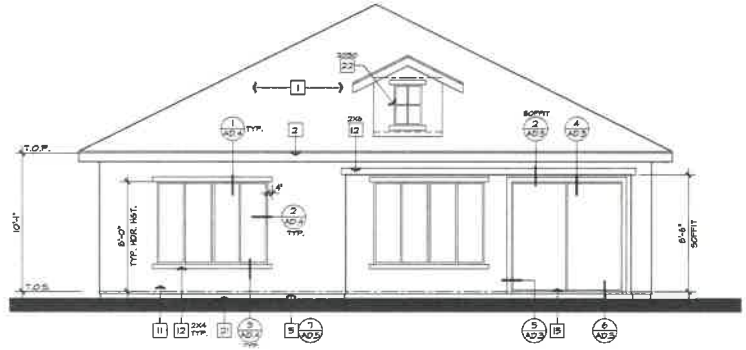
CADFILE:
PLOT DATE:



ROOF PLAN 'E'

SCALE : 1/8" = 1'-0"

FRONT ELEV. 'E'



REAR ELEV. 'E'

ATTIC VENT CALCULATIONS

AREA 1

VENTILATION REQUIRED:	3,099	SQ. FT. / 300 =	103	SQ. FT.
		X 144 =	1486	SQ. IN.
		X 50% =	744	SQ. IN.
VENTILATION PROVIDED:				
HIGH:				
(0) GABLE END VENTS:	92	SQ. IN. EA. =	0	SQ. IN.
(8) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
LOW:				
(8) OHAGIN CLOAKED VENTS:	97.5	SQ. IN. EA. =	780	SQ. IN.
(0) EAVE VENTS 'BIRDS MOUTH' 3 PER BAY @ 225" DIA. EA	12	SQ. IN. EA. =	0	SQ. IN.
			1560	SQ. IN.

ATTIC VENT CALCULATIONS

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'E'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE @APMO ER-1900 ; ⚠
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR-2586 ⚠
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES @APMO ER-3823
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR - REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT WOW/DR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
30. SERVICE PANEL - REFER TO UTILITY PLAN
31. A/C CONDENSER - REFER TO UTILITY PLAN

REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED.

1. ROOF MATERIAL: EAGLE- APMO ER-1900 ; ⚠
   CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E'
   CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER OF 30# ROOF FELT, WEATHERBOARD LAP. INSTALL PER ROOF TILE MFR. SPECS.
3. REFER TO EXTERIOR ELEVATIONS FOR ROOF TO WALL FLASHING DETAILS
4. NO ROOF PENETRATIONS (IE, ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC) TO OCCUR WITHIN 1'-6" OF VALLEY, HIPS OR RIDGES
5. REFER TO ROOF PLAN FOR OVERHANG AT EAVE & RAKE

ATTIC VENTILATION NOTES:

A. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT PER I.R.C. SEC. R806.3.

B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/300 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'0" ABOVE THE PLATE LINE PER IRC 806.2 EXCEPTION 1 & 2 ; ⚠

VENTILATION SCHEDULE:

OHAGIN CLOAKED VENT TILE:
MODEL: "FLAT" #50043
MODEL: "S" #50046
NET FREE VENT: 98.75 SQ. IN.(FLAT), 97.5 SQ. IN.(S)
SBCCI REPORT No. 9650A

CADFILE
PLOT DATE

Design & ID33 Planning

PRINCIPAL: DAVID R. HALDIMANO
PROJECT MANAGER: BRIAN NELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
8501 EAST BASELINE ROAD SUBERT, ARIZONA 85234
P: 480 982 4412

No.	Date	Issue / Description
	05.11.2016	BLDG. DEPT SUBMITTAL
⚠	04.26.2016	BLDG. DEPT. CORRECTIONS
⚠	10.14.2016	BLDG. DEPT. CORRECTIONS
⚠	11.15.2016	CLIENT CHANGES
⚠	02.22.2019	CLIENT CHANGES
⚠	05.08.2019	CODE UPDATE
⚠	04.10.2019	CLIENT CHANGES
	06.07.2019	CLIENT CHANGES
⚠	08.04.2019	BLDG. DEPT COMMENTS

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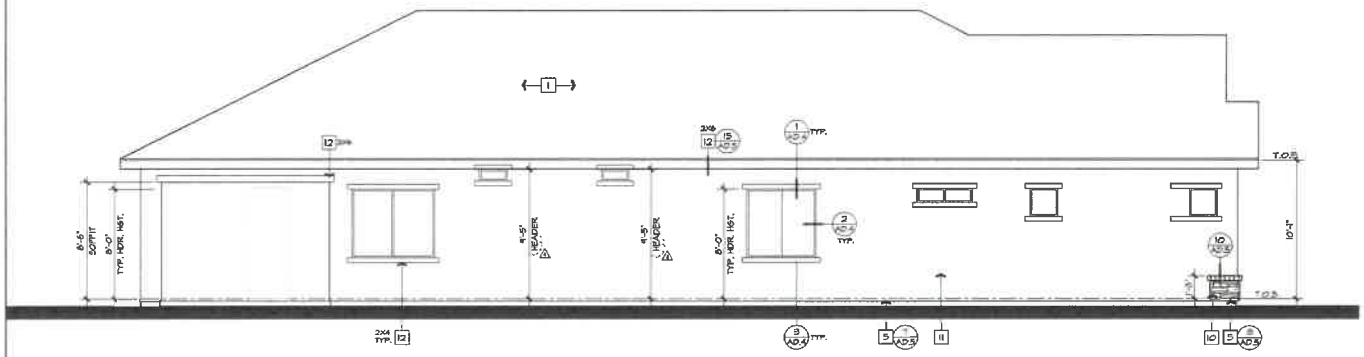
SHEET TITLE:

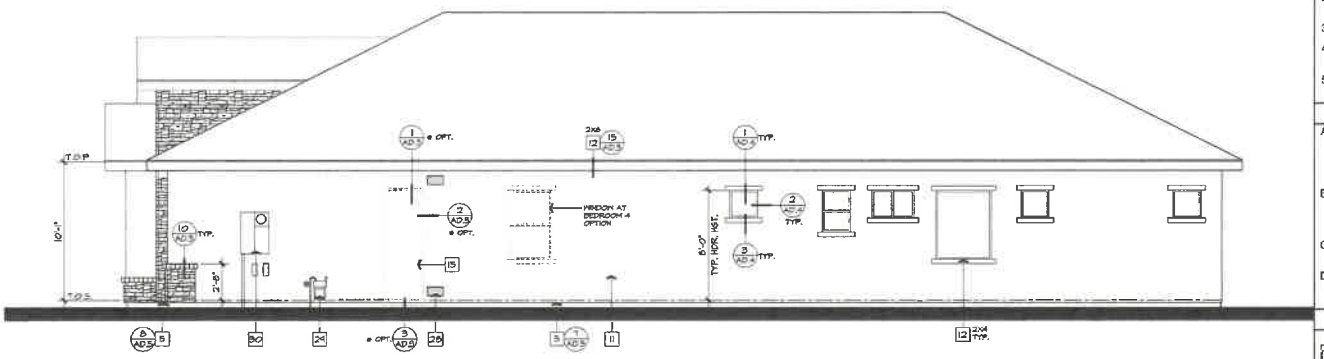
PLAN 2000 (PLAN 3)
'E' COUNTRY FRENCH
ALTERNATE FLOOR PLAN
FRONT & REAR ELEV.
& ROOF PLAN

SHEET NO:

AE.38



LEFT ELEV. 'E'



RIGHT ELEV. 'E'

ALTERNATE FLOOR PLAN W/ TANDEM GARAGE & W/ BEDROOM 4 ELEV. 'E'

SCALE : 1/4" = 1'-0"

ELEVATION NOTES

1. ROOF MATERIAL - EAGLE ROOF TILE (MAPVO ER-1300) ;
2. 2x6 FASCIA
3. 2x BARGE BOARD - REFER TO ELEVATION FOR SIZE
4. GI FLASHING
5. GI DRIP SCREED
6. NOT USED
7. WINDOW DELETED AT OPT.
8. DECORATIVE SHUTTER, SEE SPECIFICATIONS - REFER TO ELEVATION FOR SIZE
9. SECTIONAL GARAGE DOOR PER ARCHITECTURAL THEME/ELEV.
10. 2" THICK SYNTHETIC STONE/BRICK VENEER - ESR 2598
11. EXTERIOR PLASTER - REFER TO GENERAL NOTES (MAPVO ER-3820)
12. STUCCO OVER FOAM TRIM (FINE SAND TEXTURE) - REFER TO ELEVATION FOR SIZE
13. DECORATIVE VENT - REFER TO ELEVATION FOR SIZE
14. WINDOW AT OPTION - REFER TO FLOOR PLAN
15. OPTIONAL DOOR -REFER TO FLOOR PLAN
16. STONE/BRICK TRIM AT MOWNBR - REFER TO ELEVATION FOR SIZE
17. 2" STUCCO POPOUT W/ DECORATIVE TUBE STEEL
18. SCORED STUCCO OVER FOAM TRIM EQUALLY SPACED 12" O.C.
19. CORBEL - REFER ELEVATION FOR SIZE
20. STUCCO OVER SHAPED FOAM TRIM
21. CONCRETE STOOP/PORCH
22. FIXED, BLACK OUT WINDOW, REFER TO ELEV. FOR SIZE
23. DECORATIVE TUBE STEEL RAILING
24. POLYURETHANE OUTLOOKER (OR APPROVED EQUAL)
25. DECORATIVE PIPE VENTS
26. 2" THICK SYNTHETIC BRICK VENEER TRIM
27. STUCCO RECESS W/ TRIM
28. 14" x 8" GI SCREENED & LOUVERED VENT
29. GAS SERVICE METER - REFER TO UTILITY PLAN
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REFER TO BASE PLAN FOR INFORMATION NOT SHOWN HERE

ROOF PLAN NOTES

INDICATES SLOPE DIRECTION & PITCH UNLESS OTHERWISE NOTED

1. ROOF MATERIAL: EAGLE: (MAPVO ER-1900) ; CONCRETE 'FLAT' TILE REFER TO ROOF PLAN - ELEV. 'C' & 'E' CONCRETE 'S' TILE REFER TO ROOF PLAN - ELEV. 'A', 'B', & 'D'
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ATTIC VENTILATION NOTES

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B. OPENINGS FOR VENTILATION SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

C. ATTIC VENTILATION WILL BE 1/150 OF ATTIC AREA WHEN PROVIDED BY EAVE VENTS.

D. ATTIC VENTILATION WILL BE 1/200 OF ATTIC AREA PROVIDED 40% AND NOT MORE THEN 50% OF THE VENTS ARE LOCATED 3'-0" ABOVE THE PLATE LINE PER IRC 806.2 EXCEPTION 1 & 2 ;

VENTILATION SCHEDULE

O'HAGIN CLOAKED VENT TILE
MODEL: "FLAT" #50043
MODEL: "S" #50045
NET FREE VENT: 98.75 SQ. IN(FLAT), 97.5 SQ. IN(S)
SBCCI REPORT No. 9650A

CADFILE:
PLOT DATE:

Design & ID333 Planning

PRINCIPAL: DAVID R. MALDONADO
PROJECT MANAGER: BRIAN KELLER

PROJECT NUMBER: 2012 -

NEW VINTAGE
MESA, ARIZONA

BLANDFORD HOMES
2931 EAST BASELINE ROAD SUITE#1, ARIZONA 85234
P: 480.345.4412

No.	Date	Issue / Description
	03.11.2016	BLDG. DEPT. SUBMITTAL
1	04.26.2016	BLDG. DEPT. CORRECTIONS
2	10.14.2016	BLDG. DEPT. CORRECTIONS
3	11.15.2016	CLIENT CHANGES
4	02.22.2014	CLIENT CHANGES
5	03.28.2014	CODE UPDATE
6	04.10.2014	CLIENT CHANGES
	06.07.2014	CLIENT CHANGES
7	06.04.2014	BLDG. DEPT COMMENTS

SHEET TITLE:

PLAN 2000 (PLAN 3)
'E' COUNTRY FRENCH
ALTERNATE FLOOR PLAN
LEFT & RIGHT ELEV.

SHEET NO:

AE.39