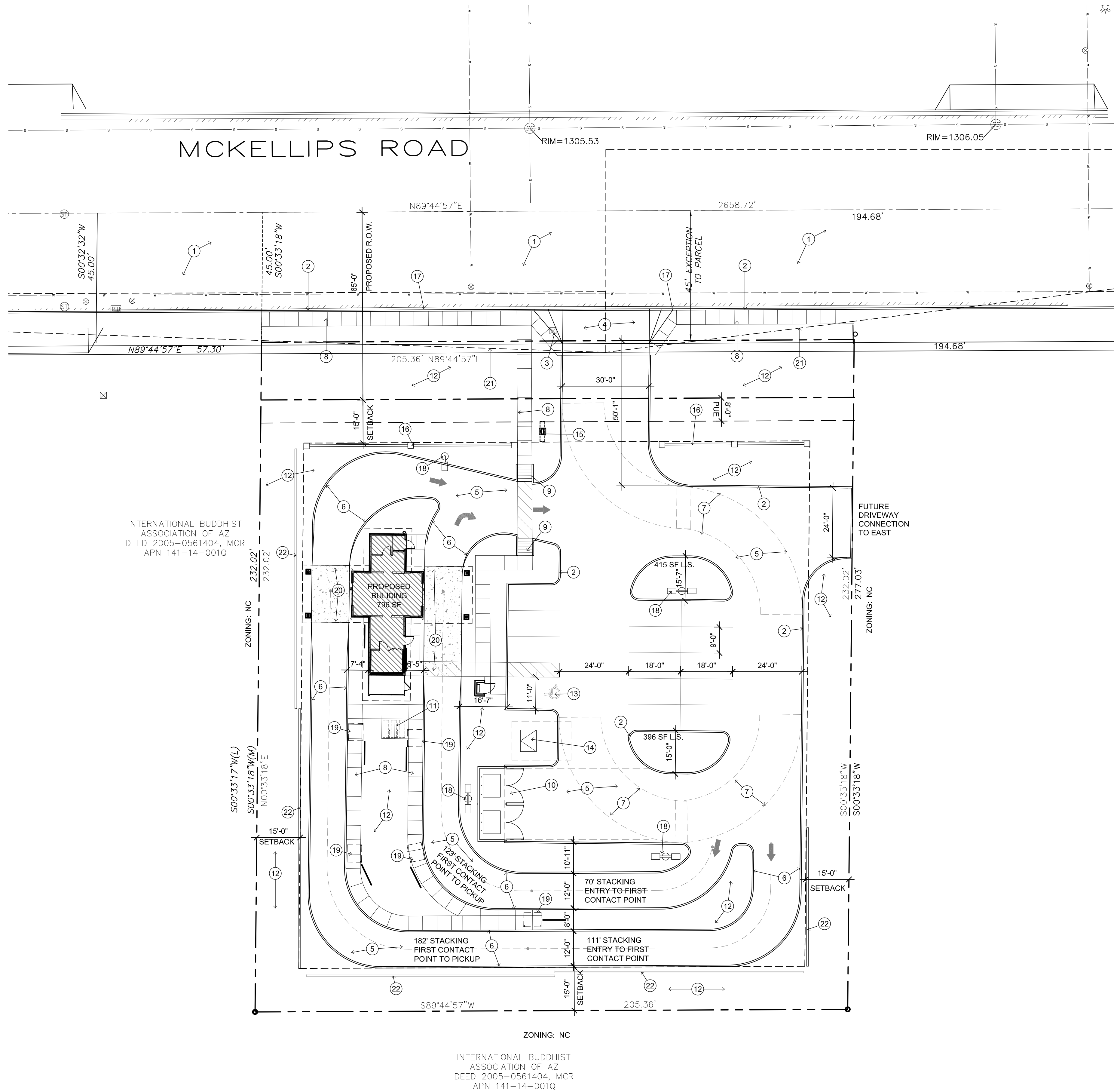
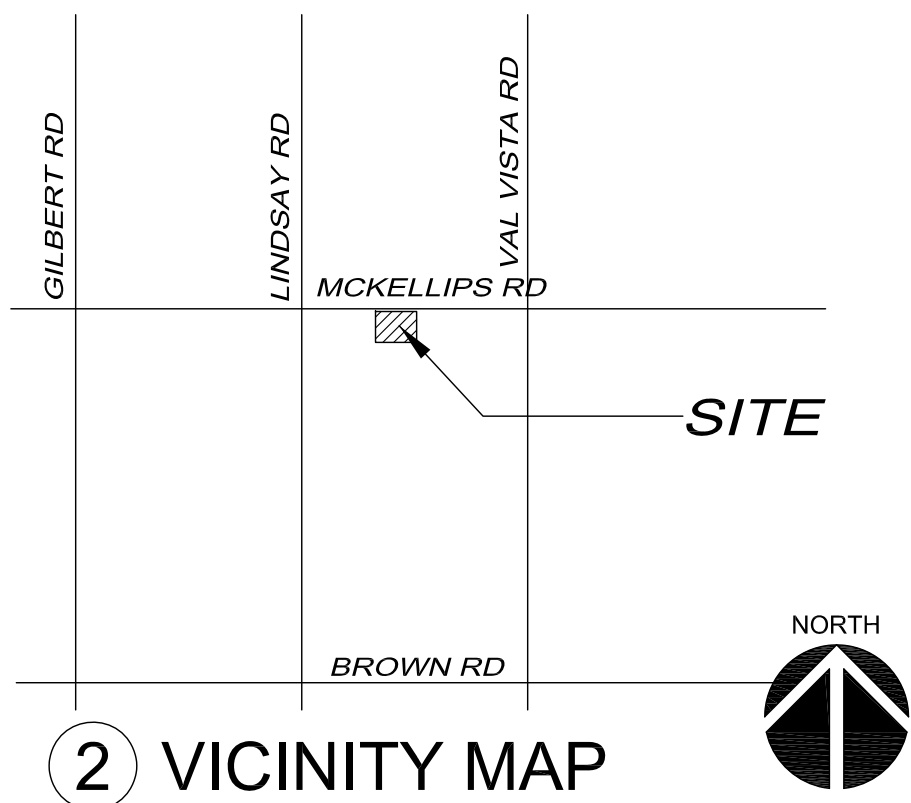
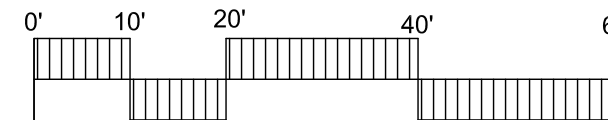




1 SITE PLAN

SCALE: 1" = 20'-0"



OWNER:
GLENWOOD COMMERCIAL
REAL ESTATE
4360 E BROWN ROAD
SUITE 200
MESA, AZ 85205
CONTACT: JEFF KOST
PH: 480.777.4650
EMAIL: jeff@glenwood.com

ARCHITECT:
ARCHICON ARCHITECTURE
AND INTERIORS, L.C.
5055 E. WASHINGTON ST.
SUITE 200
PHOENIX, AZ 85034
CONTACT: JEFFREY A KOSKI
PH: 602.222.4266
EMAIL: jeffk@archicon.com

PROJECT DESCRIPTION:

THIS PROJECT WILL CONSIST OF A NEW BEVERAGE SERVICE DRIVE-THRU FACILITY. THERE IS NO PUBLIC INDOOR SPACE OR PUBLIC OUTDOOR SEATING.

A SPECIAL USE PERMIT WILL BE REQUIRED FOR DRIVE-THRU USE.

SITE DATA:

ADDRESS: EAST OF THE SOUTHEAST CORNER OF LINDSAY RD & MCKELLIPS RD

ASSESSOR PARCEL #: 141-14-001R

ZONING: NC (NEIGHBORHOOD COMMERCIAL)

APPROXIMATE SITE AREA: 47.643 S.F. (1.0937 ACRES)

GROSS BUILDING AREA: 796 SQ. FT.
TOTAL UNDER CANOPY: 1,810 SQ. FT. TOTAL

BUILDING COVERAGE: 1,810/47,643 = 3.80%

LOT COVERAGE: IMPERVIOUS: 25,525 SF / 47,643 = 53.59%
LANDSCAPE: 22,108/47,643 = 46.41%

OCCUPANCY: B

CONSTRUCTION: V-B W/ A.F.E.S.

BUILDING HEIGHT PROVIDED: 21'-0"

REQUIRED PARKING CALCULATIONS:

OCCUPANCY	S.F.	FACTOR	TOTAL
EATING ESTABLISHMENT WITH DRIVE-THRU WINDOW	796	1/100	7.96 SPACES

TOTAL PARKING SPACES REQUIRED: 8 SPACES

TOTAL PARKING SPACES PROVIDED: 14 SPACES

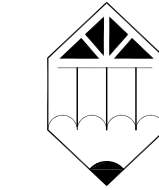
ACCESSIBLE PARKING SPACES PROVIDED: 1 SPACES - VAN ACCESSIBLE

BICYCLE SPACES: 3 SPACES

DRIVE-THRU LANE STACKING: 486 FEET TOTAL (23 CARS)

KEYNOTES:

- EXISTING STREET
- NEW 6" HIGH CONCRETE CURB
- EXISTING UTILITY BOX TO BE RELOCATED
- NEW DRIVEWAY PER CITY REQUIREMENTS STANDARD DETAIL M-42
- NEW ASPHALT PAVING
- NEW 6" HIGH CONCRETE ROLL CURB
- FIRE TRUCK TURNING RADIUS 35'/55'
- NEW 5'-0" WIDE CONCRETE SIDEWALK
- NEW ADA RAMP
- TRASH ENCLOSURE PER C.O.M. STANDARD DETAIL M-62.01 TO M62.09
- BICYCLE RACKS (3 BICYCLES)
- LANDSCAPE AREA
- ADA PARKING AND SIGNAGE
- NEW ELECTRICAL TRANSFORMER
- NEW MONUMENT SIGN (UNDER SEPARATE PERMIT)
- NEW 3'-4" TALL CMU SCREEN WALL WITH 24" PILASTERS
- NEW STREET PAVING PER C.O.M. REQUIREMENTS
- PARKING LOT LIGHT POLE
- SHADE STRUCTURE WITH PRE-MENU BOARD
- CONCRETE PAVING AT DRIVE-THRU
- SITE VISIBILITY TRIANGLE PER COM 2021 ENGINEERING DESIGN STANDARDS SECTION 211
- NEW 3'-4" HIGH CMU SCREEN WALL AT DT LANE



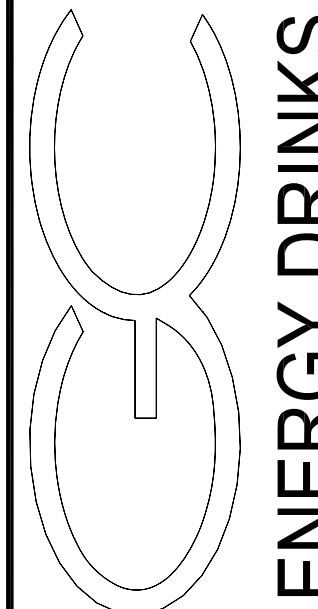
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COMMERCIAL REAL ESTATE

GRAVITY ENERGY DRINKS
2937 E MCKELLIPS RD
MESA, ARIZONA 85213



PROJECT NUMBER: 2136000-03
PROJECT MANAGER: DEBBIE S.
DRAWN BY: DEBBIE S.
CHECKED BY: JEFF K

NO.	REVISION	DATE

SHEET DESCRIPTION
SITE PLAN



SHEET NO.

DR100

ISSUE DATE: 28 NOV 2022

PRS22-00070