



DLR Group inc.
an Arizona corporation

6225 North 24th Street, Suite 250
Phoenix, AZ 85016

September 22, 2022

Project Narrative – Greenfield Industrial
Design Review Board / Planning & Zoning
Pre-Application Meeting Date: December 16, 2021
Pre-Application Case #: PRS21-01194
Design Review Case #: DRB22-00730
Zoning Case #: ZON22-00731

Purpose of Request:

The purpose of this request is to process a Design Review approval to allow for a new employment/industrial development. The subject site is approximately +/- 16.58 acres and is located South of McDowell Road and West of Greenfield Road.

Project Summary:

The project consists of three buildings that will be developed to meet the growing demand for employment and industrial facilities in the east valley. The buildings total approximately +/- 278,850 s.f. and each building is designed for 1-4 tenants. Surface parking is efficiently dispersed throughout the site with loading, refuse, and storage areas located at the rear of the buildings and screened from view with CMU walls. The property is currently zoned LI Light Industrial with Airfield Overflight Areas AOA 2 & AOA 3. The proposed use is allowed in this district and fits within the city General Plan for the area.

Site Design:

Streets and Access

The primary access for this project will be from McDowell Road for Building 1, and Greenfield Road for Buildings 2 and 3. Secondary access for truck yard access has been provided on both McDowell Road and Greenfield Road separate from primary visitor/employee access.

The City of Mesa's 2040 Transportation Master Plan has identified McDowell Road and Greenfield Road as 4 lane arterial streets with existing 55' ROW, with the exception of a 146.5' portion of McDowell Road that has an existing 40' ROW. As part of this project the ROW along McDowell will increase to 75' along the entire length of the parcel. Greenfield Road will increase to 65' ROW along the entire length of the parcel with this project. Greenfield Road links directly with the Loop 202 approximately 1 mile to the north and McDowell Road links directly with the Loop 202 approximately 3 miles to both the east and west of the site. Regional circulation also includes State Route 87 located 6 miles west at the interchange with the Loop 202 and U.S. Route 60 located 5.5 miles south.

ELEVATE *the*
HUMAN EXPERIENCE
THROUGH DESIGN

Building Placement & Orientation

The site is designed, and the building is placed to efficiently use the site while providing a strong relationship to the street and visual interest in areas visible from public view. Site infrastructure includes a complimentary landscape palette, hardscape paving, site screen walls and site lighting.

Drainage

Regional topography around the site generally falls from north to south, however the onsite topography generally falls from west to east. The site does not currently accept offsite flows from surrounding properties or bordering roads.

The proposed drainage plan will capture and retain both the onsite flows and runoff generated from the proposed half-street improvements. Once the runoff is captured it will be conveyed by storm drains where it will be retained by 4-120" CMP underground retention tanks. The underground retention tanks will be bled off using an orifice plate to control the discharge rate into the existing storm drain below Greenfield Road. All storm drainage will be designed to City of Mesa Standards and coordinated with city staff.

Parking, Loading, & Vehicular Access

Parking is dispersed throughout the site to provide convenience for employees and visitors. Parking has been provided for Office and Industrial to meet the City requirements. Please refer to architectural site plan data information for required and provided parking.

A decorative masonry screen wall is provided along McDowell Road and Greenfield Road to screen parking from public view and identify public entry and access. Landscaping is also provided throughout the parking areas (except in loading areas). The loading and service areas for the project are internal to the site, screened from public view by the buildings, screen walls and landscape.

Landscaping & Shading

Landscape Theme: The selection of plant material prescribed for trees, shrubs, groundcovers and accents will be selected from the Arizona Department of Water Resources low water use plant list for the Phoenix Active Management Area (Phoenix AMA). The landscape theme will include enhancing the quantities of trees and shrub massing at strategic points along the Greenfield and McDowell Road frontages and the interior private streets.

Landscape Design: Per the Landscape section of the Mesa Zoning ordinance a vast number of areas need to be quantified and data tables need to be provided on the landscape plans to show compliance. The landscape drawing provided shows the required and provided categories for all areas onsite and the proposed design meets or exceeds the Mesa requirement in all categories.

Landscape Pedestrian Areas: The proposed landscape and pedestrian area designs provide enhanced shade for pedestrians. Additionally, the pedestrian plaza spaces offer enhanced spaces for pedestrian use, which includes shade, seating, trash receptacles, synthetic turf, and paver hardscape materials.

Screening

Along the McDowell and Greenfield Road frontages, there will be primarily 3'-4" of screening installed along the front of the parking stalls with periodic breaks to an offset shorter 3'-0" of screening in the form of a CMU wall or in combination with a landscaped berm. Longer stretches of CMU parking screen walls shall have accent block at intervals no greater than 10'-8". Truck courts, where visible from Greenfield Road, shall be screened with an 8'-0" height CMU wall with accent block at intervals no greater than 40'-0".

Refuse

Refuse is anticipated to be provided within the service yards away from public view with bollard protection. Generally, the project is served by several double bin refuse enclosures, which are located in the loading area. The enclosures are screened from the street by the buildings and the 8-foot-tall masonry screen walls at each side of the loading area. Rolling gates to the loading areas are opaque to screen containers from view.

Exterior Lighting

Lighting fixtures have been chosen to be harmonious with the overall building design and architectural theme of the project. Exterior lighting consists of energy efficient LED lighting for parking and service yard areas on sustainable timed control systems. Accent lighting is provided at main entry points of the industrial buildings. Lighting is used to accent focal features, such as building entries. Multiple light sources will be used including decorative facade lights, thematic site lighting at the public and employee gathering areas, decorative lighting at all building entries and general area lighting in service areas.

Architectural Design:

General Design

The highest level of architectural details for the project are focused on the building public frontage, but consistent features are shared with all the entry sides of the Project.

The nature of the anticipated industrial uses requires large buildings with tall internal clear storage capacity. The facade design has buildings that are visually broken up into smaller components by wall details including material changes, panel reveals, shadows and changes to the roof line. Weather and sun protection, as well as shade and shadow interest, are provided by adjustments in the building elevations. At the pedestrian level, canopies have been provided for visual ties to the site features and are concentrated near public and employee entrances.

Entrances

As previously noted, building entrances are oriented towards the predominant public view and street frontage. Building entrances are served by pedestrian walkways and are also clearly defined by building design elements including storefront designs and metal shade canopies.

Massing & Scale

Although the nature of the proposed use requires large buildings, the building massing is reduced by vertical or horizontal wall offsets / articulated details around entrances or other method of visual relief. These methods are continued around the sides and rear of the buildings.

Facade Articulation

Facade articulation is provided along all facades including roofline variation, changes in materials and plane changes around building entries. Varying patterns of decorative reveals surround the building to provide visual interest and define building entries.

Materials & Colors

Building colors and materials reinforce the overall building design. An architectural mix of colors, reveal patterns, and concrete is provided along with metal canopies and metal window frames with insulated glazing.

Service Areas & Utilities

The overall site layout has been designed and oriented to keep service, loading and utility areas screened from public view. These areas are located centrally within the site. Mechanical equipment, including roof-mounted systems and roof drainage systems are architecturally screened and design to be integral to the buildings.

Outdoor Common Amenity Area Design

The proposed design incorporates 3 pedestrian amenity areas (1 for each building). These areas provide users a beneficial outdoor space as a compliment to the indoor environments. ADA compliant seating has been provided for tenants/employees to utilize for sitting, eating, or outdoor break areas. Along with the tables trash/ash bins have been provided to encourage use for outdoor lunch time by providing ease of waste disposal. The ground plane consists of enhanced paving (pavers) to differentiate the space from the standard paving throughout the site. Synthetic turf in each of the amenity areas provides users with the ability for passive recreation being able to picnic, but also allow flexibility for company events to use actively for bocce ball or cornhole. Lastly, tree planters have been built into the amenity areas to allow seating opportunities in both the shade and sun depending on the season. The Quercus virginiana or Southern Live Oak provides a consistent evergreen canopy that is very upright and works very well in patio/urban environments. Lastly, steel umbrellas have been added to the tables to maximize the shade and promote year-round use of the exterior seating.

Request for Special Use Permit (SUP)

Due to the clear storage capacity required by industrial uses, we are requesting a Special Use Permit (SUP) that will allow us to increase the maximum building height to 45'. This is a 5' increase from the 40' height permitted in the Light Industrial (LI) Zone. The 45' building height is necessary to achieve a 32' clear height on the interior, meeting current market requirements for industrial users. This allows enough parapet to shield the HVAC units from view, while allowing enough space for the roof structure, roof slope, RTUs, and a 2' step down to 43'.

Approval of this will advance the goals and objectives of the General Plan for this area, which was rezoned to Light Industrial (LI) in 1980 to promote this exact use in the area. The location, size, design and operating characteristics of the warehouse buildings we are proposing align with the type of development outlined within the definition of the Light Industrial zone within the Mesa Zoning Ordinance:

LI Light Industrial. To provide areas for limited manufacturing and processing, wholesaling, research, warehousing, and distribution activities take place within enclosed buildings, with restricted accessory outdoor storage as needed to support the primary uses. Light Industrial areas can be used to buffer General Industrial uses from other less intense uses. This district also provides for a full range of commercial activities, generally on a limited scale, including high-impact commercial uses, outdoor display and outdoor sale. Individual developments include well-designed buildings on sites that may or may not have campus-like settings, and areas visible to the general public include well-designed landscape areas.

The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, which include other warehouses, properties zoned Light Industrial (LI) and Planned Employment Park (PEP), and Falcon Field Airport. We have confirmed that adequate public services, public facilities and public infrastructure are available to serve the proposed project.

Request for Alternative Compliance - Maximum 50% Façade material and colors per Section 11-7-3(B)(6) of the MZO:

Section 11-7-3(B)(5)(b) – No more than fifty percent (50%) of the total façade may be covered with one (1) single material.

The approving body shall find that the request meets the following criteria from Section 11-7-3(B)(6)(b)(iv):

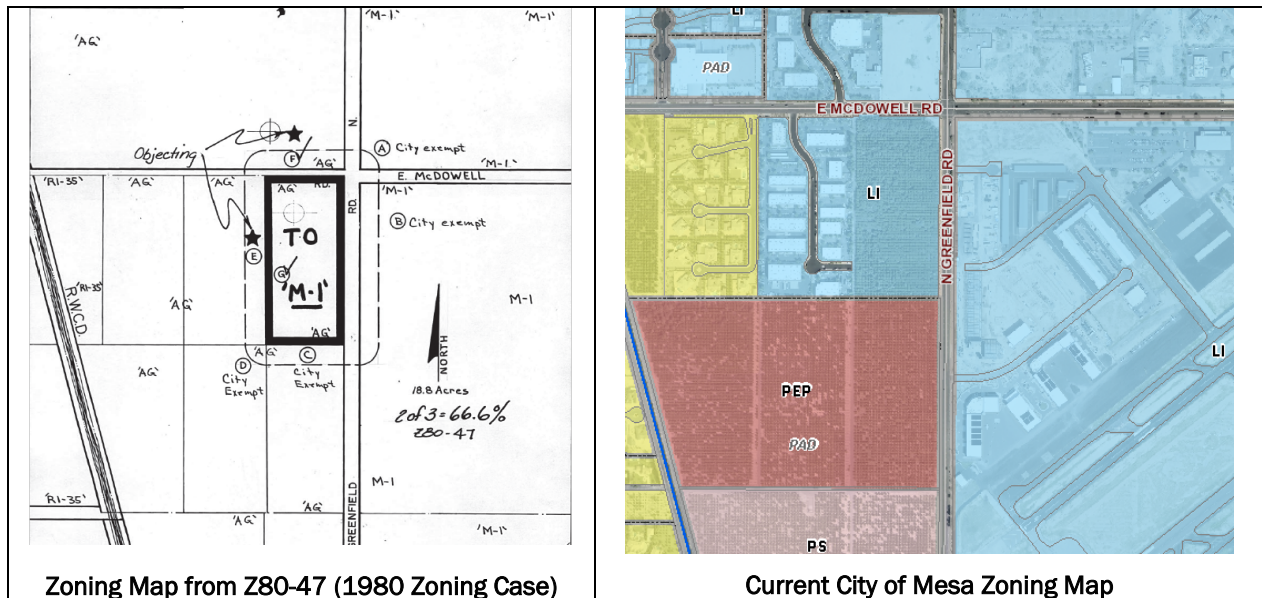
- Space limitations, unusually shaped lots and prevailing practices in the surrounding neighborhood, may justify alternative compliance for bypassed parcels and for improvements and redevelopment in older neighborhoods.
- The proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's General Plan.
 - RESPONSE: The building type that is typical for industrial, manufacturing, and warehousing uses of this size are typically constructed out of concrete tilt up panels which allows for the final product to be both durable for the tenant and cost efficient for the developers. The standard sizes, details and construction type help provide an efficient layout for users planning to use the space. The construction of this product type does heavily rely on these known factors for economic feasibility and does not fit with the Mesa Zoning Ordinance requirement to provide no more than 50% of one single material and therefore seeking Alternative Compliance Approval for this project. The design aligns with the intent of the design standards as well as other approved projects within the City of Mesa and provides variation in massing, vertical and horizontal articulation, enhanced building entries with framed accents, canopies to address human scale elements. The elevations also vary the façade with multiple shades on the field and as accents, recessed storefront with metal shade canopies at the entry areas to better define the arrival experience, and ribbed reveal patterned accent panels that will help set a standard for future developments within the surrounding Light Industrial (LI) zones. Per the City's request, we calculated the areas based on color and material changes. The longer north and south elevations are in compliance with the above section. The shorter east and west facing facades of Building 1 exceed 50% of Color 'A' (Building 1 = 58%). Refer to elevations for calculations.

Request for Modification of Zoning Stipulations

The current zoning district of L-1 (Light Industrial) on the subject property was approved by the City of Mesa City Council on June 6, 1980 through zoning case #Z80-47 (Note: original zoning designation was identified as M-1 at the time). The approval of Z80-47 also included the following stipulations:

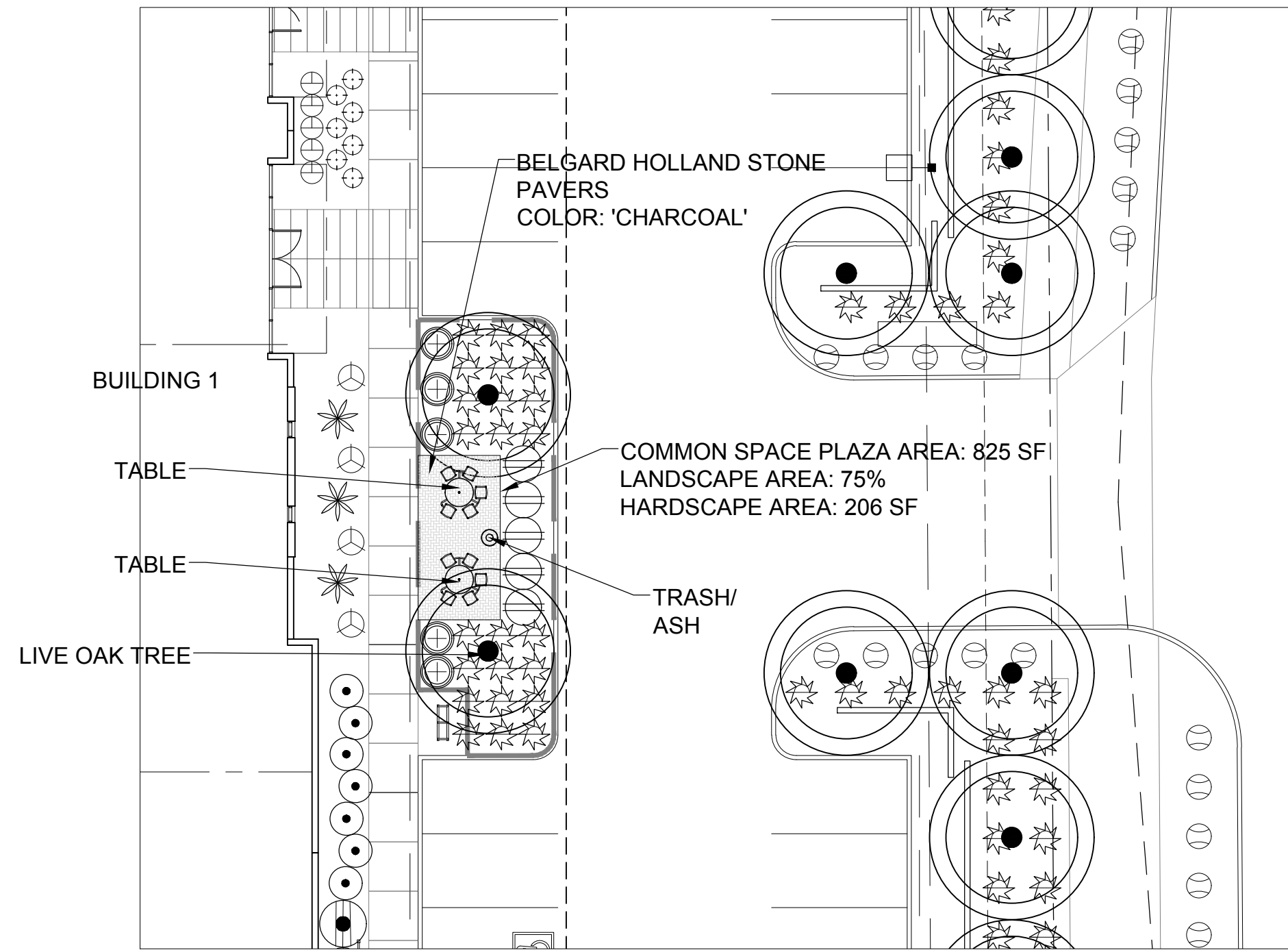
1. Additional right-of-way requirements;
2. All access to be from Greenfield Road;
3. That two rows of citrus trees and a wall be maintained along the western boundary of the property as a buffer.

The purpose of the stipulations were to address some comments that came before the City from some adjacent neighbors regarding the desire for some buffering of their properties from the industrial use and for the access to be away from the AG zoning uses. As shown in the map clip below (Zoning Map from Z80-47), the surrounding zoning to the north, west, and south at the time were all zoned as AG. With that historical zoning pattern, it made sense for the Council to add those stipulations to address the neighbor's concerns.



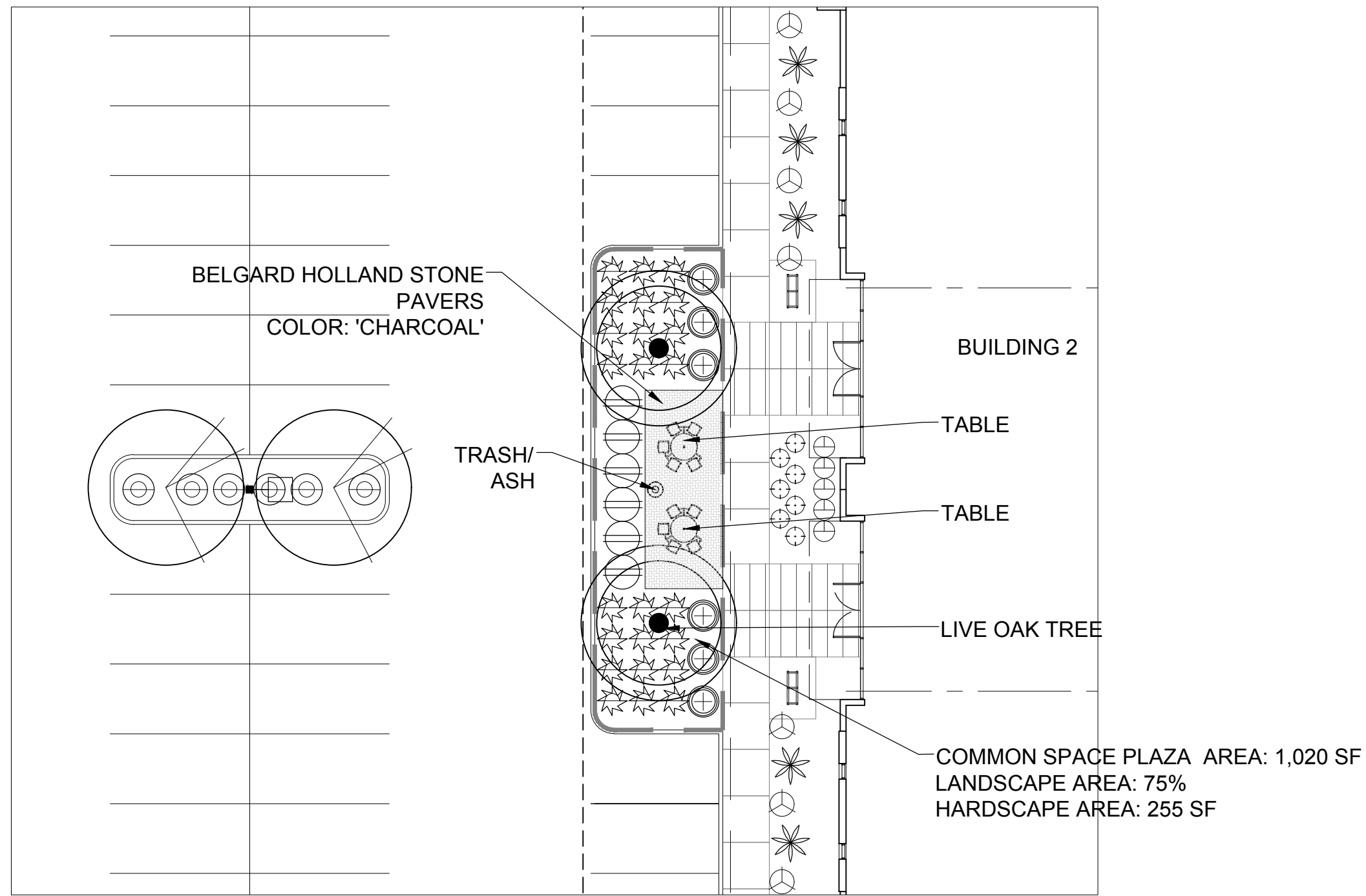
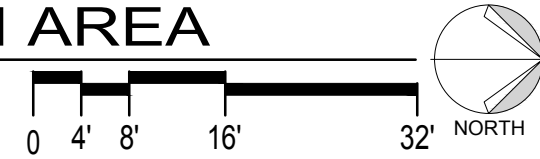
However, the surrounding development and land use patterns have changed over the past 40 years since the 1980 zoning case was approved. As shown in the map above (Current City of Mesa Zoning Map), the current zoning map exhibits that the property is now surrounded by a mixture of LI (Light Industrial) and PEP (Planned Employment Park) zoning designations and the development pattern has followed the City's vision for the development of employment and light industrial uses around the Falcon Field Airport.

As such, the original stipulations approved with the Z80-47 rezoning case are no longer applicable to the proposed development request. As part of this request, the Applicant respectfully requests that the stipulations be removed to allow for the proposed development of the Site Plan and SUP requests of this Application.



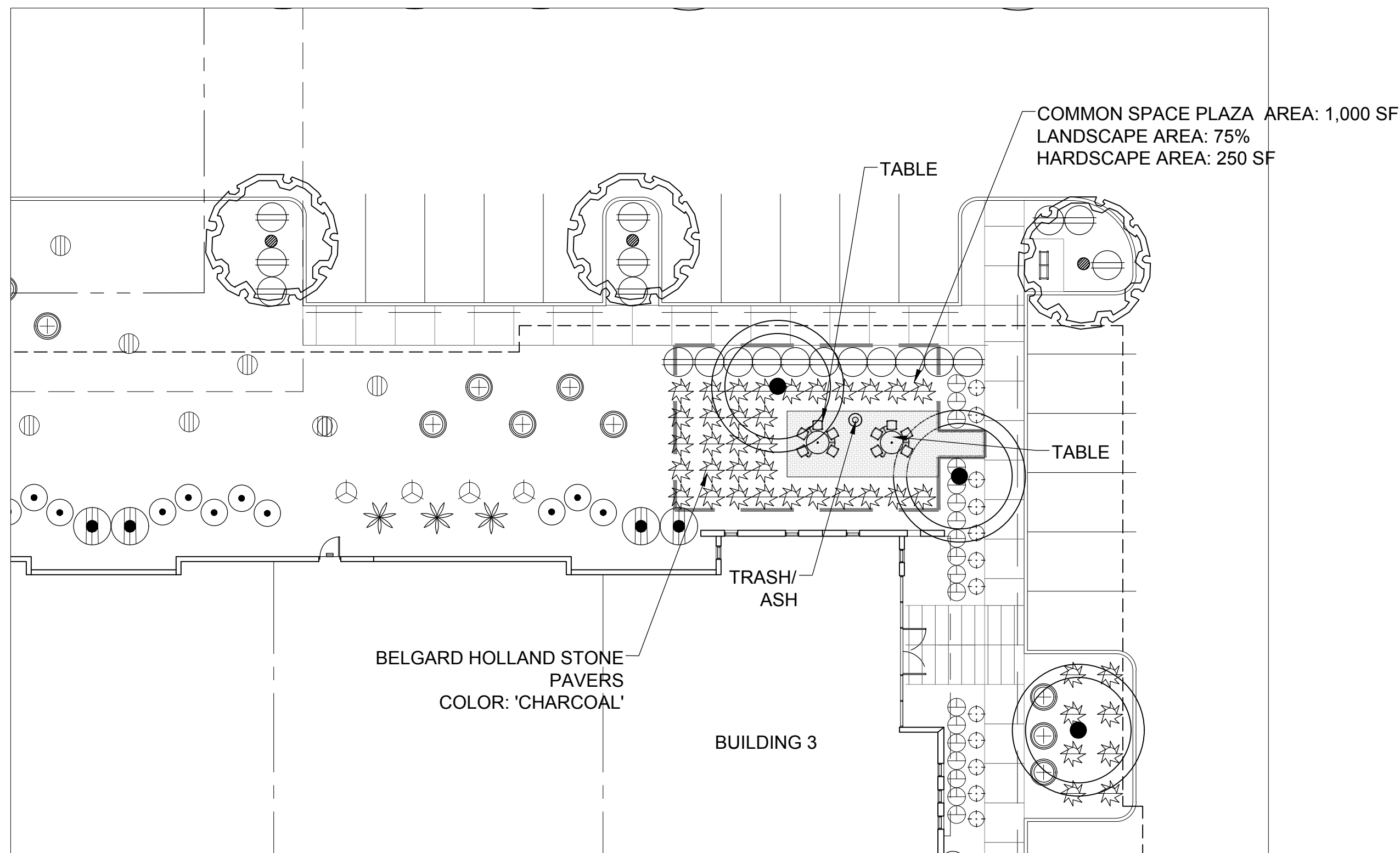
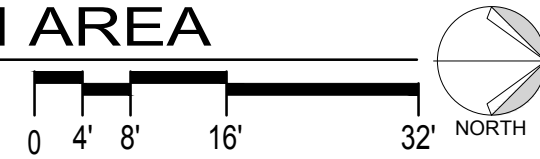
BUILDING 1 PLAZA/COMMON AREA

SCALE: 1/16"=1'-0"



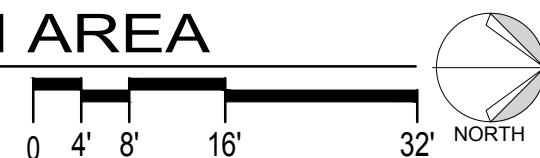
BUILDING 2 PLAZA/COMMON AREA

SCALE: 1/16"=1'-0"



BUILDING 3 PLAZA/COMMON AREA

SCALE: 1/16"=1'-0"



LANDSCAPEFORMS
SIDE OPENING LITTER
RECEPTACLE, WITH SAND PAN,
WITH LOCK
COLOR: 'WHITE'



QUERCUS VIRGINIANA
SOUTHERN LIVE OAK TREE



LANDSCAPEFORMS
SOLSTICE CYGNUS UMBRELLA
COLOR: 'WHITE'



LANDSCAPEFORMS
MINGLE TABLE BACKLESS 5 SEAT
SURFACE MOUNT, PERFORATED,
WITH UMBRELLA HOLE
COLOR: 'WHITE'



BELGARD HOLLAND STONE 60MM PAVERS
COLOR: CHARCOAL
PATTERN: 90 DEGREE HERRINGBONE

DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194

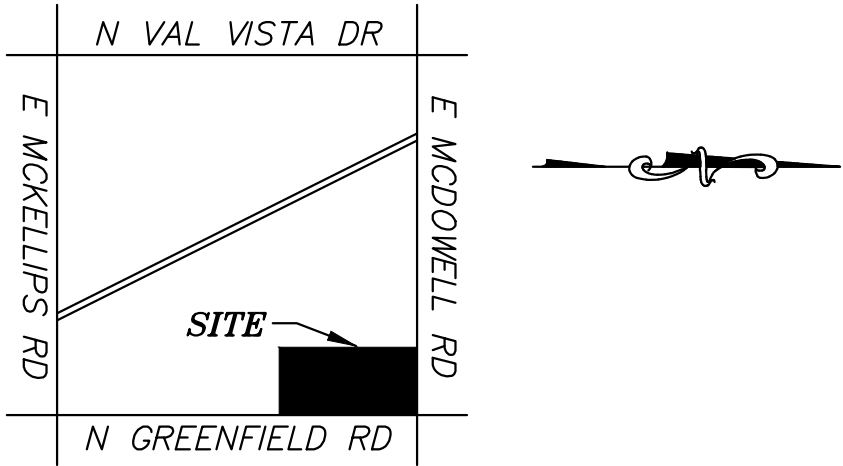


REVIEWS:

GREENFIELD INDUSTRIAL

VICINITY MAP

N.T.S.



INDEX

		REVISIONS								
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C1.0	COVER SHEET									
C2.0	SITE PLAN									
C2.1	FIRE ACCESS PLAN									
C3.0	GRADING PLAN									
C4.0	UTILTIY PLAN									

PARKING CALCULATIONS

BUILDING 1 AREA CALCULATIONS			
OCCUPANCY	1ST FLOOR		TOTALS
INDUSTRIAL	±81,500 S.F.		±81,500 S.F.
TOTAL:	±81,500 S.F.		±81,500 S.F.

BUILDING 2 AREA CALCULATIONS			
OCCUPANCY	1ST FLOOR		TOTALS
INDUSTRIAL	±98,500 S.F.		±98,500 S.F.
TOTAL:	±98,500 S.F.		±98,500 S.F.

BUILDING 3 AREA CALCULATIONS			
OCCUPANCY	1ST FLOOR		TOTALS
INDUSTRIAL	±99,200 S.F.		±99,200 S.F.
TOTAL:	±99,200 S.F.		±99,200 S.F.

REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
INDUSTRIAL	± 279,200	600	466
TOTAL			466

PARKING PROVIDED		
TOTAL REGULAR SPACES		467
TOTAL ACCESSIBLE SPACES		12
		1.7 SPACES PER 1,000 S.F.

BICYCLE PARKING CALCULATIONS		
RATIO	REQUIRED	PROVIDED
1/10 (1ST 50) 1/20 (REMAINING)	75	76

SITE DATA

PROJECT:	GREENFIELD INDUSTRIAL
PROJECT ADDRESS:	SWC OF GREENFIELD RD & MCDOWELL RD MESA, AZ
DEVELOPER:	HOPEWELL DEVELOPMENT
SCOPE:	A NEW INDUSTRIAL BUILDING
ASSESSOR PARCEL NO.:	141-26-006E
EXISTING ZONING:	LI
PROPOSED ZONING:	LI
PROPOSED USE:	INDUSTRIAL
SITE AREA (GROSS):	±876,586 S.F. (20.12 AC)
SITE AREA (NET):	±722,489 S.F. (16.58 AC)
BUILDING AREA:	±279,200 S.F.
IMPERVIOUS AREA (BUILDING AREA + PAVEMENT)	±633,372 S.F.
STORIES:	1
LOT COVERAGE:	36.9% (90% ALLOWABLE)
OCCUPANCY:	B / S-1
CONSTRUCTION TYPE:	V-B
SCREENING HEIGHT:	42"
BUILDING HEIGHT:	±45'-0"

GENERAL NOTES

- ALL SIDEWALKS SHALL BE CONSTRUCTED TO MAG STANDARDS AND THE CITY OF MESA.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO MAG STANDARDS AND THE CITY OF MESA.
- A LAND DISTURBANCE PERMIT WILL BE REQUIRED.
- ALL DIMENSIONS TO EDGE OF PAVEMENT OR FACE OF CURB.

LEGEND

EXISTING		PROPOSED	
---	PROPERTY LINE	---	
---	EASEMENT LINE	---	
---	SETBACK LINE	---	
---	GAS LINE	---	G
---	ELECTRIC LINE	---	UE
---	WATER LINE	---	W
---	SANITARY LINE	---	SS
---	STORM LINE	---	UT
---	TELEPHONE LINE	---	UT
---	MAJOR CONTOUR	---	4465
---	MINOR CONTOUR	---	4464
---	PROPOSED CONSTRUCTION LIMITS	---	
---	FIRE HYDRANT	---	WV
---	WATER VALVE	---	WV
---	SANITARY CLEANOUT	---	
---	SAWCUT LINE	---	
---	LIGHT DUTY CONCRETE	---	
---	HEAVY DUTY CONCRETE	---	
---	LIGHT DUTY ASPHALT	---	
---	HEAVY DUTY ASPHALT	---	
---	LANDSCAPING	---	
---	SPOT GRADE	---	1200.00 (TOP OF CURB) 1199.80 (FINISH PAVEMENT)
---	SWALE/SLOPE INDICATOR	---	5% 1/4"
---	TRANSFORMER PAD	---	
---	PARKING COUNT	---	
---	LIGHT STANDARD	---	
---	CATCH BASIN	---	
---	CURB INLET CATCH BASIN	---	
---	SIGN	---	
---	STORMWATER MANHOLE	---	
---	SANITARY SEWER MANHOLE	---	

SITE BENCHMARK INFORMATION

MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION BENCH MARK, BEING A 3" DIAMETER MESA BRASS CAP IN HANDHOLE 0.5' DOWN, NO STAMPING AT THE CENTERLINE INTERSECTION OF MCDOWELL ROAD AND GREENFIELD ROAD.

BASIS OF BEARING

GRID NORTH PER THE ARIZONA STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE.

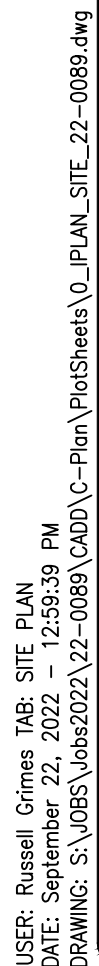
DEVELOPER/OWNER:
HOPEWELL DEVELOPMENT
2525 E ARIZONA BILTMORE CIRCLE
SUITE C138 - PHOENIX, AZ 85016
(928) 543-9250



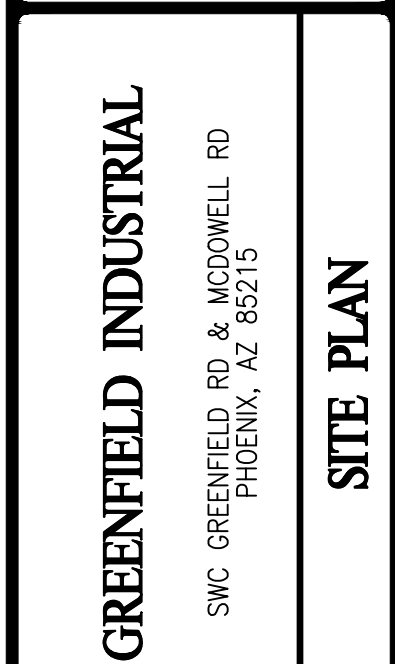
GREENFIELD INDUSTRIAL
SWC GREENFIELD RD & MCDOWELL RD
PHOENIX, AZ 85215

COLE
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DATE	09/21/2022
Job Number	22-0089
Sheet Number	C1.0

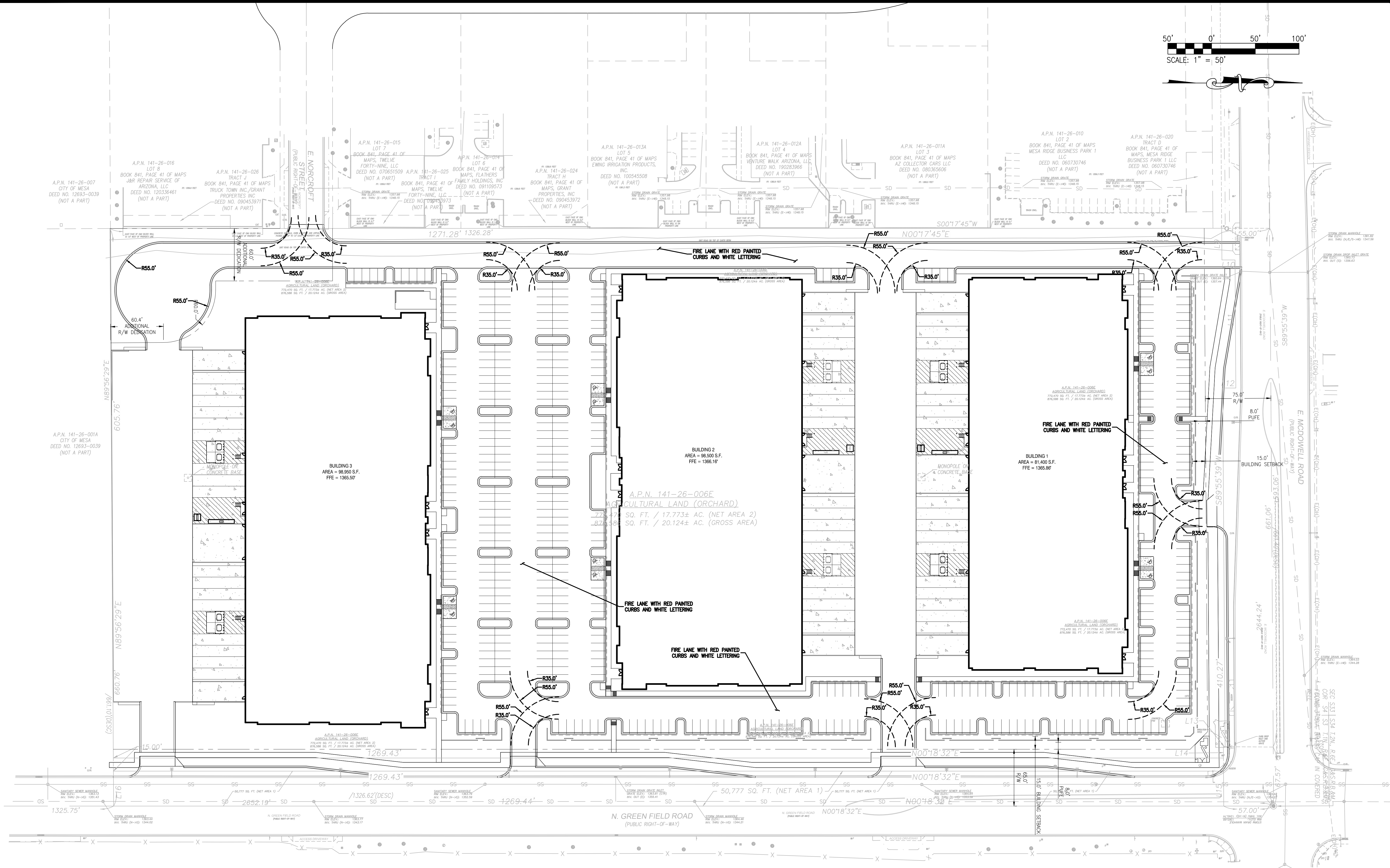


DEVELOPER/OWNER:
HOPWELL DEVELOPMENT
HOPEWELL CENTER
2525 E ARIZONA BLVD., SUITE C138 - PHOENIX, AZ 85016
(602) 543-9250



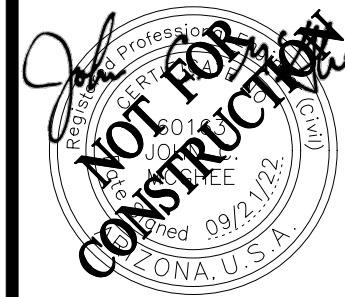
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DATE	09/21/2022
Job Number	
22-0089	
Sheet Number	
C2.0	

USER: Russell Grimes TAB: C2.1 FIRE ACCESS PLAN
DATE: September 22, 2022 - 12:59:47 PM
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FIRE LANE TURNING RADIUS PER COM STD. DTL. FPD 503.2.4, 35' INNER RADIUS AND 55' OUTER RADIUS.

DEVELOPER/OWNER:
HOPWELL DEVELOPMENT
2525 E ARIZONA BILTMORE CIRCLE
SUITE C138 - PHOENIX, AZ 85016
(928) 543-9250



GREENFIELD INDUSTRIAL

SWC GREENFIELD RD & McDOWELL RD
PHOENIX, AZ 85215

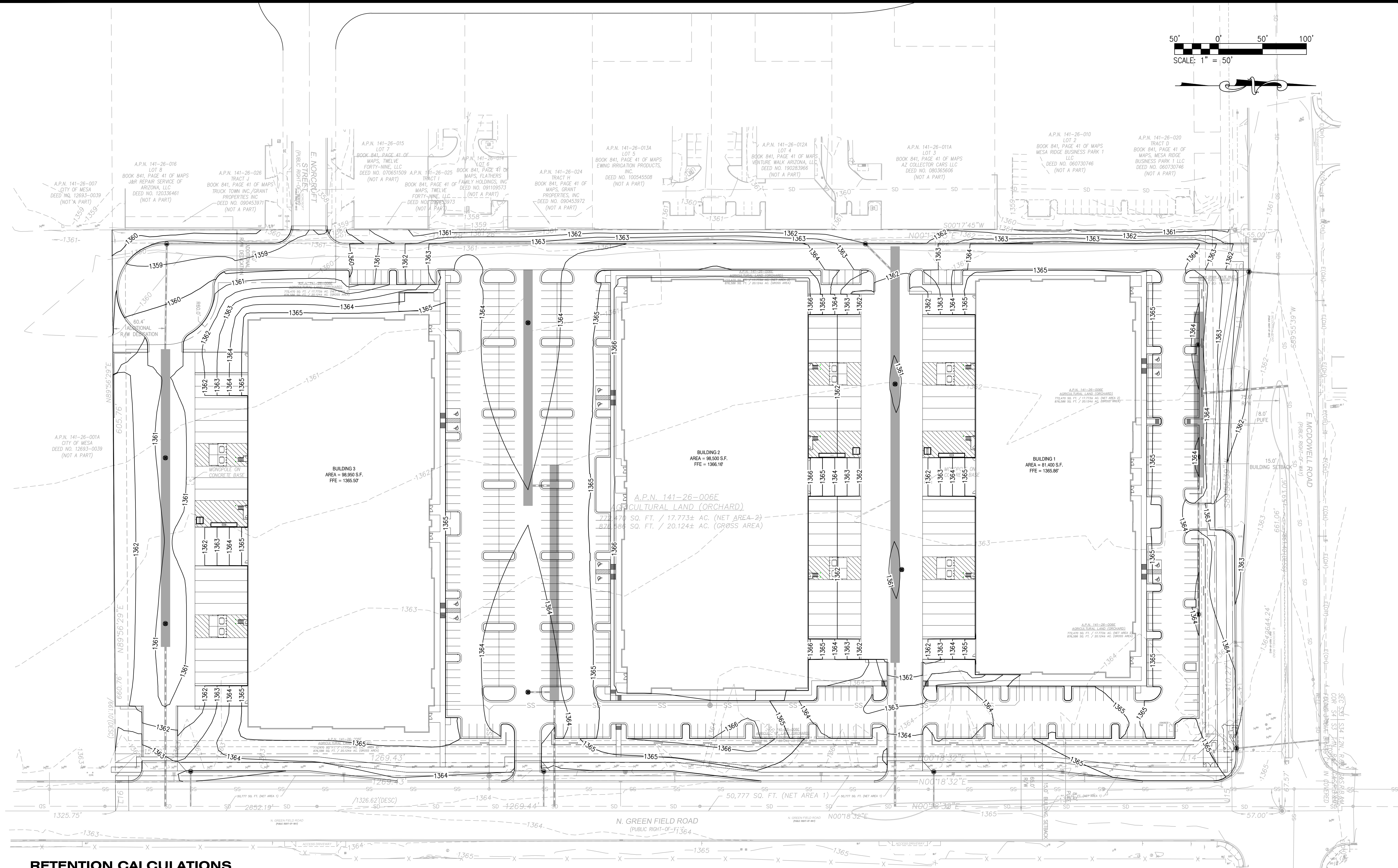
FIRE ACCESS PLAN

+ PHOENIX
100 Camelback Road
Suite 175
Phoenix, AZ 85016
602.795.1111
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Sheet Number	C2.1

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RETENTION CALCULATIONS

REQUIRED STORAGE VOLUME WAS CALCULATED BY APPLYING THE FOLLOWING STORAGE EQUATION

$$V = C(P/12)*12$$

RAINFALL DEPTH (100-YR, 2HR STORM EVENT) = 2.20 IN WHERE:

V = CALCULATED VOLUME, IN ACRE-FOOT.
C = RUNOFF COEFFICIENT
P = RAINFALL DEPTH, IN INCHES.
A = DRAINAGE AREA, IN ACRES.

VOLUME REQUIRED (V_R) CALCULATION
 $V_R = 0.95*(2.2/12)*15.92$

$$V_R = 2.77 \text{ AC-FT}$$

VOLUME PROVIDED (V_P) CALCULATION
10" DIA ~ 1,535 LF OF CMP RETENTION PIPE

$$V_P = ((3.14*5^2)*1,535)/43,560$$
$$V_P = 2.77 \text{ AC-FT}$$

NO	REVISION DESCRIPTION	DATE
1	1ST DBR SUBMITTAL	07/07/22
2	2ND DBR SUBMITTAL	08/05/22
3	3RD DBR SUBMITTAL	09/21/22

DEVELOPER/OWNER:
HOPWELL DEVELOPMENT
2525 E ARIZONA BLVD. CIRCLE
SUITE C138 - PHOENIX, AZ 85016
(928) 543-9250

THE PROFESSIONAL WHOSE SIGNATURE AND SEAL APPEAR HEREON HAS REVIEWED THIS SET OF PLANS AND SPECIFICATIONS FOR CONFORMANCE WITH THE REQUIREMENTS OF THE ARIZONA BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND SPECIFICATIONS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE PROFESSIONAL DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT OR FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT MAY BE CAUSED BY THE USE OF THE PLANS OR SPECIFICATIONS.

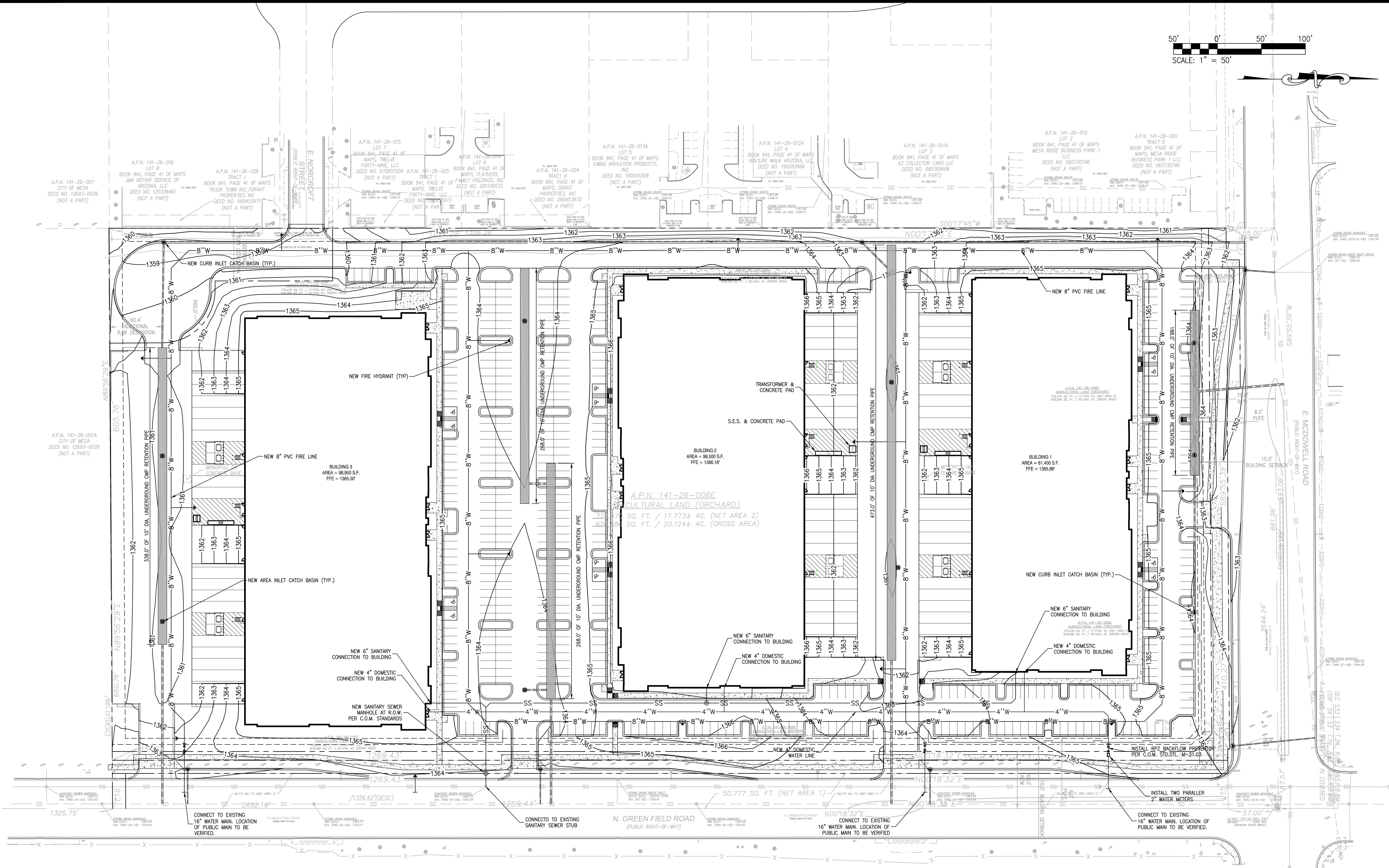


GREENFIELD INDUSTRIAL
SVC GREENFIELD RD & MCDOWELL RD
PHOENIX, AZ 85215

+ PHOENIX
101 Camelback Road
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SUITE C138 - PHOENIX, AZ 85016
(928) 543-9250

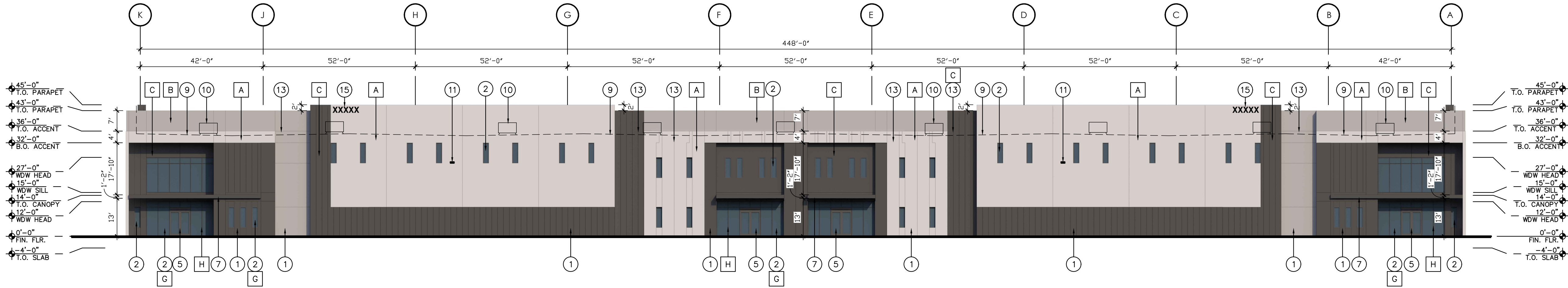
THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON
CERTIFIES THAT THIS DRAWING WAS PREPARED BY HIMSELF OR UNDER HIS
SUPERVISION AND THAT HE IS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF
ARIZONA. HE CERTIFIES THAT THIS DRAWING WAS PREPARED FOR THE PROJECT
SPECIFICALLY IDENTIFIED AND THAT HE HAS NO OTHER INTEREST IN THE PROJECT.
DATE: 09/21/2022
NO. 22-0089



GREENFIELD INDUSTRIAL
SVC GREENFIELD RD & MCDOWELL RD
PHOENIX, AZ 85215

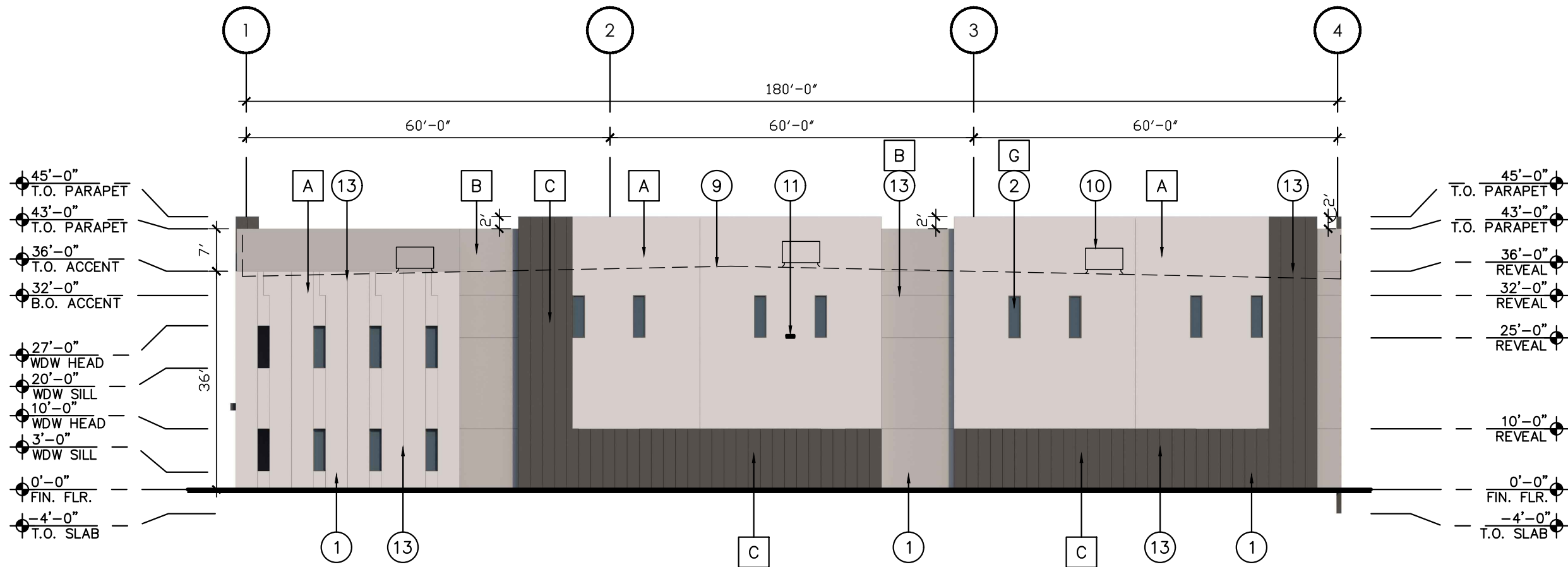
COLE
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
1001 Camelback Road
Suite 100
Phoenix, AZ 85016
602.795.1111
www.colearch.com

DESIGN/CALC BY	RG/SF
DRAWN BY	RG/SF
CHECKED BY	JM
DRAWING SCALE	AS SHOWN
DATE	09/21/2022
Job Number	22-0089
Sheet Number	C4.0



BUILDING 1 - EXTERIOR ELEVATIONS (NORTH)

SCALE: 1"=20'-0"



BUILDING 1 - EXTERIOR ELEVATIONS (WEST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

NORTH ELEVATION

A: 8,665 SF (43%)
B: 2,470 SF (12%)
C: 6,745 SF (34%)
G: 2,216 SF (11%)

TOTAL: 20,096 SF

WEST ELEVATION

A: 4,713 SF (58%)
B: 1,362 SF (17%)
C: 1,795 SF (22%)
G: 224 SF (3%)

TOT: 8,094 SF

MATERIAL SCHEDULE

PAIN:

<div></div>	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
<div></div>	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
<div></div>	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

<div></div>	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

<div></div>	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

<div></div>	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
<div></div>	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
<div></div>	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

GENERAL NOTES

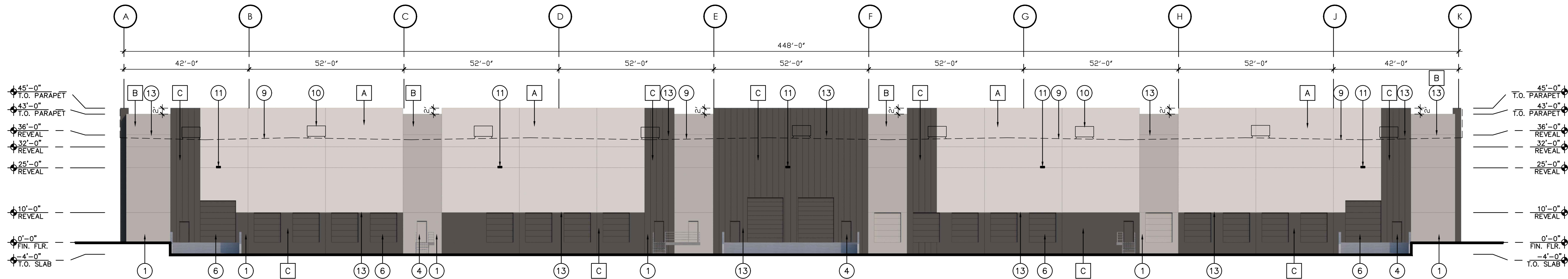
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- BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTEGRAL PART OF THE BUILDING.
- EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE.
- ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT.
- ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- PEDESTRIAN-ORIENTED SITE DESIGN IS REQUIRED.
- BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

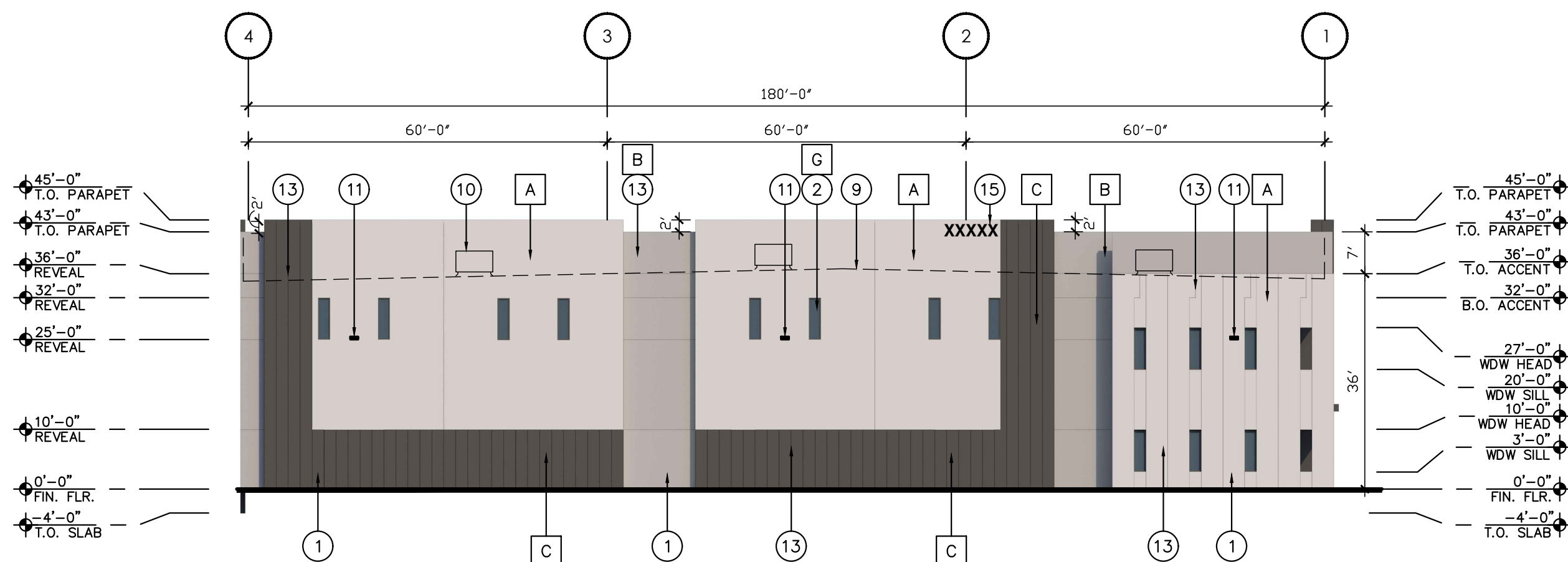
- PAINTED CONCRETE. TILT PANEL.
- 1" INSULATED GLAZING.
- C.M.U. SCREEN WALL.
- HOLLOW METAL DOOR AND FRAME - PAINTED.
- AL/GL DOOR TO MATCH WINDOW SYSTEM.
- OVERHEAD DOOR - PAINTED.
- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



BUILDING 1 - EXTERIOR ELEVATIONS (SOUTH)

SCALE: 1"=20'-0"



BUILDING 1 - EXTERIOR ELEVATIONS (EAST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

SOUTH ELEVATION

A: 9,424 SF (44%)
B: 3,720 SF (17%)
C: 8,198 SF (38%)
G: 0 SF

TOT: 21,342 SF

EAST ELEVATION

A: 4,713 SF (58%)
B: 1,362 SF (17%)
C: 1,795 SF (22%)
G: 224 SF (3%)

TOT: 8,094 SF

MATERIAL SCHEDULE

PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

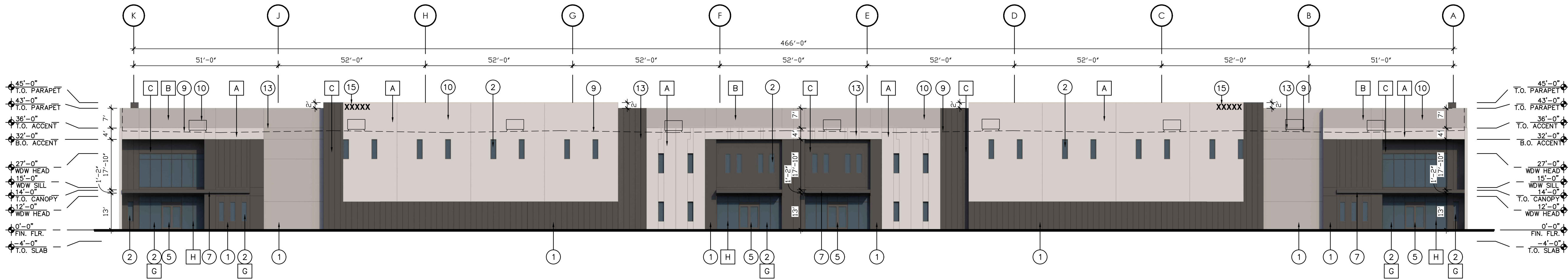
GENERAL NOTES

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- B. BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- C. MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTEGRAL PART OF THE BUILDING.
- D. EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL BE LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE.
- E. ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT.
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- G. PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED.
- H. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- I. ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

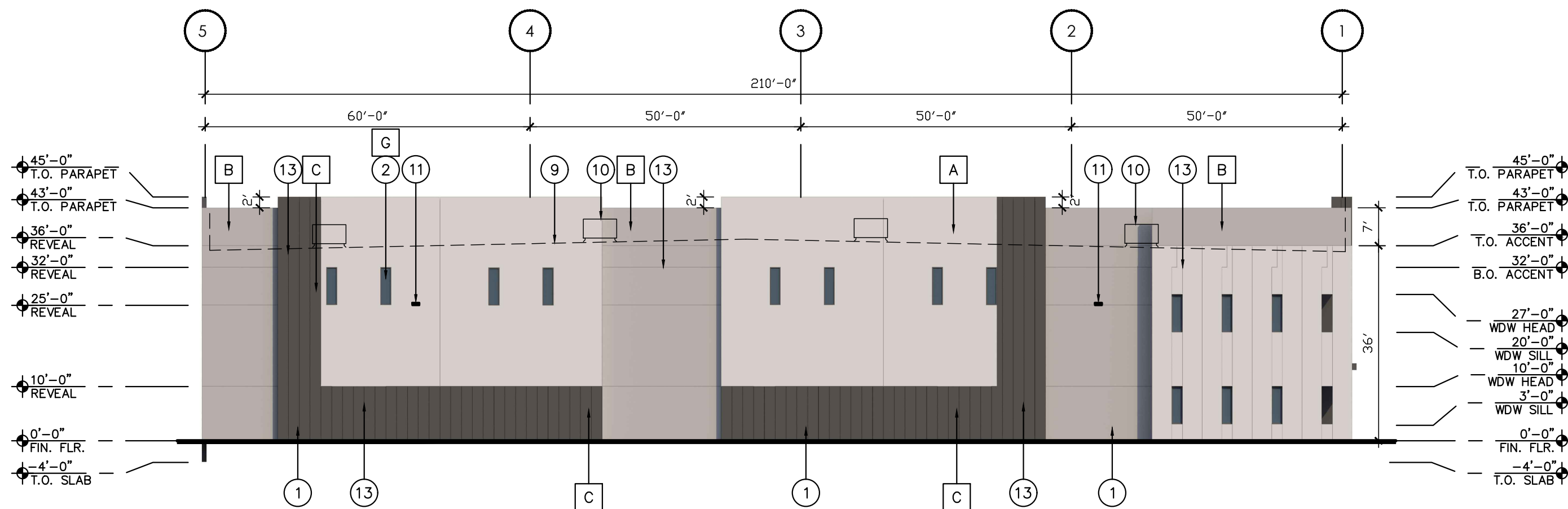
NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

1. PAINTED CONCRETE. TILT PANEL.
2. 1" INSULATED GLAZING.
3. C.M.U. SCREEN WALL.
4. HOLLOW METAL DOOR AND FRAME - PAINTED.
5. AL/GL DOOR TO MATCH WINDOW SYSTEM.
6. OVERHEAD DOOR - PAINTED.
7. STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
8. NOT USED.
9. LINE OF ROOF BEYOND.
10. LINE OF FUTURE MECHANICAL UNIT BEYOND.
11. LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
12. NOT USED.
13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
14. NOT USED.
15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.



BUILDING 2 - EXTERIOR ELEVATIONS (SOUTH)

SCALE: 1"=20'-0"



BUILDING 2 - EXTERIOR ELEVATIONS (WEST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

SOUTH ELEVATION

A: 8,665 SF (42%)
B: 3,244 SF (16%)
C: 6,745 SF (32%)
G: 2,216 SF (11%)

TOT: 20,870 SF

WEST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

TOT: 9,384 SF

MATERIAL SCHEDULE

PAINT:

	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	MFR:	VIRACON (OR APPROVED EQUAL)
	TYPE:	1" INSULATED, REFLECTIVE
	COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	MFR:	ARCADIA (OR APPROVED EQUAL)
	TYPE:	ANODIZED ALUMINUM
	COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'PEARL WHITE'
	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'RUTHERFORD GREY'
	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SPLIT FACE
	COLOR:	'OPAL'

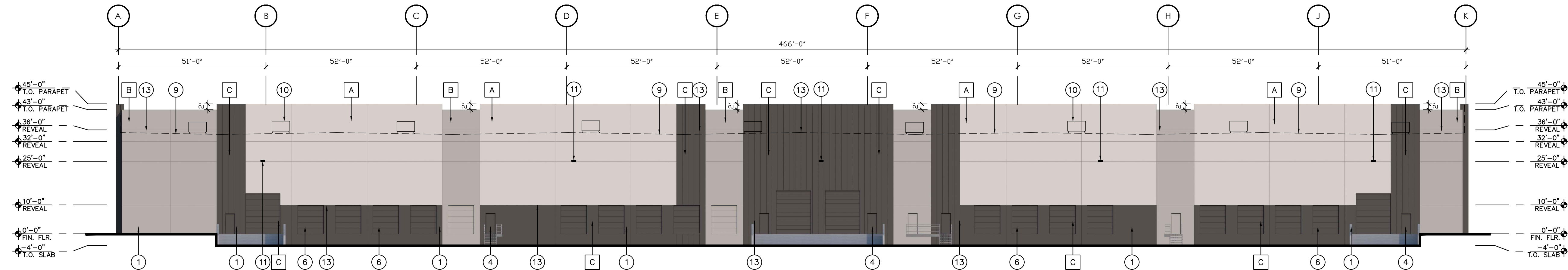
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KEYNOTES (ELEVATIONS)

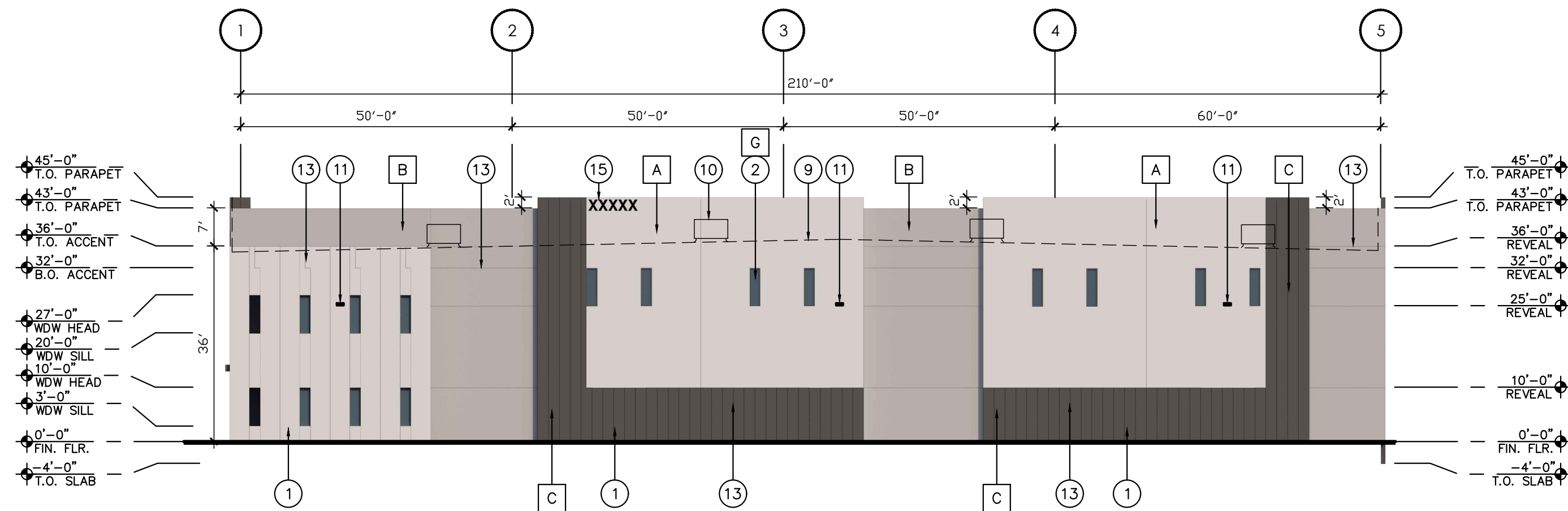
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- OVERHEAD DOOR - PAINTED.
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- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
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- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
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BUILDING 2 - EXTERIOR ELEVATIONS (NORTH)

SCALE: 1"=20'-0"



BUILDING 2 - EXTERIOR ELEVATIONS (EAST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

NORTH ELEVATION

A: 9,424 SF (43%)
B: 4,494 SF (20%)
C: 8,212 SF (37%)
G: 0 SF

TOT: 22,130 SF

EAST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

TOT: 9,384 SF

MATERIAL SCHEDULE

PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

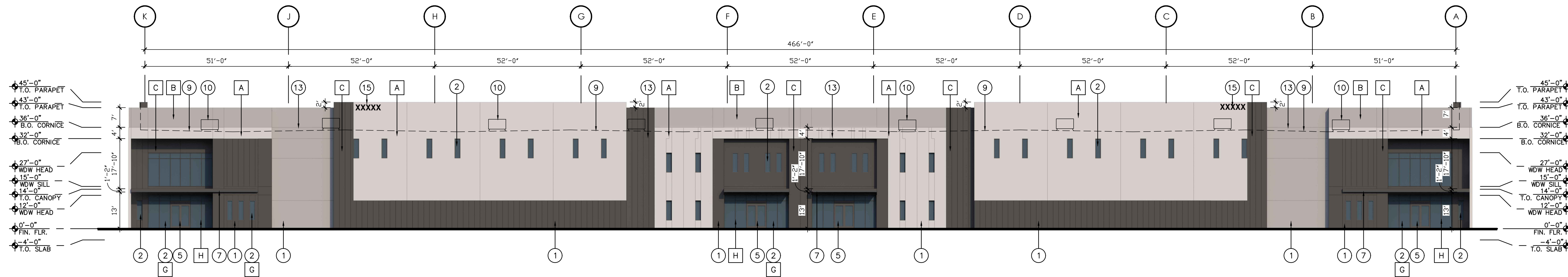
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KEYNOTES (ELEVATIONS)

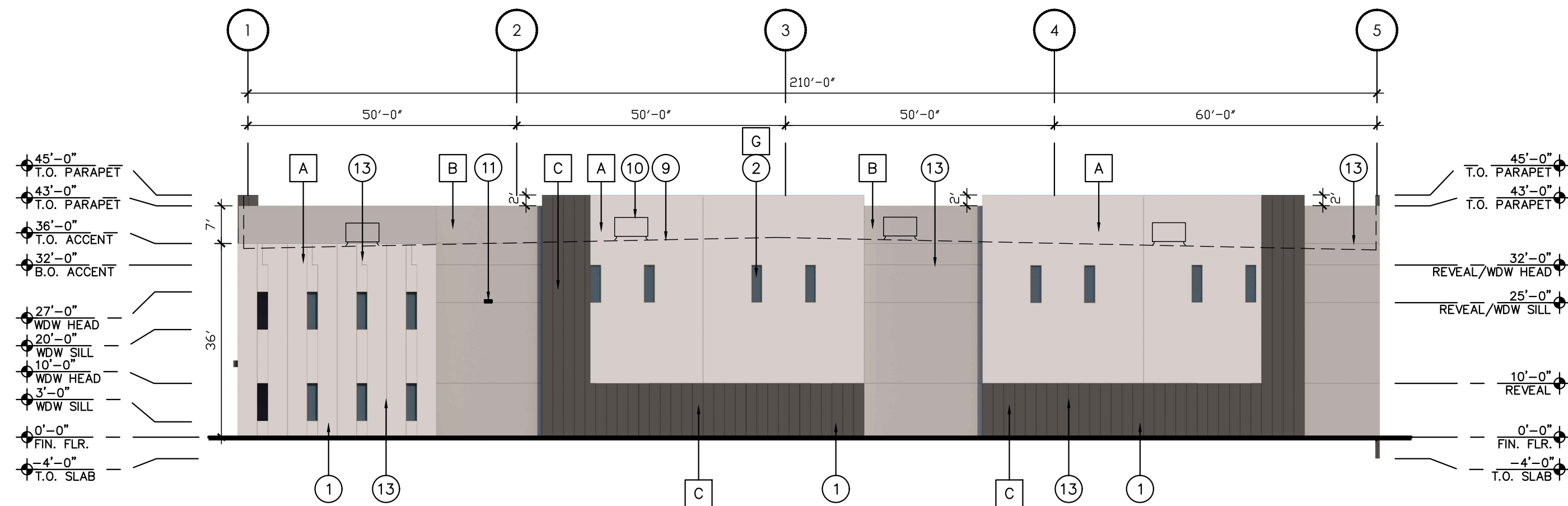
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- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
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- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.



BUILDING 3 - EXTERIOR ELEVATIONS (NORTH)

SCALE: 1"=20'-0"



BUILDING 3 - EXTERIOR ELEVATIONS (WEST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

NORTH ELEVATION

A: 8,665 SF (41%)
B: 3,330 SF (16%)
C: 6,745 SF (32%)
G: 2,216 SF (11%)

TOT: 20,956 SF

WEST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

TOT: 9,384 SF

MATERIAL SCHEDULE

PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

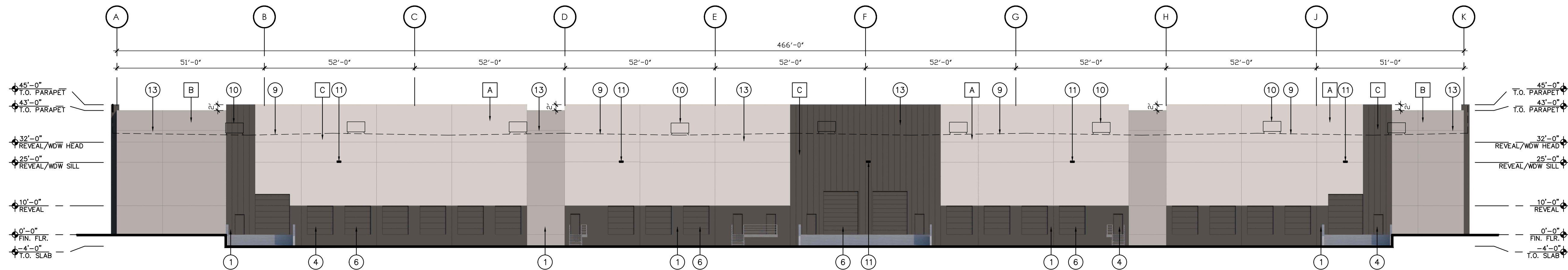
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- EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE.
- ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT.
- ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- PEDESTRIAN-ORIENTED SITE DESIGN IS REQUIRED.
- BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

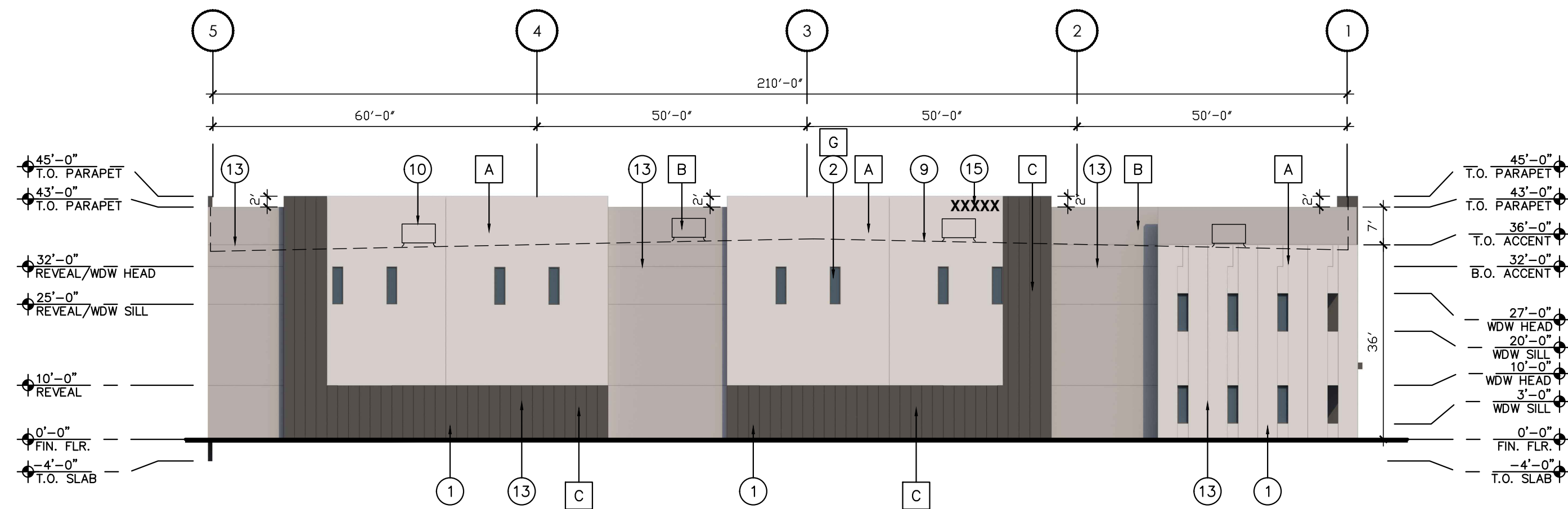
NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

- PAINTED CONCRETE. TILT PANEL.
- 1" INSULATED GLAZING.
- C.M.U. SCREEN WALL.
- HOLLOW METAL DOOR AND FRAME - PAINTED.
- AL/GL DOOR TO MATCH WINDOW SYSTEM.
- OVERHEAD DOOR - PAINTED.
- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.



BUILDING 3 - EXTERIOR ELEVATIONS (SOUTH)

SCALE: 1"=20'-0"



BUILDING 3 - EXTERIOR ELEVATIONS (EAST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

SOUTH

A: 10,579 SF (48%)
B: 3,917 SF (18%)
C: 7,693 SF (35%)
G: 0 SF

TOT: 22,189 SF

EAST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

TOT: 9,384 SF

MATERIAL SCHEDULE

PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

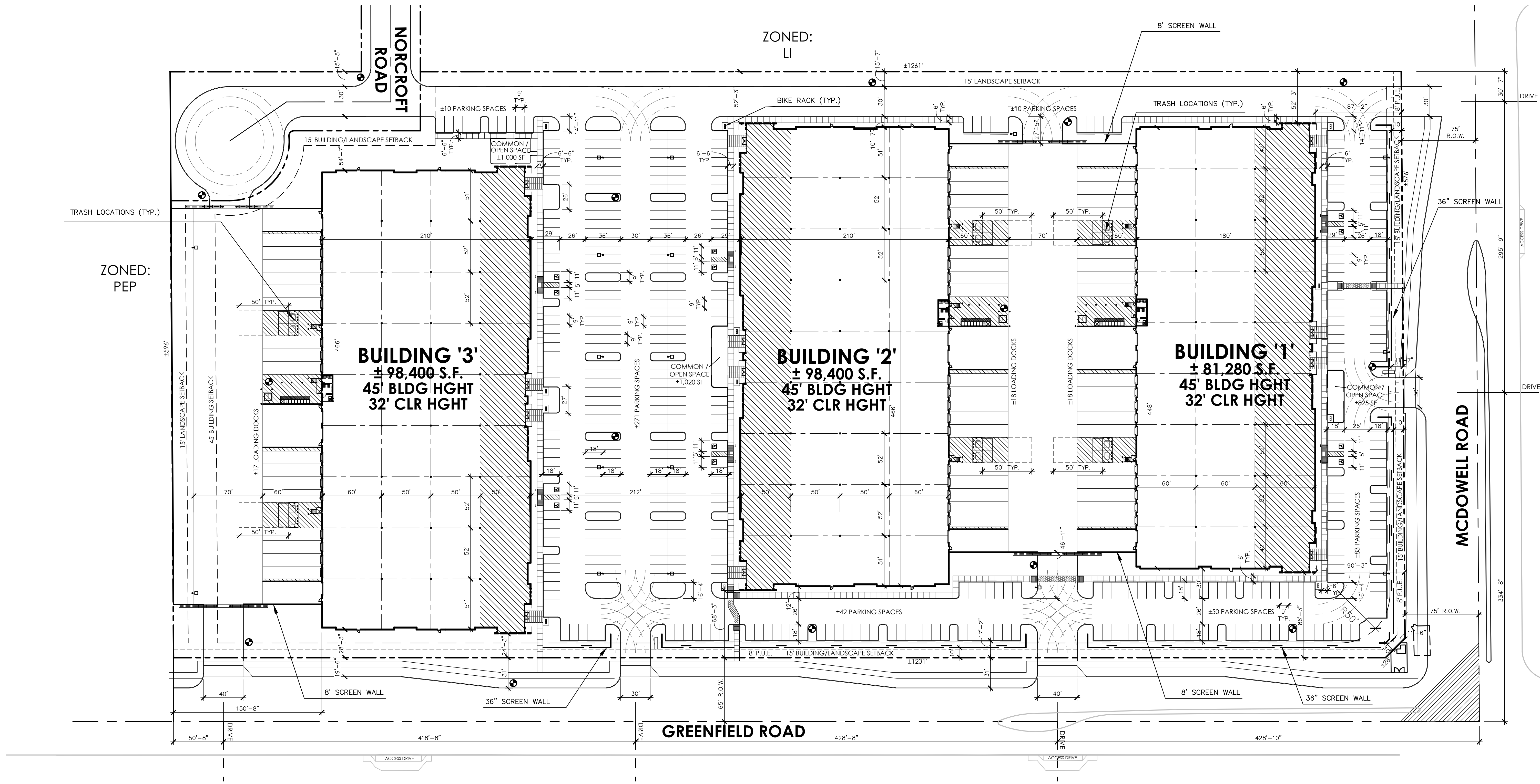
GENERAL NOTES

- A. BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INSUTRIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
- B. BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- C. MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTERGRAL PART OF THE BUILDING.
- D. EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL ME LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE.
- E. ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT.
- F. ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- G. PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED.
- H. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- I. ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

1. PAINTED CONCRETE. TILT PANEL.
2. 1" INSULATED GLAZING.
3. C.M.U. SCREEN WALL.
4. HOLLOW METAL DOOR AND FRAME - PAINTED.
5. AL/GL DOOR TO MATCH WINDOW SYSTEM.
6. OVERHEAD DOOR - PAINTED.
7. STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
8. NOT USED.
9. LINE OF ROOF BEYOND.
10. LINE OF FUTURE MECHANICAL UNIT BEYOND.
11. LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
12. NOT USED.
13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
14. NOT USED.
15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

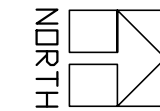


PROJECT INFORMATION

PROJECT NAME:	GREENFIELD INDUSTRIAL
PROJECT ADDRESS:	SWC GREENFIELD ROAD AND MCDOWELL ROAD MESA, ARIZONA
OWNER:	HOPWELL DEVELOPMENT 2525 E. ARIZONA BILTMORE CIRCLE, SUITE C138 PHOENIX, AZ 85016 PHONE: 928-543-9250 CONTACT: JUSTIN LEMASTER
ARCHITECT:	DLR GROUP 6225 N 24TH STREET, SUITE 250 PHOENIX, AZ 85016 PHONE: 602-206-7727 CONTACT: TIM THIELKE
ASSESSOR'S PARCEL NUMBER:	141-26-004E
EXISTING ZONING:	LI LIGHT INDUSTRIAL, AOA2 & AOA3 OVERLAY
PROPOSED ZONING:	LI LIGHT INDUSTRIAL, AOA2 & AOA3 OVERLAY
PROPOSED USE:	OFFICE/INDUSTRIAL/WAREHOUSE/DISTRIBUTION
ALLOWED BUILDING HEIGHT:	40'
PROPOSED BUILDING HEIGHT:	45'
STORIES:	1-STORY
CONSTRUCTION TYPE:	V-B
MINIMUM LOT WIDTH:	100'
MINIMUM LOT DEPTH:	100'
BUILDING SETBACKS:	
PERIMETER STREET:	15'
INTERIOR (WEST - LI ZONING):	0'
INTERIOR (SOUTH - PEP ZONING):	1' PER 1' OF BUILDING HEIGHT
LANDSCAPED SETBACK:	
PERIMETER STREET:	15'
INTERIOR (WEST - LI ZONING):	15'
INTERIOR (SOUTH - PEP ZONING):	15'

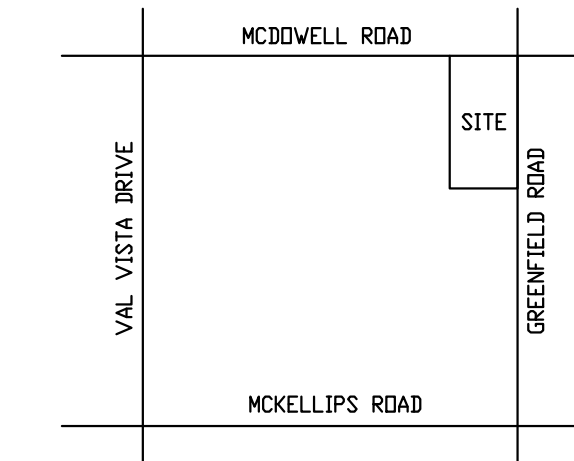
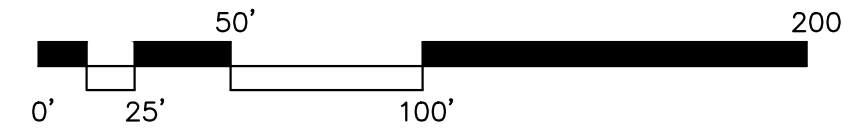
GROSS SITE AREA:	± 876,594 S.F. (± 20.12 ACRES)
NET SITE AREA:	± 722,489 S.F. (± 16.58 ACRES)
PROPOSED BUILDING AREA:	
BUILDING 1	± 81,280 S.F.
BUILDING 2	± 98,400 S.F.
BUILDING 3	± 98,400 S.F.
TOTAL	± 278,080 S.F.
SITE COVERAGE:	± 86.8% (90% MAXIMUM ALLOWED) (IMPERVIOUS AREA / NET SITE AREA) (627,425 SF / 722,489 SF = .8684)
COMMON OPEN SPACE REQUIRED:	± 2,781 S.F. (1% PER BUILDING GROSS FLOOR AREA)
COMMON OPEN SPACE PROVIDED:	± 2,845 S.F.
FOUNDATION BASE CALCULATIONS (15' AVERAGE REQUIRED):	
BUILDING 1	± 9,190 S.F. @ 457' - 8" LINEAR FEET = ± 20.1' AVERAGE
BUILDING 2	± 9,354 S.F. @ 475' - 8" LINEAR FEET = ± 19.7' AVERAGE
BUILDING 3	± 9,486 S.F. @ 477' - 8" LINEAR FEET = ± 19.9' AVERAGE
PARKING REQUIRED:	
BUILDING 1	± 81,280 S.F. @ 1/600 S.F. = 135 SPACES
BUILDING 2	± 98,400 S.F. @ 1/600 S.F. = 164 SPACES
BUILDING 3	± 98,400 S.F. @ 1/600 S.F. = 164 SPACES
TOTAL	463 SPACES
PARKING PROVIDED:	
BUILDING 1	137 SPACES
BUILDING 2	165 SPACES
BUILDING 3	164 SPACES
TOTAL	466 SPACES
PARKING RATIO:	± 1.7 SPACES PER 1,000 S.F.

ADA PARKING REQUIRED:	10 SPACES
ADA PARKING PROVIDED:	12 SPACES
TOTAL TRAILER PARKING:	± 53 SPACES
BICYCLE PARKING REQUIRED (1 SPACE PER 10 VEHICULAR SPACES):	47 SPACES
BICYCLE PARKING PROVIDED:	48 SPACES



OVERALL SITE PLAN

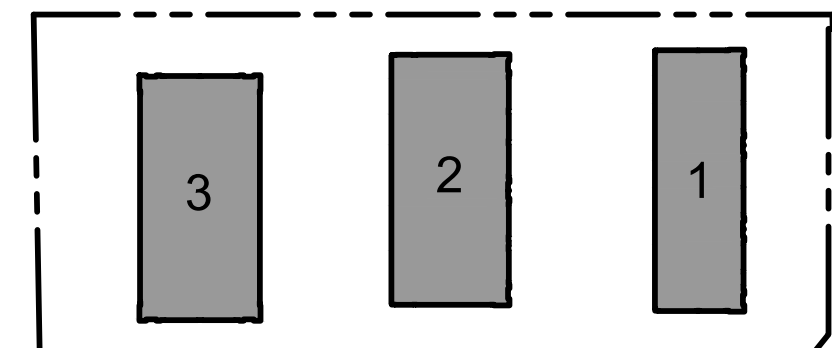
SCALE: 1" = 50'



VICINITY MAP

SCALE: N.T.S.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194

GREENFIELD INDUSTRIAL

HOPWELL DEVELOPMENT

SITE PLAN
DESIGN REVIEW
(Date)
9.22.2022
(Revisions)

(Project Number)
30-22167-00
(Sheet Title)

OVERALL SITE
PLAN

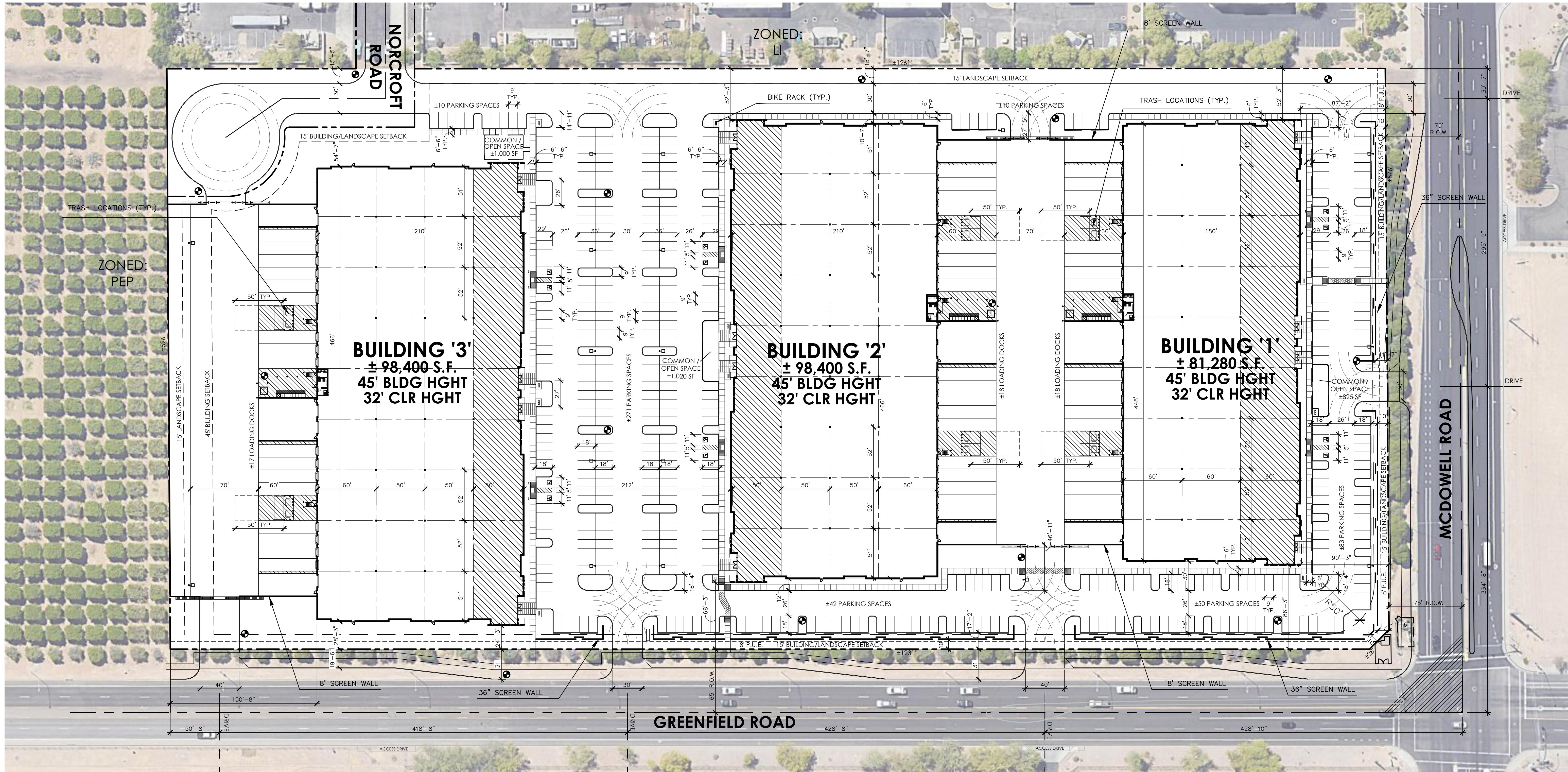
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AS1.01

DLR GROUP
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SWC Greenfield Road & McDowell Road
Mesa, Arizona



PROJECT INFORMATION

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MESA, ARIZONA

OWNER: HOPWELL DEVELOPMENT
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PHOENIX, AZ 85016
PHONE: 928-543-9250
CONTACT: JUSTIN LEMASTER

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6225 N 24TH STREET, SUITE 250
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ASSESSOR'S PARCEL NUMBER: 141-26-004E
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PROPOSED ZONING: LI LIGHT INDUSTRIAL, AOA2 & AOA3 OVERLAY
PROPOSED USE: OFFICE/INDUSTRIAL/WAREHOUSE/DISTRIBUTION

ALLOWED BUILDING HEIGHT: 40'

PROPOSED BUILDING HEIGHT: 45'
STORIES: 1-STORY
CONSTRUCTION TYPE: V-B
MINIMUM LOT WIDTH: 100'
MINIMUM LOT DEPTH: 100'

BUILDING SETBACKS :
PERIMETER STREET: 15'
INTERIOR (WEST - LI ZONING): 0'
INTERIOR (SOUTH - PEP ZONING): 1' PER 1' OF BUILDING HEIGHT

LANDSCAPED SETBACK:
PERIMETER STREET: 15'
INTERIOR (WEST - LI ZONING): 15'
INTERIOR (SOUTH - PEP ZONING): 15'

GROSS SITE AREA: ± 876,596 S.F. (± 20.12 ACRES)
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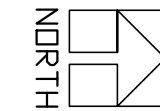
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PARKING RATIO: ± 1.7 SPACES PER 1,000 S.F.

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ADA PARKING PROVIDED: 12 SPACES

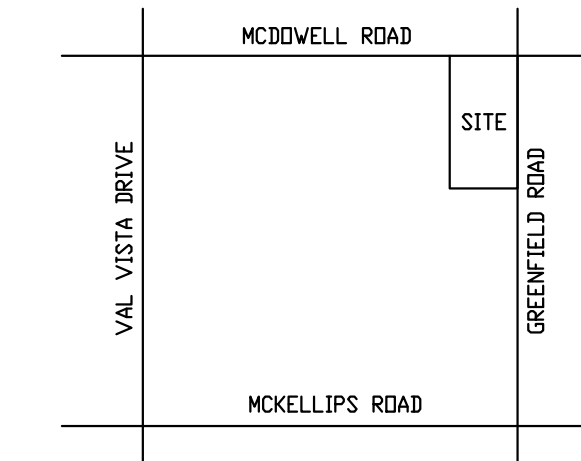
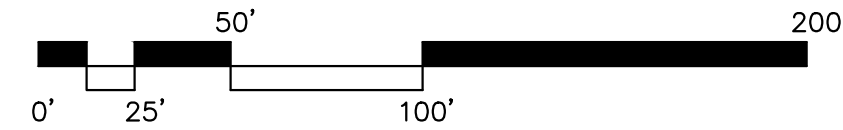
TOTAL TRAILER PARKING: ± 53 SPACES

BICYCLE PARKING REQUIRED (1 SPACE PER 10 VEHICULAR SPACES): 47 SPACES
BICYCLE PARKING PROVIDED: 48 SPACES



OVERALL SITE PLAN WITH AERIAL

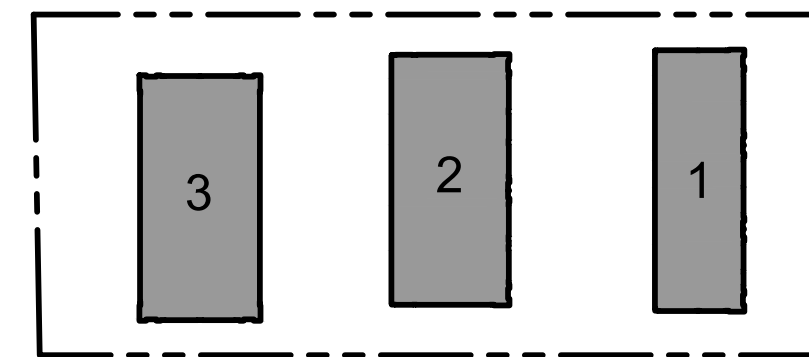
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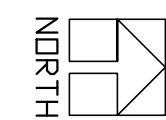
VICINITY MAP

SCALE: N.T.S.

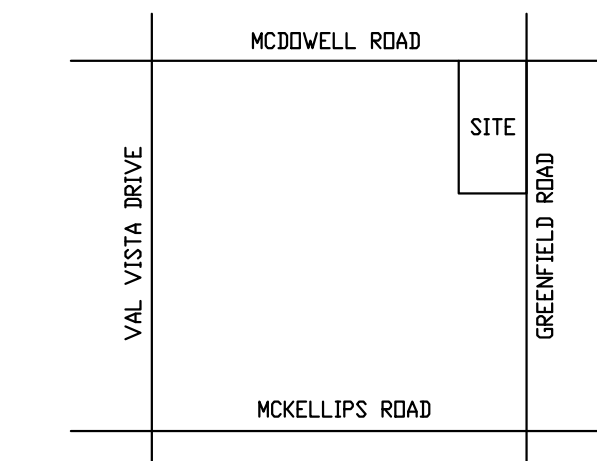
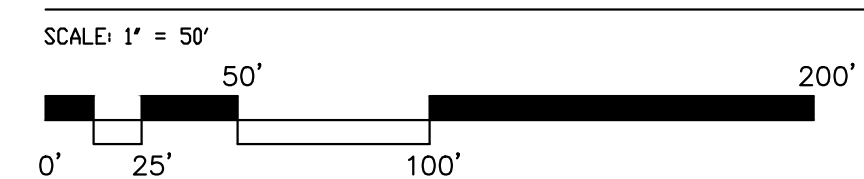
KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



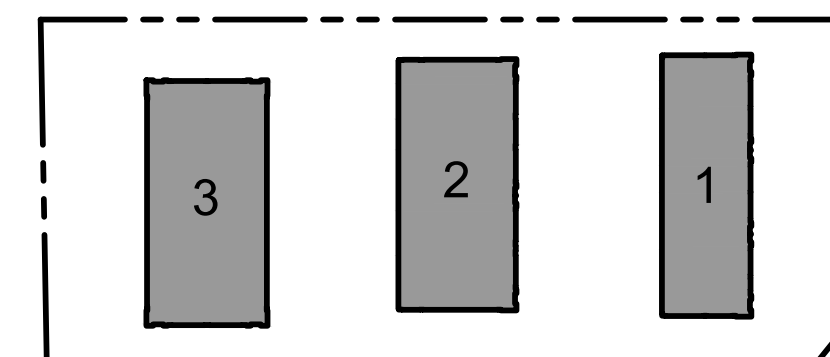
OVERALL CONTEXT PLAN



VICINITY MAP

SCALE: N.T.S.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



GREENFIELD INDUSTRIAL

HOPEWELL DEVELOPMENT

SWC Greenfield Road & McDowell Road
Mesa, Arizona

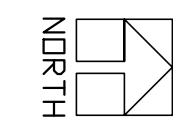
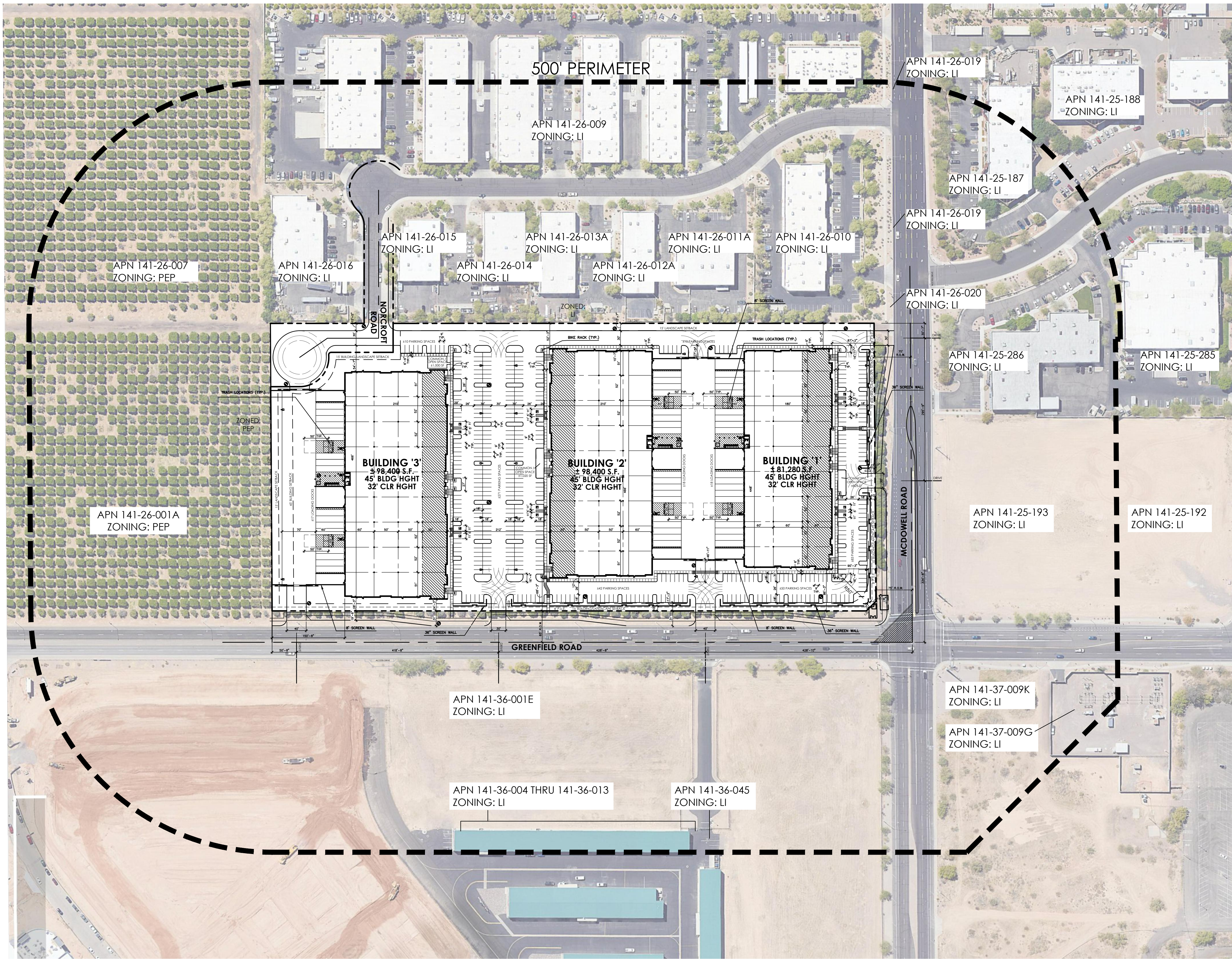
SITE PLAN
DESIGN REVIEW
(Date)
9.22.2022
(Revisions)

(Project Number)
30-22167-00
(Sheet Title)

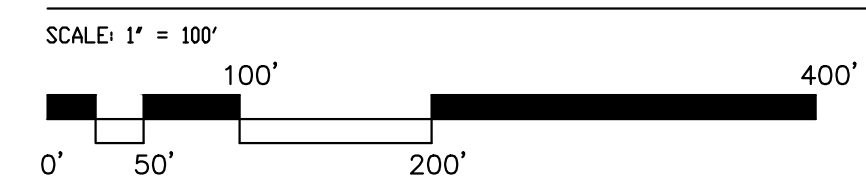
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PLAN

(Sheet Number)

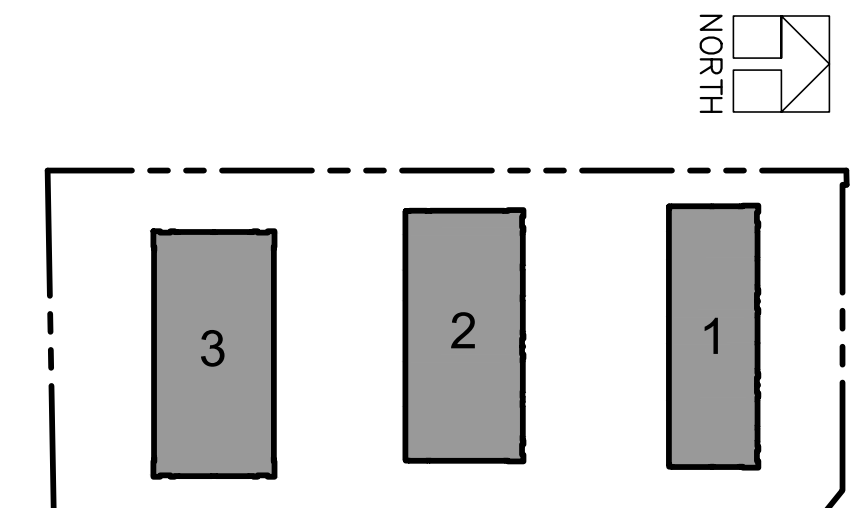
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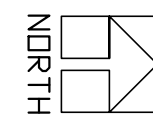
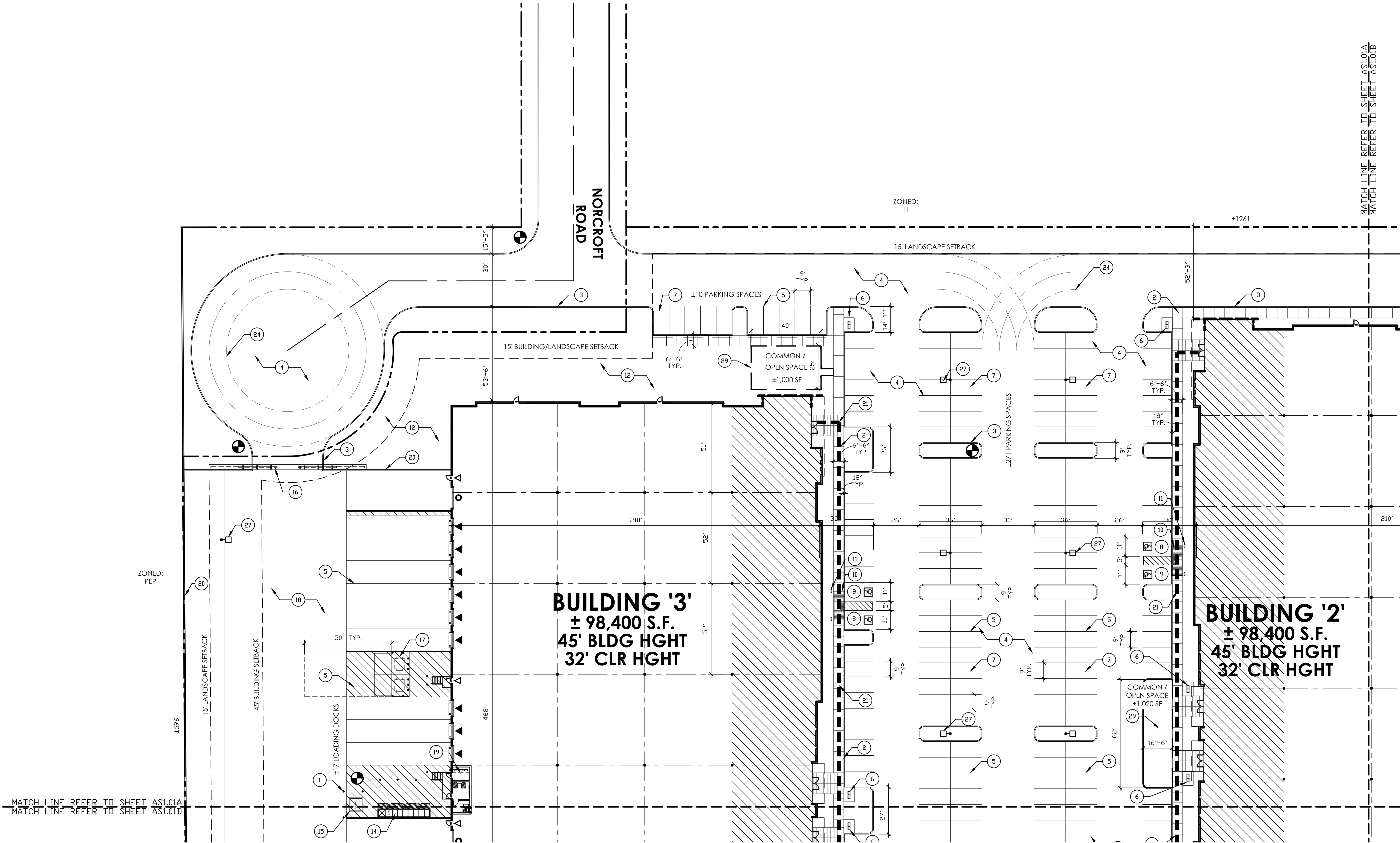
PROPERTIES WITHIN 500 FT PLAN



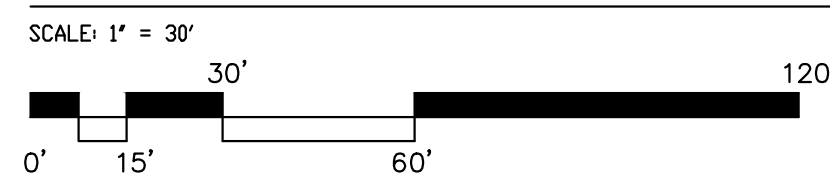
KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



ENLARGED SITE PLAN - AREA A



LEGEND NOTES

- NOTE: THE SITE KEYNOTES LISTED BELOW ARE TYPICAL TO THE PROJECT AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.
- BOLLARD TYP. - SEE DETAIL 14/A1.08
 - STANDARD CONCRETE SIDEWALK - SEE CIVIL.
 - 6" CONCRETE CURB (AND GUTTER) TYP. - SEE CIVIL DRAWINGS
 - ASPHALTIC PAVING - SEE CIVIL AND SOILS REPORT.
 - PAINT STRIPING - SEE CIVIL DRAWINGS.
 - BICYCLE RACK - SEE DETAIL 13 & 23/AS1.03.
 - CITY OF MESA STANDARD PARKING STALL TYP. (9'-0" X 18'-0")
 - VAN ACCESSIBLE PARKING STALL (11' X 18') WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/AS1.02.
 - ACCESSIBLE PARKING STALL (11' X 18') WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/AS1.02..
 - ADA ACCESSIBLE RAMPS TYP. - SEE CIVIL DRAWINGS AND DETAILS 21, 31, 41/AS1.02..
 - ACCESSIBLE SIGNAGE - SEE DETAILS 34, 35, 43/AS1.02.
 - LANDSCAPE/RETENTION - REFER TO CIVIL.
 - C.M.U. PARKING SCREEN WALL TYP. - SEE DETAIL 31/AS1.03.
 - ELECTRICAL S.E.S. LOCATION - REFER TO ELECTRICAL.
 - ELECTRICAL TRANSFORMER & CONCRETE PAD - SEE ELECTRICAL.
 - MANUAL SLIDING SECURITY GATE - 40' DRIVE - SEE DETAIL 43/AS1.03.
 - REFUSE CONTAINER LOCATION - SEE DETAIL 15/AS1.02.
 - CONCRETE PAVING - SLOPE AWAY FROM BUILDING - SEE CIVIL FOR GRADES.
 - FIRE PUMP/RISER LOCATION SEE FIRE SPRINKLER DRAWINGS UNDER SEPARATE REVIEW AND PERMIT.
 - 8' HEIGHT C.M.U. SCREEN WALL - SEE DETAIL 31/AS1.03.
 - ADA ACCESSIBLE PATH FROM PUBLIC WAY TO BUILDING ENTRANCES AND COMMON OUTDOOR SPACE.
 - MONUMENT SIGN LOCATION - SIGNAGE PACKAGE SEPARATE SUBMITTAL.
 - C.M.U. PARKING SCREEN WALL TYP.- SEE DETAIL 41/AS1.03.
 - CITY OF MESA STANDARD FIRE APPARATUS TURNING RADI - 35' INSIDE RADIUS, 55' OUTSIDE RADIUS.
 - EXISTING CURB AND GUTTER - SEE CIVIL.
 - TEXTURED CONCRETE GROSSWALK TO BE DIFFERING COLOR AND TEXTURE FROM ASPHALTIC PAVING.
 - POLE MOUNTED LIGHT FIXTURE TYP. - SEE DETAIL 24/AS1.03 AND ELECTRICAL DRAWINGS.
 - RAISED MEDIAN PER CITY OF MESA DETAIL M-46.05.1. - REFER TO CIVIL.
 - OUTDOOR COMMON AMENITY SPACE - REFER TO LANDSCAPE SHEET L2.0 FOR ENLARGED PLANS AND DETAILS.
 - EXISTING IRRIGATION FACILITY TO BE RELOCATED.
 - PROPOSED IRRIGATION FACILITY. LOCATION TO BE COORDINATED WITH AND APPROVED BY WATER RESOURCES.
 - FUTURE RAISED MEDIAN - PART OF SEPARATE FUTURE SUBMITTAL.

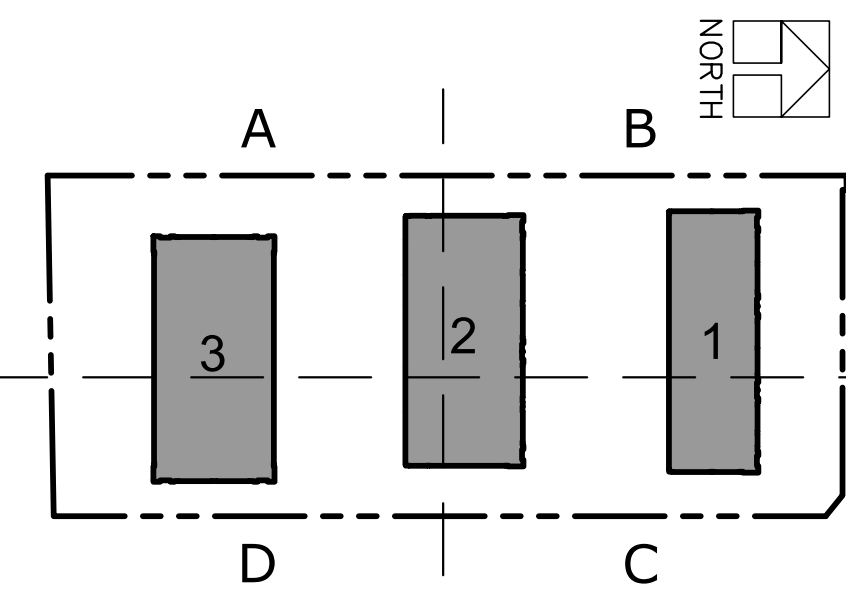
LEGEND

- PROPERTY LINE
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- EGRESS MAN DOOR

GENERAL NOTES

- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- ALL SITE IMPROVEMENTS: PAVING, CONCRETE CURBS, GUTTERS, ETC. SHALL BE DESIGNED AND INSTALLED PER THE GEOTECHNICAL SOILS REPORT.
- ALL PEDESTRIAN SIDEWALKS, CROSSWALKS, AND AISLES THROUGHOUT THE SITE AND INCLUDING CONNECTIONS TO THE PUBLIC WAY ARE PART OF THE ACCESSIBLE ROUTE AND SHALL/HAVE BEEN DESIGNED TO MEET ACCESSIBLE ROUTE GUIDELINES AND REQUIREMENTS.
- CURBING ALONG ALL FIRE ACCESS LANES, OTHER THAN THAT WITHIN PARKING STALLS, SHALL BE PAINTED AND MARKED "NO PARKING - FIRE LANE". INSTALL SIGNAGE - SEE DETAIL 11/AS1.03.
- SPRINKLER SYSTEM CAPABILITIES AND LIMITATIONS PLACARD OR PLACARDS SHALL BE INSTALLED AS REQUIRED IN CITY OF PHOENIX FIRE CODE.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



GREENFIELD INDUSTRIAL

HOPWELL DEVELOPMENT

SWC Greenfield Road & McDowell Road
Mesa, Arizona

SITE PLAN
DESIGN REVIEW
(Title)
9.22.2022
(Revisions)

(Project Number)
30-22167-00

(Sheet Title)

ENLARGED
SITE PLAN -
AREA A

(Sheet Number)

AS1.01A

DLR GROUP



- T. Thiele*

- PROPERTY LINE

- ## GENERAL NOTES

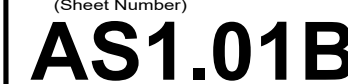
- # GREENFIELD INDUSTRIAL

SWC Greenfield Road & McDowell Road

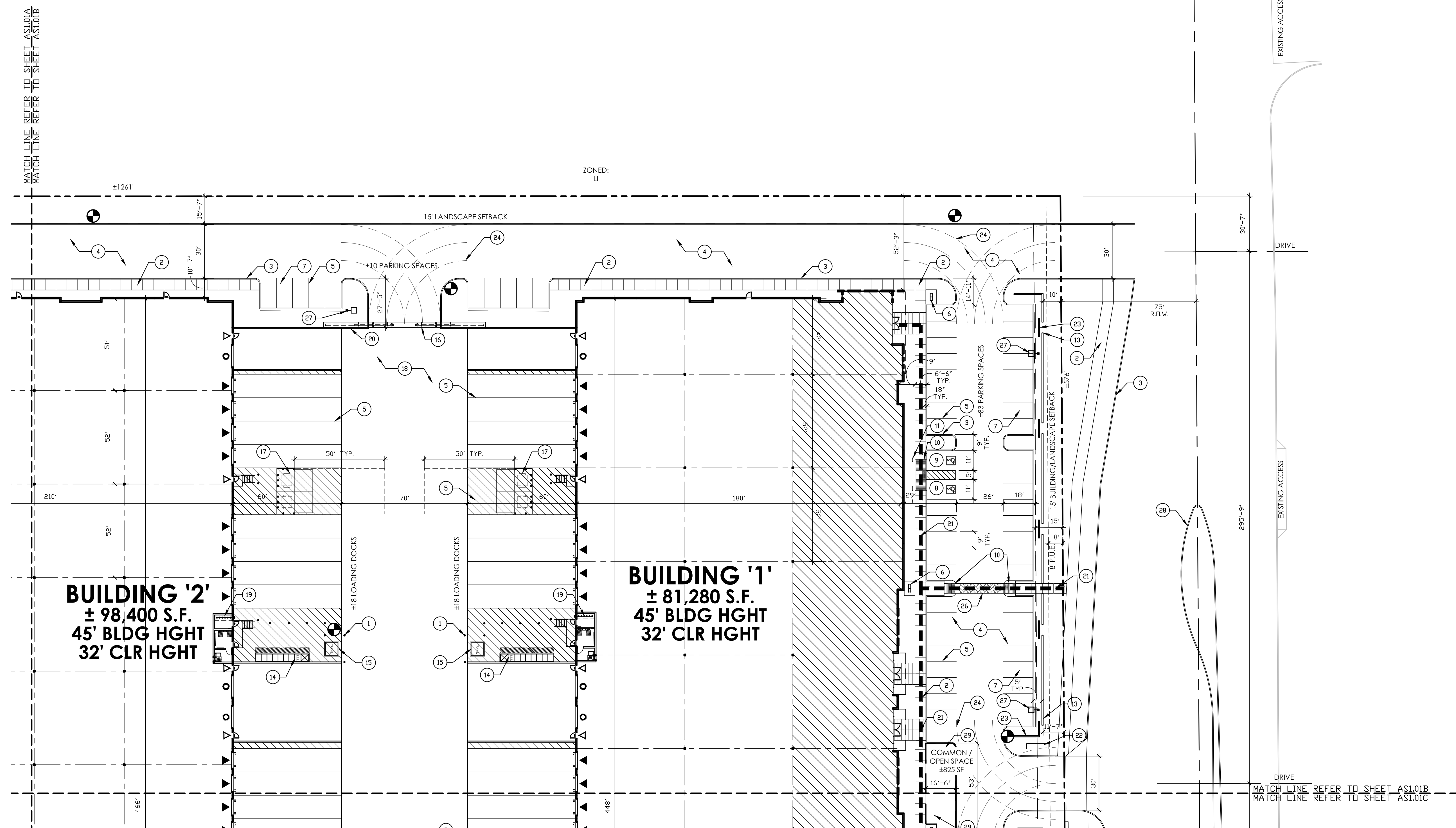
ENLARGED
SITE PLAN -
AREA B

(Sheet Number

(Sheet Number)
AS1.01B

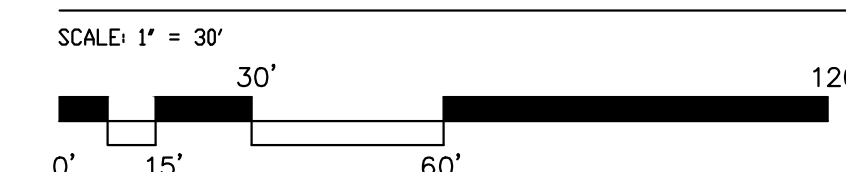


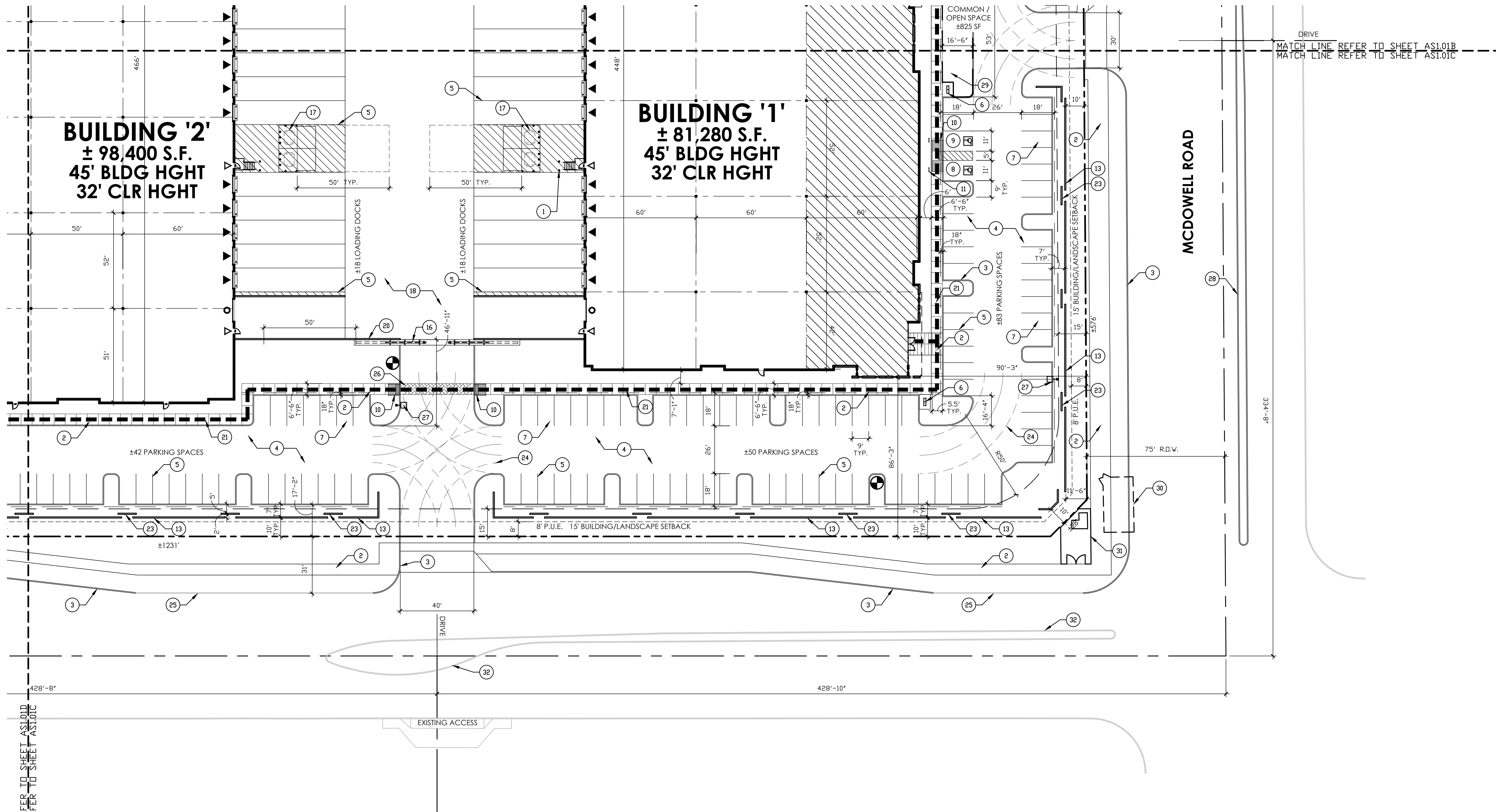
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AS1.01B



SCALE: 1" = 30'

The profile view shows a roadbed with a total length of 120 feet. The elevation starts at 0' on the left, rises to 15' at the first vertical curve, then to 30' at the second vertical curve. The roadbed then descends to 60' and finally to 120' on the right. The horizontal distances between the vertical curves are 15', 60', and 45'.





LEGEND NOTES

- NOTE: THE SITE KEYNOTES LISTED BELOW ARE TYPICAL TO THE PROJECT AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.
1. BOLLARD TYP. - SEE DETAIL 14/A1.08
 2. STANDARD CONCRETE SIDEWALK - SEE CIVIL
 3. 6" CONCRETE CURB (AND GUTTER) TYP. - SEE CIVIL DRAWINGS
 4. ASPHALTIC PAVING - SEE CIVIL AND SOILS REPORT.
 5. PAINT STRIPING - SEE CIVIL DRAWINGS.
 6. BICYCLE RACK - SEE DETAIL 13 & 23/AS1.03.
 7. CITY OF MESA STANDARD PARKING STALL TYP. (9'-0" X 18'-0")
 8. VAN ACCESSIBLE PARKING STALL (11' X 18") WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/AS1.02.
 9. ACCESSIBLE PARKING STALL (11' X 18") WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/AS1.02..
 10. ADA ACCESSIBLE RAMP TYP. - SEE CIVIL DRAWINGS AND DETAILS 21, 31, 41/AS1.02..
 11. ACCESSIBLE SIGNAGE - SEE DETAILS 34, 35, 43/AS1.02.
 12. LANDSCAPE/RETENTION - REFER TO CIVIL.
 13. C.M.U. PARKING SCREEN WALL TYP. - SEE DETAIL 31/AS1.03.
 14. ELECTRICAL S.E.S. LOCATION - REFER TO ELECTRICAL.
 15. ELECTRICAL TRANSFORMER & CONCRETE PAD - SEE ELECTRICAL.
 16. MANUAL SLIDING SECURITY GATE - 40' DRIVE - SEE DETAIL 43/AS1.03.
 17. REFUSE CONTAINER LOCATION - SEE DETAIL 15/AS1.02.
 18. CONCRETE PAVING - SLOPE AWAY FROM BUILDING - SEE CIVIL FOR GRADES.
 19. FIRE PUMP/RISER LOCATION SEE FIRE SPRINKLER DRAWINGS UNDER SEPARATE REVIEW AND PERMIT.
 20. 8' HEIGHT C.M.U. SCREEN WALL - SEE DETAIL 31/AS1.03.
 21. ADA ACCESSIBLE PATH FROM PUBLIC WAY TO BUILDING ENTRANCES AND COMMON OUTDOOR SPACE.
 22. MONUMENT SIGN LOCATION - SIGNAGE PACKAGE SEPARATE SUBMITTAL.
 23. C.M.U. PARKING SCREEN WALL TYP.- SEE DETAIL 41/AS1.03.
 24. CITY OF MESA STANDARD FIRE APPARATUS TURNING RADI - 35' INSIDE RADIUS, 55' OUTSIDE RADIUS.
 25. EXISTING CURB AND GUTTER - SEE CIVIL.
 26. TEXTURED CONCRETE GROSSWALK TO BE DIFFERING COLOR AND TEXTURE FROM ASPHALTIC PAVING.
 27. POLE MOUNTED LIGHT FIXTURE TYP. - SEE DETAIL 24/AS1.03 AND ELECTRICAL DRAWINGS.
 28. RAISED MEDIAN PER CITY OF MESA DETAIL M-46.05.1. - REFER TO CIVIL.
 29. OUTDOOR COMMON AMENITY SPACE - REFER TO LANDSCAPE SHEET L2.0 FOR ENLARGED PLANS AND DETAILS.
 30. EXISTING IRRIGATION FACILITY TO BE RELOCATED.
 31. PROPOSED IRRIGATION FACILITY. LOCATION TO BE COORDINATED WITH AND APPROVED BY WATER RESOURCES.
 32. FUTURE RAISED MEDIAN - PART OF SEPARATE FUTURE SUBMITTAL.

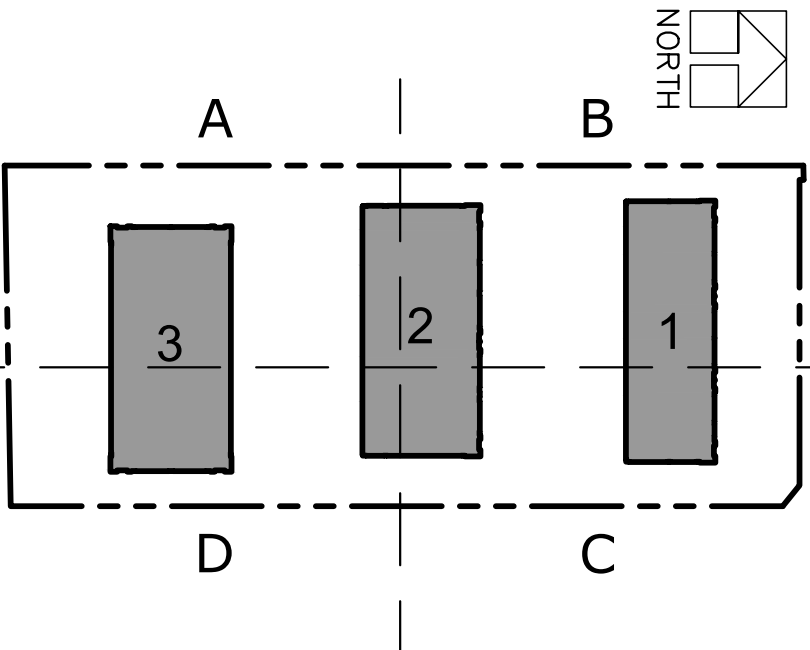
LEGEND

- PROPERTY LINE
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- EGRESS MAN DOOR

GENERAL NOTES

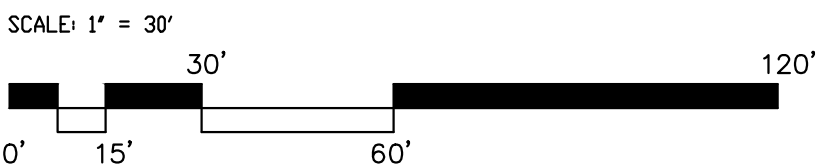
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- ALL SITE IMPROVEMENTS: PAVING, CONCRETE CURBS, GUTTERS, ETC. SHALL BE DESIGNED AND INSTALLED PER THE GEOTECHNICAL SOILS REPORT.
- ALL PEDESTRIAN SIDEWALKS, CROSSWALKS, AND AISLES THROUGHOUT THE SITE AND INCLUDING CONNECTIONS TO THE PUBLIC WAY ARE PART OF THE ACCESSIBLE ROUTE AND SHALL/HAVE BEEN DESIGNED TO MEET ACCESSIBLE ROUTE GUIDELINES AND REQUIREMENTS.
- CURBING ALONG ALL FIRE ACCESS LANES, OTHER THAN THAT WITHIN PARKING STALLS, SHALL BE PAINTED AND MARKED "NO PARKING - FIRE LANE". INSTALL SIGNAGE - SEE DETAIL 11/AS1.03.
- SPRINKLER SYSTEM CAPABILITIES AND LIMITATIONS PLACARD OR PLACARDS SHALL BE INSTALLED AS REQUIRED IN CITY OF PHOENIX FIRE CODE.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194

ENLARGED SITE PLAN - AREA C



AS1.02 SCALE: 1-1/2" = 1'-0"

-

AS1.02 SCALE: 1-1/2" = 1'-0"

AS1.02 SCALE: 1-1/2" = 1'-0"

-

AS1.02 SCALE: 1-1/2" = 1'-0"

AS1.02 SCALE: 1-1/2" = 1'-0"

-

AS1.02 SCALE: 3/8" = 1'-0"

AS1.02 SCALE: 3/8" = 1'-0"

-

AS1.02 SCALE: 1-1/2' = 1"=0'

- [illegible]

AS1.02 SCALE: 1" = 1'-0"

-
- 6'-0" LONG IF RISE 6" - 1:12 MAX. SLOPE
- 6"
- 1'-6"
- 1
- 2
- 1
- 1
- 3
- 1

AS1.02 SCALE: 1" = 1'-0"

-

AS1.02 SCALE: 3" = 1'-0"

1. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR PERSONS WITH DISABILITIES BY A SIGN SHOWING THE INTERNATIONAL WHEELCHAIR SYMBOL. PREFERRED SYMBOL SHOWN.
2. THE SIGN MUST HAVE THE MINIMUM VERBAGE OF "RESERVED PARKING", INTERNATIONAL WHEELCHAIR SYMBOL AND CITY CODE.
3. THE SIGN PLATE SHALL BE A MINIMUM OF 12" X 24" WITH A THICKNESS OF 0.080 ALUMINUM CONSTRUCTION.
4. THE SIGN FACE SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A BLUE LEGEND. (STANDARD 3M SCOTCHUTE SIGN FACE NUMBER R7-32 OR EQUIVALENT, WITH BLUE SCREEN PRINTED LETTERS AS SHOWN)
5. ONE IN SIX COVERED ACCESSIBLE SPACES SHALL BE DESIGNATED FOR HIGH PROFILE. UNLESS ALL SPACES ARE HIGH PROFILE SPACES AN ADDITIONAL SIGN DESIGNATING "VAN ACCESSIBLE" SHALL BE INCLUDED.
6. THE SIGNS SHALL BE ON A STATIONARY POST OR APPROVED VEHICLE MOUNTATION. THESE SIGNS SHALL NOT BE OBLSCURED.
7. THE BOTTOM OF THE SIGN(S) SHALL BE LOCATED NO LESS THAN FIVE (5) FEET OR MORE THAN SIX (6) FEET ABOVE THE GRADE (PARKING LOT SURFACE) AND SHALL BE VISIBLE DIRECTLY IN FRONT OF THE PARKING SPACE.

AS1.02 SCALE: 1 1/2" = 1'-0"

-
- Diagram illustrating a square block (6) resting on a horizontal surface (7). The contact area is labeled 8.

AS1.02 SCALE: 1/2" = 1'-0"

-
- Technical drawing of a 'RESERVED PARKING' sign. The sign is rectangular with a white background and a black border. It features the following elements:
- Top Section:** The words 'RESERVED' and 'PARKING' in bold, black, sans-serif capital letters.
 - Middle Section:** A square icon containing a stylized wheelchair symbol with a person figure inside.
 - Text Section:** The text 'FOR VEHICLES SHOWING DISABLED INSIGNIA OR LICENSE PLATE ONLY' followed by 'MESA CITY CODE' and 'SEC. CITY OF MESA'.
 - Bottom Section:** A rounded rectangular box containing the words 'VAN' and 'ACCESSIBLE'.
- Dimensions and Callouts:
- 1**: Points to the 'RESERVED' text.
 - 2**: Points to the wheelchair icon.
 - 3**: Points to the text 'FOR VEHICLES SHOWING DISABLED INSIGNIA OR LICENSE PLATE ONLY'.
 - 4**: Points to the text 'MESA CITY CODE'.
 - 5**: Points to the text 'SEC. CITY OF MESA'.
 - 6**: Points to the 'VAN ACCESSIBLE' box.
 - 7**: Points to the bottom of the sign.
 - 8**: Points to the right side of the sign.
 - 9**: Points to the top of the sign.
 - 10**: Points to the left side of the sign.
 - 11**: Points to the top of the sign.
 - 12**: Points to the bottom of the sign.
 - 13**: Points to the right side of the sign.
 - 14**: Points to the left side of the sign.
 - 15**: Points to the top of the sign.
 - 16**: Points to the bottom of the sign.
 - 17**: Points to the right side of the sign.
 - 18**: Points to the left side of the sign.
 - 19**: Points to the top of the sign.
 - 20**: Points to the bottom of the sign.
 - 21**: Points to the right side of the sign.
 - 22**: Points to the left side of the sign.
 - 23**: Points to the top of the sign.
 - 24**: Points to the bottom of the sign.
 - 25**: Points to the right side of the sign.
 - 26**: Points to the left side of the sign.
 - 27**: Points to the top of the sign.
 - 28**: Points to the bottom of the sign.
 - 29**: Points to the right side of the sign.
 - 30**: Points to the left side of the sign.
 - 31**: Points to the top of the sign.
 - 32**: Points to the bottom of the sign.
 - 33**: Points to the right side of the sign.
 - 34**: Points to the left side of the sign.
 - 35**: Points to the top of the sign.
 - 36**: Points to the bottom of the sign.
 - 37**: Points to the right side of the sign.
 - 38**: Points to the left side of the sign.
 - 39**: Points to the top of the sign.
 - 40**: Points to the bottom of the sign.
 - 41**: Points to the right side of the sign.
 - 42**: Points to the left side of the sign.
 - 43**: Points to the top of the sign.
 - 44**: Points to the bottom of the sign.
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 - 59**: Points to the top of the sign.
 - 60**: Points to the bottom of the sign.
 - 61**: Points to the right side of the sign.
 - 62**: Points to the left side of the sign.
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 - 83**: Points to the top of the sign.
 - 84**: Points to the bottom of the sign.
 - 85**: Points to the right side of the sign.
 - 86**: Points to the left side of the sign.
 - 87**: Points to the top of the sign.
 - 88**: Points to the bottom of the sign.
 - 89**: Points to the right side of the sign.
 - 90**: Points to the left side of the sign.
 - 91**: Points to the top of the sign.
 - 92**: Points to the bottom of the sign.
 - 93**: Points to the right side of the sign.
 - 94**: Points to the left side of the sign.
 - 95**: Points to the top of the sign.
 - 96**: Points to the bottom of the sign.
 - 97**: Points to the right side of the sign.
 - 98**: Points to the left side of the sign.
 - 99**: Points to the top of the sign.
 - 100**: Points to the bottom of the sign.

AS1.02 SCALE: 1/8" = 1'-0"

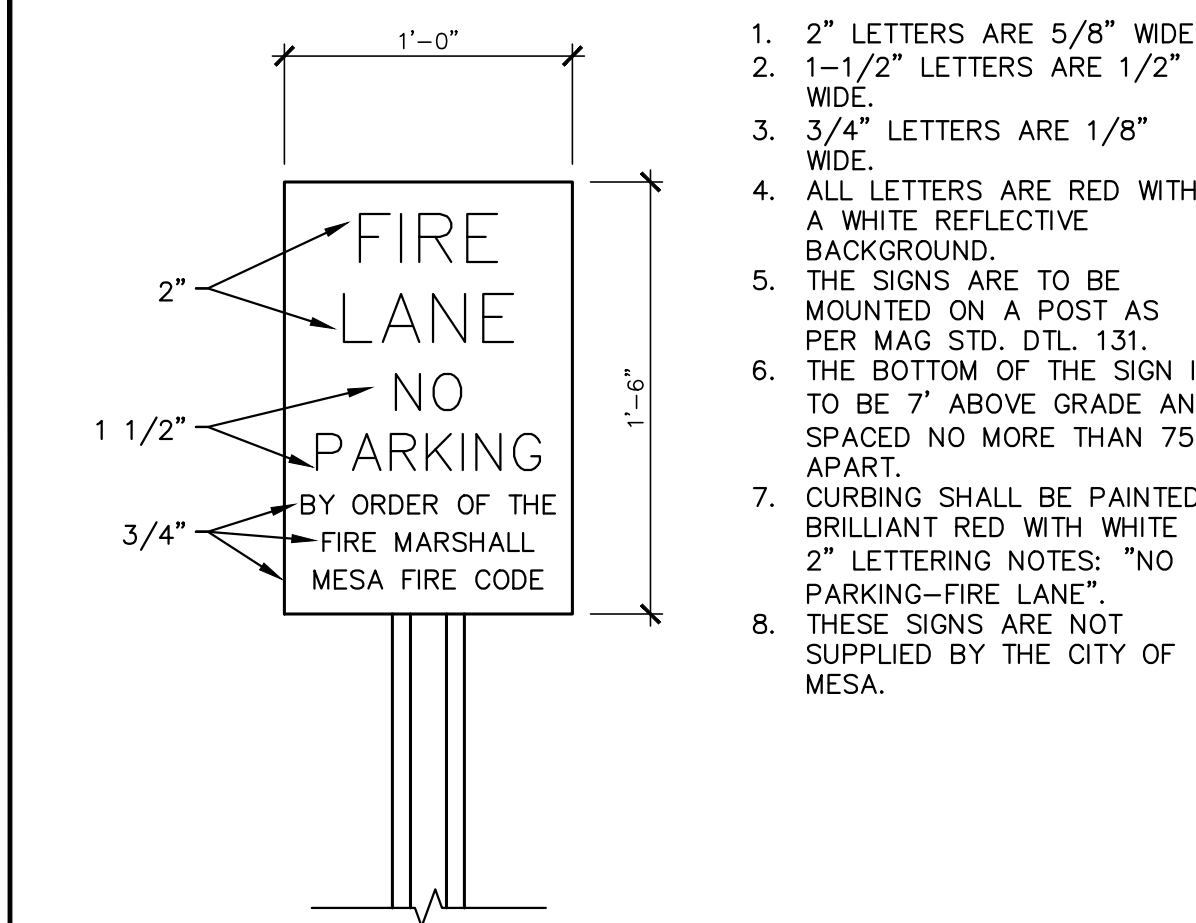
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AS1.02 SCALE: 1/8" = 1'-0"

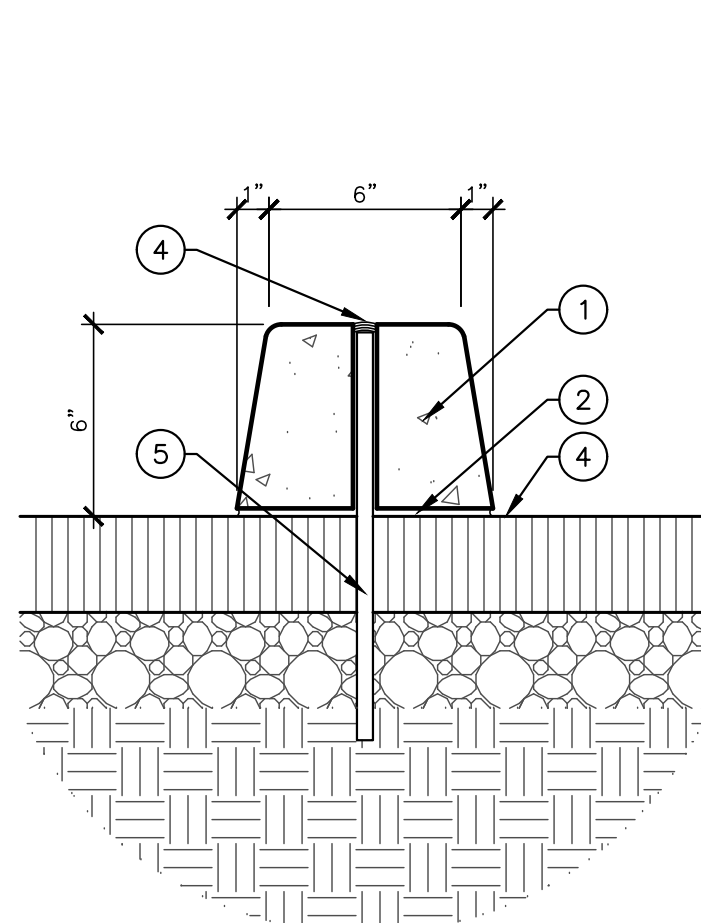
-
- Diagram illustrating the dimensions and components of a reserved parking sign assembly:
- Sign Dimensions:**
 - Width: 2'-0"
 - Height: 3'-0"
 - Mounting Dimensions:**
 - Clearance at top: 1'-0" CLEAR
 - Height from ground to top of sign: 3'-0"
 - Height from ground to bottom of sign: 3'-6"
 - Height from top of sign to B.O. SIGN: 6'-0" MAX.
 - Height from ground to FIN.: 0'-0" FIN.
 - Sign Components:**
 - RESERVED PARKING
 - NO PARKING (Symbol)
 - FOR VEHICLES EQUIPPED WITH AN ON-BOARD DIAGNOSTIC PORT (OBD-II)
 - VAN
 - NO PARKING
 - Callouts:**
 - 1: Sign face
 - 2: Sign header
 - 3: Mounting bracket
 - 4: Mounting hardware

AS1.02 SCALE: 1/2" = 1'-0"

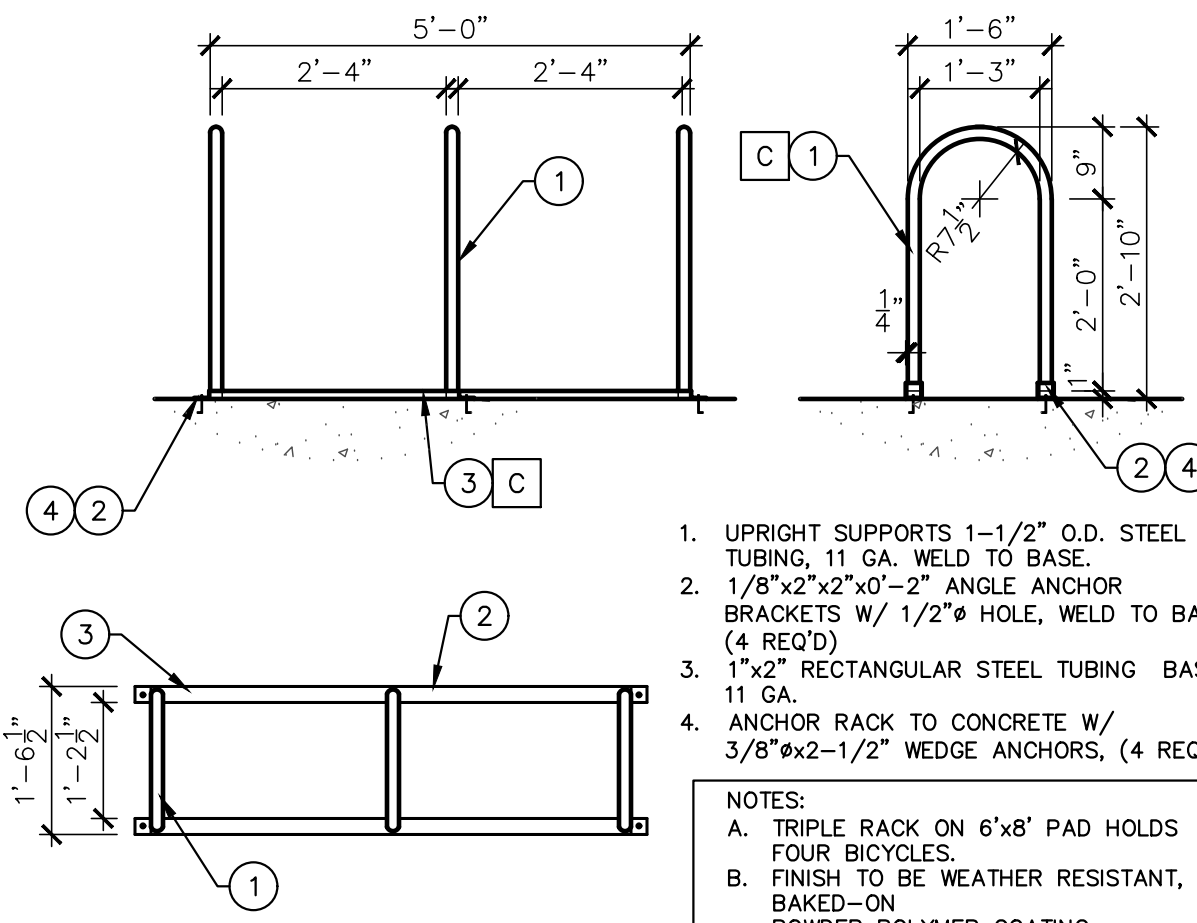
- NOTE:
GRIND ALL WELDS SMOOTH,
PRIME & PAINT.
PAINT ALL METAL COLOR D
REFER TO SHEET A4.01 FOR
COLOR & FINISH DESIGNATIONS.



- 2" LETTERS ARE 5/8" WIDE.
- 1-1/2" LETTERS ARE 1/2" WIDE.
- 3/4" LETTERS ARE 1/8" WIDE.
- ALL LETTERS ARE RED WITH A WHITE REFLECTIVE BACKGROUND.
- THE SIGNS ARE TO BE MOUNTED ON A POST AS PER MAG STD. DTL. 131.
- THE BOTTOM OF THE SIGN IS TO BE 7" ABOVE GRADE AND SPACED NO MORE THAN 75" APART.
- CURBING SHALL BE PAINTED BRILLIANT RED WITH WHITE 2" LETTERING. NOTES: "NO PARKING-FIRE LANE".
- THESE SIGNS ARE NOT SUPPLIED BY THE CITY OF MESA.



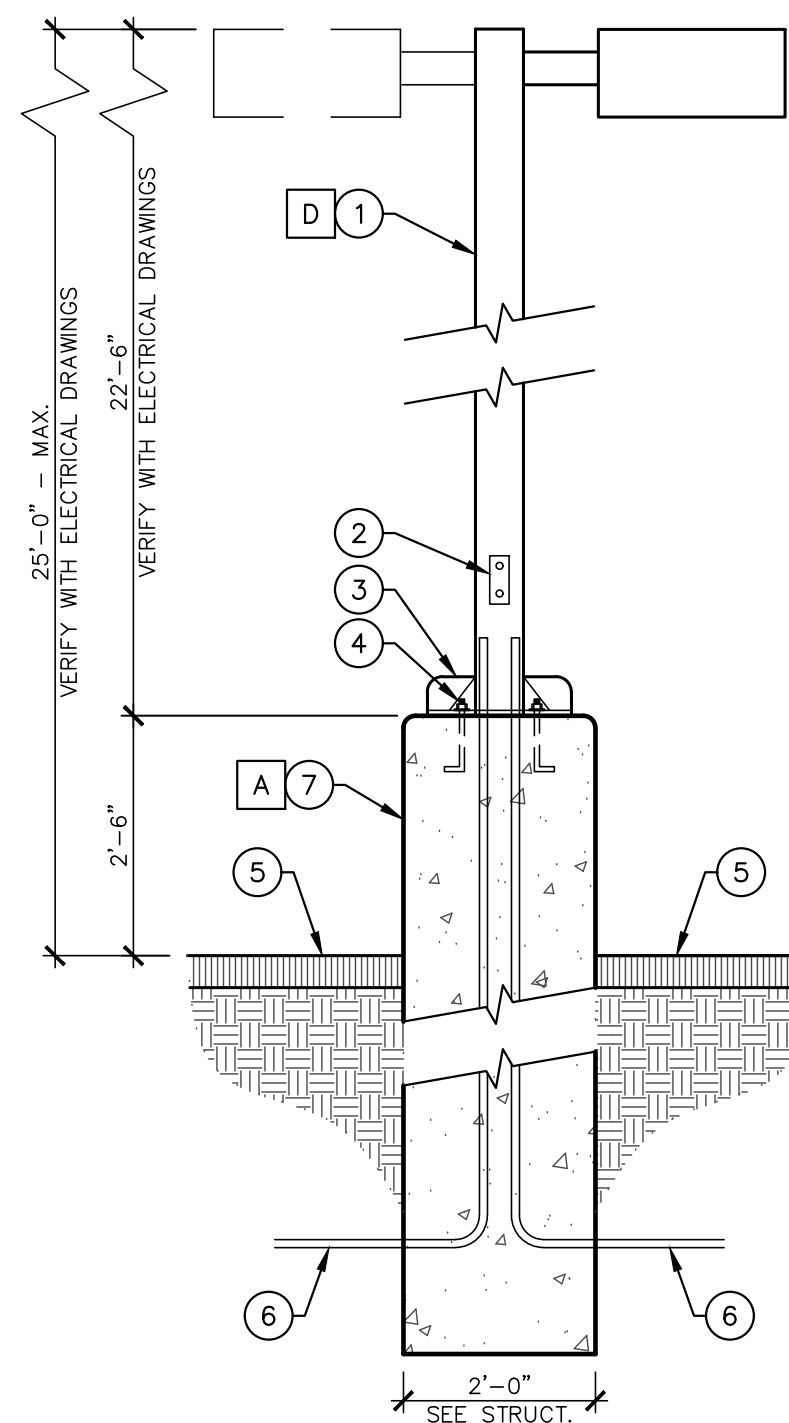
- 3" HIGH x 6'-0" LONG PRECAST WHEEL STOP.
- ASPHALTIC BOND.
- PAVEMENT. - SEE CIVIL DRAWINGS.
- SEALANT (TYP.)
- HOLD DOWN PIN AT ASPHALT PAVING - SEE SPECIFICATIONS.



- UPRIGHT SUPPORTS 1-1/2" O.D. STEEL TUBING, 11 GA. WELD TO BASE.
 - 1/8"x2"x2"x0-2" ANGLE ANCHOR BRACKETS W/ 1/2" HOLE, WELD TO BASE. (4 REQ'D)
 - 1"x2" RECTANGULAR STEEL TUBING BASE, 11 GA.
 - ANCHOR RACK TO CONCRETE W/ 3/8"x2-1/2" WEDGE ANCHORS, (4 REQ'D).
- NOTES:
A. TRIPLE RACK ON 6'x8" PAD HOLDS FOUR BICYCLES.
B. FINISH TO BE WEATHER RESISTANT, BAKED-ON POWDER POLYMER COATING.
C. SEE EXTERIOR ELEVATIONS SHEET A4.01C FOR FINISH DESIGNATIONS.

- POLE MANUFACTURED BY "CEMTEC" OR APPROVED EQUAL W/ LIGHT FIXTURE - DARK BRONZE - SEE ELECTRICAL.
- HANDHOLE (TAMPER-PROOF SCREWS WHERE OVER 150 VOLTS TO GROUND).
- BASE COLLAR WITH GUSSET PLATE GROUT W/ NON-SHRINK GROUT AFTER LEVELING.
- (4) HOT DIPPED GALVANIZED STEEL BOLTS FURNISHED WITH POLE TACK WELD NUTS TO WASHERS AND WASHERS TO BASE PLATE AFTER TIGHTENING BOLTS.
- PAVED SURFACE/FINISHED GRADE AS OCCURS, SEE SITE PLAN.
- PVC CONDUIT W/ BOND WIRE, SEE ELECTRICAL.
- CONCRETE BASE POUR AGAINST UNDISTURBED OR WELL COMPACTED EARTH SEE STRUCTURAL.

- NOTES:
A. EPA RATINGS AND SOIL CONDITIONS SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
B. BONDING CONDUCTOR SHALL BE #6 BARE COPPER.
C. FIXTURE & POLE TO MATCH COLOR D
D. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.

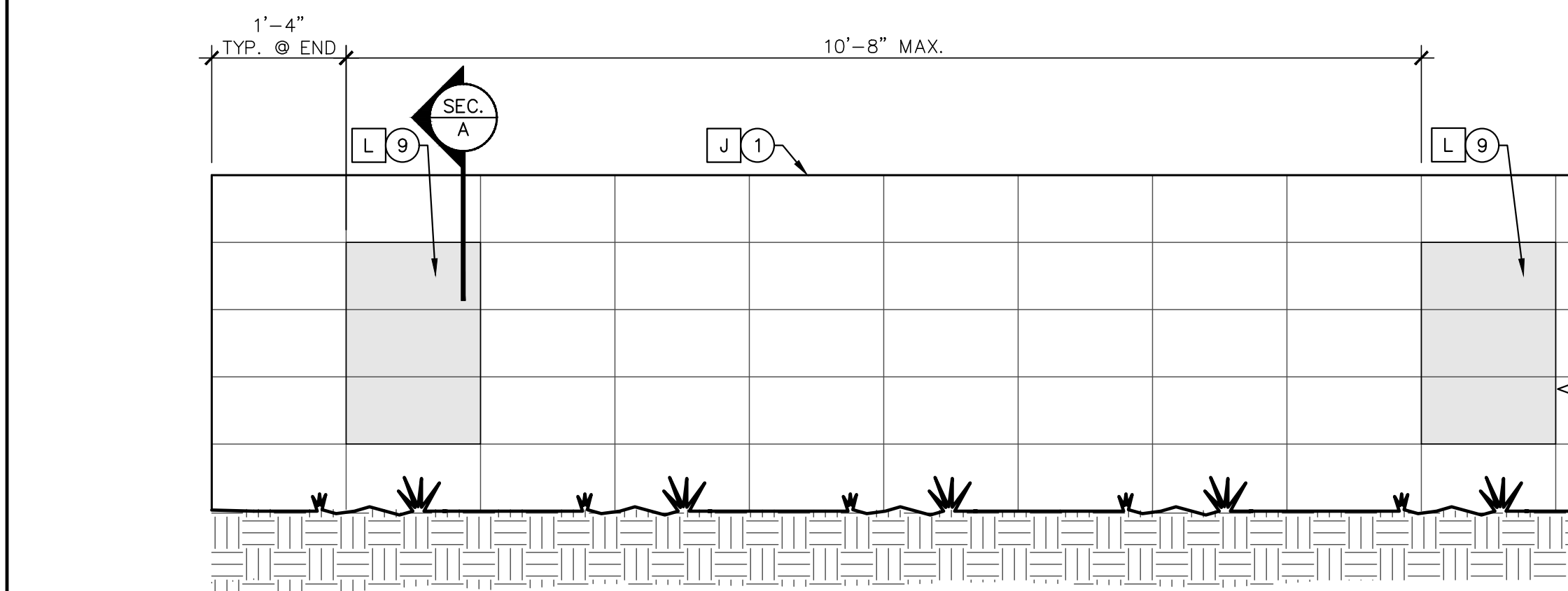


11 FIRE SIGNAGE
SCALE: 1 1/2" = 1'-0"

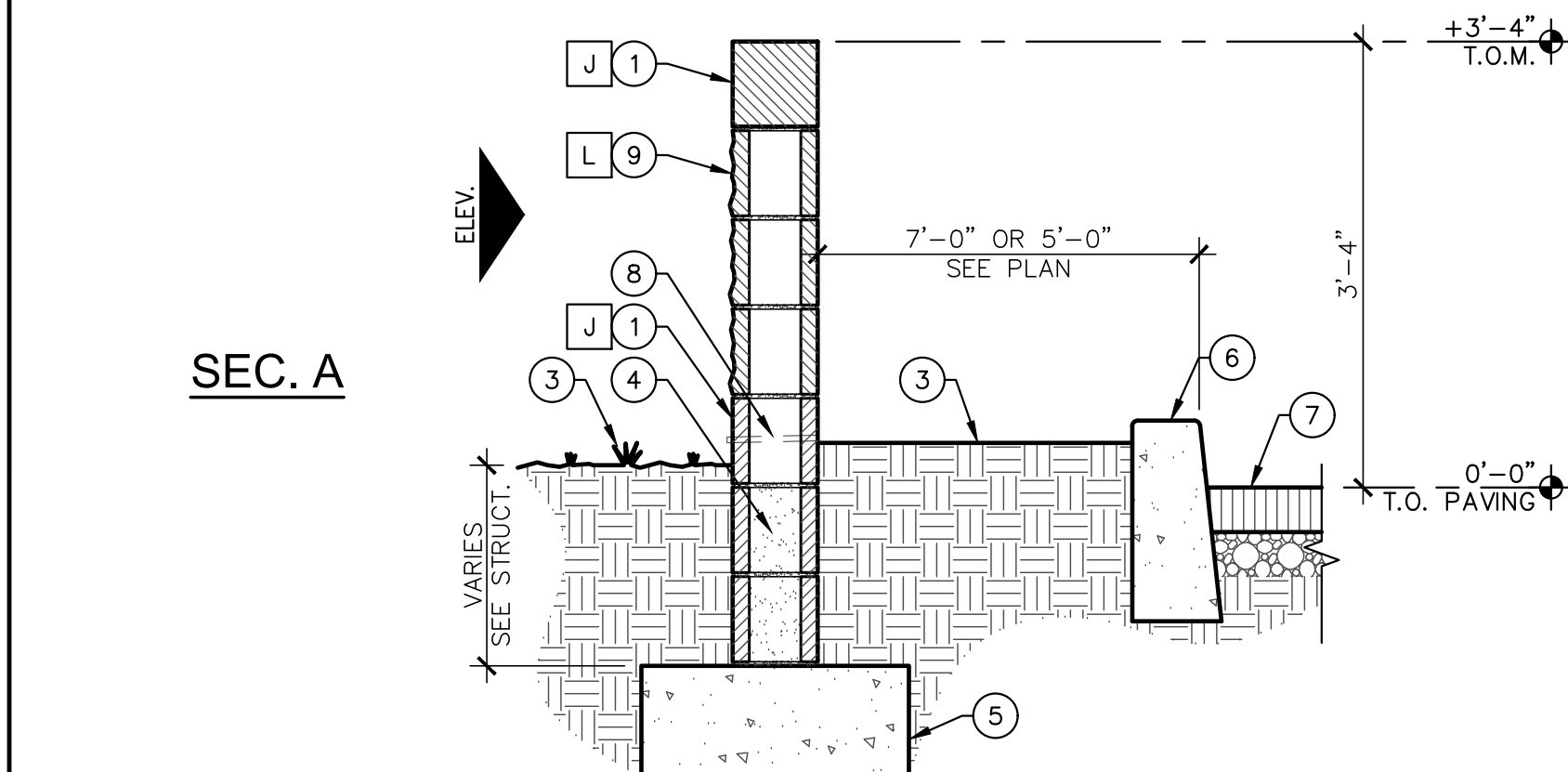
12 CONCRETE WHEEL STOP
SCALE: 2" = 1'-0"

13 BICYCLE RACK
SCALE: 1/2" = 1'-0"

24 SITE POLE LIGHTING FIXTURE
SCALE: 1/2" = 1'-0"



ELEV.

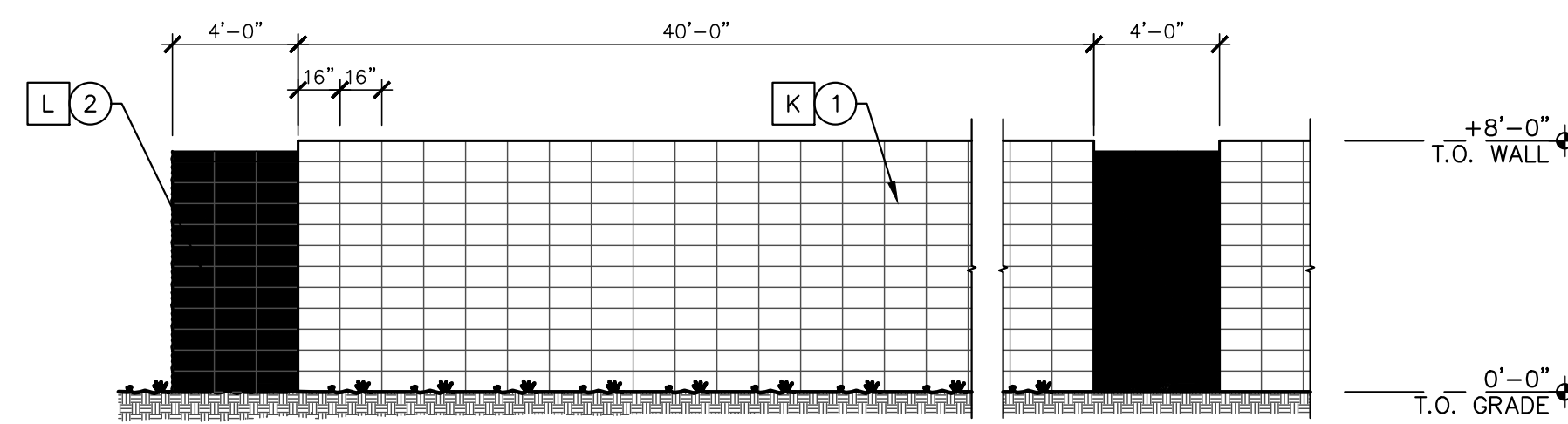


31 PARKING SCREEN WALL - LONG
SCALE: 3/4" = 1'-0"

- 8" SMOOTH FACE CMU - SEE ELEVATIONS FOR COURSING AND PATTERN
- 8" SPLIT FACE CMU - SEE ELEVATIONS FOR COURSING AND PATTERN. CONTINUE SPLIT FACE BLOCK ONE COURSE BELOW FINISH GRADE - MIN.
- GRADE VARIES - SEE CIVIL DRAWINGS.
- GROUT SOLID UP TO FINISH GRADE, TYPICAL.
- CONCRETE FOOTING - SEE STRUCTURAL DRAWINGS.
- CONCRETE CURB - SEE SITE PLAN AND CIVIL DRAWINGS.
- ASPHALTIC CONCRETE OVER A.B.C. FILL - SEE CIVIL DRAWINGS.
- 1/2" DIA. WEEP HOLES @ 2'-0" O.C. AS REQ'D FOR DRAINAGE - SEE CIVIL DRAWINGS.
- 8" SPLIT FACE CMU ACCENT - SEE ELEVATIONS FOR COURSING AND PATTERN.

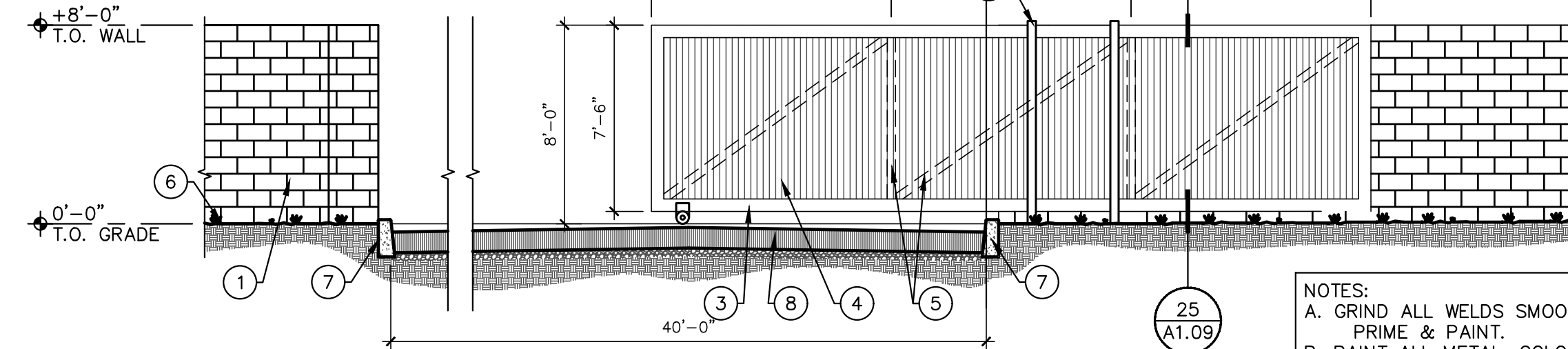
- NOTE:
A. SEE STRUCTURAL FOR REINFORCING.
B. SEE ELEVATION SHEETS FOR COLOR & FINISH DESIGNATIONS.
C. THE HIGHER SECTION OF PARKING SCREEN WALL SHALL BE THE WALL OFFSET CLOSEST TO THE STREETS.

23 BICYCLE RACK CONCRETE PAD
SCALE: 1/2" = 1'-0"



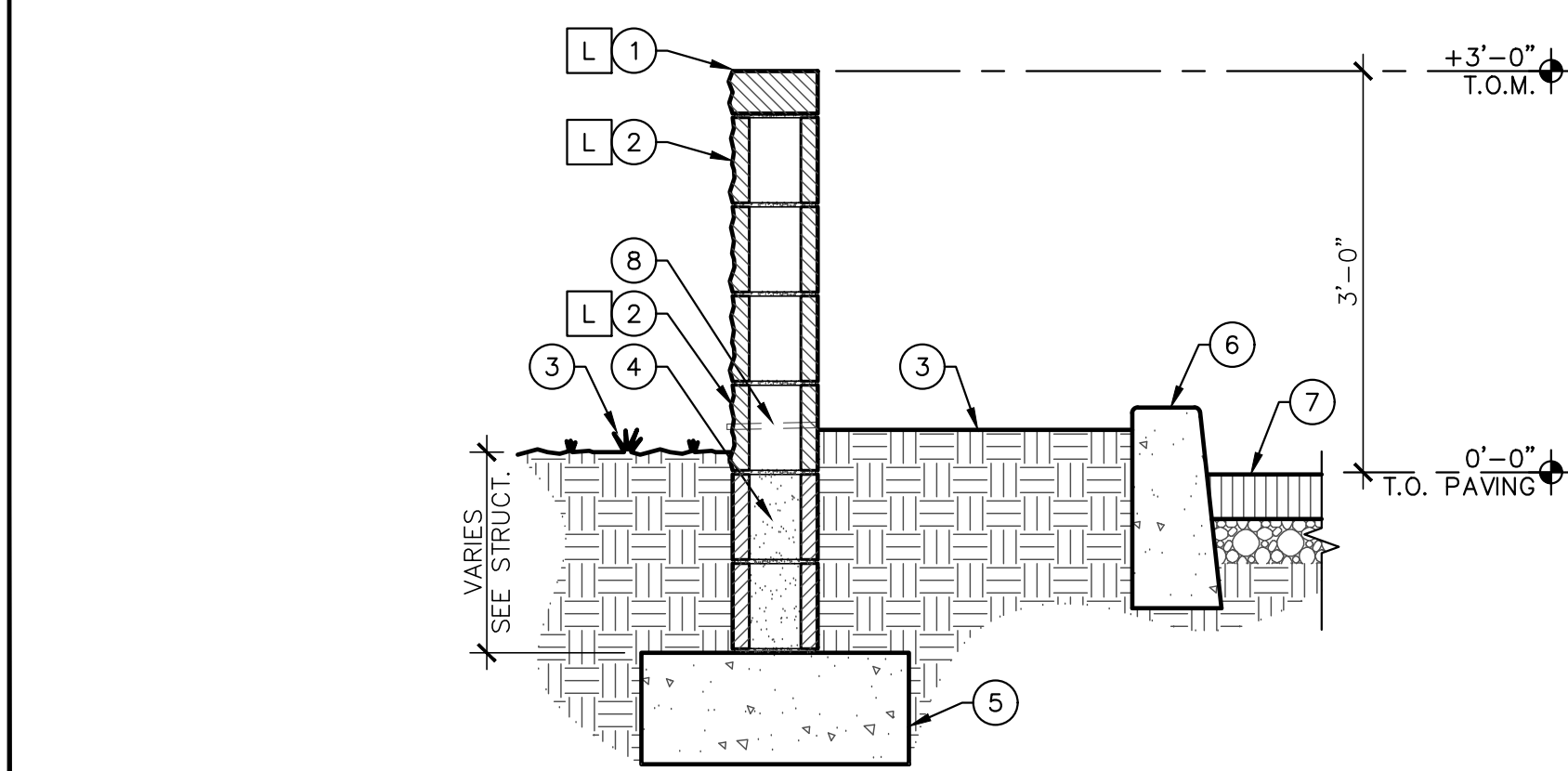
33 SCREEN WALL AT TRUCK COURT
SCALE: 3/16"=1'-0"

- CMU PIER/SCREENWALL - SEE SITE PLAN.
- 4"x4" TUBE STEEL POST - REFER TO STRUCTURAL FOR FOUNDATION.
- 2"x4" TUBE STEEL FRAME - REFER TO STRUCTURAL
- STEEL DECKING WELDED TO FRAME.
- 3"x3" TUBE STEEL WEBS - REFER TO STRUCT.
- GRADE VARIES - REFER TO CIVIL DRAWINGS.
- CONCRETE CURB - SEE SITE PLAN AND CIVIL DRAWINGS.
- ASPHALTIC CONCRETE OVER A.B.C. FILL - REFER TO CIVIL DRAWINGS.



- NOTES:
A. GRIND ALL WELDS SMOOTH, PRIME & PAINT.
B. PAINT ALL METAL, COLOR E.

43 SECURITY SLIDING GATE - OPAQUE
3/16" = 1'-0"



41 PARKING SCREEN WALL - SHORT
SCALE: 3/4" = 1'-0"

- 4" SPLIT FACE CMU CAP
- 8" SPLIT FACE CMU - CONTINUE SPLIT FACE BLOCK ONE COURSE BELOW FINISH GRADE - MIN.
- GRADE VARIES - SEE CIVIL DRAWINGS.
- GROUT SOLID UP TO FINISH GRADE, TYPICAL.
- CONCRETE FOOTING - SEE STRUCTURAL DRAWINGS.
- CONCRETE CURB - SEE SITE PLAN AND CIVIL DRAWINGS.
- ASPHALTIC CONCRETE OVER A.B.C. FILL - SEE CIVIL DRAWINGS.
- 1/2" DIA. WEEP HOLES @ 2'-0" O.C. AS REQ'D FOR DRAINAGE - SEE CIVIL DRAWINGS.

- NOTE:
A. SEE STRUCTURAL FOR REINFORCING.
B. SEE ELEVATION SHEETS FOR COLOR & FINISH DESIGNATIONS.
C. THE HIGHER SECTION OF PARKING SCREEN WALL SHALL BE THE WALL OFFSET CLOSEST TO THE STREETS.
D. SPLIT FACE TO WRAP TO SIDES OF BLOCK AT BOTH ENDS OF WALL.

August 8, 2022

Re: Citizen Participation Plan
For: Greenfield Industrial
Case #: PRS21-01194 / ZON22-00734 / DRB22-00730
Prepared By: DLR Group

Purpose:

The purpose of this Citizen Participation Plan is to inform the citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for the Greenfield Industrial project. This site is located South of McDowell Road and West of Greenfield Road and is an application for Design Review Board Approval and Planning & Zoning Board / City Council Site Plan Approval. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

DLR Group
Attn: Tim Thielke
6225 N 24th Street, Suite 250
Phoenix, AZ 85016
Phone (602) 794-2180
Email – tthielke@dlrgroup.com

Pre-submittal Meeting: The preapplication meeting with City of Mesa planning staff was held on December 16, 2021. Staff reviewed the application and recommended that adjacent property owners within 500 feet and registered Homeowners Associations be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts from their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including
 - Property owners within 500 feet from site
 - Registered Homeowners Association within one half mile of the project
2. All persons listed on the contact list will receive a letter describing the project, project schedule, and siteplan.
3. Neighborhood Associations, Homeowners Associations and Neighbors within 500 feet of the site will be called by telephone to inform them personally of the project and receive comments (optional).
4. Presentations will be made to groups of citizens or neighborhood associations upon request. [All materials such as sign-in lists, comments, and petitions received are copied to the City of Mesa]

Schedule:

Pre-application meeting – December 16, 2021

Formal Design Review Board Application Submittal – July 1, 2022

Design Review Board Hearing – September 28, 2022

Submittal of Citizen Participation Report and Notification materials – TBD

Planning and Zoning Board Hearing - TBD



Citizen Participation Report
Hopewell Development – Greenfield Industrial
ZON22-00731
October 31, 2022

Purpose

The purpose of the Citizen Participation Report is to provide the City of Mesa staff with information regarding the Applicant's efforts to engage citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa for the submittal of a Rezoning, Site Plan Review, and Special Use Permit Application (Application #ZON22-00731) for an approximately 17.8-acre property generally located at the southwest corner of E. McDowell Road and N. Greenfield Road and known as Assessor Parcel Number 141-26-006E (the "Property"). The Application is requesting to develop the Property as an industrial development. More specifically the project request approval of the following from the City of Mesa:

1. Rezoning to remove conditions of approval for Zoning Case #Z80-047;
2. Site Plan review;
3. Design Review; and
4. Special Use Permit

By providing opportunities for citizen participation, the Applicant has ensured that those affected by this Application had an adequate opportunity to learn about and comment on the proposed industrial development project.

Contact Information

The person coordinating the Citizen Participation activities was:

Shaine T. Alleman
Tiffany & Bosco, P.A.
2525 East Camelback Road, 7th Floor
Phoenix, Arizona 85016
602-452-2712 office
602-255-0103 fax
sta@tblaw.com

Actions

In order to provide effective citizen participation in conjunction with this Application, the following actions were taken to provide opportunities for feedback from surrounding property owners:



1. A contact list was developed for citizens and agencies in the area, including:
 - a. Property owners within 500 feet from the Property (for Design Review Board Notification)
 - b. Property owners within 1,000 feet from the Property
 - c. All registered Neighborhood Associations with 1 mile of the project
 - d. Homeowners Associations within ½ mile of the Property.
2. A neighborhood outreach letter was mailed on July 25, 2022 to all property owners within 1000' of the Property, City-registered Neighborhood Associations within 1 mile of the Property, and Homeowners Associations within ½ mile of the Property notifying neighbors of the Application. As a result of that notification letter, we received no responses from surrounding property owners and stakeholders.
3. After discussion with City staff, a neighborhood meeting was not required in connection with this Application.
4. Notice for the Design Review Board was mailed out to September 22, 2022. The notice was sent to all property owners within 500 feet of the subject property, registered neighborhood associations within 1 mile and Homeowner Associations within ½ mile of the Property were included. A copy of the notification letters for the public meetings is included with this Citizen Participation Report.
5. Notice for the Planning & Zoning Board hearing will be mailed on November 1, 2022 and sent to all property owners within 1,000 feet of the subject property, registered neighborhood associations within 1 mile and Homeowner Associations within ½ mile of the Property were included. A copy of the notification letters for the public meetings is included with this Citizen Participation Report.
6. For the public hearing notice, the Applicant posted a 4' x 4' sign on the Property at two (2) locations, as required. The signs were placed on the Property on October 31, 2022, two (2) weeks prior to the Planning & Zoning Board meeting. A notarized document with attached photograph of the sign is attached.

Summary of Concerns, Issues and Problems and Resolutions

There were no major citizen concerns voiced throughout the process.



Schedule

Pre-Submittal Conference	December 16, 2021
Neighborhood Notification Letter Mailed	July 25, 2022
Design Review Board Notification Letter Mailed	September 22, 2022
Design Review Board Hearing	October 11, 2022
P&Z/Council Hearing Notification Letter Mailed	November 1, 2022
Public Hearing Notice Sign Posted	October 31, 2022
Planning and Zoning Board Hearing	November 16, 2022
City Council Introduction Hearing	November 21, 2022
City Council Final Action Hearing	December 1, 2022

Attached Exhibits

- A. Combined notification list consisting of property owners within 1,000 feet from the Property, all registered neighborhood associations with 1 mile of the Property, and homeowners associations within ½ mile of the Property (*for public outreach requirements*).
- B. Map of property owners parcels within 1,000 feet of the Property.
- C. Neighborhood Notification Letter and Exhibits regarding proposed Application mailed on July 25, 2022.
- D. Neighborhood Notification Letter and Exhibits for notification of Design Review Board Public Hearing mailed on September 22, 2022.
- E. Neighborhood Notification Letter and Exhibits for notification of Public Hearing (P&Z and City Council) mailed on November 1, 2022.
- F. Public Notice Sign Posting Affidavit for sign posted on October 31, 2022.

If you have any questions, please feel free to contact me at (602) 452-2712 or at sta@tblaw.com.

Sincerely,

Shaine T. Alleman

Exhibit A

1000' Neighborhood Notification List

Parcel Number	Owner	MAIL_ADDR1	MAIL_CITY	MA MAIL_ZIP
141-25-008A	JHJ OMAHA LLC	PO BOX 7043	CAVE CREEK	AZ 85237
141-25-009A	CARUFEL PROPERTIES V LLC	6532 E RUSTIC DR	MESA	AZ 85215
141-25-079A	WAX PROPERTIES LTD	PO BOX 23506	SAN DIEGO	CA 92193
141-25-079B	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	2812 N NORWALK 105	MESA	AZ 85215
141-25-103A	WAX PROPERTIES LTD	PO BOX 23506	SAN DIEGO	CA 92193
141-25-139	ALLIED FIRE PROPERTIES LLC	2845 N NORFOLK	MESA	AZ 85215
141-25-140	REEB CAPITAL I LLC	2812 N NORWALK STE 105	MESA	AZ 85215
141-25-141	OX ENTERPRISES LLC	1455 E MAGNUM RD	QUEEN CREEK	AZ 85140
141-25-151	PKM REAL ESTATE COMPANY II LLC	300 E 48TH ST	HOLLAND	MI 49423
141-25-187	D L HUBER HOLDING LLC	204 ENNISMORE LN	BRENTWOOD	TN 37027
141-25-188	REAL ESTATE HOLDINGS GROUP LLC	32531 N SCOTTSDALE RD	SCOTTSDALE	AZ 85266
141-25-189	BALLANTYNE OMAHA 2848 LLC	2848 N OMAHA	MESA	AZ 85215
141-25-192	STEPHEN M JAVINETT LIVING TRUST	2962 N NORFOLK	MESA	AZ 85215
141-25-193	STEPHEN M JAVINETT LIVING TRUST	2962 N NORFOLK	MESA	AZ 85215
141-25-209	MESA AIRPARK INVESTMENTS LLC	PO BOX 6128	MESA	AZ 85216
141-25-210	CHIN ALEX W/JACK C/REBECCA J	1847 E MERLOT ST	GILBERT	AZ 85298
141-25-211	CESARS FLOORING COVERING INC	2942 N GREENFIELD RD SUITE 141	MESA	AZ 85215
141-25-212	LUNA FAMILY LLLP	2764 E LAUREL ST	MESA	AZ 85213
141-25-213	RSDMK HOLDINGS LLC	3810 E. KNOLL ST.	MESA	AZ 85215
141-25-214	RSDMK HOLDINGS LLC	3810 E. KNOLL ST.	MESA	AZ 85215
141-25-215	PAOLA AND JEFF SCARBERRY LIVING TRUST	5345 E MCLELLAN RD UNIT 21	MESA	AZ 85205
141-25-216	EPIC INVESTMENTS LIMITED PARTNERSHIP	10040 E HAPPY VALLEY RD UNIT 347	SCOTTSDALE	AZ 85255
141-25-227	GREENFIELD AIRPARK LLC	7689 E PARADISE LN STE 7	SCOTTSDALE	AZ 85260
141-25-285	ALLEGRETTI & COMPANY	20555 DEVONSHIRE ST UNIT 375	CHATSWORTH	CA 91311
141-25-286	GB HOLDING COMPANY LLC	7009 E IVYGLEN ST	MESA	AZ 85207
141-26-001A	MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ 85211
141-26-004	MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ 85211
141-26-006D	MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ 85211
141-26-006E	OTTOSEN DONALD R TR	105 S 28TH ST	PHOENIX	AZ 85034
141-26-007	MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ 85211
141-26-009	BKM MESA RIDGE 913 LLC	1701 QUAIL ST STE 100	NEWPORT BEACH CA	92660
141-26-010	BKM MESA RIDGE 913 LLC	1701 QUAIL ST STE 100	NEWPORT BEACH CA	92660
141-26-011A	AZ COLLECTOR CARS LLC	2401 W BELL RD	PHOENIX	AZ 85023
141-26-012A	VENTURE WALK ARIZONA LLC	3216 GREY HAWK CT	CARLSBAD	CA 92010

1000' Neighborhood Notification List

141-26-013A	EWING IRRIGATION PRODUCTS INC	3441 E HARBOUR DR	PHOENIX	AZ	85034
141-26-014	FLATHERS FAMILY HOLDINGS INC	20292 E ACRE PL	ORANGE	CA	92869
141-26-015	TWELVE FORTY-NINE LLC	16009 E CHOLLA DR	FOUNTAIN HILLS	AZ	85268
141-26-016	J&R REPAIR SERVICE OF ARIZONA LLC	29236 N RED FINCH DR	SAN TAN VALLEY	AZ	85143
141-26-017	BKM MESA RIDGE 913 LLC	1701 QUAIL ST STE 100	NEWPORT BEACH	CA	92660
141-26-018	BKM MESA RIDGE 913 LLC	1701 QUAIL ST STE 100	NEWPORT BEACH	CA	92660
141-26-019	BKM MESA RIDGE 913 LLC	1701 QUAIL ST STE 100	NEWPORT BEACH	CA	92660
141-26-020	BKM MESA RIDGE 913 LLC	1701 QUAIL ST STE 100	NEWPORT BEACH	CA	92660
141-26-024	GRANT PROPERTIES INC	1004 W TAFT AVE STE 150	ORANGE	CA	92865
141-26-025	TWELVE FORTY NINE LLC	16009 E CHOLLA DR	FOUNTAIN HILLS	AZ	85268
141-26-026	TRUCK TOWN INC/GRANT PROPERTIES INC	1004 W TAFT AVE STE 150	ORANGE	CA	92865
141-26-087	KRUPNIK RICHARD L	4148 E NORA CIR	MESA	AZ	85215
141-26-088	STRATTON FAMILY LIVING TRUST	4130 E NORA CIR	MESA	AZ	85215
141-26-091	JONES JAMES H/BETTE R	4135 E NORA CIR	MESA	AZ	85215
141-26-092	MARKELL AND ANNELISSA STAFFIERI 2013 FAMILY TRU	4153 E NORA CIR	MESA	AZ	85215
141-26-093	CORMIER ERLENE HELEN	4152 E NORTHRIDGE CIR	MESA	AZ	85215
141-26-094	LEYBOVICH BENJAMIN/PATRISHA AFTON	4134 E NORTHRIDGE CIR	MESA	AZ	85215
141-26-097	WEISER STEVEN JOE/KRISTA CHARLENE	4133 E NORTHRIDGE CIR	MESA	AZ	85215
141-26-098	DEHAVEN TERRESSA G/BRAD	4151 E NORTHRIDGE CIR	MESA	AZ	85215
141-26-099	FIERRO TROY/DARCY	4150 E NORCROFT CIR	MESA	AZ	85215
141-26-100	HARRISON JOHN/BRENNAN HEIDI A	4132 E NORCROFT CIR	MESA	AZ	85215
141-26-103	ROFF MARGARET/KEVIN	4135 E NORCROFT CIR	MESA	AZ	85215
141-26-104	PRICE KEITH R	4157 E NORCROFT CIR	MESA	AZ	85215
141-26-106	ESTATES ON MCDOWELL COMMUNITY ASSOCIATION	4645 E COTTON GIN LOOP	PHOENIX	AZ	85040
141-26-107	ESTATES ON MCDOWELL COMMUNITY ASSOCIATION	4645 E COTTON GIN LOOP	PHOENIX	AZ	85040
141-26-108	ESTATES ON MCDOWELL COMMUNITY ASSOCIATION	4645 E COTTON GIN LOOP	PHOENIX	AZ	85040
141-36-001E	MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
141-36-004	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ	85745
141-36-005	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ	85745
141-36-006	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ	85745
141-36-007	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ	85745
141-36-008	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ	85745
141-36-009	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ	85745
141-36-010	TRENDSTAR LLC	2541 E UNIVERSITY DR	PHOENIX	AZ	85034
141-36-011	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ	85745

1000' Neighborhood Notification List

141-36-012	JACKMAC LLC	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-013	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-014	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-015	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-016	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-017	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-018	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-019	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-020	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-021	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-022	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-023	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-024	HATFIELD DERIK/RACHEL LEASE	7842 E WILLET TA ST	MESA	AZ 85207
141-36-025	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-026	DISIVESTRO RAYMOND F JR	3540 E AMELIA	PHOENIX	AZ 85018
141-36-027	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-028	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-029	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-030	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-031	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-032	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-033	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-034	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-035	KIM & BARRY'S BUILDING LLC (LEASE)	2711 N 24TH ST	PHOENIX	AZ 85008
141-36-036	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-037	WAGNON JOSEPH/LADEGARD JILLIAN	201 E KEIM DR	PHOENIX	AZ 85012
141-36-038	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-039	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-040	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-041	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-042	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-043	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-044	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-36-045	REILLY AVIATION LLC (LEASE)	4165 W WINTERWASH DR	TUCSON	AZ 85745
141-37-009G	S R P A I & P D	PO BOX 52025	PHOENIX	AZ 85072

1000' Neighborhood Notification List

141-37-009K

BOEING COMPANY

5000 E MCDOWELL RD MC M 541-F118 MESA

AZ 85215

Registered Neighborhoods and City of Mesa					
HOA Name	First Name	Mail Address	City	State	Zip
SOMERSET ESTATES	Larry Tyler	3821 E PALM CIR	MESA	AZ	85207
HERMOSA GROVES NORTH COMMUNITY ASSOCIATION	Dustin Snow	4135 S Power Rd SUITE 122	MESA	AZ	85212
ROSEWOOD ESTATES COMMUNITY ASSOCIATION	Bob Brown	7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
SOMERSET ESTATES HOMEOWNERS ASSOCIATION	HEYWOOD REALTY AND INVESTMENT	42 S. HAMILTON PL. SUITE 101	GILBERT	AZ	85233
SPYGLASS ESTATES HOMEOWNERS ASSOCIATION, NO. 1	Amanda Brown	3802 N. 53rd Avenue Suite 140	PHOENIX	AZ	85031
VILLA TUSCANO HOMEOWNERS ASSOCIATION	DAVID M DAY	2011 N Lemon St	MESA	AZ	85215
VISTA ESTANCIA HOMEOWNERS ASSOCIATION, INC.	HEYWOOD REALTY AND INVESTMENT	42 S. HAMILTON PL. SUITE 101	GILBERT	AZ	85233
MONTANA DORADA HOMEOWNERS ASSOCIATION, INC.	Cornerstone Property Services	4360 E Brown Road Suite 108	MESA	AZ	85205

ACC LINK

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08963333>

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=10835609>

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=07433811>

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=01848439>

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=10895939>

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=09460713>

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=09787940>



EXHIBIT B

Map

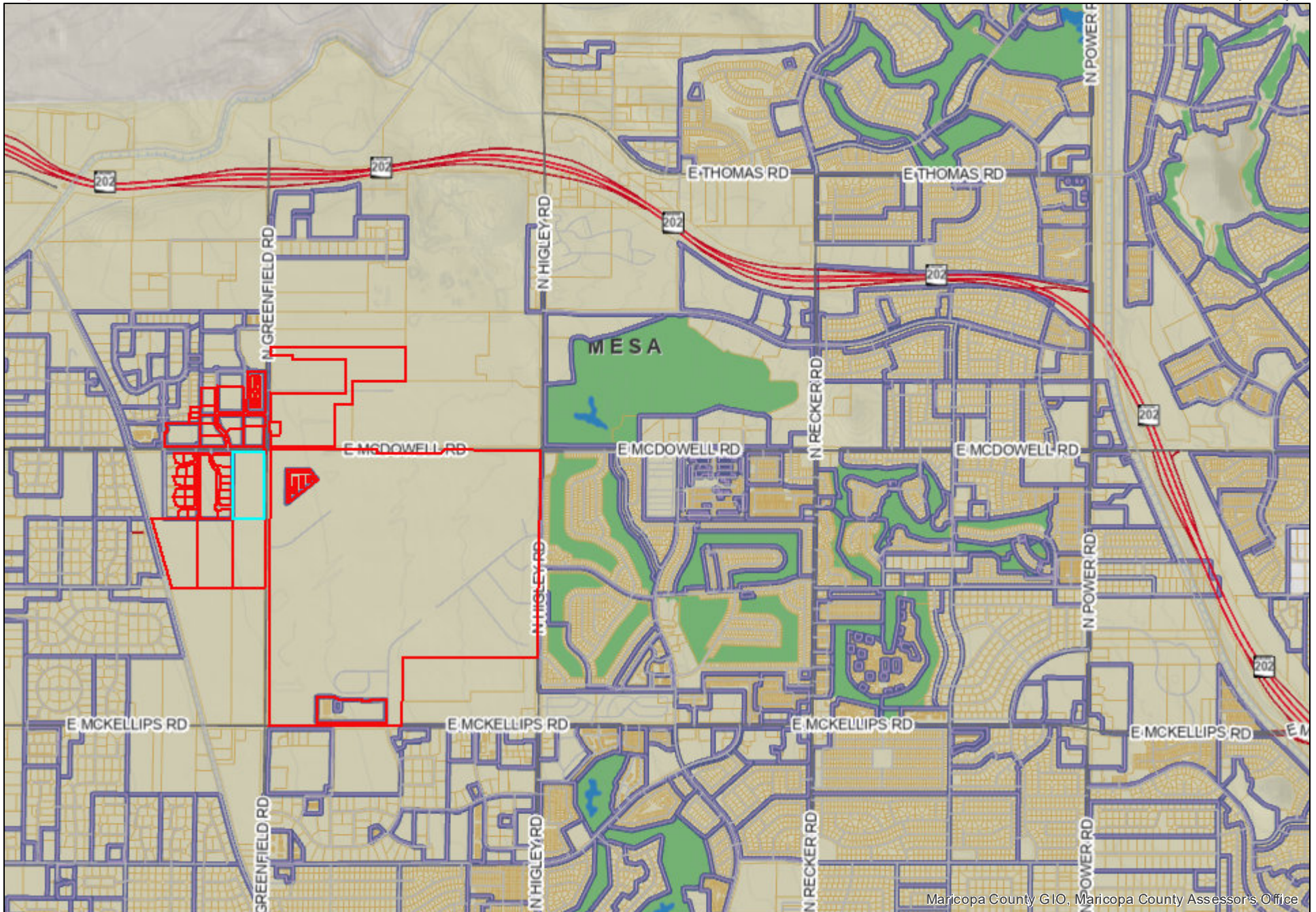


EXHIBIT C



DLR Group inc.
an Arizona corporation

6225 North 24th Street, Suite 250
Phoenix, AZ 85016

July 25, 2022

Re: Citizen Participation Notification
For: Greenfield Industrial
Case #: ZON22-00734 / DRB22-00730
Prepared By: DLR Group

Dear Neighbor,

We have applied for **Design Review** and **Site Plan Review** for the property located at the SWC of McDowell Road and Greenfield Road. This request is for development of a new industrial project with three buildings totaling 278,850 sf of building area on 16.58 acres of vacant land. The case numbers assigned to this project are **DRB22-00730** and **ZON22-00734**.

This letter is being sent to all property owners within 1,000 feet of the property and registered HOA's at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602-381-8580 or e-mail me at tthielke@dlrgroup.com.

The **Design Review Board application** (Case #DRB22-00730) will be scheduled for consideration by the Mesa Design Review Board at their meeting held on September 13, 2022 in the Lower Level of the City Council Chambers. The meeting will begin at 4:30 p.m.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.**

Public participation will be available electronically and telephonically. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The **Planning and Zoning application** for Site Plan Review (Case #ZON22-00734) will be scheduled for consideration by the Planning and Zoning Board at their meeting held on September 28, 2022 in the Upper Level of the City Council Chambers. The meeting will begin at 4:00 p.m.

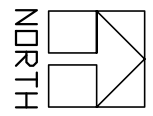
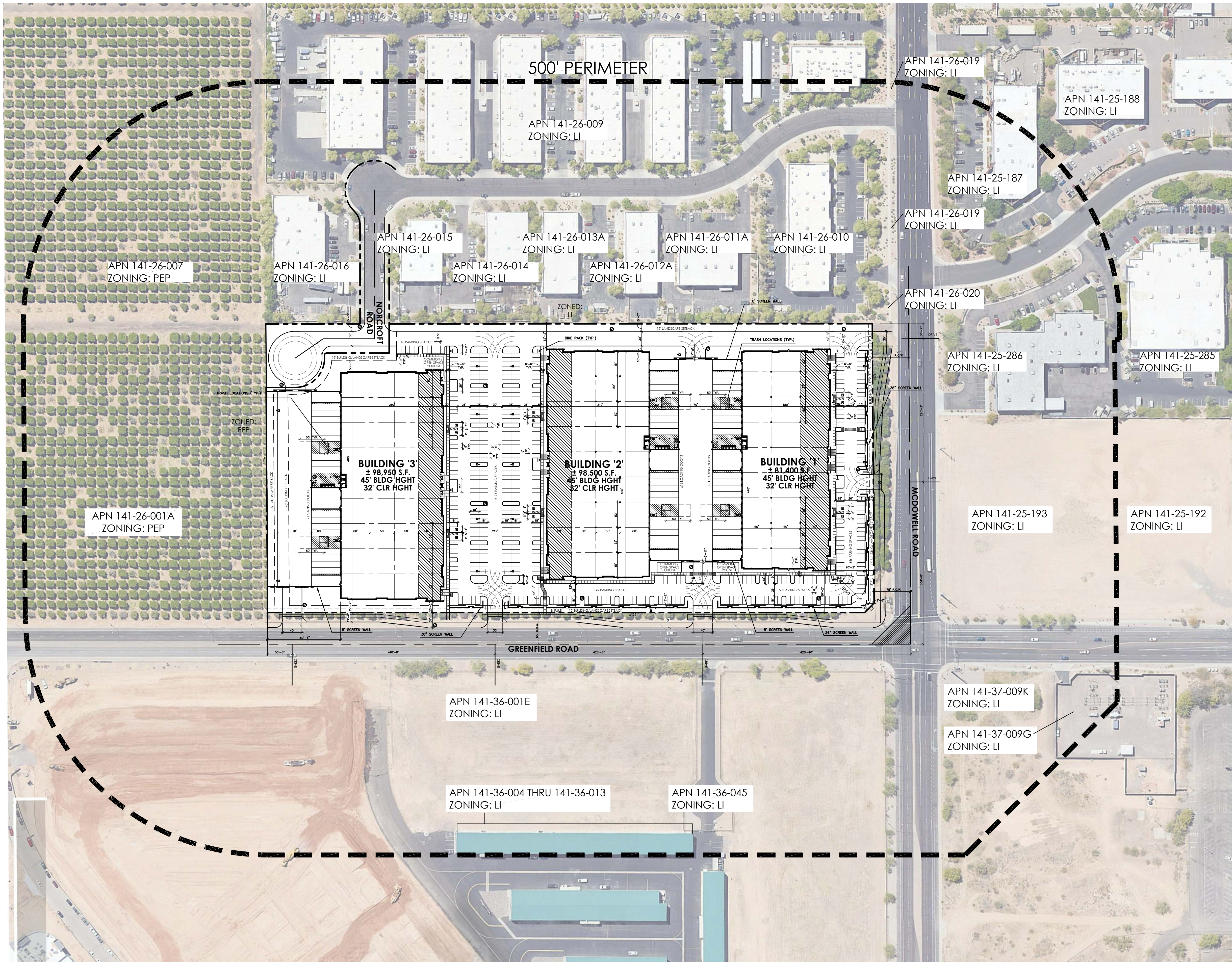
The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. The meetings may also be watched on local cable Mesa channel 11, online at Mesa11.com/live or <https://mesa11.zoom.us/j/5301232921>

Public participation will be available electronically and telephonically. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

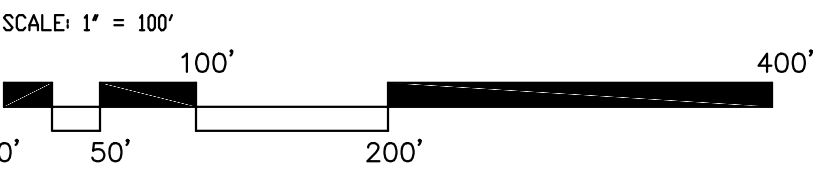
For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Robert Mansolillo of their Planning Division staff. He can be reached at 480-644-3952 or Robert.mansolillo@mesaaz.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

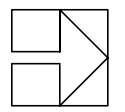
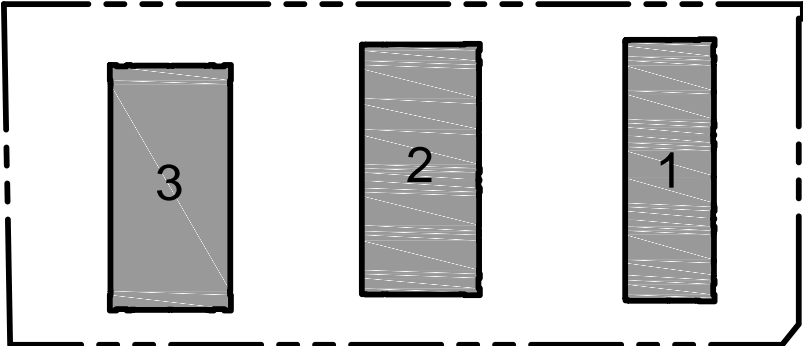
Sincerely,
Tim Thielke, AIA
DLR Group

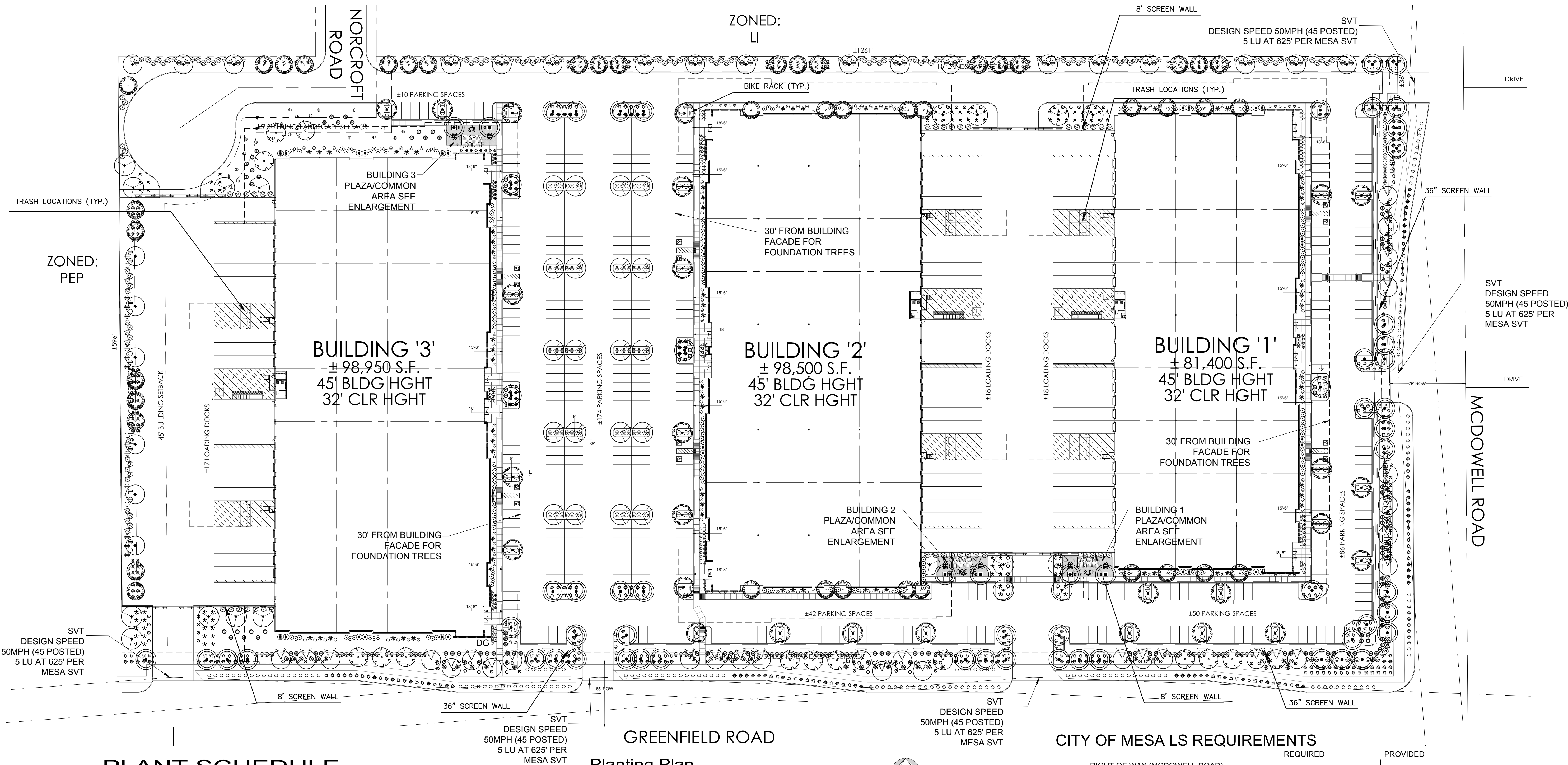


PROPERTIES WITHIN 500 FT PLAN



KEY PLAN





PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
TREES					
	Acacia Aneura	Mulga	24" Box	27	Std Trunk Dense Canopy
	Acacia Salicina	Willow Acacia	24" Box	24	Std Trunk Dense Canopy
	Eucalyptus papuana	'Ghost Gum' Eucalyptus	24" Box	18	Std Trunk Dense Canopy
	Caesalpinia cocalaco	Cascalote	15 Gal	12	Multi-Trunk Dense Canopy
	Pistacia 'Red Push'	'Red Push' Pistache	24" Box	20	Std Trunk Dense Canopy
	Quercus virginiana	Southern Live Oak	36" Box	63	Std Trunk Dense Canopy
	Sophora secundiflora	Texas Mountain Laurel	15 Gal	44	Multi-Trunk Dense Canopy
	Ulmus parvifolia	Evergreen Elm	24" Box	31	Std Trunk Dense Canopy
ACCENTS & VINES					
	Aloe barbadensis	Medicinal Aloe	5-Gal	75	Yellow Flower
	Bougainvillea 'Torch Glow'	'Torch Glow' Bougainvillea	5-Gal	101	As Per Plan
	Bouteloua 'Blonde Ambition'	'Blonde Ambition' Grass	5-Gal	156	As Per Plan
	Chamaerops humilis	Mediterranean Fan Palm	5-Gal	68	Multi-Trunk
	Dasylirion wheeleri	Desert Spoon	5-Gal	63	As Per Plan
	Hesperaloe parviflora 'Perla'	Brakelights Red Yucca	5-Gal	420	As Per Plan
SHRUBS					
	Dodonaea viscosa	Hopseed Bush	5-Gal	123	As Per Plan
	Leucophyllum langmaniae 'Lynns Legacy'	'Lynns Legacy' Sage	5-Gal	167	As Per Plan
	Leucophyllum langmaniae 'Rio Bravo'	'Rio Bravo' Sage	5-Gal	197	As Per Plan
	Ruellia peninsularis	Baja Ruellia	5-Gal	178	As Per Plan
	Tecoma x 'Orange Jubilee'	Orange Jubilee Vine	5-Gal	32	As Per Plan

Planting Plan

SCALE: 1"=50'-0"



GROUND COVERS					
	Acacia 'Desert Carpet'	Desert Carpet Acacia	1-Gal	24	As Per Plan
	Aloe 'Blue Elf'	'Blue Elf' Aloe	1-Gal	123	As Per Plan
	Callistemon 'Little John'	'Little John' Bottle Brush	1-Gal	111	As Per Plan
	Eremophila 'Outback Sunrise'	'Outback Sunrise' Emu	1-Gal	204	As Per Plan
	Myoporum parvifolium	Myoporum	1-Gal	90	As Per Plan
	Lantana montevidensis	Purple Trailing Lantana	1-Gal	103	As Per Plan
MISCELLANEOUS					
	Decomposed Granite - (Size: 1/2" Screened - Color: Mahogany Brown)				
2" depth in all planting areas (typ)					
	Synthetic Turf				
Arizona Artificial Lawns- Coronado Platinum Synthetic Turf					

Note:

- The landscape shall utilize a "NATURAL" maintenance program in accordance with the best management practice of the landscaping industry. 11-33-2(I)4
- Required trees shall be minimum size as specified in the Arizona nursery association "recommended tree specifications" latest edition. 11-33-2(B)2
- All landscape material installed shall be maintained by owner/ or lessee in accordance with the approved landscape plan 11-33-3(I) 2&3
- All trees and shrubs located in the line-of-sight will be maintained for a clear area between 3'-7" and show line of sight on landscape plans.
- required landscape areas shall be free from encroachment by any use, structure, vehicle, or feature not a part of the landscaping design 11-33-3-(A)
- Backflow preventers 2" or larger shall be screened with landscape material located within a 6' radius of the backflow preventers (all backflow preventers less than 2" shall be placed in a wire mesh basket and painted green. (The Police Department's Crime Prevention Division has requested the change to green o discourage theft.)

CITY OF MESA LS REQUIREMENTS

	REQUIRED	PROVIDED
RIGHT OF WAY (MCDOWELL ROAD) - 516 LN FT TREES	1 Tree/4 Shrub per 25 LF 21	21
SHRUBS	84	168
RIGHT OF WAY (GREENFIELD ROAD) - 1,163 LN FT TREES	1 Tree/4 Shrub per 25 LF 51	51
SHRUBS	204	351
PARKING LOT ISLAND	1 Tree/3 Shrub per Island 71	71
TREES	213	213
SHRUBS		
NON-SINGLE RESIDENCE PERIMETER WEST PROPERTY LINE 1,261 LN FT TREES	3 Tree/20 Shrub per 100 LF (Min.50% Vegetative Coverage) 38 (50% 24" Box) 253	38 (19-24" Box) 253
SHRUBS		
NON-SINGLE RESIDENCE PERIMETER SOUTH PROPERTY LINE 595 LN FT TREES	3 Tree/20 Shrub per 100 LF (Min.50% Vegetative Coverage) 18 (50% 24" Box) 119	18 8-24" Box) 121
SHRUBS		
BUILDING 1 FOUNDATION TREES 868' (NOT INCLUDING TRUCK COURT)	1 Tree per 50 LF 18 2	18 4
BUILDING 2 FOUNDATION TREES 968' (NOT INCLUDING TRUCK COURT)	1 Tree per 50 LF 20 2	20 2
BUILDING 3 FOUNDATION TREES 1,015' (NOT INCLUDING TRUCK COURT)	1 Tree per 50 LF 21 3	25 4
TREES		
SHRUBS		
OPEN SPACE AREA (NON PARKING, PERIMETER OR STREETS) 51,408 SQ FT	REQUIRED 25,704 = 50%	PROVIDED 26,650 = 51.8%
PLANT MATERIALS		
EVERGREEN TREES	38	100 SQ FT 3,800 SQ FT
SHADE TREES	3	50 SQ FT 150 SQ FT
LARGE SHRUB	161	50 SQ FT 8,050 SQ FT
MEDIUM SHRUB	238	25 SQ FT 5,950 SQ FT
EVERGREEN GROUNDCOVER	348	25 SQ FT 8,700 SQ FT
		TOTAL 26,650 SQ FT



BUILDING 1 - COLOR RENDERING
SCALE: N.T.S.



September 22, 2022

RE: Hopewell Development; 4329 E. McDowell Road, Mesa, Arizona 85215
Design Review Board Hearing (DRB22-00730)

Dear Neighbor,

We have applied for a Design Review Application for the property located at 4329 E. McDowell Road, Mesa 85215. As part of this request, we are required to be heard and reviewed by the City of Mesa Design Review Board. This request is for development of a light industrial use. The case number assigned to this project is DRB22-00730.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602-452-2712 or e-mail me at sta@tblaw.com.

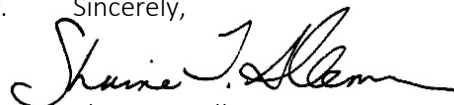
This application will be scheduled for consideration by the Mesa Design Review Board at its meeting held on October 11th, 2022 in the City Council Chambers at 57 East First Street. The meeting will begin at 4:30 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

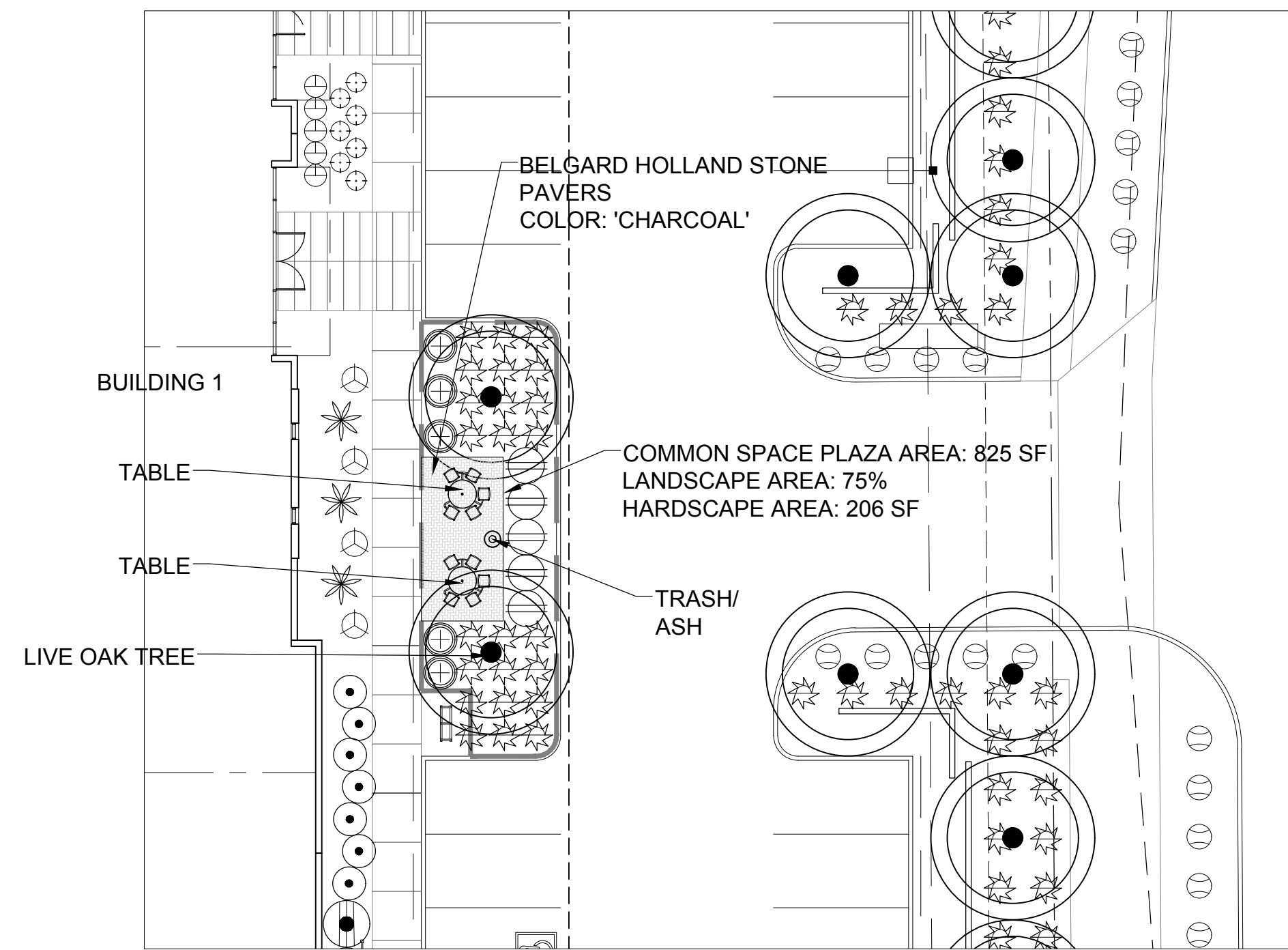
For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Chloe Durfee Daniel of their Planning Division staff. She can be reached at 480-644-6714 or Chloe.Durfee.Daniel@MesaAZ.Gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, correspondence to the new owner.

Sincerely,

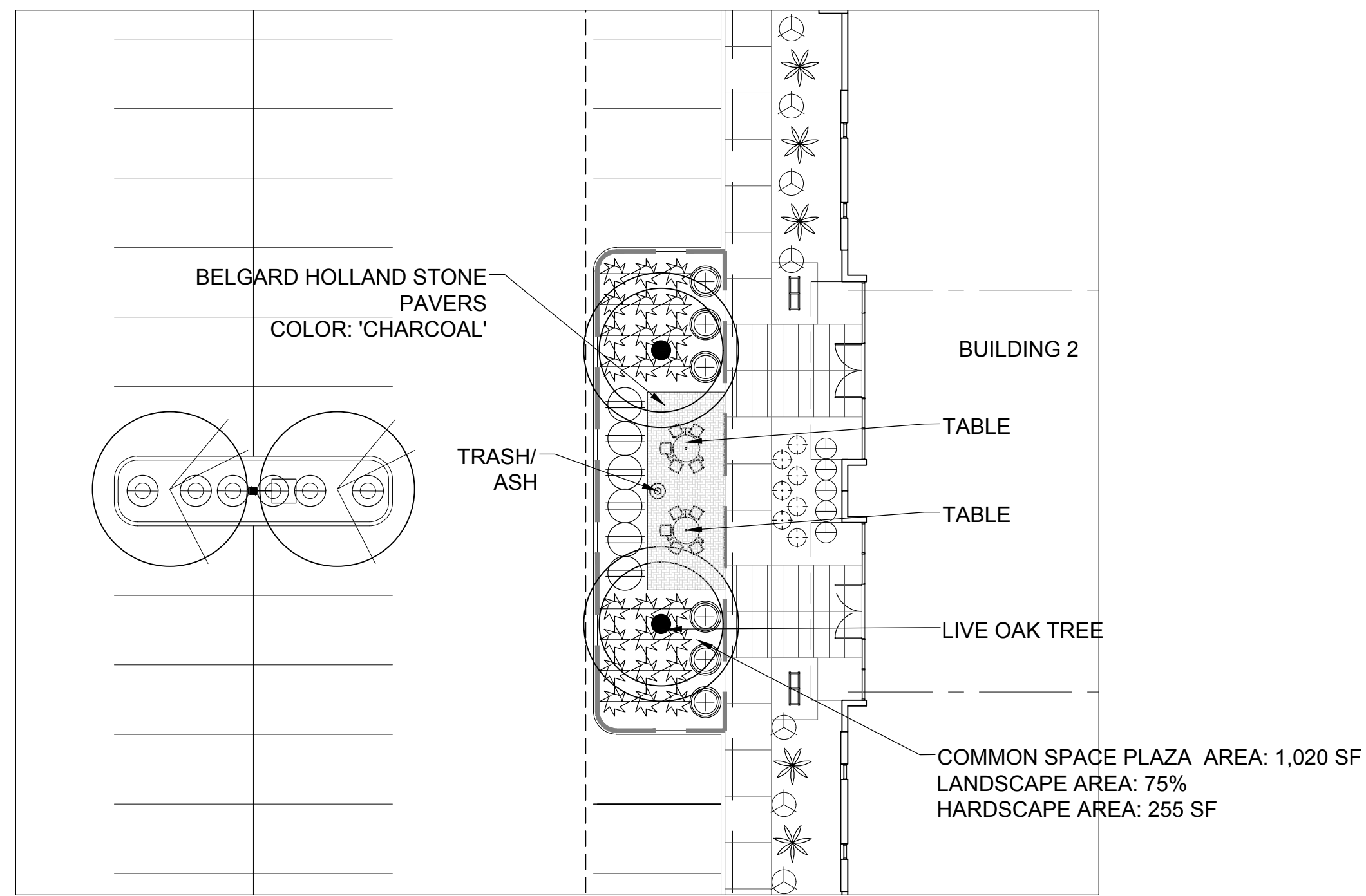
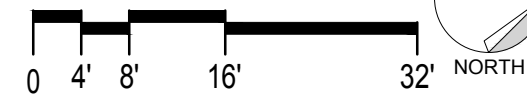

Shaine T. Alleman





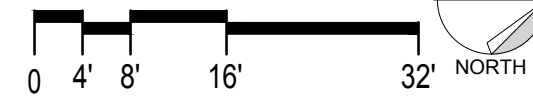
BUILDING 1 PLAZA/COMMON AREA

SCALE: 1/16"=1'-0"

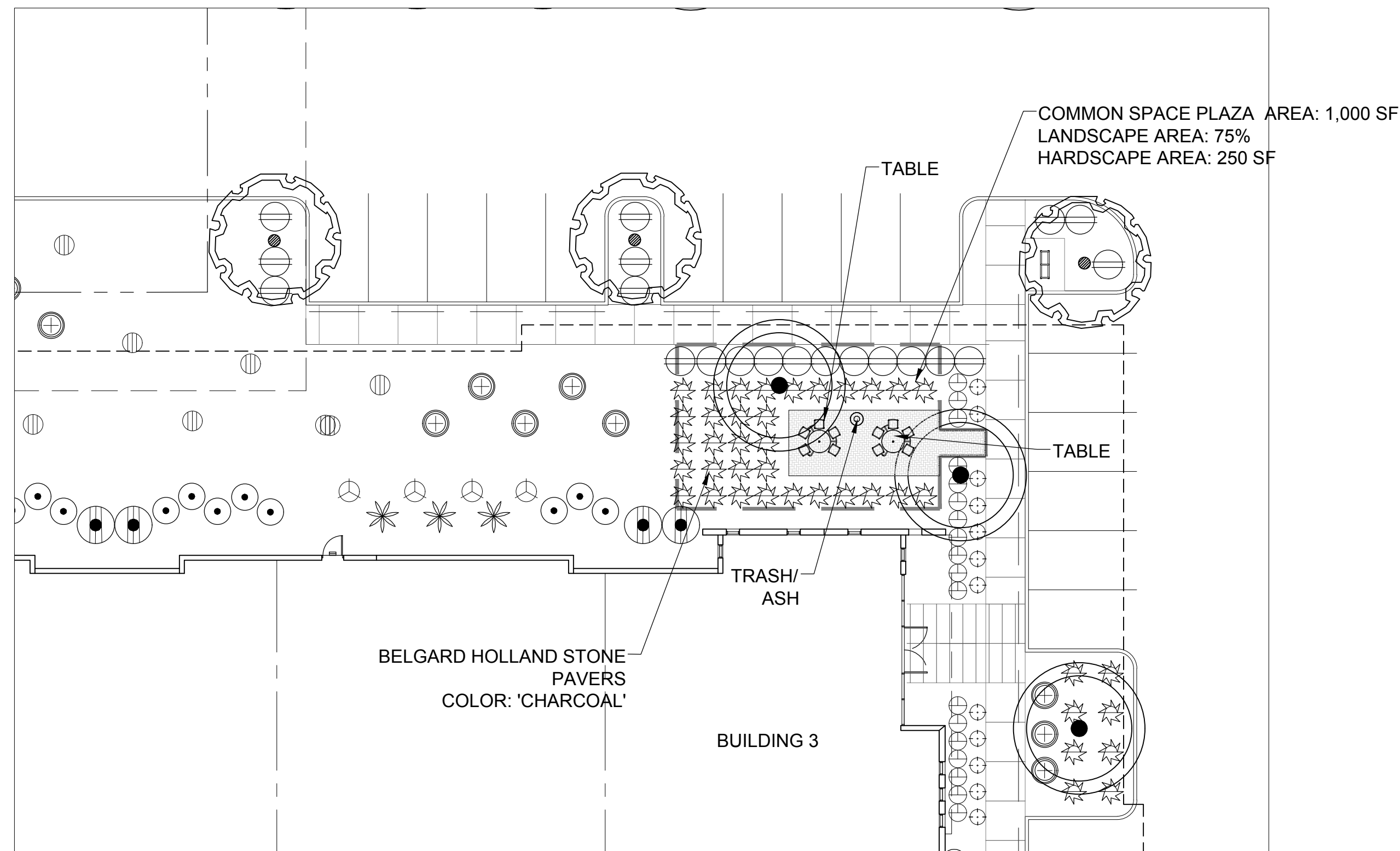


BUILDING 2 PLAZA/COMMON AREA

SCALE: 1/16"=1'-0"

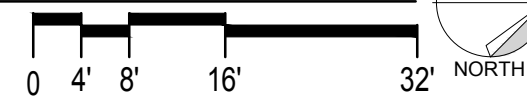


LANDSCAPEFORMS
SOLSTICE CYGNUS UMBRELLA
COLOR: 'WHITE'



BUILDING 3 PLAZA/COMMON AREA

SCALE: 1/16"=1'-0"



LANDSCAPEFORMS
SIDE OPENING LITTER
RECEPTACLE, WITH SAND PAN,
WITH LOCK
COLOR: 'WHITE'



QUERCUS VIRGINIANA
SOUTHERN LIVE OAK TREE

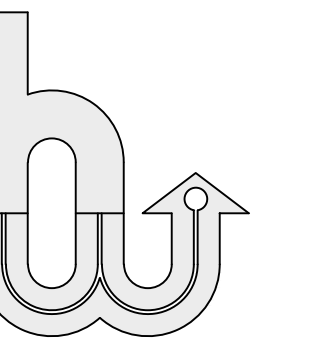


LANDSCAPEFORMS
MINGLE TABLE BACKLESS 5 SEAT
SURFACE MOUNT, PERFORATED,
WITH UMBRELLA HOLE
COLOR: 'WHITE'

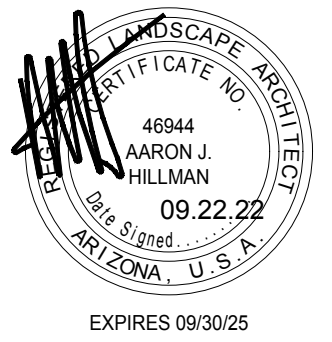


BELGARD HOLLAND STONE 60MM PAVERS
COLOR: CHARCOAL
PATTERN: 90 DEGREE HERRINGBONE

DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



**hillman
workshop**
landscape architecture
2901 e. highland ave
phoenix, az 85016
480-686-2001



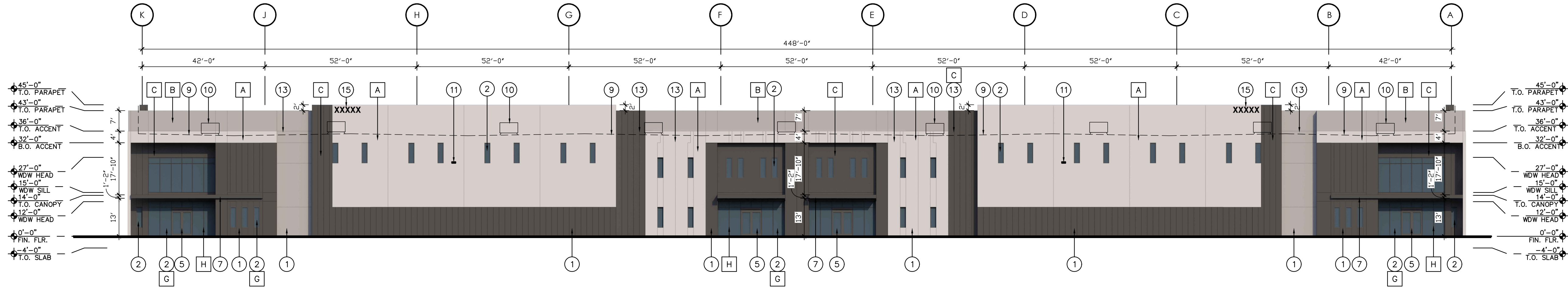
REVISIONS:

Greenfield Industrial
4329 E. McDowell Road, Mesa, AZ

DATE: 09.22.22

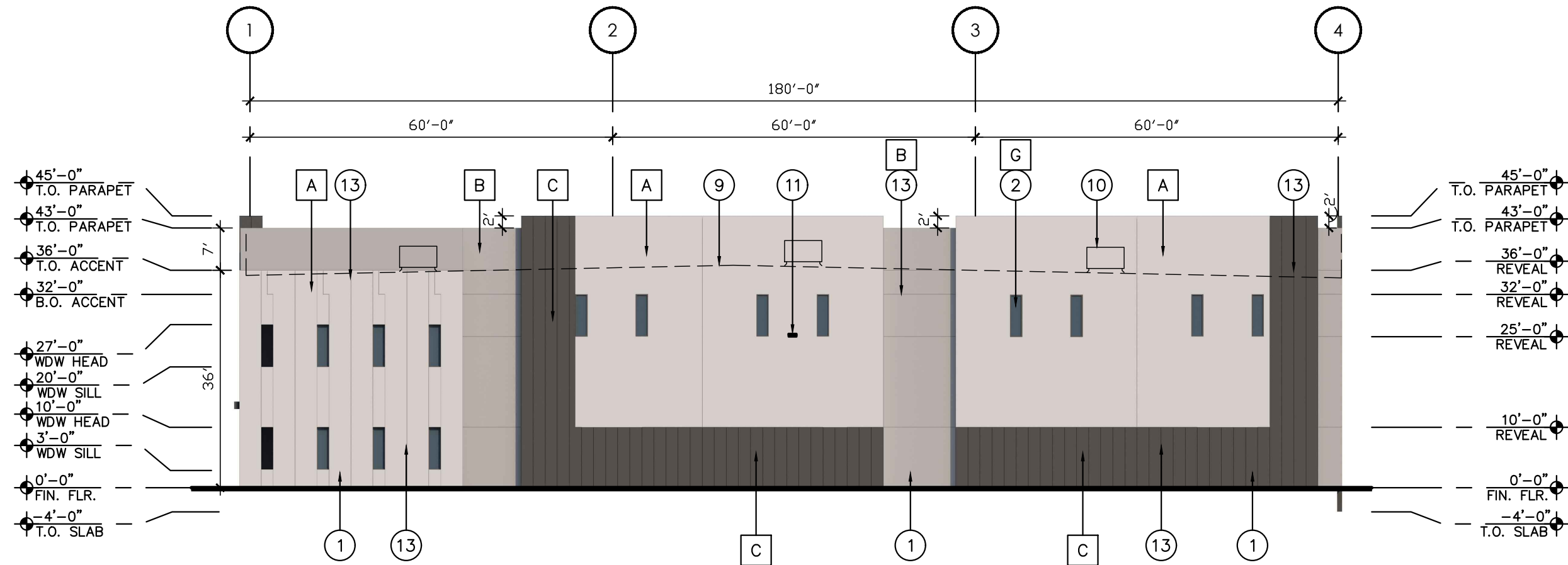
Plaza Enlargements

L2.0



BUILDING 1 - EXTERIOR ELEVATIONS (NORTH)

SCALE: 1"=20'-0"



BUILDING 1 - EXTERIOR ELEVATIONS (WEST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

NORTH ELEVATION

A: 8,665 SF (43%)
B: 2,470 SF (12%)
C: 6,745 SF (34%)
G: 2,216 SF (11%)

TOTAL: 20,096 SF

WEST ELEVATION

A: 4,713 SF (58%)
B: 1,362 SF (17%)
C: 1,795 SF (22%)
G: 224 SF (3%)

TOT: 8,094 SF

MATERIAL SCHEDULE

PAINT:

<div><div></div><div>A</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
<div><div></div><div>B</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
<div><div></div><div>C</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

<div><div></div><div>G</div></div>	MFR:	VIRACON (OR APPROVED EQUAL)
	TYPE:	1" INSULATED, REFLECTIVE
	COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

<div><div></div><div>H</div></div>	MFR:	ARCADIA (OR APPROVED EQUAL)
	TYPE:	ANODIZED ALUMINUM
	COLOR:	AB-B, BLACK, CLASS I

MASONRY:

<div><div></div><div>J</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'PEARL WHITE'
<div><div></div><div>K</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'RUTHERFORD GREY'
<div><div></div><div>L</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SPLIT FACE
	COLOR:	'OPAL'

GENERAL NOTES

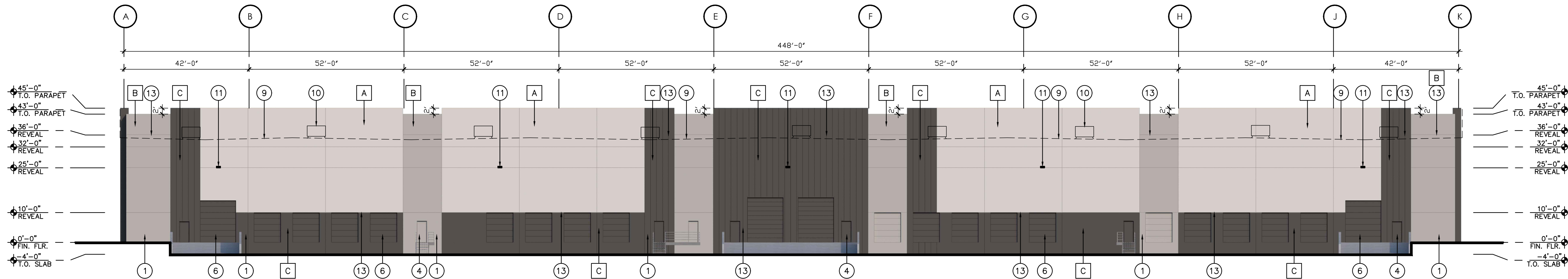
- BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INDUSTRIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
- BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTEGRAL PART OF THE BUILDING.
- EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE.
- ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT.
- ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
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- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

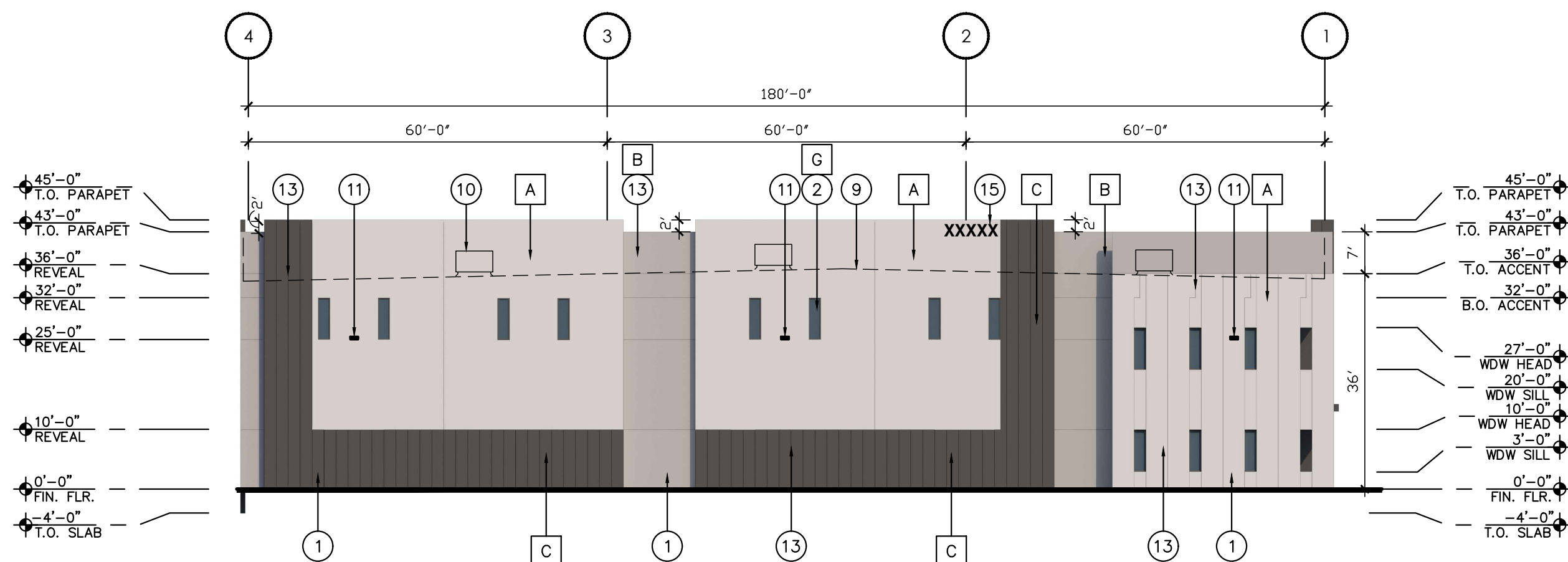
- PAINTED CONCRETE, TILT PANEL.
- 1" INSULATED GLAZING.
- C.M.U. SCREEN WALL.
- HOLLOW METAL DOOR AND FRAME - PAINTED.
- AL/GL DOOR TO MATCH WINDOW SYSTEM.
- OVERHEAD DOOR - PAINTED.
- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



BUILDING 1 - EXTERIOR ELEVATIONS (SOUTH)

SCALE: 1"=20'-0"



BUILDING 1 - EXTERIOR ELEVATIONS (EAST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

SOUTH ELEVATION

A: 9,424 SF (44%)
B: 3,720 SF (17%)
C: 8,198 SF (38%)
G: 0 SF

TOT: 21,342 SF

EAST ELEVATION

A: 4,713 SF (58%)
B: 1,362 SF (17%)
C: 1,795 SF (22%)
G: 224 SF (3%)

TOT: 8,094 SF

MATERIAL SCHEDULE

PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
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		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

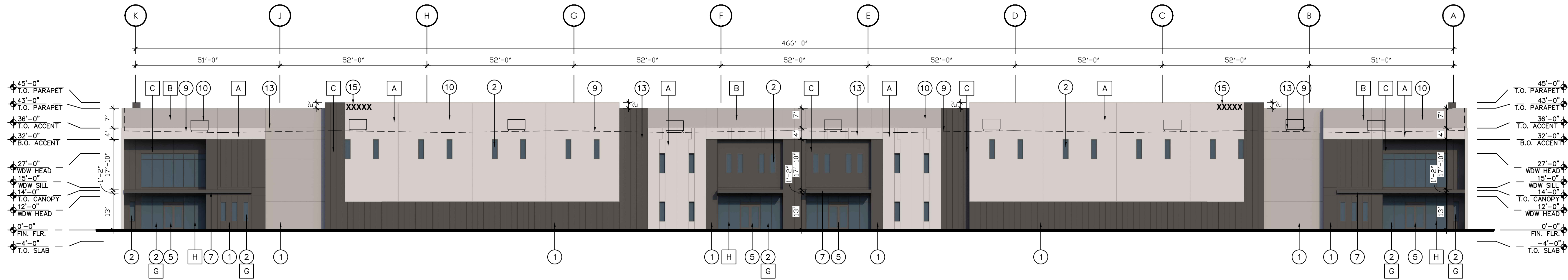
GENERAL NOTES

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KEYNOTES (ELEVATIONS)

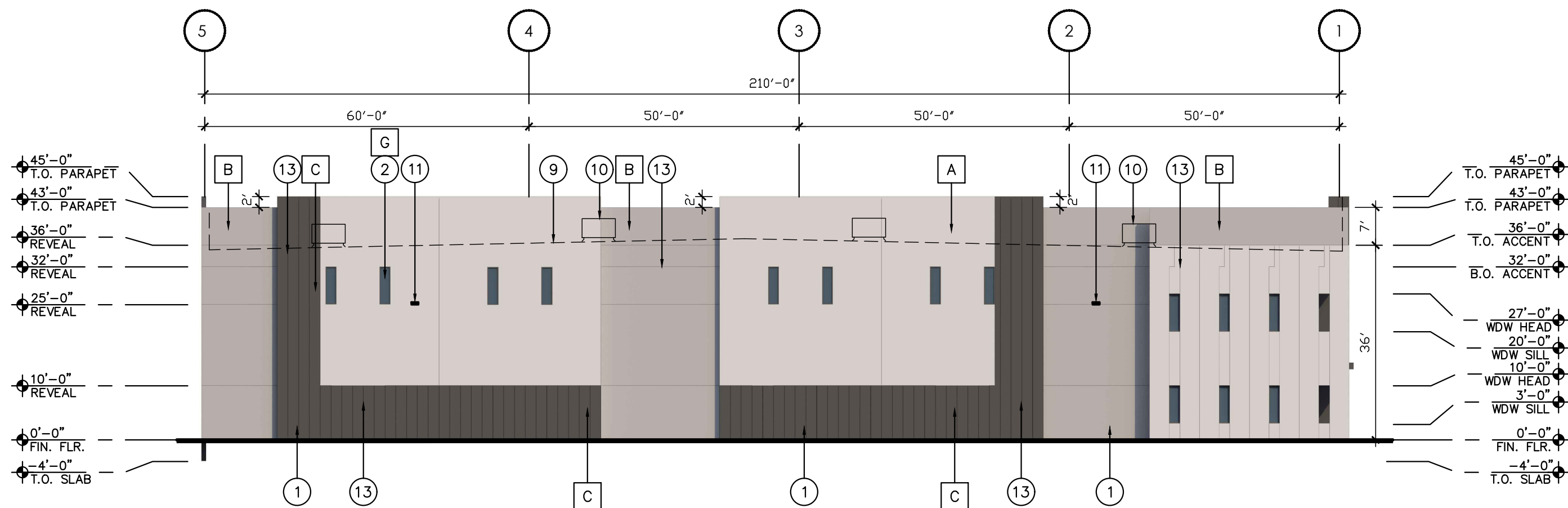
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BUILDING 2 - EXTERIOR ELEVATIONS (SOUTH)

SCALE: 1"=20'-0"



BUILDING 2 - EXTERIOR ELEVATIONS (WEST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

SOUTH ELEVATION

A: 8,665 SF (42%)
B: 3,244 SF (16%)
C: 6,745 SF (32%)
G: 2,216 SF (11%)

TOT: 20,870 SF

WEST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

TOT: 9,384 SF

MATERIAL SCHEDULE

PAINT:

	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	MFR:	VIRACON (OR APPROVED EQUAL)
	TYPE:	1" INSULATED, REFLECTIVE
	COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	MFR:	ARCADIA (OR APPROVED EQUAL)
	TYPE:	ANODIZED ALUMINUM
	COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	MFR:	SUPERLITE (OR EQUAL)
	MFR:	SUPERLITE (OR EQUAL)
	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'PEARL WHITE'
	TEXTURE:	SMOOTH FACE
	COLOR:	'RUTHERFORD GREY'
	TEXTURE:	SPLIT FACE
	COLOR:	'OPAL'

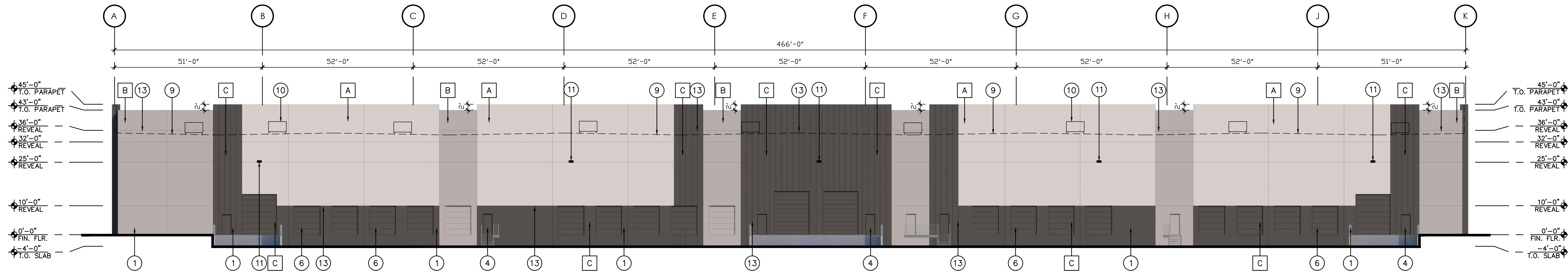
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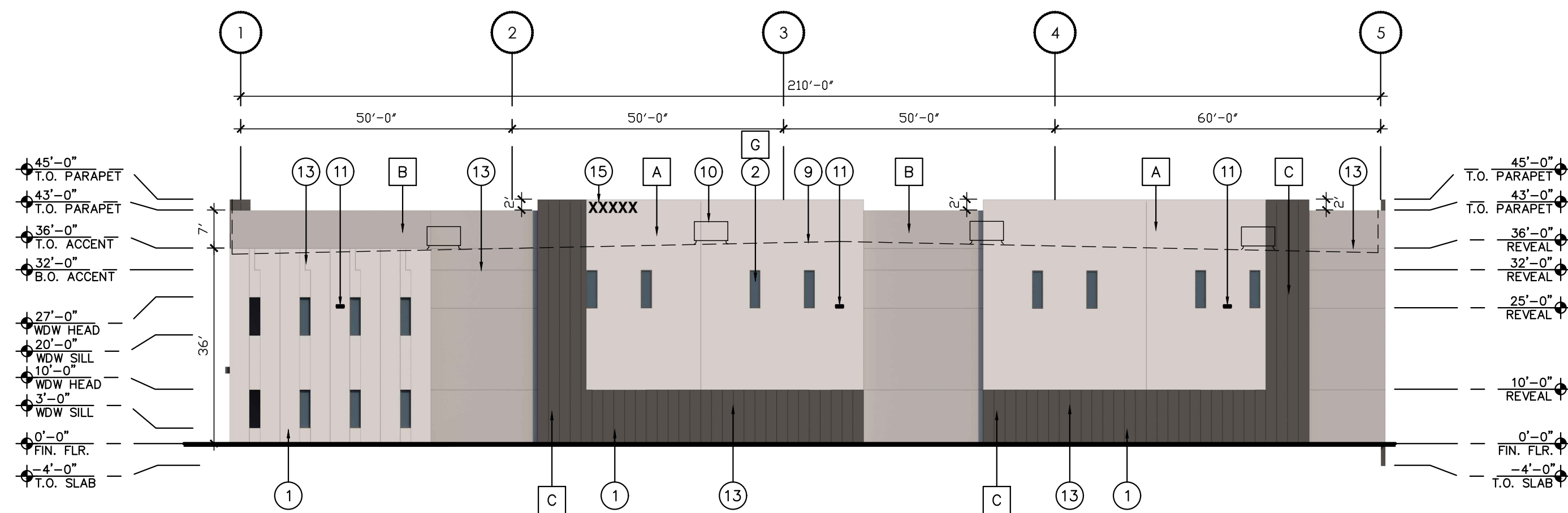
KEYNOTES (ELEVATIONS)

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- HOLLOW METAL DOOR AND FRAME - PAINTED.
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- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.



01 BUILDING 2 - EXTERIOR ELEVATIONS (NORTH)
SCALE: 1"=20'-0"



02 BUILDING 2 - EXTERIOR ELEVATIONS (EAST)
SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

NORTH ELEVATION

A: 9,424 SF (43%)
B: 4,494 SF (20%)
C: 8,212 SF (37%)
G: 0 SF

TOT: 22,130 SF




EAST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

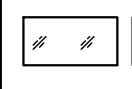
TOT: 9,384 SF

MATERIAL SCHEDULE

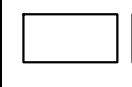
PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

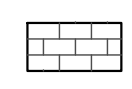
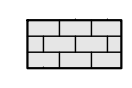

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

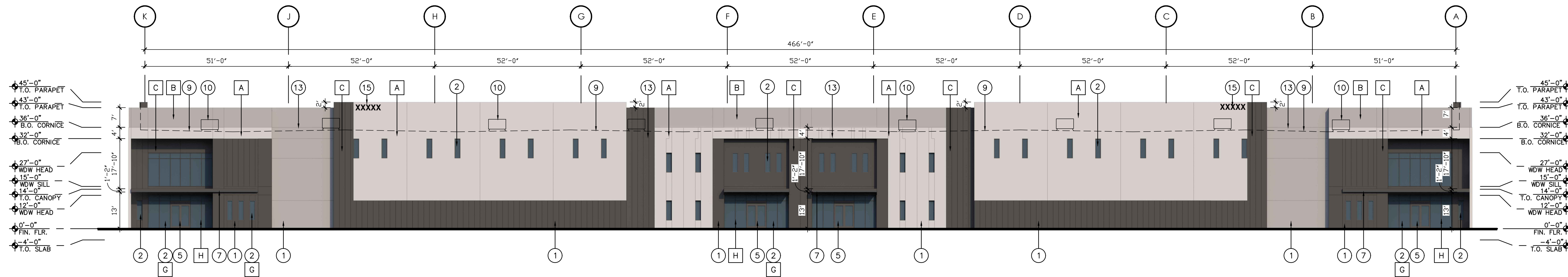
GENERAL NOTES

- BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INDUSTRIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
- BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTEGRAL PART OF THE BUILDING.
- EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL BE LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE.
- ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT.
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- PEDESTRIAN-ORIENTED SITE DESIGN IS REQUIRED.
- BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

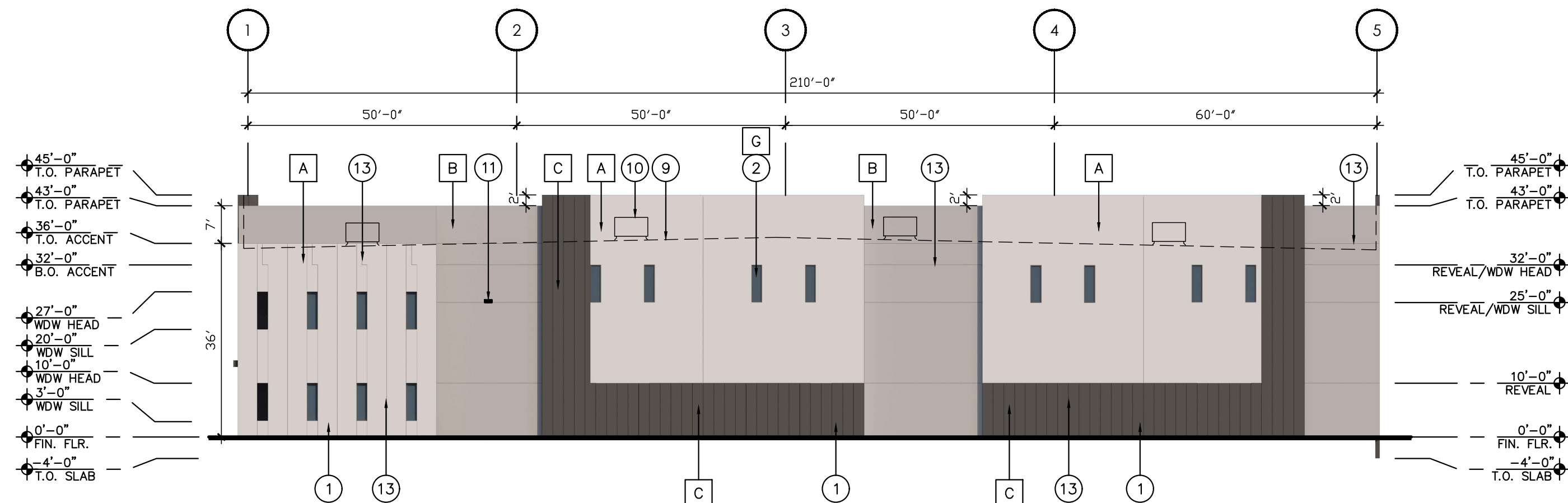
NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

- PAINTED CONCRETE. TILT PANEL.
- 1" INSULATED GLAZING.
- C.M.U. SCREEN WALL.
- HOLLOW METAL DOOR AND FRAME - PAINTED.
- AL/GL DOOR TO MATCH WINDOW SYSTEM.
- OVERHEAD DOOR - PAINTED.
- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.



BUILDING 3 - EXTERIOR ELEVATIONS (NORTH)

SCALE: 1"=20'-0"



BUILDING 3 - EXTERIOR ELEVATIONS (WEST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

NORTH ELEVATION

A: 8,665 SF (41%)
B: 3,330 SF (16%)
C: 6,745 SF (32%)
G: 2,216 SF (11%)

TOT: 20,956 SF

WEST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

TOT: 9,384 SF

MATERIAL SCHEDULE

PAINT:

<div><div></div><div>A</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
<div><div></div><div>B</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
<div><div></div><div>C</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

<div><div></div><div>G</div></div>	MFR:	VIRACON (OR APPROVED EQUAL)
	TYPE:	1" INSULATED, REFLECTIVE
	COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

<div><div></div><div>H</div></div>	MFR:	ARCADIA (OR APPROVED EQUAL)
	TYPE:	ANODIZED ALUMINUM
	COLOR:	AB-B, BLACK, CLASS I

MASONRY:

<div><div></div><div>J</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'PEARL WHITE'
<div><div></div><div>K</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'RUTHERFORD GREY'
<div><div></div><div>L</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SPLIT FACE
	COLOR:	'OPAL'

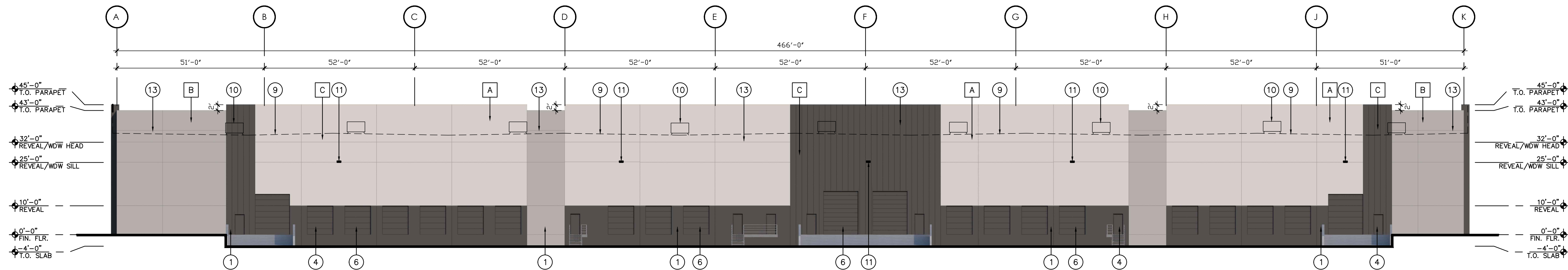
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KEYNOTES (ELEVATIONS)

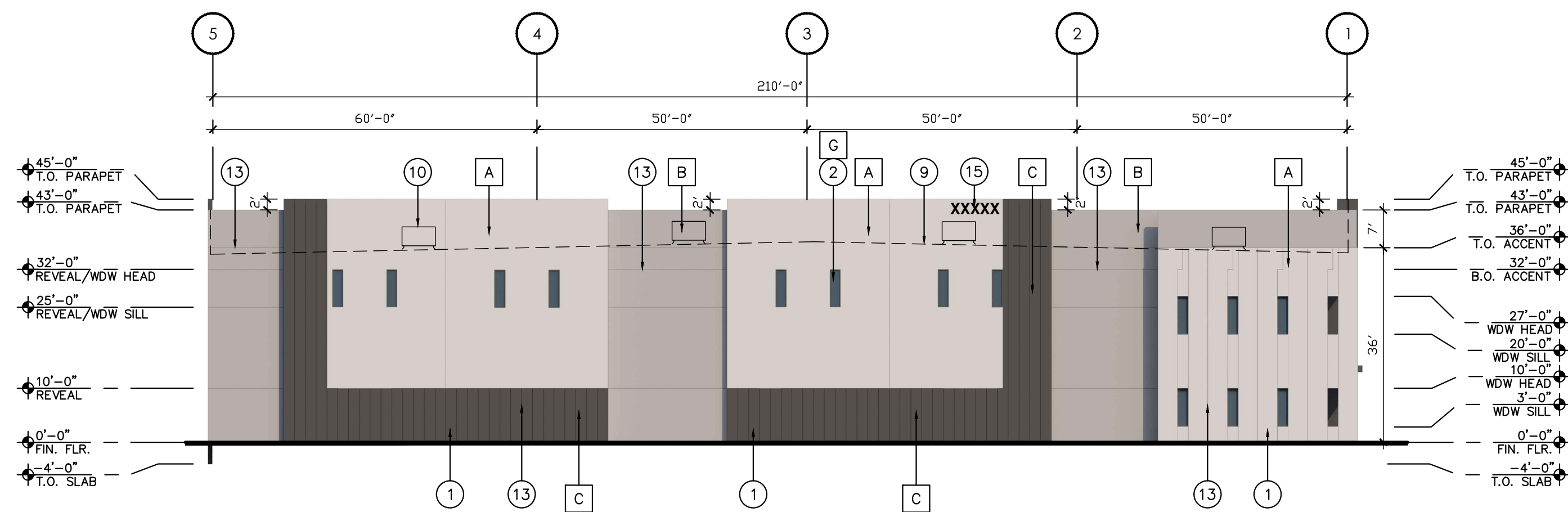
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- 1" INSULATED GLAZING.
- C.M.U. SCREEN WALL.
- HOLLOW METAL DOOR AND FRAME - PAINTED.
- AL/GL DOOR TO MATCH WINDOW SYSTEM.
- OVERHEAD DOOR - PAINTED.
- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
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BUILDING 3 - EXTERIOR ELEVATIONS (SOUTH)

SCALE: 1"=20'-0"



BUILDING 3 - EXTERIOR ELEVATIONS (EAST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

SOUTH

A: 10,579 SF (48%)
B: 3,917 SF (18%)
C: 7,693 SF (35%)
G: 0 SF

TOT: 22,189 SF

EAST ELEVATION

A: 4,713 SF (50%)
B: 2,652 SF (28%)
C: 1,795 SF (19%)
G: 224 SF (2%)

TOT: 9,384 SF

MATERIAL SCHEDULE

PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
	C	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
		TYPE:	1" INSULATED, REFLECTIVE
		COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

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KEYNOTES (ELEVATIONS)

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- 1" INSULATED GLAZING.
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- AL/GL DOOR TO MATCH WINDOW SYSTEM.
- OVERHEAD DOOR - PAINTED.
- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
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- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.



BUILDING 1 - COLOR RENDERING
SCALE: N.T.S.

DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



October 28, 2022

RE: Hopewell Development; 4329 E. McDowell Road, Mesa, Arizona 85215
Planning & Zoning Board Hearing (ZON22-00731)

Dear Neighbor,

We have applied for an application for a Rezone to remove conditions of approval of Zoning Case Number Z80-047, Site Plan Review, and Special Use Permit for the property located at 4329 E. McDowell Road, Mesa 85215. This request is for development of a light industrial use. The case number assigned to this project is ZON22-00731.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602-452-2712 or e-mail me at sta@tblaw.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at its meeting held on November 16th, 2022 in the City Council Chambers at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

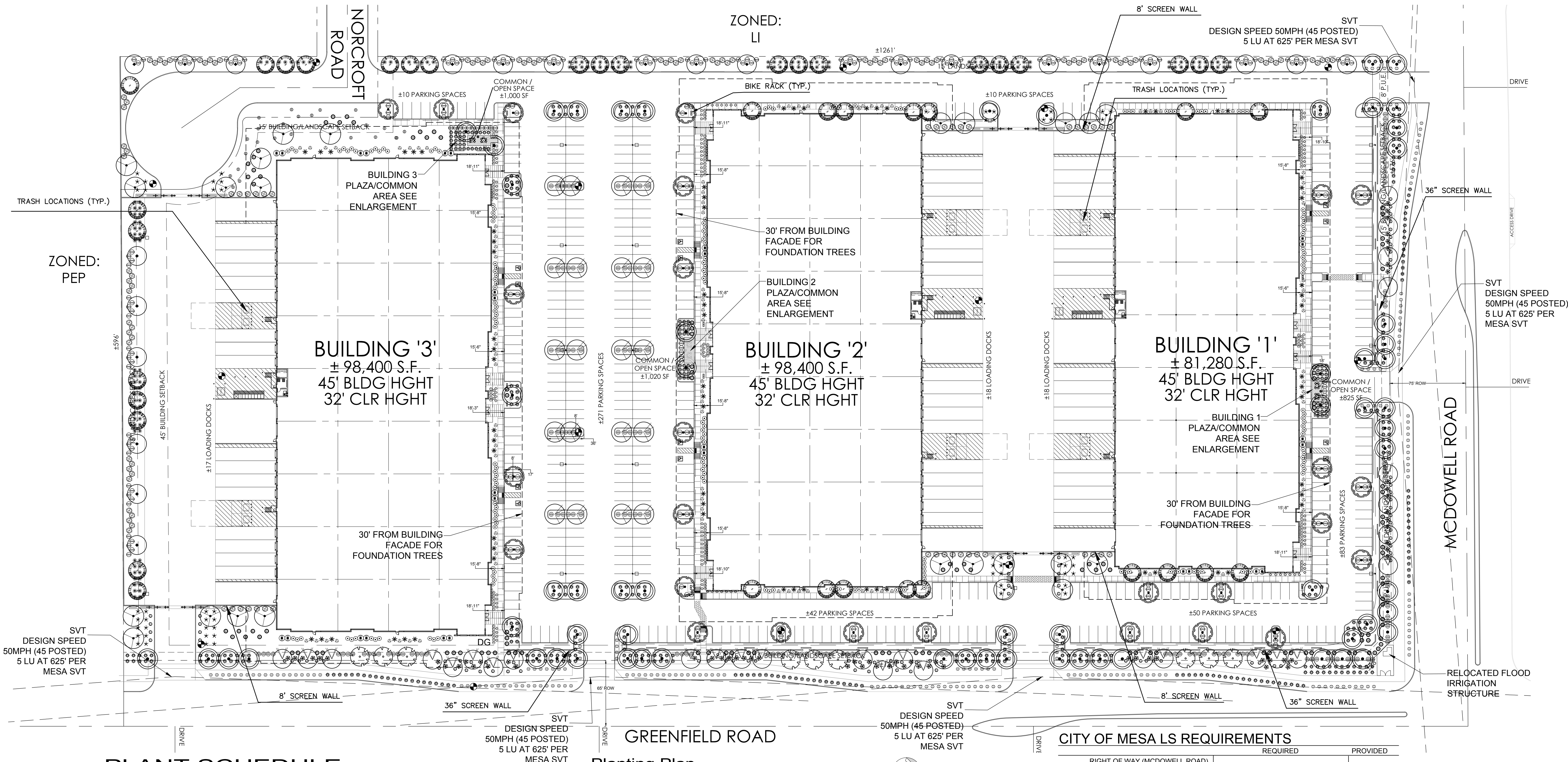
For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Chloe Durfee Daniel of their Planning Division staff. She can be reached at 480-644-6714 or Chloe.Durfee.Daniel@MesaAZ.Gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,


Shaine T. Alleman

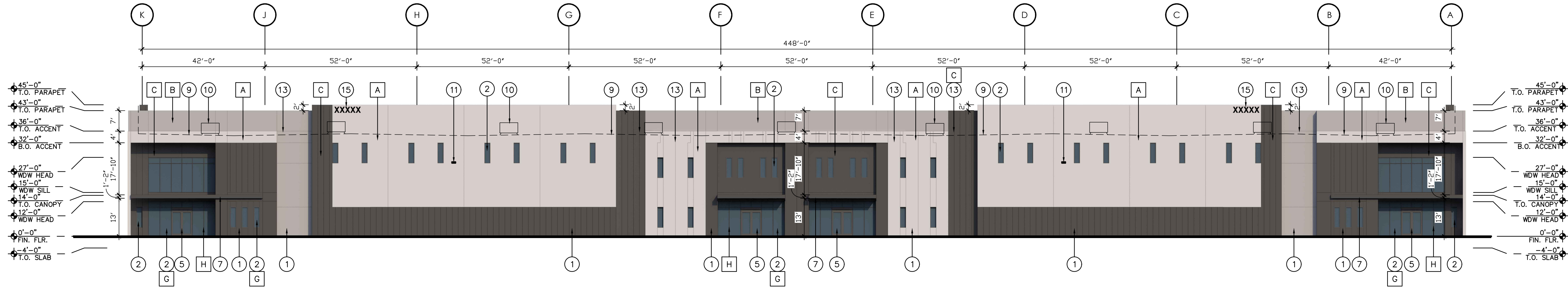




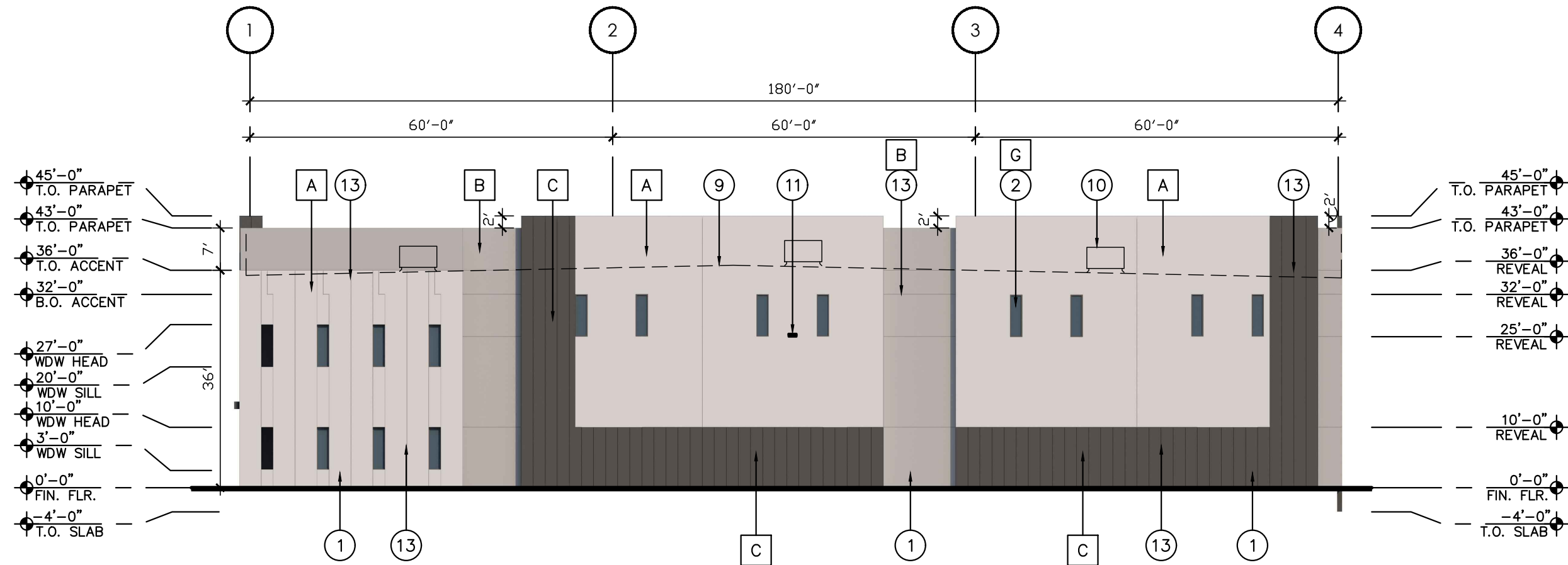


BUILDING 1 - COLOR RENDERING
SCALE: N.T.S.

DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



BUILDING 1 - EXTERIOR ELEVATIONS (NORTH)
SCALE: 1"=20'-0"



BUILDING 1 - EXTERIOR ELEVATIONS (WEST)
SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

NORTH ELEVATION

A: 8,665 SF (43%)
B: 2,470 SF (12%)
C: 6,745 SF (34%)
G: 2,216 SF (11%)

TOTAL: 20,096 SF

WEST ELEVATION

A: 4,713 SF (58%)
B: 1,362 SF (17%)
C: 1,795 SF (22%)
G: 224 SF (3%)

TOT: 8,094 SF

MATERIAL SCHEDULE

PAIN:

<div><div></div><div>A</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
<div><div></div><div>B</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
<div><div></div><div>C</div></div>	MFR:	SHERWIN WILLIAMS (OR EQUAL)
	COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

<div><div></div><div>G</div></div>	MFR:	VIRACON (OR APPROVED EQUAL)
	TYPE:	1" INSULATED, REFLECTIVE
	COLOR:	VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

<div><div></div><div>H</div></div>	MFR:	ARCADIA (OR APPROVED EQUAL)
	TYPE:	ANODIZED ALUMINUM
	COLOR:	AB-B, BLACK, CLASS I

MASONRY:

<div><div></div><div>J</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'PEARL WHITE'
<div><div></div><div>K</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SMOOTH FACE
	COLOR:	'RUTHERFORD GREY'
<div><div></div><div>L</div></div>	MFR:	SUPERLITE (OR EQUAL)
	SIZE:	8"x8"x16"
	TEXTURE:	SPLIT FACE
	COLOR:	'OPAL'

GENERAL NOTES

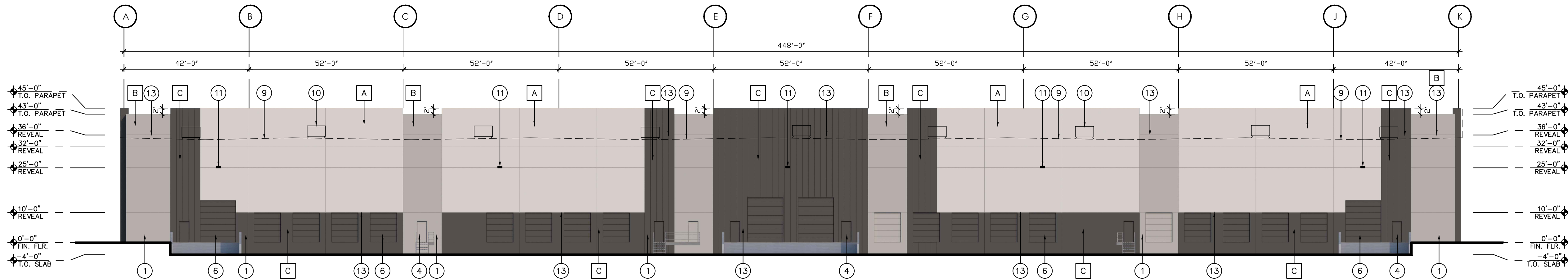
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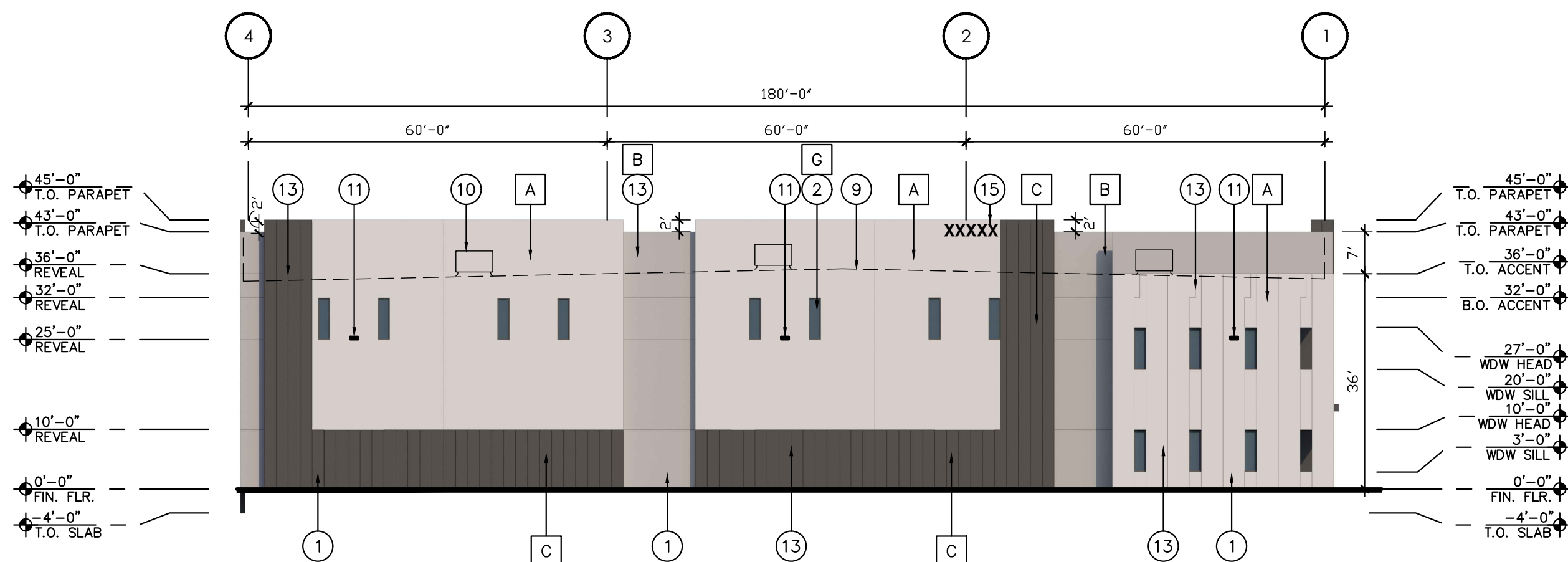
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DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



BUILDING 1 - EXTERIOR ELEVATIONS (SOUTH)

SCALE: 1"=20'-0"



BUILDING 1 - EXTERIOR ELEVATIONS (EAST)

SCALE: 1"=20'-0"

MATERIAL CALCULATIONS

SOUTH ELEVATION

A: 9,424 SF (44%)
B: 3,720 SF (17%)
C: 8,198 SF (38%)
G: 0 SF

TOT: 21,342 SF

EAST ELEVATION

A: 4,713 SF (58%)
B: 1,362 SF (17%)
C: 1,795 SF (22%)
G: 224 SF (3%)

TOT: 8,094 SF

MATERIAL SCHEDULE

PAINT:

	A	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE'
	B	MFR:	SHERWIN WILLIAMS (OR EQUAL)
		COLOR:	TO MATCH SHERWIN WILLIAMS SW6233 'SAMOVAR SILVER'
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		COLOR:	TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

	G	MFR:	VIRACON (OR APPROVED EQUAL)
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	H	MFR:	ARCADIA (OR APPROVED EQUAL)
		TYPE:	ANODIZED ALUMINUM
		COLOR:	AB-B, BLACK, CLASS I

MASONRY:

	J	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
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		COLOR:	'PEARL WHITE'
	K	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SMOOTH FACE
		COLOR:	'RUTHERFORD GREY'
	L	MFR:	SUPERLITE (OR EQUAL)
		SIZE:	8"x8"x16"
		TEXTURE:	SPLIT FACE
		COLOR:	'OPAL'

GENERAL NOTES

- BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INDUSTRIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
- BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTEGRAL PART OF THE BUILDING.
- EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL BE LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE.
- ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT.
- ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED.
- BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

- PAINTED CONCRETE. TILT PANEL.
- 1" INSULATED GLAZING.
- C.M.U. SCREEN WALL.
- HOLLOW METAL DOOR AND FRAME - PAINTED.
- AL/GL DOOR TO MATCH WINDOW SYSTEM.
- OVERHEAD DOOR - PAINTED.
- STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.
- NOT USED.
- LINE OF ROOF BEYOND.
- LINE OF FUTURE MECHANICAL UNIT BEYOND.
- LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- NOT USED.
- 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- NOT USED.
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

EXHIBIT F

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 10/31/22

I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON22-00731, on SWC McDowell Rd & Greenfield Rd. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

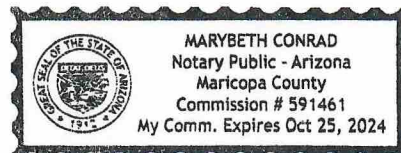
SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature:

Meghan Liggett

SUBSCRIBED AND SWORN before me on 10/31/22

Marybeth Conrad
Notary Public



CITY OF MESA
PUBLIC NOTICE
ZONING HEARING
PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: November 16, 2022

CASE: ZON22-00731

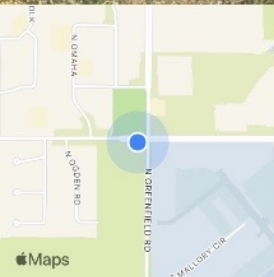
REQUEST: Rezone to remove conditions of approval of Zoning Case Number Z80-047, Site Plan Review, and Special Use Permit. This request will allow for an industrial development.

APPLICANT: Shaine T. Alleman

PHONE: (602) 452-2712

Planning Division: (480) 644-2385

Posting date: 10/31/2022



Oct 31, 2022 12:29PM
4345-4367 E McDowell Rd
Maricopa County

CITY OF MESA
PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD

57 EAST FIRST STREET

MESA, ARIZONA

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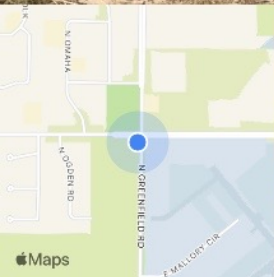
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APPLICANT: Shaine T. Alleman

PHONE: (602) 452-2712

Planning Division: (480) 644-2385

Posting date: 10/31/2022



Oct 31, 2022 12:27PM
N Greenfield Rd
Maricopa County