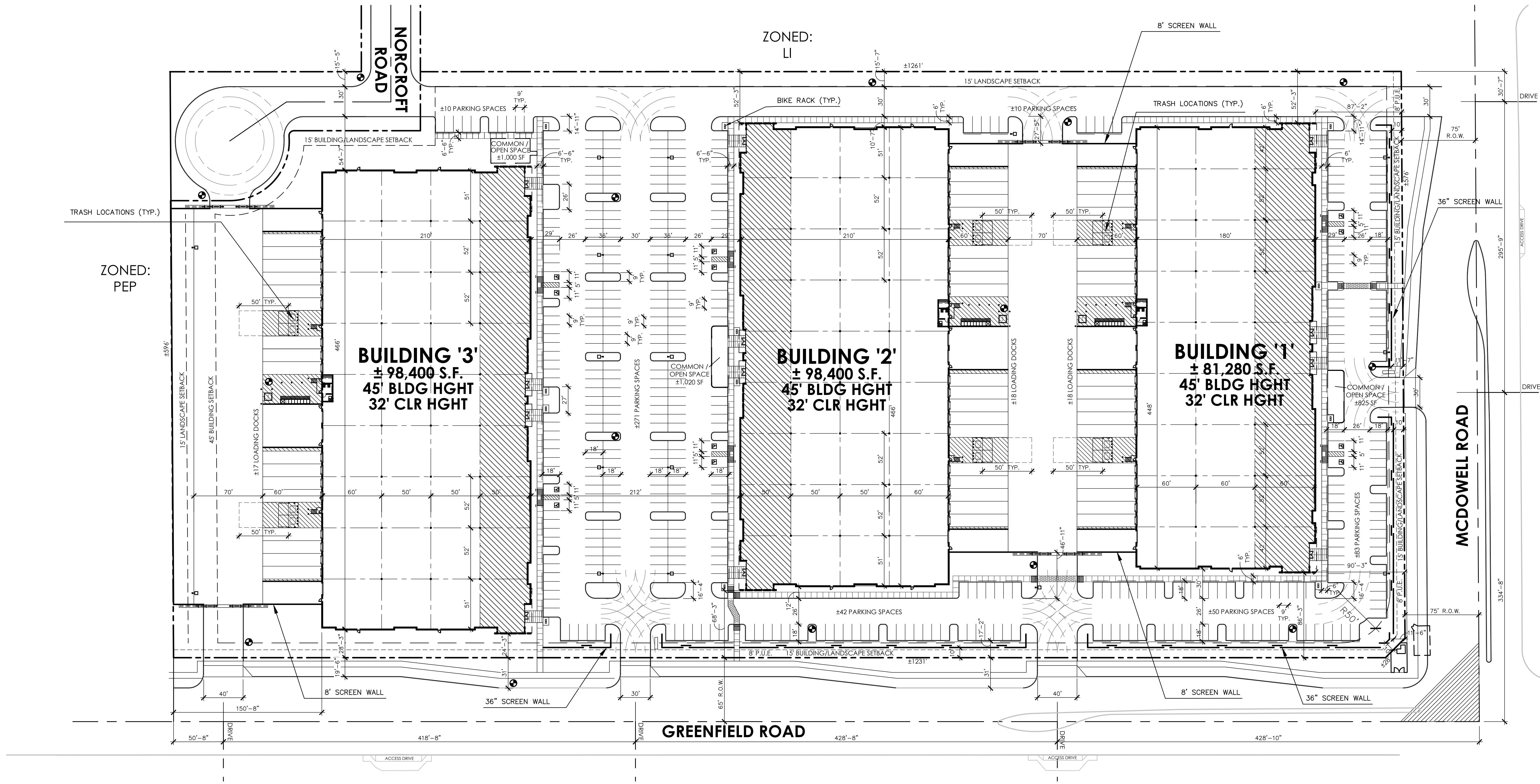




PROJECT INFORMATION

PROJECT NAME: GREENFIELD INDUSTRIAL
PROJECT ADDRESS: SWC GREENFIELD ROAD AND MCDOWELL ROAD
MESA, ARIZONA

OWNER: HOPWELL DEVELOPMENT
2525 E. ARIZONA BILTMORE CIRCLE, SUITE C138
PHOENIX, AZ 85016
PHONE: 928-543-9250
CONTACT: JUSTIN LEMASTER

ARCHITECT: DLR GROUP
6225 N 24TH STREET, SUITE 250
PHOENIX, AZ 85016
PHONE: 602-206-7727
CONTACT: TIM THIELKE

ASSESSOR'S PARCEL NUMBER: 141-26-004E
EXISTING ZONING: LI LIGHT INDUSTRIAL, AOA2 & AOA3 OVERLAY
PROPOSED ZONING: LI LIGHT INDUSTRIAL, AOA2 & AOA3 OVERLAY
PROPOSED USE: OFFICE/INDUSTRIAL/WAREHOUSE/DISTRIBUTION

ALLOWED BUILDING HEIGHT: 40'

PROPOSED BUILDING HEIGHT: 45'
STORIES: 1-STORY
CONSTRUCTION TYPE: V-B
MINIMUM LOT WIDTH: 100'
MINIMUM LOT DEPTH: 100'

BUILDING SETBACKS :
PERIMETER STREET: 15'
INTERIOR (WEST - LI ZONING): 0'
INTERIOR (SOUTH - PEP ZONING): 1' PER 1' OF BUILDING HEIGHT

LANDSCAPED SETBACK:
PERIMETER STREET: 15'
INTERIOR (WEST - LI ZONING): 15'
INTERIOR (SOUTH - PEP ZONING): 15'

GROSS SITE AREA: ± 876,594 S.F. (± 20.12 ACRES)
NET SITE AREA: ± 722,489 S.F. (± 16.58 ACRES)

PROPOSED BUILDING AREA:
BUILDING 1 ± 81,280 S.F.
BUILDING 2 ± 98,400 S.F.
BUILDING 3 ± 98,400 S.F.
TOTAL ± 278,080 S.F.

SITE COVERAGE: ± 86.8% (90% MAXIMUM ALLOWED)
(IMPERVIOUS AREA / NET SITE AREA)
(627,425 SF / 722,489 SF = .8684)

COMMON OPEN SPACE REQUIRED: ± 2,781 S.F. (1% PER BUILDING GROSS FLOOR AREA)

COMMON OPEN SPACE PROVIDED: ± 2,845 S.F.

FOUNDATION BASE CALCULATIONS (15' AVERAGE REQUIRED):
BUILDING 1 ± 9,190 S.F. @ 457' - 8" LINEAR FEET = ± 20.1' AVERAGE
BUILDING 2 ± 9,354 S.F. @ 475' - 8" LINEAR FEET = ± 19.7' AVERAGE
BUILDING 3 ± 9,486 S.F. @ 477' - 8" LINEAR FEET = ± 19.9' AVERAGE

PARKING REQUIRED:
BUILDING 1 ± 81,280 S.F. @ 1/600 S.F. = 135 SPACES
BUILDING 2 ± 98,400 S.F. @ 1/600 S.F. = 164 SPACES
BUILDING 3 ± 98,400 S.F. @ 1/600 S.F. = 164 SPACES
TOTAL 463 SPACES

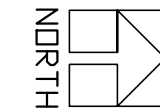
PARKING PROVIDED:
BUILDING 1 137 SPACES
BUILDING 2 165 SPACES
BUILDING 3 164 SPACES
TOTAL 466 SPACES

PARKING RATIO: ± 1.7 SPACES PER 1,000 S.F.

ADA PARKING REQUIRED: 10 SPACES
ADA PARKING PROVIDED: 12 SPACES

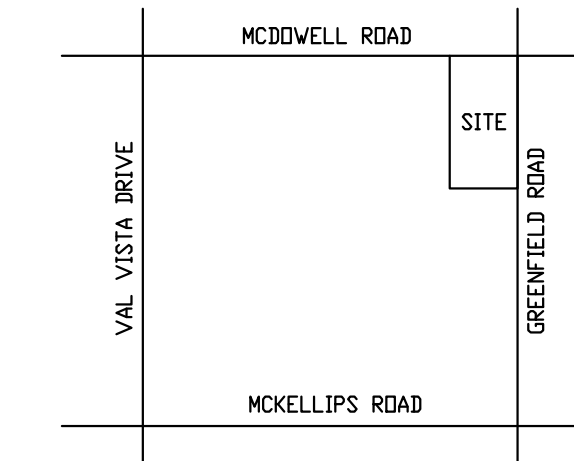
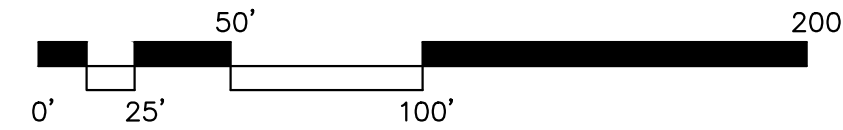
TOTAL TRAILER PARKING: ± 53 SPACES

BICYCLE PARKING REQUIRED (1 SPACE PER 10 VEHICULAR SPACES): 47 SPACES
BICYCLE PARKING PROVIDED: 48 SPACES



OVERALL SITE PLAN

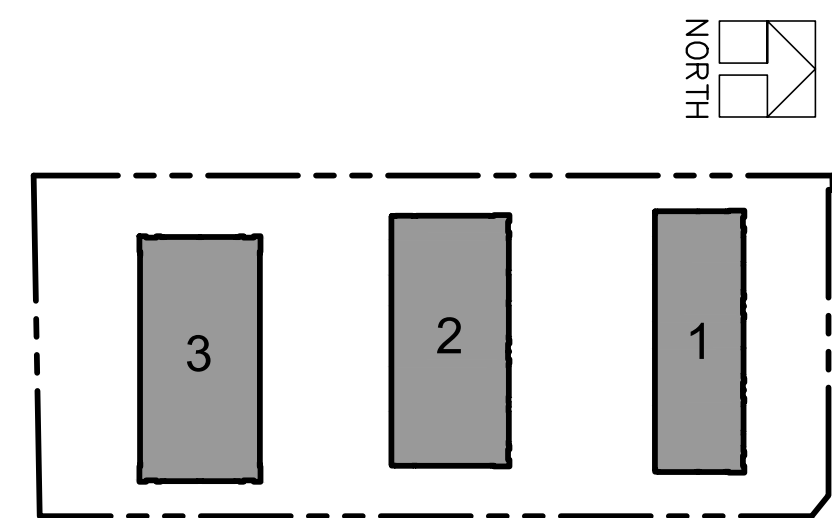
SCALE: 1" = 50'



VICINITY MAP

SCALE: N.T.S.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194

GREENFIELD INDUSTRIAL

HOPWELL DEVELOPMENT

SITE PLAN
DESIGN REVIEW
(Date)
9.22.2022
(Revisions)

(Project Number)
30-22167-00

(Sheet Title)

OVERALL SITE
PLAN

(Sheet Number)

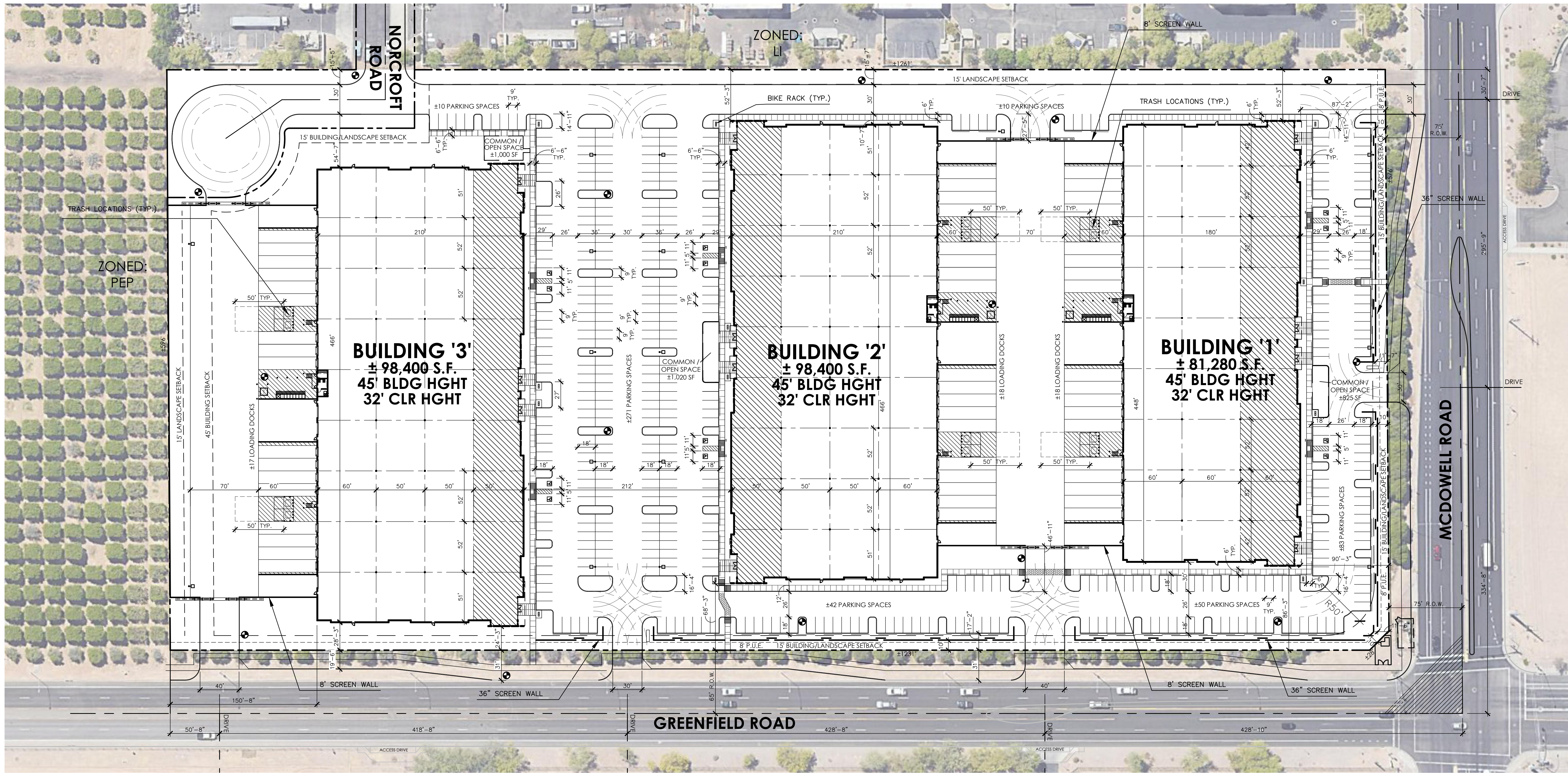
AS1.01

DLR GROUP
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Timothy Thielke

SWC Greenfield Road & McDowell Road
Mesa, Arizona



PROJECT INFORMATION

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MESA, ARIZONA

OWNER: HOPEWELL DEVELOPMENT
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PHOENIX, AZ 85016
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ASSESSOR'S PARCEL NUMBER: 141-26-004E
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PROPOSED BUILDING HEIGHT: 45'
STORIES: 1-STORY
CONSTRUCTION TYPE: V-B
MINIMUM LOT WIDTH: 100'
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PERIMETER STREET: 15'
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INTERIOR (SOUTH - PEP ZONING): 1' PER 1' OF BUILDING HEIGHT

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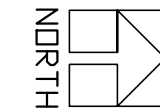
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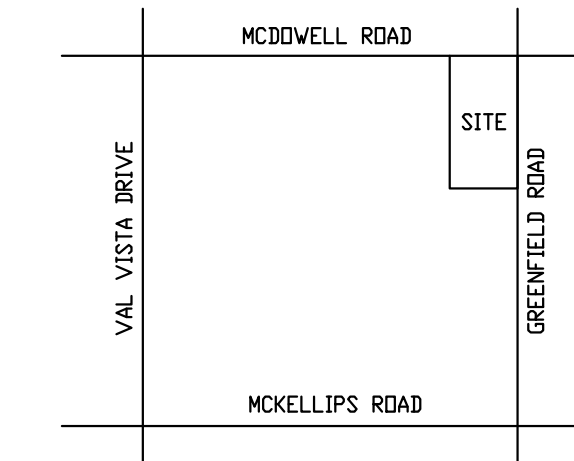
TOTAL TRAILER PARKING: ± 53 SPACES

BICYCLE PARKING REQUIRED (1 SPACE PER 10 VEHICULAR SPACES): 47 SPACES
BICYCLE PARKING PROVIDED: 48 SPACES



OVERALL SITE PLAN WITH AERIAL

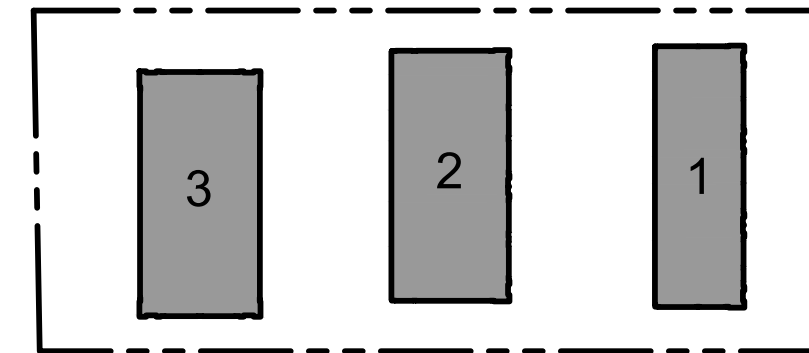
SCALE: 1" = 50'
0' 25' 50' 100' 200'



VICINITY MAP

SCALE: N.T.S.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194

GREENFIELD INDUSTRIAL

HOPEWELL DEVELOPMENT

SITE PLAN
DESIGN REVIEW
(Date)
9.22.2022
(Revisions)

(Project Number)
30-22167-00

(Sheet Title)

OVERALL SITE
PLAN WITH
AERIAL

(Sheet Number)

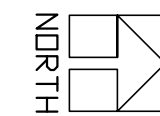
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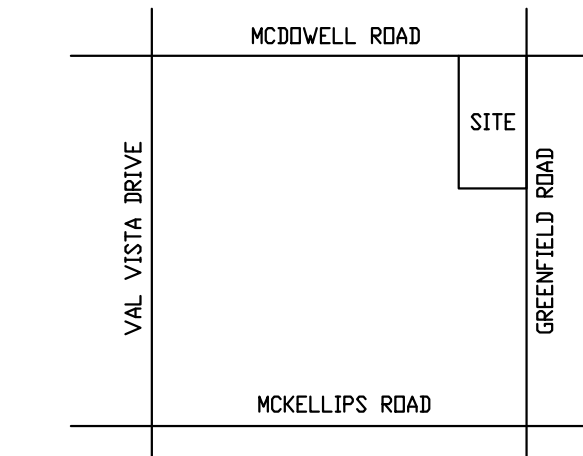
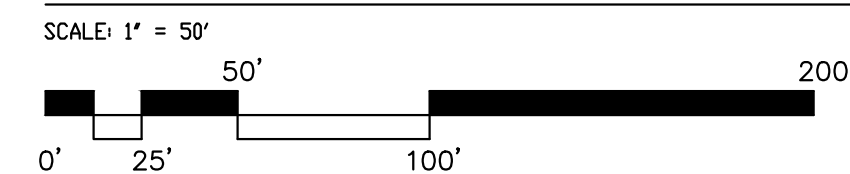


Timothy Thielke

SWC Greenfield Road & McDowell Road
Mesa, Arizona



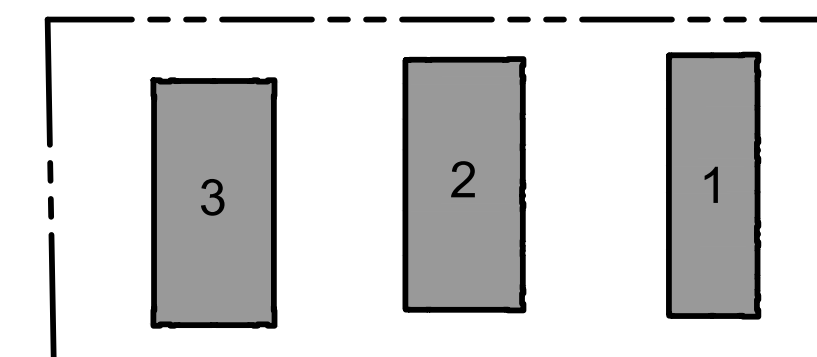
OVERALL CONTEXT PLAN



VICINITY MAP

SCALE: N.T.S.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



Timothy Thelke

GREENFIELD INDUSTRIAL

HOPEWELL DEVELOPMENT

SWC Greenfield Road & McDowell Road
Mesa, Arizona

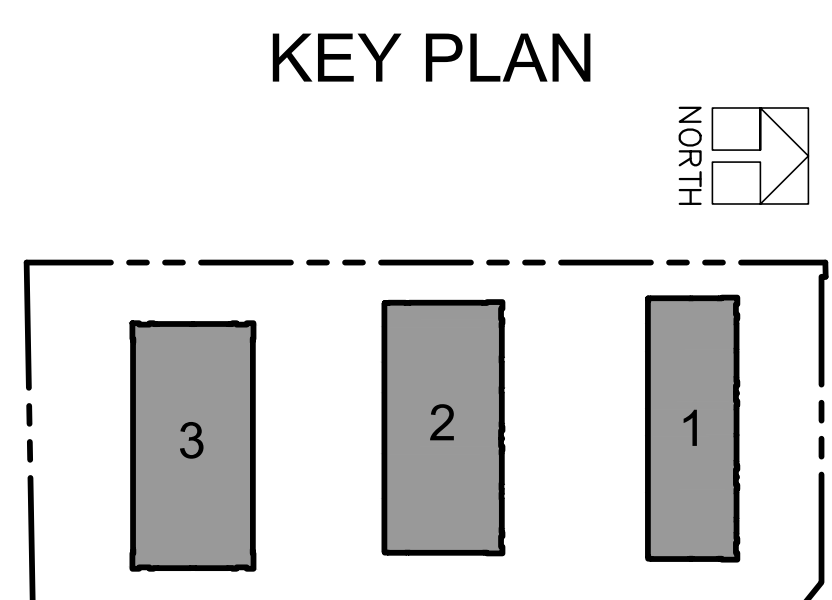
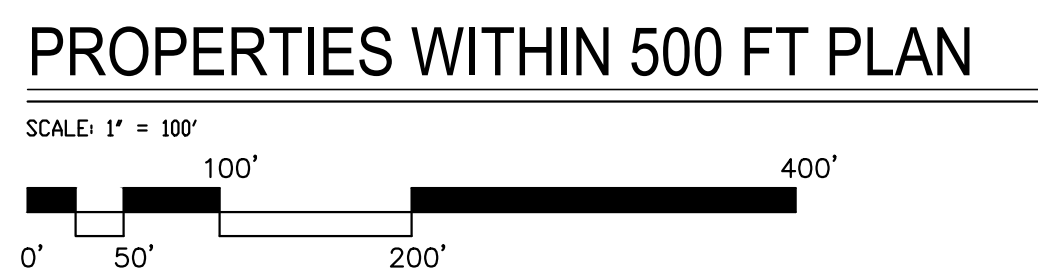
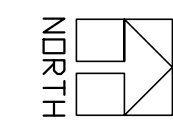
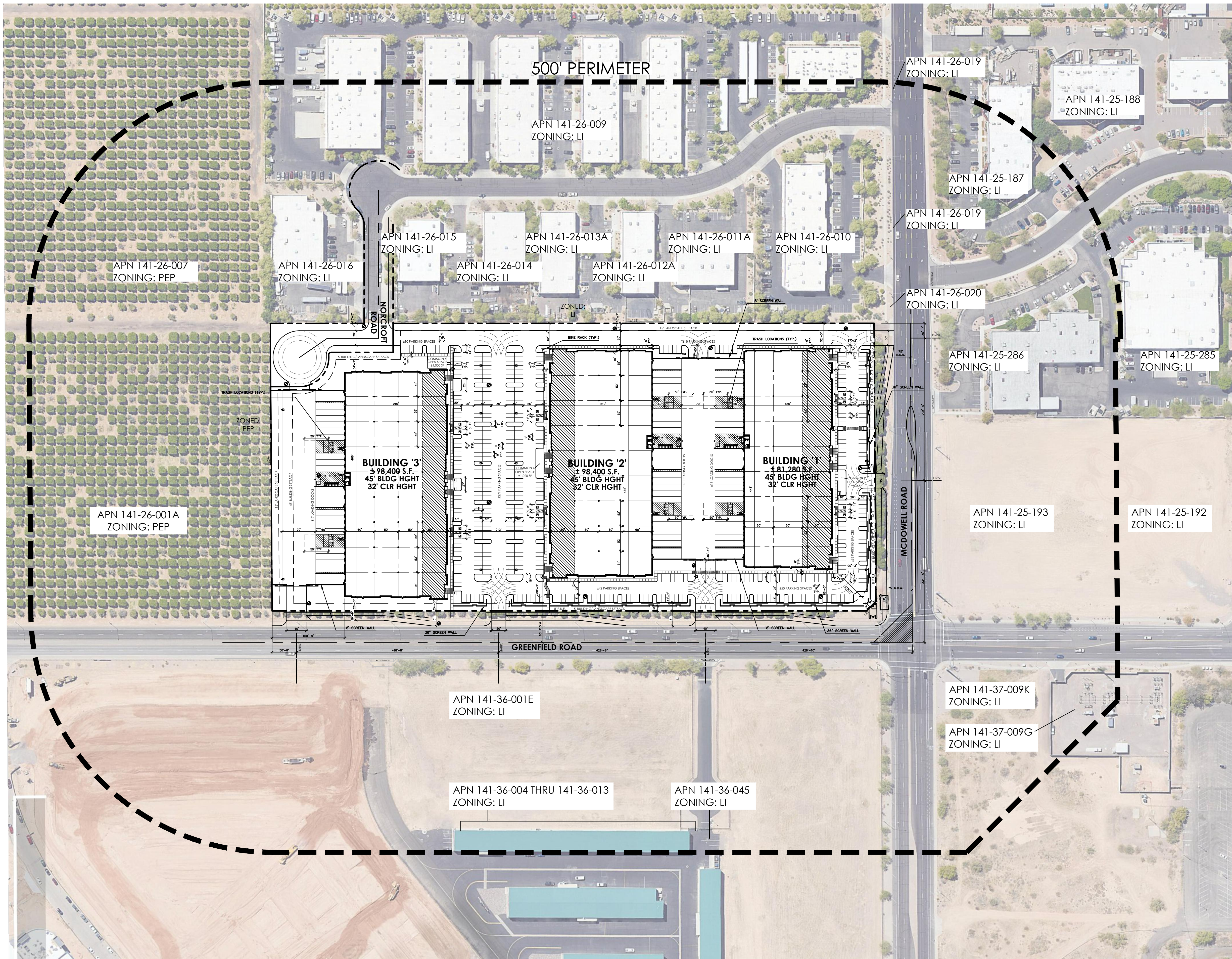
SITE PLAN
DESIGN REVIEW
(Date)
9.22.2022
(Revisions)

(Project Number)
30-22167-00
(Sheet Title)

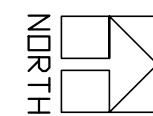
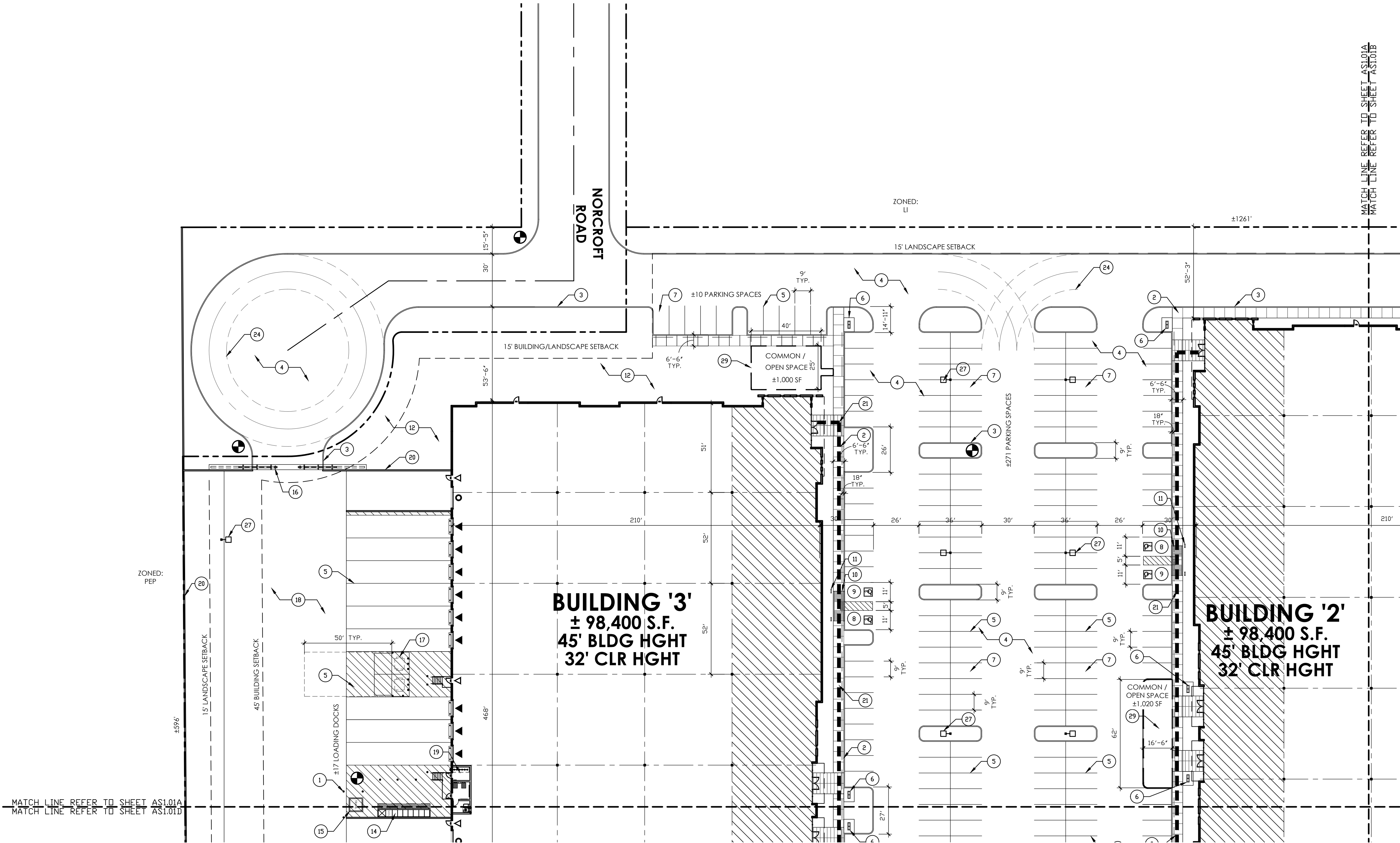
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CONTEXT
PLAN

(Sheet Number)

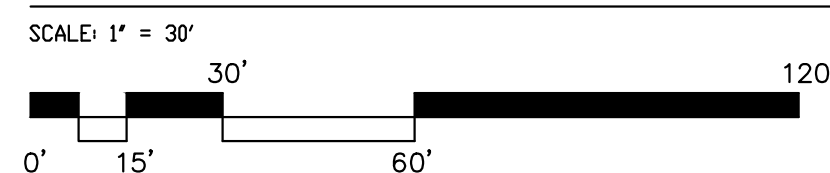
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DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



ENLARGED SITE PLAN - AREA A



LEGEND NOTES

- NOTE: THE SITE KEYNOTES LISTED BELOW ARE TYPICAL TO THE PROJECT AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.
- BOLLARD TYP. - SEE DETAIL 14/A1.08
 - STANDARD CONCRETE SIDEWALK - SEE CIVIL
 - 6" CONCRETE CURB (AND GUTTER) TYP. - SEE CIVIL DRAWINGS
 - ASPHALTIC PAVING - SEE CIVIL AND SOILS REPORT.
 - PAINT STRIPING - SEE CIVIL DRAWINGS.
 - BICYCLE RACK - SEE DETAIL 13 & 23/AS1.03.
 - CITY OF MESA STANDARD PARKING STALL TYP. (9'-0" X 18'-0")
 - VAN ACCESSIBLE PARKING STALL (11' X 18') WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/AS1.02.
 - ACCESSIBLE PARKING STALL (11' X 18') WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/AS1.02..
 - ADA ACCESSIBLE RAMPS TYP. - SEE CIVIL DRAWINGS AND DETAILS 21, 31, 41/AS1.02..
 - ACCESSIBLE SIGNAGE - SEE DETAILS 34, 35, 43/AS1.02.
 - LANDSCAPE/RETENTION - REFER TO CIVIL
 - C.M.U. PARKING SCREEN WALL TYP. - SEE DETAIL 31/AS1.03.
 - ELECTRICAL S.E.S. LOCATION - REFER TO ELECTRICAL.
 - ELECTRICAL TRANSFORMER & CONCRETE PAD - SEE ELECTRICAL.
 - MANUAL SLIDING SECURITY GATE - 40' DRIVE - SEE DETAIL 43/AS1.03.
 - REFUSE CONTAINER LOCATION - SEE DETAIL 15/AS1.02.
 - CONCRETE PAVING - SLOPE AWAY FROM BUILDING - SEE CIVIL FOR GRADES.
 - FIRE PUMP/RISER LOCATION SEE FIRE SPRINKLER DRAWINGS UNDER SEPARATE REVIEW AND PERMIT.
 - 8' HEIGHT C.M.U. SCREEN WALL - SEE DETAIL 31/AS1.03.
 - ADA ACCESSIBLE PATH FROM PUBLIC WAY TO BUILDING ENTRANCES AND COMMON OUTDOOR SPACE.
 - MONUMENT SIGN LOCATION - SIGNAGE PACKAGE SEPARATE SUBMITTAL.
 - C.M.U. PARKING SCREEN WALL TYP.- SEE DETAIL 41/AS1.03.
 - CITY OF MESA STANDARD FIRE APPARATUS TURNING RADI - 35' INSIDE RADIUS, 55' OUTSIDE RADIUS.
 - EXISTING CURB AND GUTTER - SEE CIVIL.
 - TEXTURED CONCRETE GROSSWALK TO BE DIFFERING COLOR AND TEXTURE FROM ASPHALTIC PAVING.
 - POLE MOUNTED LIGHT FIXTURE TYP. - SEE DETAIL 24/AS1.03 AND ELECTRICAL DRAWINGS.
 - RAISED MEDIAN PER CITY OF MESA DETAIL M-46.05.1. - REFER TO CIVIL.
 - OUTDOOR COMMON AMENITY SPACE - REFER TO LANDSCAPE SHEET L2.0 FOR ENLARGED PLANS AND DETAILS.
 - EXISTING IRRIGATION FACILITY TO BE RELOCATED.
 - PROPOSED IRRIGATION FACILITY. LOCATION TO BE COORDINATED WITH AND APPROVED BY WATER RESOURCES.
 - FUTURE RAISED MEDIAN - PART OF SEPARATE FUTURE SUBMITTAL.

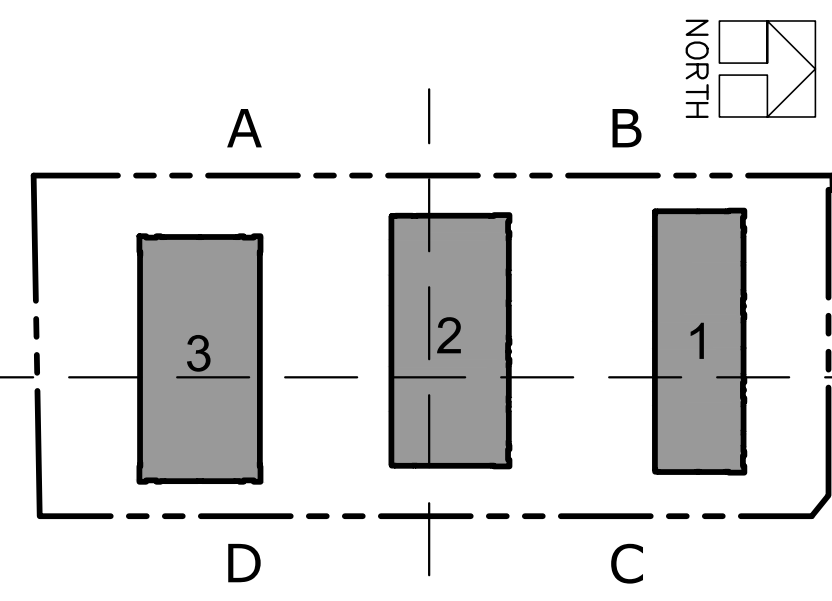
LEGEND

- PROPERTY LINE
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- EGRESS MAN DOOR

GENERAL NOTES

- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- ALL SITE IMPROVEMENTS: PAVING, CONCRETE CURBS, GUTTERS, ETC. SHALL BE DESIGNED AND INSTALLED PER THE GEOTECHNICAL SOILS REPORT.
- ALL PEDESTRIAN SIDEWALKS, CROSSWALKS, AND AISLES THROUGHOUT THE SITE AND INCLUDING CONNECTIONS TO THE PUBLIC WAY ARE PART OF THE ACCESSIBLE ROUTE AND SHALL/HAVE BEEN DESIGNED TO MEET ACCESSIBLE ROUTE GUIDELINES AND REQUIREMENTS.
- CURBING ALONG ALL FIRE ACCESS LANES, OTHER THAN THAT WITHIN PARKING STALLS, SHALL BE PAINTED AND MARKED "NO PARKING - FIRE LANE". INSTALL SIGNAGE - SEE DETAIL 11/AS1.03.
- SPRINKLER SYSTEM CAPABILITIES AND LIMITATIONS PLACARD OR PLACARDS SHALL BE INSTALLED AS REQUIRED IN CITY OF PHOENIX FIRE CODE.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



GREENFIELD INDUSTRIAL

HOPWELL DEVELOPMENT

SWC Greenfield Road & McDowell Road
Mesa, Arizona

SITE PLAN
DESIGN REVIEW
(Title)
9.22.2022
(Revisions)

(Project Number)
30-22167-00
(Sheet Title)

ENLARGED
SITE PLAN -
AREA A

(Sheet Number)

AS1.01A

NOTE: THE SITE KEYNOTES LISTED BELOW ARE TYPICAL TO THE PROJECT AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

1. BOLLARD TYP. - SEE DETAIL 14/A1.08
2. STANDARD CONCRETE SIDEWALK - SEE CIVIL
3. 6" CONCRETE CURB (AND GUTTER) TYP. - SEE CIVIL DRAWINGS
4. ASPHALTIC PAVING - SEE CIVIL AND SOILS REPORT.
5. PAINT STRIPING - SEE CIVIL DRAWINGS.
6. BICYCLE RACK - SEE DETAIL 13 & 23/A51.03.
7. CITY OF MESA STANDARD PARKING STALL TYP. (9'-0" X 18'-0")
8. VAN ACCESSIBLE PARKING STALL (11' X 18') WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/A51.02.
9. ACCESSIBLE PARKING STALL (11' X 18') WITH 5'-0" ACCESS AISLE TYP. - SEE DETAIL 25/A51.02.
10. ADA ACCESSIBLE RAMPS TYP. - SEE CIVIL DRAWINGS AND DETAILS 21, 31, 41/A51.02..
11. ACCESSIBLE SIGNAGE - SEE DETAILS 34, 35, 43/A51.02.
12. LANDSCAPE/RETENTION - REFER TO CIVIL.
13. C.M.U. PARKING SCREEN WALL TYP. - SEE DETAIL 31/A51.03.
14. ELECTRICAL S.E.S. LOCATION - REFER TO ELECTRICAL.
15. ELECTRICAL TRANSFORMER & CONCRETE PAD - SEE ELECTRICAL.
16. MANUAL SLIDING SECURITY GATE - 40' DRIVE - SEE DETAIL 43/A51.03.
17. FUEL CONTAINER LOCATION - SEE DETAIL 15/A51.02.
18. CONCRETE PAVING - SLOPE AWAY FROM BUILDING - SEE CIVIL FOR GRADES.
19. FIRE PUMP/RISER LOCATION SEE FIRE SPRINKLER DRAWINGS UNDER SEPARATE REVIEW AND PERMIT.
20. 8' HEIGHT C.M.U. SCREEN WALL - SEE DETAIL 31/A51.03.
21. ADA ACCESSIBLE PATH FROM PUBLIC WAY TO BUILDING ENTRANCES AND COMMON OUTDOOR SPACE.
22. MONUMENT SIGN LOCATION - SIGNAGE PACKAGE SEPARATE SUBMITTAL.
23. C.M.U. PARKING SCREEN WALL TYP.- SEE DETAIL 41/A51.03.
24. CITY OF MESA STANDARD FIRE APPARATUS TURNING RADIUS - 35' INSIDE RADIUS, 55' OUTSIDE RADIUS.
25. EXISTING CURB AND GUTTER - SEE CIVIL.
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- A. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
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- C. ALL PEDESTRIAN CROSSING, SIDEWALKS, AND AISLES THROUGHOUT THE SITE AND INCLUDING CONNECTIONS TO THE PUBLIC WAY ARE PART OF THE ACCESSIBLE ROUTE AND SHALL/HAVE BEEN DESIGNED TO MEET ACCESSIBLE ROUTE GUIDELINES AND REQUIREMENTS.
- D. CURBING ALONG ALL FIRE ACCESS LANES, OTHER THAN THAT WITHIN PARKING STALLS, SHALL BE PAINTED AND MARKED "NO PARKING - FIRE LANE". INSTALL SIGNAGE - SEE ATTACHMENT 10.0.
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DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194



GREENFIELD INDUSTRIAL

SWC Greenfield Road & McDowell Road

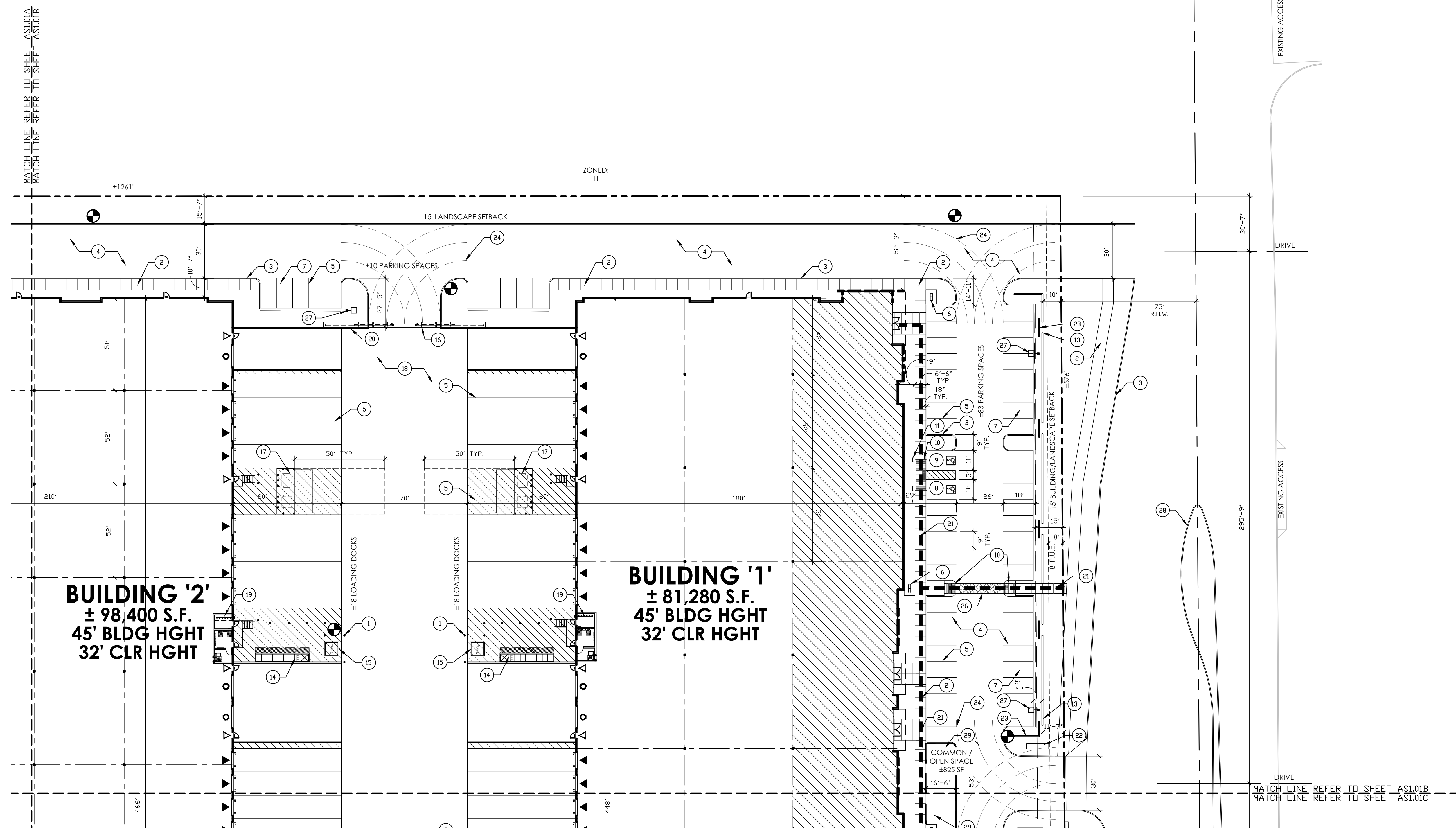
**SITE PLAN
DESIGN REVIEW**
(Date)
9.22.2022
(Revisions)

(Project Number)
30-22167-00
(Sheet Title)

ENLARGED
SITE PLAN -
AREA B

(Sheet Number

(Sheet Number)
AS1.01B

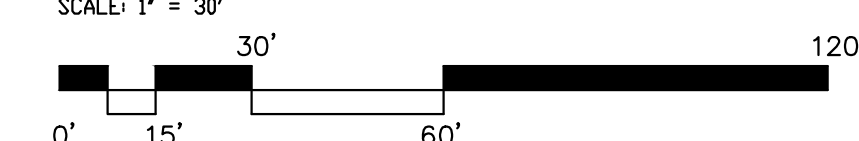


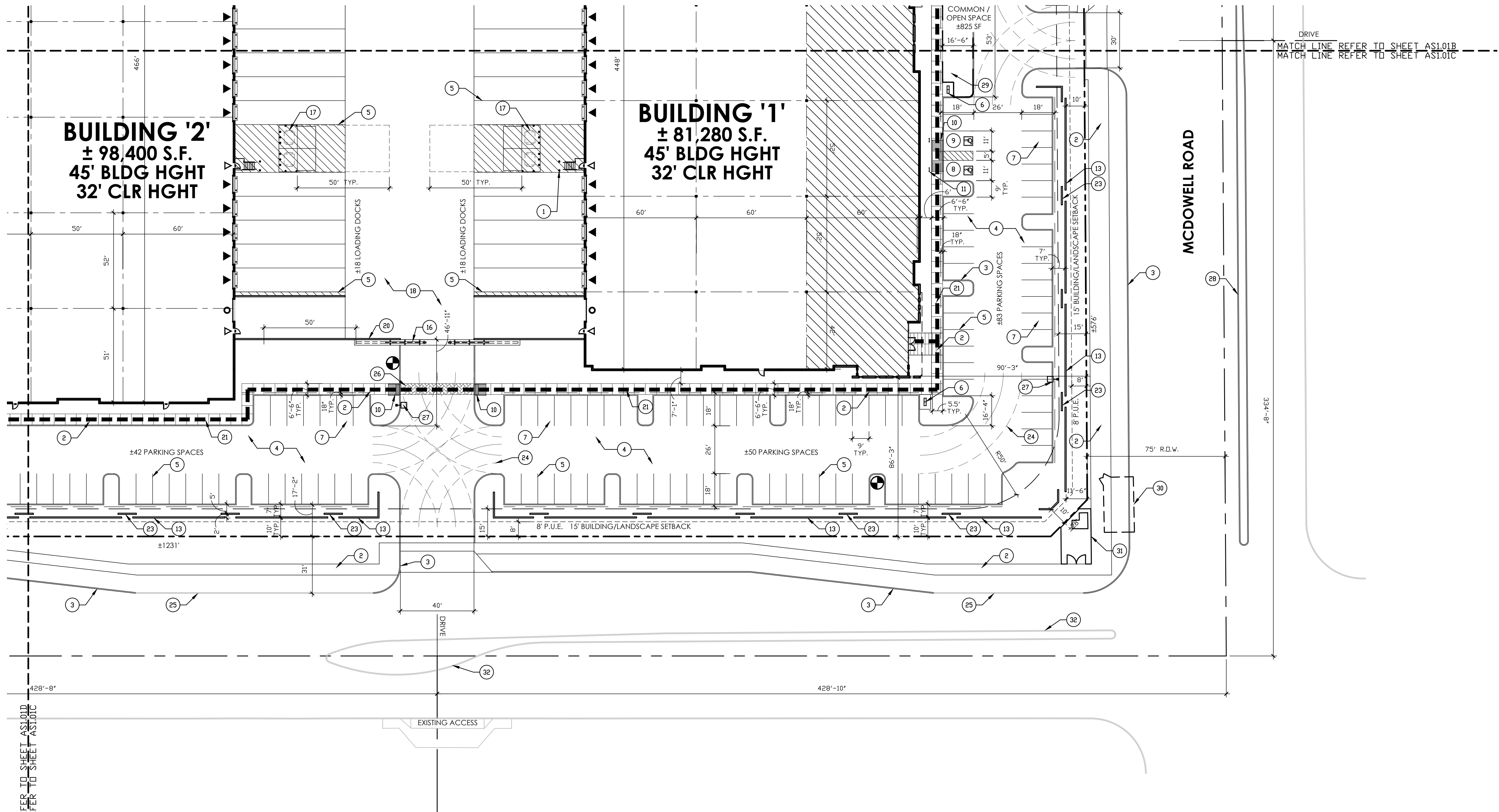
SCALE: 1" = 30'

30'

120'

0' 15' 60'





LEGEND NOTES

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 5. PAINT STRIPING - SEE CIVIL DRAWINGS.
 6. BICYCLE RACK - SEE DETAIL 13 & 23/AS1.03.
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 11. ACCESSIBLE SIGNAGE - SEE DETAILS 34, 35, 43/AS1.02.
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 14. ELECTRICAL S.E.S. LOCATION - REFER TO ELECTRICAL.
 15. ELECTRICAL TRANSFORMER & CONCRETE PAD - SEE ELECTRICAL.
 16. MANUAL SLIDING SECURITY GATE - 40' DRIVE - SEE DETAIL 43/AS1.03.
 17. REFUSE CONTAINER LOCATION - SEE DETAIL 15/AS1.02.
 18. CONCRETE PAVING - SLOPE AWAY FROM BUILDING - SEE CIVIL FOR GRADES.
 19. FIRE PUMP/RISER LOCATION SEE FIRE SPRINKLER DRAWINGS UNDER SEPARATE REVIEW AND PERMIT.
 20. 8' HEIGHT C.M.U. SCREEN WALL - SEE DETAIL 31/AS1.03.
 21. ADA ACCESSIBLE PATH FROM PUBLIC WAY TO BUILDING ENTRANCES AND COMMON OUTDOOR SPACE.
 22. MONUMENT SIGN LOCATION - SIGNAGE PACKAGE SEPARATE SUBMITTAL.
 23. C.M.U. PARKING SCREEN WALL TYP.- SEE DETAIL 41/AS1.03.
 24. CITY OF MESA STANDARD FIRE APPARATUS TURNING RADI - 35' INSIDE RADIUS, 55' OUTSIDE RADIUS.
 25. EXISTING CURB AND GUTTER - SEE CIVIL.
 26. TEXTURED CONCRETE GROSSWALK TO BE DIFFERING COLOR AND TEXTURE FROM ASPHALTIC PAVING.
 27. POLE MOUNTED LIGHT FIXTURE TYP. - SEE DETAIL 24/AS1.03 AND ELECTRICAL DRAWINGS.
 28. RAISED MEDIAN PER CITY OF MESA DETAIL M-46.05.1. - REFER TO CIVIL.
 29. OUTDOOR COMMON AMENITY SPACE - REFER TO LANDSCAPE SHEET L2.0 FOR ENLARGED PLANS AND DETAILS.
 30. EXISTING IRRIGATION FACILITY TO BE RELOCATED.
 31. PROPOSED IRRIGATION FACILITY. LOCATION TO BE COORDINATED WITH AND APPROVED BY WATER RESOURCES.
 32. FUTURE RAISED MEDIAN - PART OF SEPARATE FUTURE SUBMITTAL.

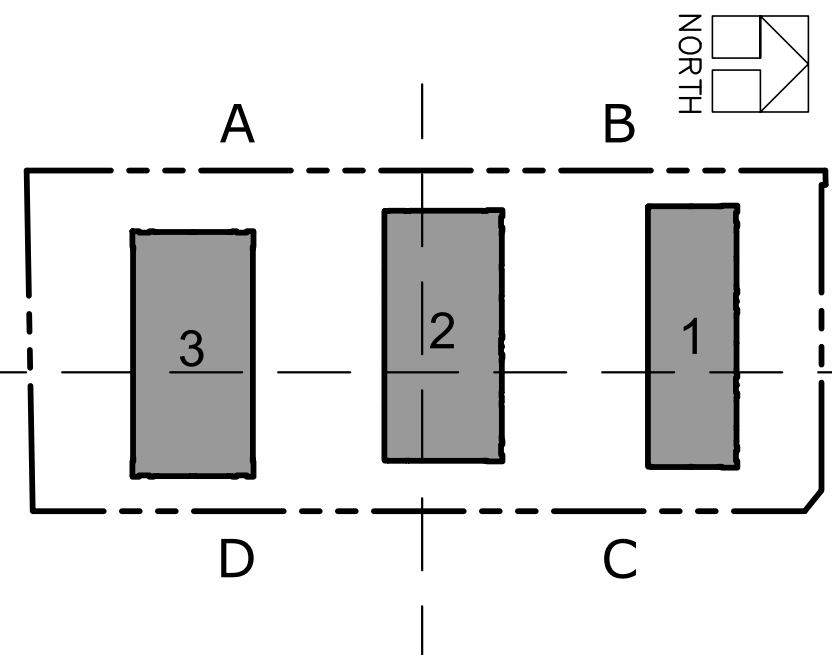
LEGEND

- PROPERTY LINE
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- EGRESS MAN DOOR

GENERAL NOTES

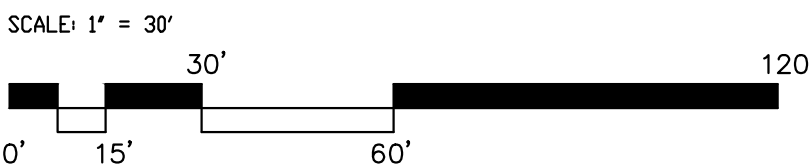
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- ALL SITE IMPROVEMENTS: PAVING, CONCRETE CURBS, GUTTERS, ETC. SHALL BE DESIGNED AND INSTALLED PER THE GEOTECHNICAL SOILS REPORT.
- ALL PEDESTRIAN SIDEWALKS, CROSSWALKS, AND AISLES THROUGHOUT THE SITE AND INCLUDING CONNECTIONS TO THE PUBLIC WAY ARE PART OF THE ACCESSIBLE ROUTE AND SHALL/HAVE BEEN DESIGNED TO MEET ACCESSIBLE ROUTE GUIDELINES AND REQUIREMENTS.
- CURBING ALONG ALL FIRE ACCESS LANES, OTHER THAN THAT WITHIN PARKING STALLS, SHALL BE PAINTED AND MARKED "NO PARKING - FIRE LANE". INSTALL SIGNAGE - SEE DETAIL 11/AS1.03.
- SPRINKLER SYSTEM CAPABILITIES AND LIMITATIONS PLACARD OR PLACARDS SHALL BE INSTALLED AS REQUIRED IN CITY OF PHOENIX FIRE CODE.

KEY PLAN



DESIGN REVIEW CASE #: DRB22-00730
ZONING CASE #: ZON22-00731
PRE-SUB CASE #: PRS21-01194

ENLARGED SITE PLAN - AREA C



AS1.02 SCALE: 1-1/2" = 1'-0"

-

AS1.02 SCALE: 1-1/2" = 1'-0"

SCALE: 1-1/2" = 1'-0"

-

AS1.02 SCALE: 1-1/2" = 1'-0"

SCALE: 1-1/2" = 1'-0"

-

SCALE: $3/8" = 1'-0"$

SCALE: $3/8" = 1'-0"$

- NOTE: REFER TO CIVIL PLANS
AND SOILS REPORT FOR BOTH
FOUNDATION AND SUB-BASE
THICKNESSES.

SCALE: 1/8" = 1'-0"

- 5'-0"x5'-0" SYMBOL OF
ACCESSIBILITY PER
CITY REQUIREMENTS.
ASPHALTE PAVING
STALL SIGN - BOTTOM
OF SIGN SHALL BE 5'-0"
ABOVE FINISH GRADE -
VERIFY LOCATION PRIOR
TO CONSTRUCTION. SEE
DETAIL 34.35. 43/AT10.8.
PAINTED 4" WIDE WHITE
LINE STRIPING.
PAINTED ACCESS AISLE ON
ASPHALT PAVEMENT.
CONCRETE CURB AND RAMP
- SEE 21, 31, 41/AT10.8
AND CIVIL DRAWINGS.
CONCRETE VERTEICAL CURB
FLUSH WITH PAVING - SEE
CIVIL DRAWINGS.
CONCRETE SIDEWALK WHERE
IT OCCURS - SEE SITE PLAN
SEE SITE PLAN FOR EXTENT
OF DEEPENED SIDEWALK.
PRE-CAST CONCRETE
WHEEL STOPS - SEE
DETAIL 12/AT10.9.

SCALE: 1/8" = 1'-0"

-
- Figure 10 consists of two cross-sectional diagrams of a curb and gutter. The left diagram shows a curb with a 6-inch top width, a 1'-6 inch height, and an 8-inch base width. The curb is labeled with callouts 2, 3, 6, and 7. The right diagram shows a curb with a 6-inch top width, a 1'-0 inch height, and an 8-inch base width. It features a 2'-0 inch detectable warning area and a maximum slope of 2%. The curb is labeled with callouts 1, 3, 4, and 5. Both diagrams show a cross-section of the curb and gutter assembly, including the concrete curb, the gutter, and the underlying base and subgrade layers.

AS1.02 SCALE: 1-1/2' = 1"=0'

-
- Figure 1: Typical cross-section of a concrete curb and gutter. The diagram shows a cross-section of a road edge with a concrete curb and gutter. Key dimensions include a total width of 6'-0" (LONG IF RISE 6" - 1:12 MAX. SLOPE), a curb height of 6", a gutter depth of 1'-6", and a sloped section of 2'-0" (TRUNCATED DOMES). Callouts 1 through 5 indicate specific components: 1. Concrete curb, 2. Truncated domes, 3. Gutter, 4. Concrete curb, 5. Sloped section.

AS1.02 SCALE: 1" = 1'-0"

-

AS1.02 SCALE: 1" = 1'-0"

-

AS1.02 SCALE: 2" = 1'-0"

-

AS1.02 SCALE: 3" = 1'-0"

1. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR PERSONS WITH DISABILITIES BY A SIGN SHOWING THE INTERNATIONAL WHEELCHAIR SYMBOL. PREFERRED SYMBOL SHOWN.
2. THE SIGN MUST HAVE THE MINIMUM VERBAGE OF "RESERVED PARKING", INTERNATIONAL WHEELCHAIR SYMBOL AND CITY CODE.
3. THE SIGN PLATE SHALL BE A MINIMUM OF 12" X 24" WITH A THICKNESS OF 0.080 ALUMINUM CONSTRUCTION.
4. THE SIGN FACE SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A BLUE LEGEND. (STANDARD 3M SCOTCHUTE SIGN FACE NUMBER R7-32 OR EQUIVALENT, WITH BLUE SCREEN PRINTED LETTERS AS SHOWN)
5. ONE IN SIX COVERED ACCESSIBLE SPACES SHALL BE DESIGNATED FOR HIGH PROFILE. UNLESS ALL SPACES ARE HIGH PROFILE SPACES AN ADDITIONAL SIGN DESIGNATING "VAN ACCESSIBLE" SHALL BE INCLUDED.
6. THE SIGNS SHALL BE ON A STATIONARY POST OR APPROVED VEHICLE MOUNTATION. THESE SIGNS SHALL NOT BE OCCUPIED.
7. THE BOTTOM OF THE SIGN(S) SHALL BE LOCATED NO LESS THAN FIVE (5) FEET OR MORE THAN SIX (6) FEET ABOVE THE GRADE (PARKING LOT SURFACE) AND SHALL BE VISIBLE DIRECTLY IN FRONT OF THE PARKING SPACE.

AS1.02 SCALE: 1 1/2" = 1'-0"

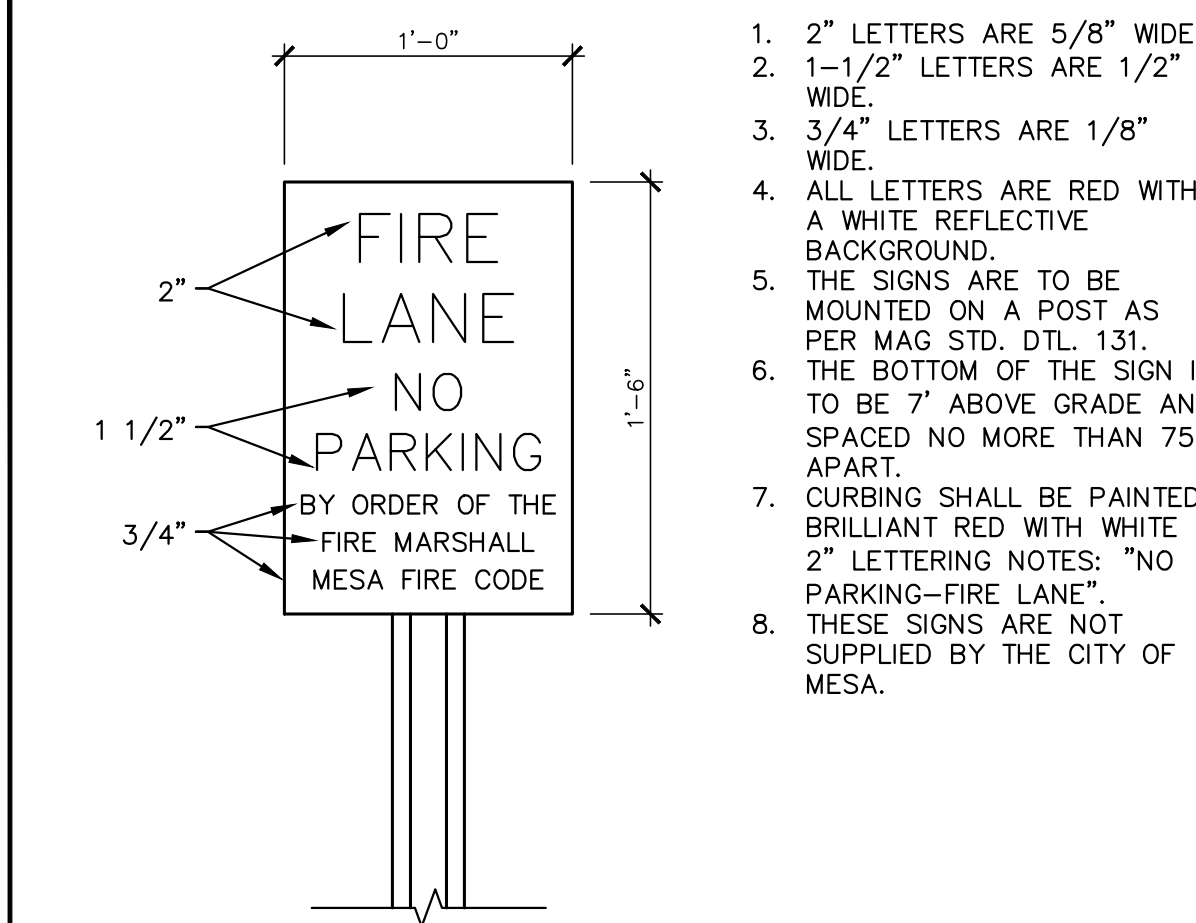
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- Diagram illustrating the components of a reserved parking sign. The sign is rectangular with a white background and a black border. It features the text "RESERVED PARKING" at the top, a wheelchair symbol with a person in a wheelchair, and the text "FOR VEHICLES SHOWING DISABLED INSIGNIA OR LICENSE PLATE ONLY" and "MESA CITY CODE SEC. CITY OF MESA". Below the main sign is a smaller rectangular sign with the text "VAN ACCESSIBLE". To the right of the main sign is a separate square sign with the wheelchair symbol and the text "ALTERNATE SYMBOL". Callouts 1 through 7 point to various parts of the signs and their mounting.
- 1. Top of sign
 - 2. "RESERVED PARKING" text
 - 3. Wheelchair symbol
 - 4. "FOR VEHICLES SHOWING DISABLED INSIGNIA OR LICENSE PLATE ONLY" text
 - 5. "MESA CITY CODE SEC. CITY OF MESA" text
 - 6. Bottom of sign
 - 7. Mounting post

SEC. - A

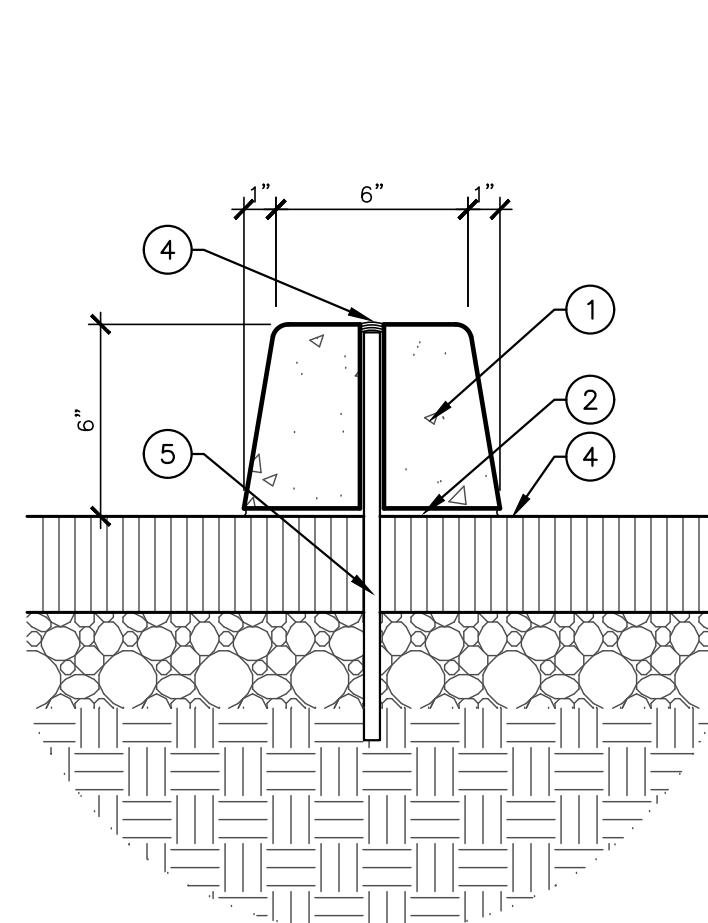
-
- DETAIL**
- A**
- OTE:
GRIND ALL WELDS SMOOTH,
PRIME & PAINT.
PAINT ALL METAL COLOR **D**
REFER TO SHEET A4.01 FOR
COLOR & FINISH DESIGNATIONS.

SCALE: $1/2'' = 1'-0''$

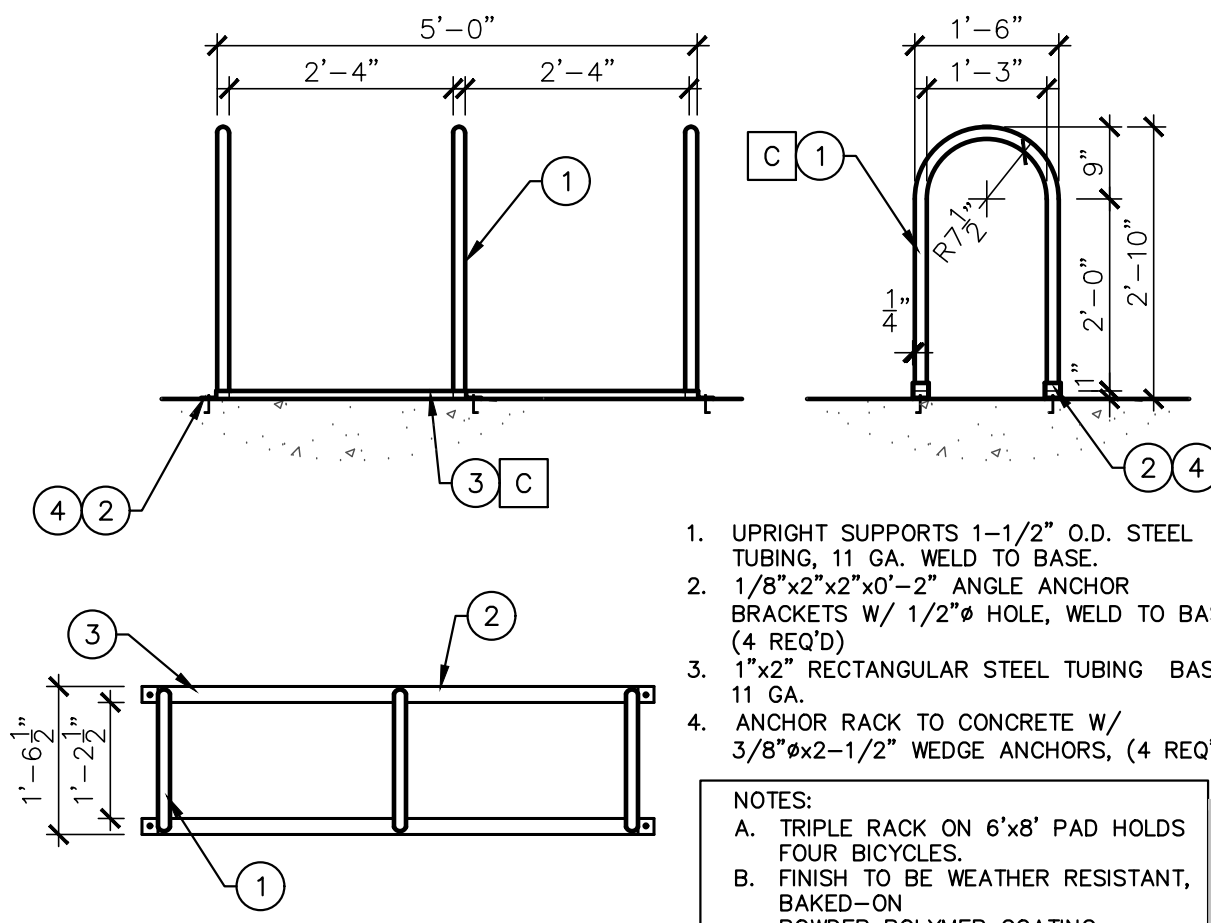
- NOTE:
- A. GRIND ALL WELDS SMOOTH, PRIME & PAINT.
 - B. PAINT ALL METAL COLOR D
 - C. REFER TO SHEET A4.01 FOR COLOR & FINISH DESIGNATIONS.



- 2" LETTERS ARE 5/8" WIDE.
- 1-1/2" LETTERS ARE 1/2" WIDE.
- 3/4" LETTERS ARE 1/8" WIDE.
- ALL LETTERS ARE RED WITH A WHITE REFLECTIVE BACKGROUND.
- THE SIGNS ARE TO BE MOUNTED ON A POST AS PER MAG STD. DTL. 131.
- THE BOTTOM OF THE SIGN IS TO BE 7" ABOVE GRADE AND SPACED NO MORE THAN 75" APART.
- CURBING SHALL BE PAINTED BRILLIANT RED WITH WHITE 2" LETTERING. NOTES: "NO PARKING-FIRE LANE".
- THESE SIGNS ARE NOT SUPPLIED BY THE CITY OF MESA.



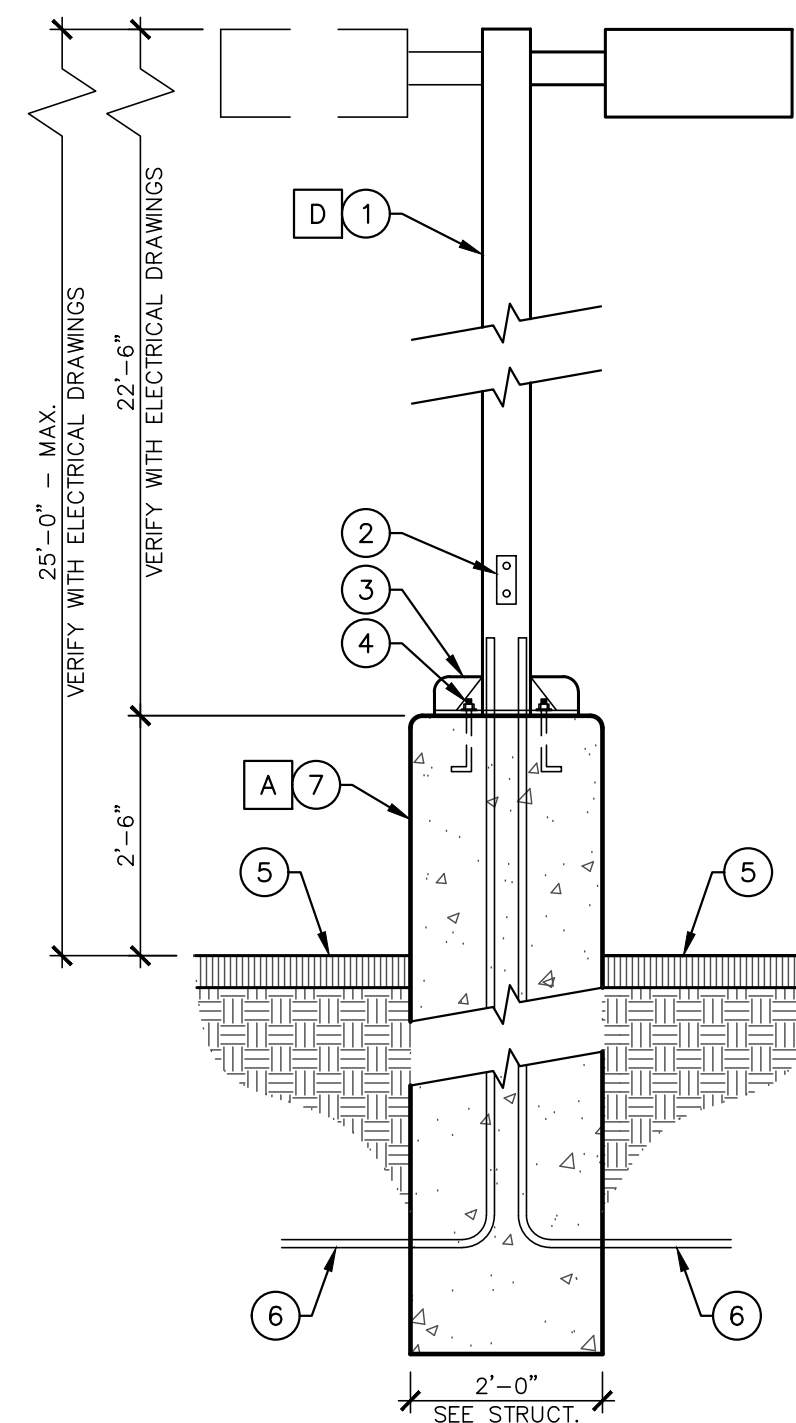
- 3" HIGH x 6'-0" LONG PRECAST WHEEL STOP.
- ASPHALTIC BOND.
- PAVEMENT. - SEE CIVIL DRAWINGS.
- SEALANT (TYP.)
- HOLD DOWN PIN AT ASPHALT PAVING - SEE SPECIFICATIONS.



- UPRIGHT SUPPORTS 1-1/2" O.D. STEEL TUBING, 11 GA. WELD TO BASE.
 - 1/8"x2"x2"x0-2" ANGLE ANCHOR BRACKETS W/ 1/2" HOLE, WELD TO BASE. (4 REQ'D)
 - 1"x2" RECTANGULAR STEEL TUBING BASE, 11 GA.
 - ANCHOR RACK TO CONCRETE W/ 3/8"x2-1/2" WEDGE ANCHORS, (4 REQ'D).
- NOTES:
A. TRIPLE RACK ON 6'x8" PAD HOLDS FOUR BICYCLES.
B. FINISH TO BE WEATHER RESISTANT, BAKED-ON POWDER POLYMER COATING.
C. SEE EXTERIOR ELEVATIONS SHEET A4.01C FOR FINISH DESIGNATIONS.

- POLE MANUFACTURED BY "CEMTEC" OR APPROVED EQUAL W/ LIGHT FIXTURE - DARK BRONZE - SEE ELECTRICAL.
- HANDHOLE (TAMPER-PROOF SCREWS WHERE OVER 150 VOLTS TO GROUND).
- BASE COLLAR WITH GUSSET PLATE GROUT W/ NON-SHRINK GROUT AFTER LEVELING.
- (4) HOT DIPPED GALVANIZED STEEL BOLTS FURNISHED WITH POLE TACK WELD NUTS TO WASHERS AND WASHERS TO BASE PLATE AFTER TIGHTENING BOLTS.
- PAVED SURFACE/FINISHED GRADE AS OCCURS, SEE SITE PLAN.
- PVC CONDUIT W/ BOND WIRE, SEE ELECTRICAL.
- CONCRETE BASE POUR AGAINST UNDISTURBED OR WELL COMPACTED EARTH SEE STRUCTURAL.

- NOTES:
A. EPA RATINGS AND SOIL CONDITIONS SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
B. BONDING CONDUCTOR SHALL BE #6 BARE COPPER.
C. FIXTURE & POLE TO MATCH COLOR D
D. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.

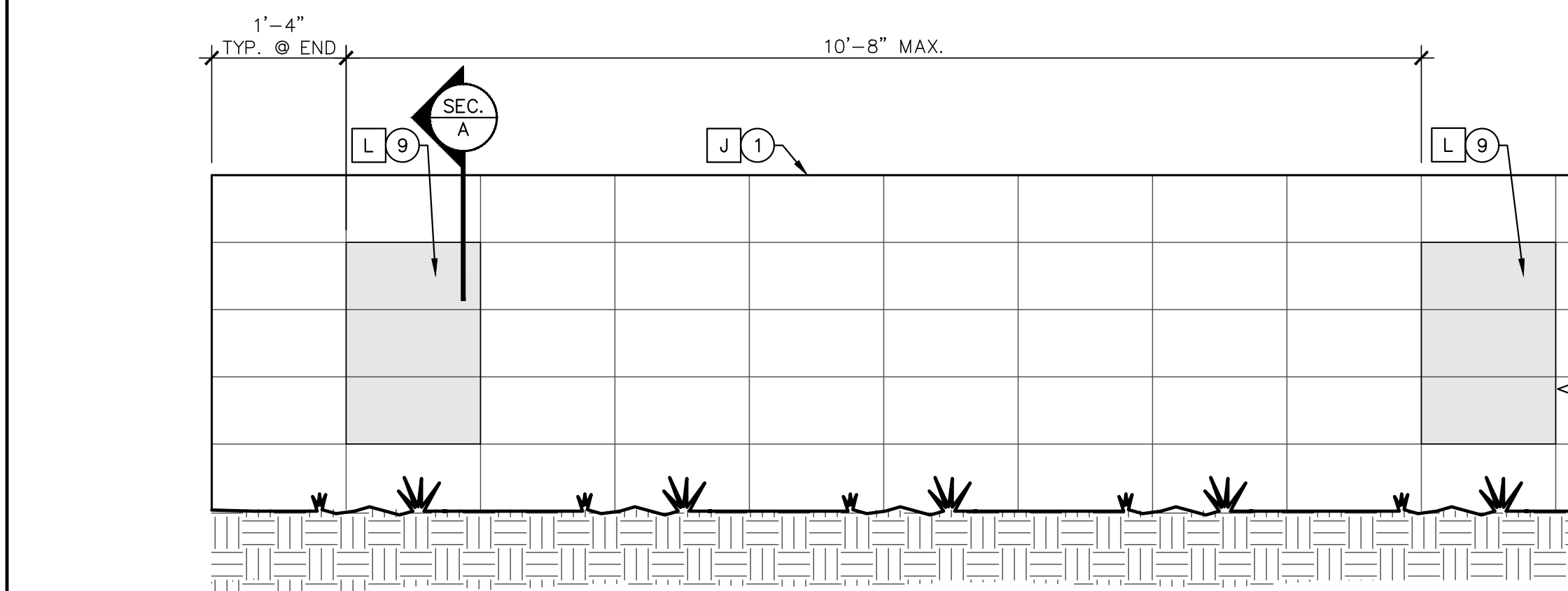


11 FIRE SIGNAGE
SCALE: 1 1/2" = 1'-0"

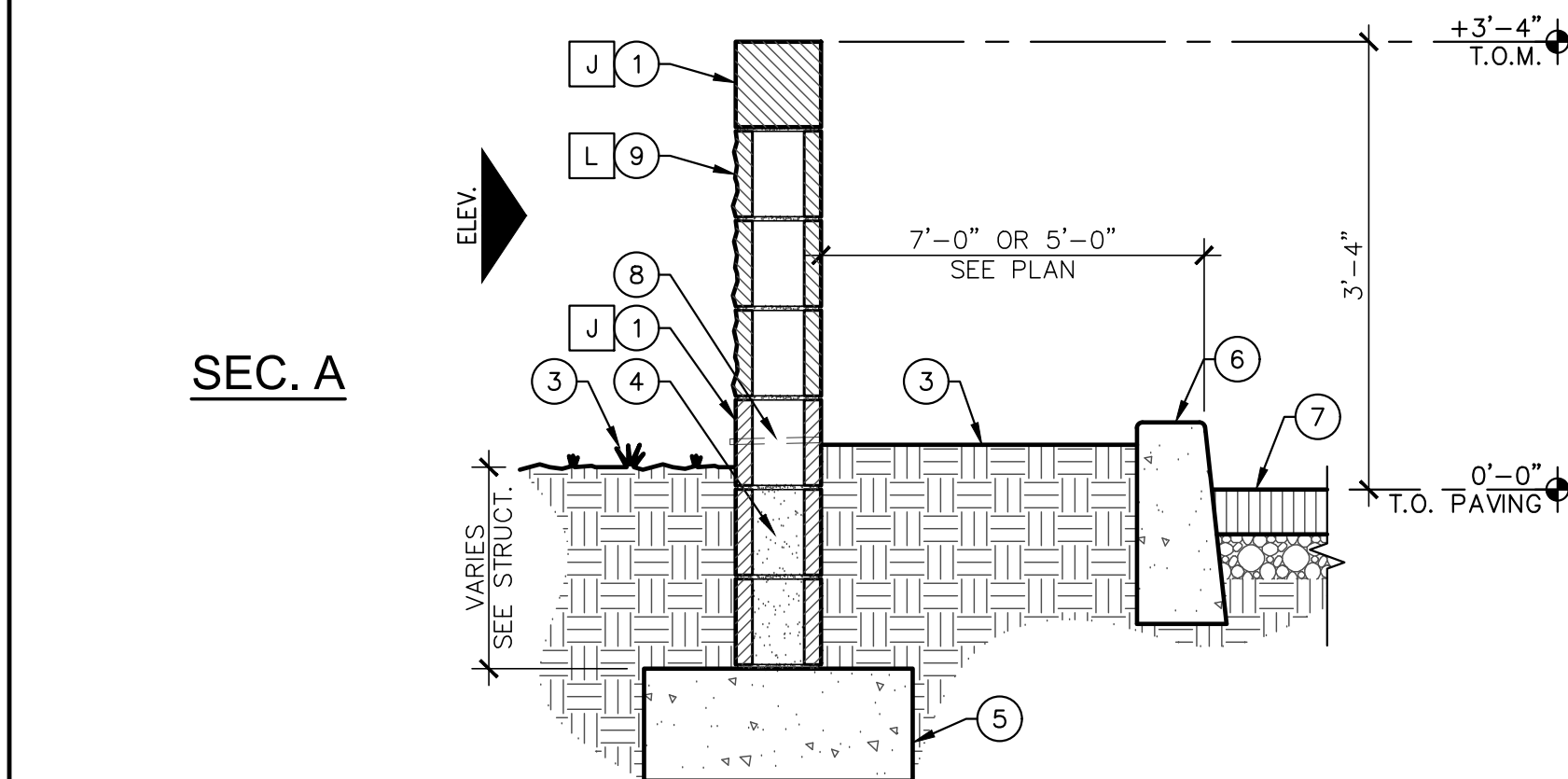
12 CONCRETE WHEEL STOP
SCALE: 2" = 1'-0"

13 BICYCLE RACK
SCALE: 1/2" = 1'-0"

24 SITE POLE LIGHTING FIXTURE
SCALE: 1/2" = 1'-0"



ELEV.



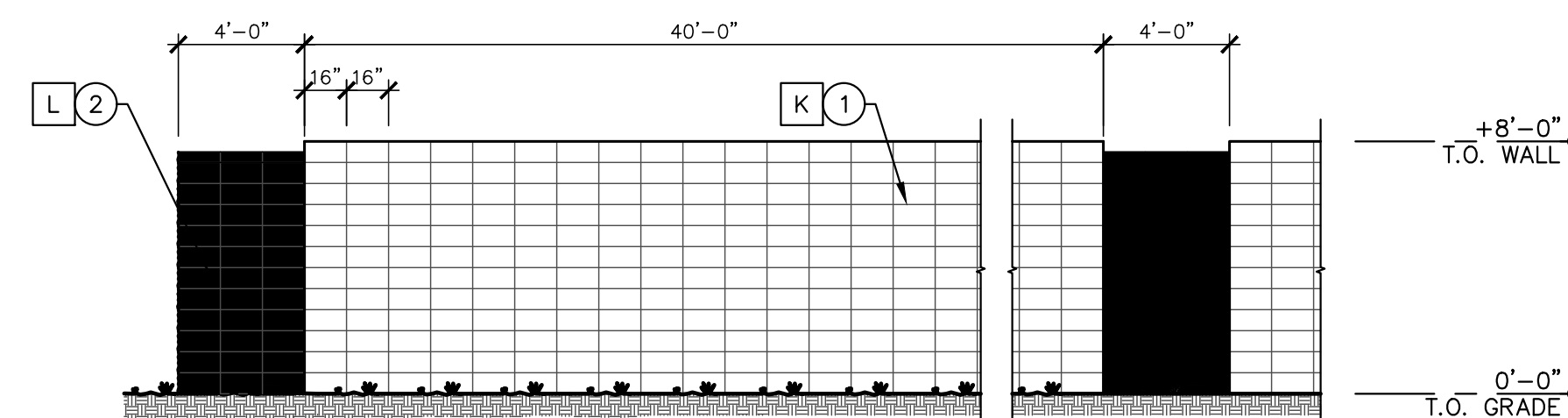
SEC. A

- 8" SMOOTH FACE CMU - SEE ELEVATIONS FOR COURSING AND PATTERN
- 8" SPLIT FACE CMU - SEE ELEVATIONS FOR COURSING AND PATTERN. CONTINUE SPLIT FACE BLOCK ONE COURSE BELOW FINISH GRADE - MIN.
- GRADE VARIES - SEE CIVIL DRAWINGS.
- GROUT SOLID UP TO FINISH GRADE, TYPICAL.
- CONCRETE FOOTING - SEE STRUCTURAL DRAWINGS.
- CONCRETE CURB - SEE SITE PLAN AND CIVIL DRAWINGS.
- ASPHALTIC CONCRETE OVER A.B.C. FILL - SEE CIVIL DRAWINGS.
- 1/2" DIA. WEEP HOLES @ 2'-0" O.C. AS REQ'D FOR DRAINAGE - SEE CIVIL DRAWINGS.
- 8" SPLIT FACE CMU ACCENT - SEE ELEVATIONS FOR COURSING AND PATTERN.

- NOTE:
A. SEE STRUCTURAL FOR REINFORCING.
B. SEE ELEVATION SHEETS FOR COLOR & FINISH DESIGNATIONS.
C. THE HIGHER SECTION OF PARKING SCREEN WALL SHALL BE THE WALL OFFSET CLOSEST TO THE STREETS.

31 PARKING SCREEN WALL - LONG
SCALE: 3/4" = 1'-0"

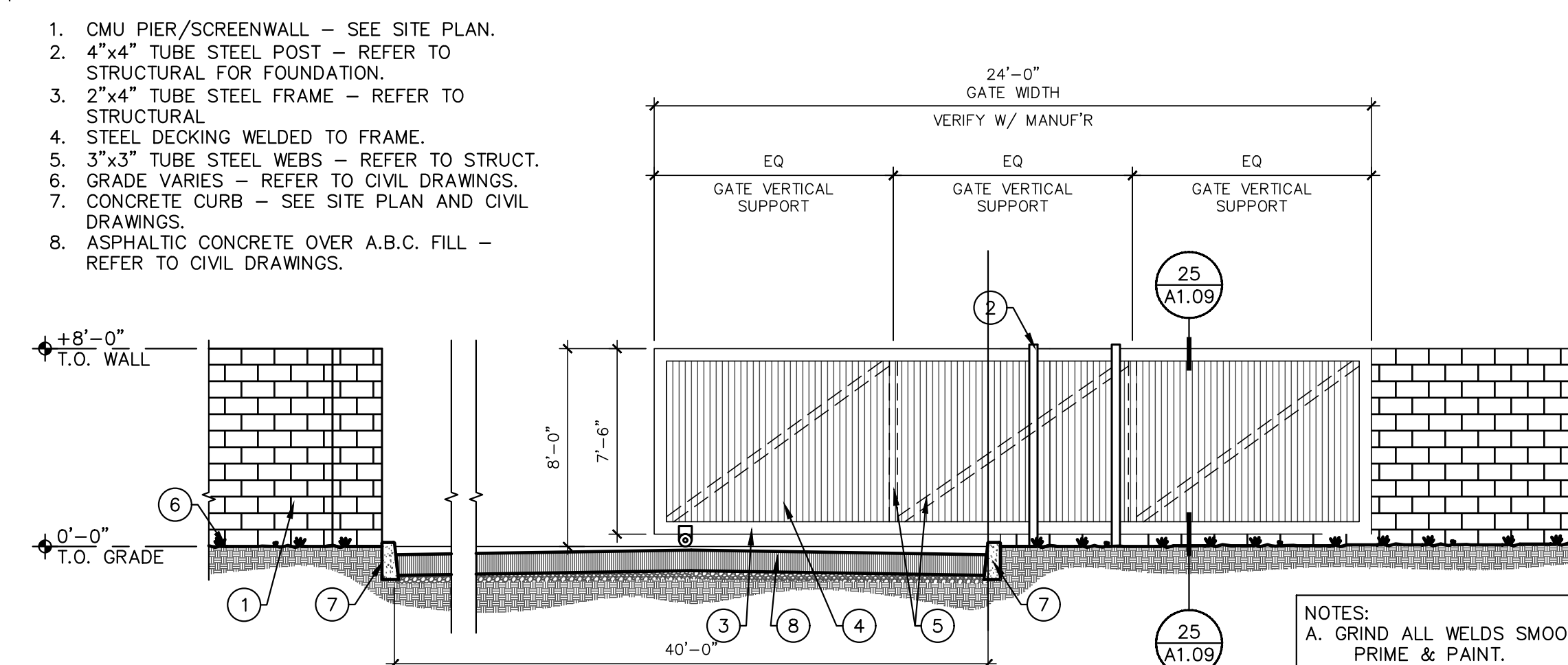
23 BICYCLE RACK CONCRETE PAD
SCALE: 1/2" = 1'-0"



- 8" SMOOTH FACE CMU - "K" HUNTINGTON GRAY PRECISION INTEGRAL COLOR.
- 8" SPLIT FACE CMU - "L" OPAL PRECISION INTEGRAL COLOR.

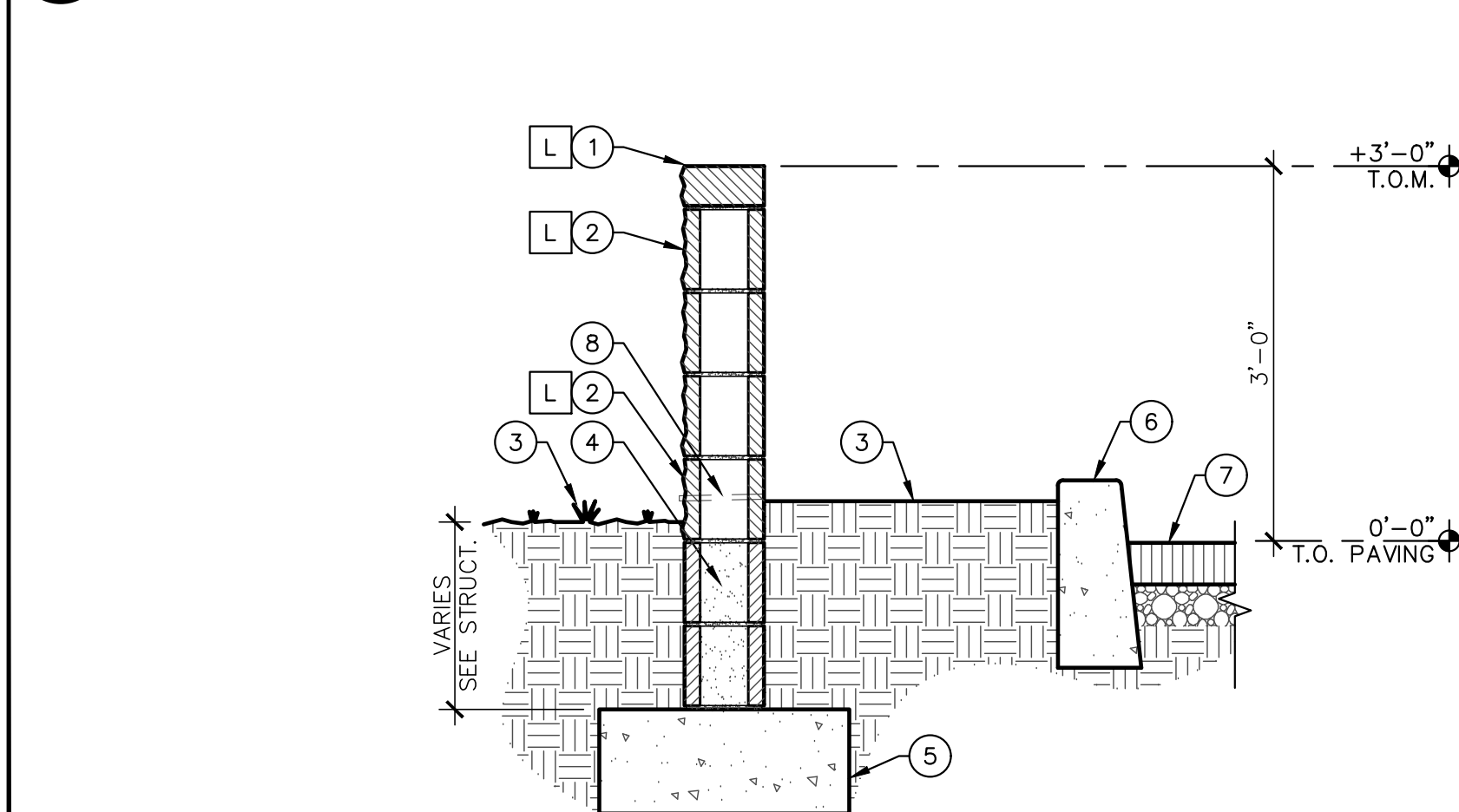
- NOTE:
A. SEE STRUCTURAL FOR REINFORCING.
B. TYPICAL WALL ELEVATION FOR 8'-0" SCREEN WALL.

33 SCREEN WALL AT TRUCK COURT
SCALE: 3/16"=1'-0"



- NOTES:
A. GRIND ALL WELDS SMOOTH, PRIME & PAINT.
B. PAINT ALL METAL, COLOR E.

43 SECURITY SLIDING GATE - OPAQUE
3/16" = 1'-0"



- 4" SPLIT FACE CMU CAP
- 8" SPLIT FACE CMU - CONTINUE SPLIT FACE BLOCK ONE COURSE BELOW FINISH GRADE - MIN.
- GRADE VARIES - SEE CIVIL DRAWINGS.
- GROUT SOLID UP TO FINISH GRADE, TYPICAL.
- CONCRETE FOOTING - SEE STRUCTURAL DRAWINGS.
- CONCRETE CURB - SEE SITE PLAN AND CIVIL DRAWINGS.
- ASPHALTIC CONCRETE OVER A.B.C. FILL - SEE CIVIL DRAWINGS.
- 1/2" DIA. WEEP HOLES @ 2'-0" O.C. AS REQ'D FOR DRAINAGE - SEE CIVIL DRAWINGS.

- NOTE:
A. SEE STRUCTURAL FOR REINFORCING.
B. SEE ELEVATION SHEETS FOR COLOR & FINISH DESIGNATIONS.
C. THE HIGHER SECTION OF PARKING SCREEN WALL SHALL BE THE WALL OFFSET CLOSEST TO THE STREETS.
D. SPLIT FACE TO WRAP TO SIDES OF BLOCK AT BOTH ENDS OF WALL.

41 PARKING SCREEN WALL - SHORT
SCALE: 3/4" = 1'-0"