BUILDING 1 - EXTERIOR ELEVATIONS (NORTH)

25 H712 1

<u>43'−0"</u> T.O. PARAPET

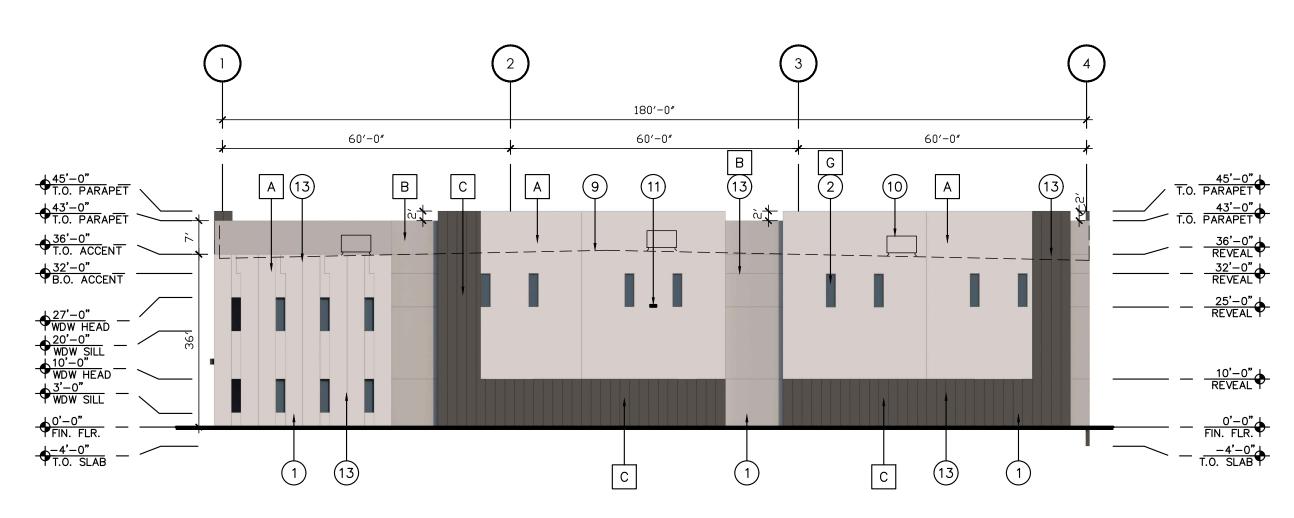
→ 32'-0" B.O. ACCENT

27'-0"
WDW HEAD

15'-0"
WDW SILL

14'-0"
T.O. CANOPY

12'-0"
WDW HEAD



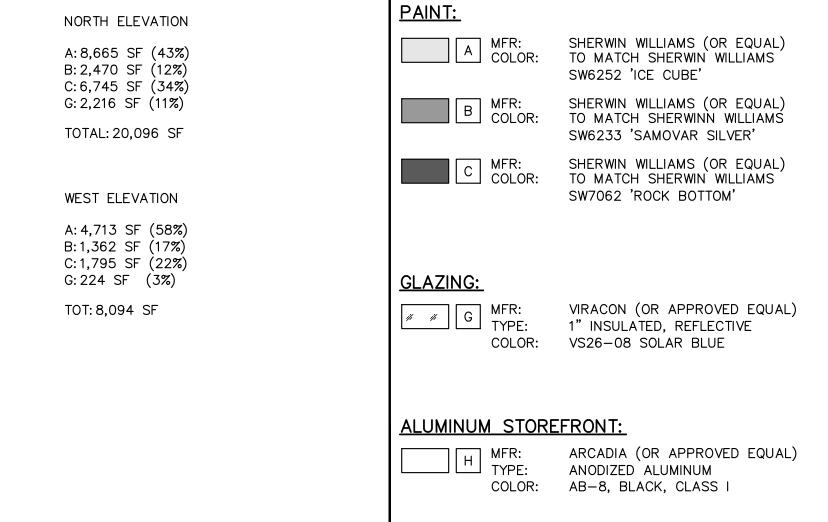
52′-0**″**

52′-0**″**

2 10

52′-0**″**

BUILDING 1 - EXTERIOR ELEVATIONS (WEST)



MATERIAL SCHEDULE

MATERIAL CALCULATIONS

448'-0"

52′-0**″**

5 2 G

MASONRY:

SUPERLITE (OR EQUAL) 8"x8"x16" J MFR: SIZE: TEXTURE: SMOOTH FACE COLOR: 'PEARL WHITE'

K MFR: SIZE: SUPERLITE (OR EQUAL) 8"x8"x16" TEXTURE: SMOOTH FACE COLOR: 'RUTHERFORD GREY'

☐ MFR: SUPERLITE (OR EQUAL) SIZE:

8"x8"x16" TEXTURE: SPLIT FACE COLOR: 'OPAL'

52′-0**″**

BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE. ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT

FULLY ENCLOSED ON IN A RECESSED AREA OF THE

A. BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO

THE BUILDING DESIGN COMPONENTS IN THE DESIGN

MANUAL FOR COMMERCIAL, INSUTRIAL AND MULTI-FAMILY

BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN

OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO

ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW

AND BE SO LOCATED TO BE PERCEIVED AS AN INTERGRAL

NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL

LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE

ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL ME

MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR

. EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT

GENERAL NOTES

SOLAR ORIENTATION.

PART OF THE BUILDING.

RESIDENTIAL DEVELOPMENT.

17

ARCHITECTURAL TREATMENT, ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.

PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.

ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

. PAINTED CONCRETE TILT PANEL.

2. 1" INSULATED GLAZING. 3. C.M.U. SCREEN WALL.

4. HOLLOW METAL DOOR AND FRAME - PAINTED.

5. AL/GL DOOR TO MATCH WINDOW SYSTEM. 6. OVERHEAD DOOR - PAINTED.

STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.

8. NOT USED. 9. LINE OF ROOF BEYOND.

10. LINE OF FUTURE MECHANICAL UNIT BEYOND. 11. LIGHT FIXTURE — SEE ELECTRICAL DRAWINGS.

12. NOT USED.

13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.

14. NOT USED.

15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL THE BACKGROUND COLOR.

WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO

(Sheet Title) **BUILDING 1** COLORED

(Project Number)

30-22167-00

Z

ШЁ

Ш

CD F

9.22.2022

(Revisions)

SITE PLAN

DESIGN REVIEW

DESIGN REVIEW CASE #: DRB22-00730 ZONING CASE #: ZON22-00731 PRE-SUB CASE #: PRS21-01194

EXTERIOR ELEVATIONS

BUILDING 1 - EXTERIOR ELEVATIONS (SOUTH)

<u>+43'−0"</u> T.O. PARAPET >

180'-0" 60'-0" 60'-0" 60'-0" $+\frac{45'-0"}{\text{T.O. PARAPET}}$ XXXXX B.O. ACCENT

→ ACCENT $- \frac{-4'-0"}{\text{T.O. SLAB}}$

52′-0**″**

52′-0**″**

BUILDING 1 - EXTERIOR ELEVATIONS (EAST)

MATERIAL CALCULATIONS SOUTH ELEVATION A: 9,424 SF (44%) B: 3,720 SF (17%) C: 8,198 SF (38%) G: 0 SF TOT: 21,342 SF EAST ELEVATION A: 4,713 SF (58%) B:1,362 SF (17%) C:1,795 SF (22%) G: 224 SF (3%) TOT: 8,094 SF

MATERIAL SCHEDULE PAINT:

448'-0"

52′-0**″**

52′-0**″**

A MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE' B MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWINN WILLIAMS SW6233 'SAMOVAR SILVER' SHERWIN WILLIAMS (OR EQUAL)

C MFR: COLOR: TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING: VIRACON (OR APPROVED EQUAL) G MFK: TYPE: 1" INSULATED, REFLECTIVE COLOR: VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT: TYPE:

ARCADIA (OR APPROVED EQUAL) ANODIZED ALUMINUM COLOR: AB-8, BLACK, CLASS I

MASONRY:

SUPERLITE (OR EQUAL) 8"x8"x16" J MFR: SIZE: TEXTURE: SMOOTH FACE 'PEARL WHITE' COLOR:

K MFR: SIZE: SUPERLITE (OR EQUAL) 8"x8"x16" TEXTURE: SMOOTH FACE COLOR: 'RUTHERFORD GREY'

☐ MFR: SIZE:

SUPERLITE (OR EQUAL) 8"x8"x16" TEXTURE: SPLIT FACE COLOR: 'OPAL'

GENERAL NOTES

52′-0**″**

A. BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INSUTRIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT.

- BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTERGRAL PART OF THE BUILDING.
- . EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL ME LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR
- FACADE. ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT
- ARCHITECTURAL TREATMENT, ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

- . PAINTED CONCRETE TILT PANEL.
- 2. 1" INSULATED GLAZING. 3. C.M.U. SCREEN WALL.
- 4. HOLLOW METAL DOOR AND FRAME PAINTED.
- 5. AL/GL DOOR TO MATCH WINDOW SYSTEM. 6. OVERHEAD DOOR — PAINTED.
- STEEL CANOPY SEE CANOPY DETAILS SHEET A10.02.
- 8. NOT USED.
- 9. LINE OF ROOF BEYOND. 10. LINE OF FUTURE MECHANICAL UNIT BEYOND. 11. LIGHT FIXTURE — SEE ELECTRICAL DRAWINGS.
- 12. NOT USED. 13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP.
- 14. NOT USED. 15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL

WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

(Sheet Title) **BUILDING 1** COLORED **EXTERIOR**

(Project Number)

30-22167-00

ШЁ

9.22.2022

(Revisions)

SITE PLAN

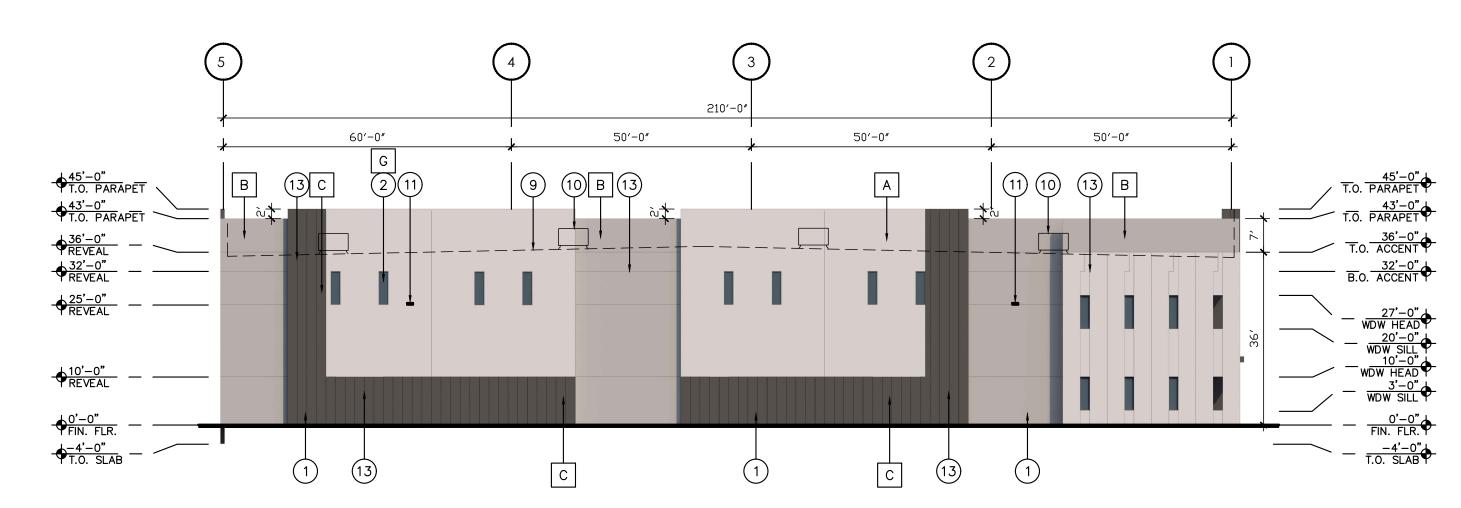
DESIGN REVIEW

DESIGN REVIEW CASE #: DRB22-00730 ZONING CASE #: ZON22-00731 PRE-SUB CASE #: PRS21-01194

ELEVATIONS

466'-0" 52′-0**″** 52′-0**″** 52′-0**″** 52′-0″ 52′-0**″** ↓45'-0" T.O. PARAPET B C A 10 XXXXX → 32'-0" B.O. ACCENT 15'-0" WDW SILL 14'-0" T.O. CANOPY 12'-0" WDW HEAD 2 5 H 2 G 75 25 H712

BUILDING 2 - EXTERIOR ELEVATIONS (SOUTH)



BUILDING 2 - EXTERIOR ELEVATIONS (WEST)

MATERIAL CALCULATIONS MATERIAL SCHEDULE PAINT: SOUTH ELEVATION A MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) A: 8,665 SF (42%) B: 3,244 SF (16%) C: 6,745 SF (32%) B MFR: COLOR: G: 2,216 SF (11%) TOT: 20,870 SF C MFR: COLOR: WEST ELEVATION A: 4,713 SF (50%) B: 2,652 SF (28%) C:1,795 SF (19%) G: 224 SF (2%) **GLAZING:** TOT: 9,384 SF VIRACON (OR APPROVED EQUAL) G MFK: TYPE: 1" INSULATED, REFLECTIVE COLOR: VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

TYPE:

MASONRY:

ARCADIA (OR APPROVED EQUAL)

ANODIZED ALUMINUM

COLOR: AB-8, BLACK, CLASS I

SUPERLITE (OR EQUAL) 8"x8"x16" J MFR: SIZE: TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE' TEXTURE: SMOOTH FACE 'PEARL WHITE' COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWINN WILLIAMS K MFR: SIZE: SUPERLITE (OR EQUAL) SW6233 'SAMOVAR SILVER' 8"x8"x16" TEXTURE: SMOOTH FACE SHERWIN WILLIAMS (OR EQUAL) COLOR: 'RUTHERFORD GREY' TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM' ☐ MFR: SUPERLITE (OR EQUAL) SIZE: 8"x8"x16"

TEXTURE: SPLIT FACE COLOR: 'OPAL'

GENERAL NOTES

A. BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INSUTRIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT. BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN

OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION. MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW

AND BE SO LOCATED TO BE PERCEIVED AS AN INTERGRAL PART OF THE BUILDING. . EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL ME LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE

BUILDING SO NOT TO PROJECT PAST THE EXTERIOR FACADE. ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT

FULLY ENCLOSED ON IN A RECESSED AREA OF THE

ARCHITECTURAL TREATMENT, ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.

PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.

ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

. PAINTED CONCRETE TILT PANEL. 2. 1" INSULATED GLAZING.

3. C.M.U. SCREEN WALL. 4. HOLLOW METAL DOOR AND FRAME - PAINTED. 5. AL/GL DOOR TO MATCH WINDOW SYSTEM.

6. OVERHEAD DOOR - PAINTED. STEEL CANOPY - SEE CANOPY DETAILS SHEET A10.02.

8. NOT USED. 9. LINE OF ROOF BEYOND.

10. LINE OF FUTURE MECHANICAL UNIT BEYOND. 11. LIGHT FIXTURE — SEE ELECTRICAL DRAWINGS. 12. NOT USED.

13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. - TYP. 14. NOT USED.

15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

COLORED

(Project Number)

30-22167-00

BUILDING 2

(Sheet Title)

Z

ШЁ

Ш

9.22.2022

(Revisions)

SITE PLAN

DESIGN REVIEW

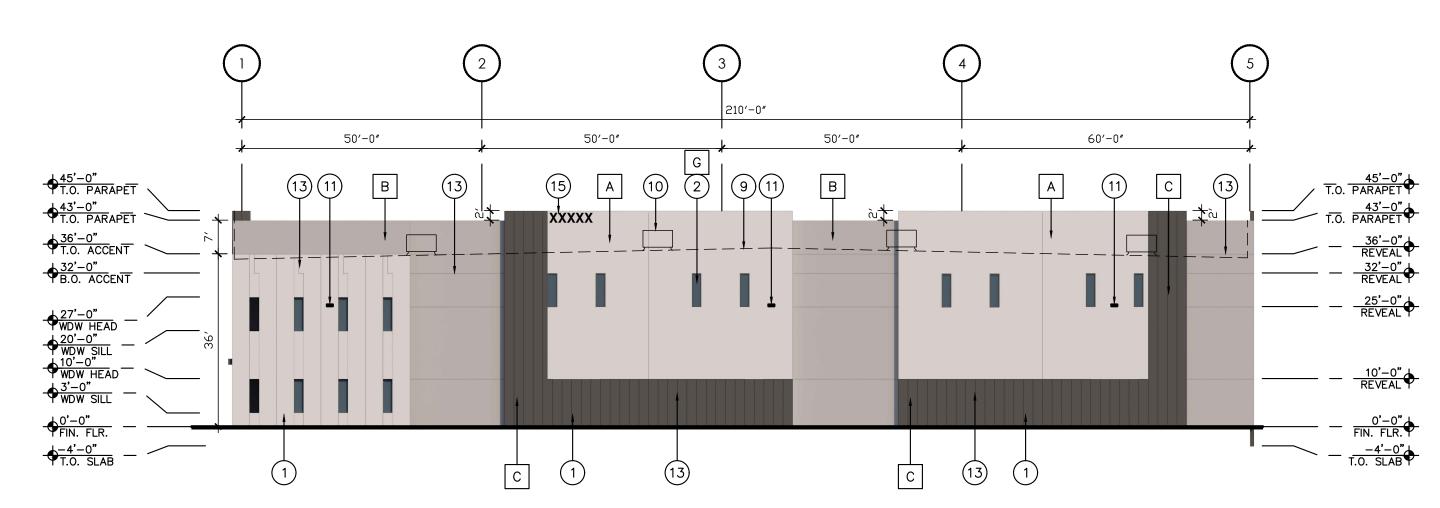
DESIGN REVIEW CASE #: DRB22-00730 ZONING CASE #: ZON22-00731

EXTERIOR ELEVATIONS

PRE-SUB CASE #: PRS21-01194

466'-0" 52′-0″ 52′-0″ 52′-0**″** 52′-0″ 52′-0**″** 52′-0**″** +45'-0" T.O. PARAPET A 9 <u> 43'−0"</u> T.O. PARAPET 36'-0" REVEAL 32'-0" REVEAL →25'-0" — — 10'-0" — — ◆0'-0" FIN. FLR. 13 C C 13 6

BUILDING 2 - EXTERIOR ELEVATIONS (NORTH)



BUILDING 2 - EXTERIOR ELEVATIONS (EAST)

MATERIAL CALCULATIONS MATERIAL SCHEDULE PAINT: NORTH ELEVATION A MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) A: 9,424 SF (43%) TO MATCH SHERWIN WILLIAMS B: 4,494 SF (20%) SW6252 'ICE CUBE' C: 8,212 SF (37%) G: 0 SF B MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWINN WILLIAMS TOT: 22,130 SF SW6233 'SAMOVAR SILVER' C MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM' EAST ELEVATION A: 4,713 SF (50%) B: 2,652 SF (28%) C:1,795 SF (19%) G: 224 SF (2%) **GLAZING:** TOT: 9,384 SF VIRACON (OR APPROVED EQUAL) G MFK: TYPE: 1" INSULATED, REFLECTIVE COLOR: VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

H MFR:

ARCADIA (OR APPROVED EQUAL)

ANODIZED ALUMINUM

COLOR: AB-8, BLACK, CLASS I

MASONRY:

SUPERLITE (OR EQUAL) 8"x8"x16" J MFR: SIZE: TEXTURE: SMOOTH FACE 'PEARL WHITE' COLOR: K MFR: SIZE: SUPERLITE (OR EQUAL) 8"x8"x16" TEXTURE: SMOOTH FACE COLOR: 'RUTHERFORD GREY' ☐ MFR: 8"x8"x16" SIZE:

SUPERLITE (OR EQUAL) TEXTURE: SPLIT FACE COLOR: 'OPAL'

GENERAL NOTES

- A. BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INSUTRIAL AND MULTI-FAMILY
- RESIDENTIAL DEVELOPMENT. BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTERGRAL PART OF THE BUILDING.
- . EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL ME LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR
- FACADE.
- ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT ARCHITECTURAL TREATMENT, ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL
- SURFACES VISIBLE. ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

- NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.
- . PAINTED CONCRETE TILT PANEL.
- 2. 1" INSULATED GLAZING. 3. C.M.U. SCREEN WALL.
- 4. HOLLOW METAL DOOR AND FRAME PAINTED.
- 5. AL/GL DOOR TO MATCH WINDOW SYSTEM.
- 6. OVERHEAD DOOR PAINTED.
- STEEL CANOPY SEE CANOPY DETAILS SHEET A10.02.
- 8. NOT USED. 9. LINE OF ROOF BEYOND.
- 10. LINE OF FUTURE MECHANICAL UNIT BEYOND. 11. LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.
- 12. NOT USED.
- 13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. TYP. 14. NOT USED.
- 15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

EXTERIOR ELEVATIONS

ШЁ

9.22.2022

(Revisions)

SITE PLAN

DESIGN REVIEW

DESIGN REVIEW CASE #: DRB22-00730 ZONING CASE #: ZON22-00731 PRE-SUB CASE #: PRS21-01194

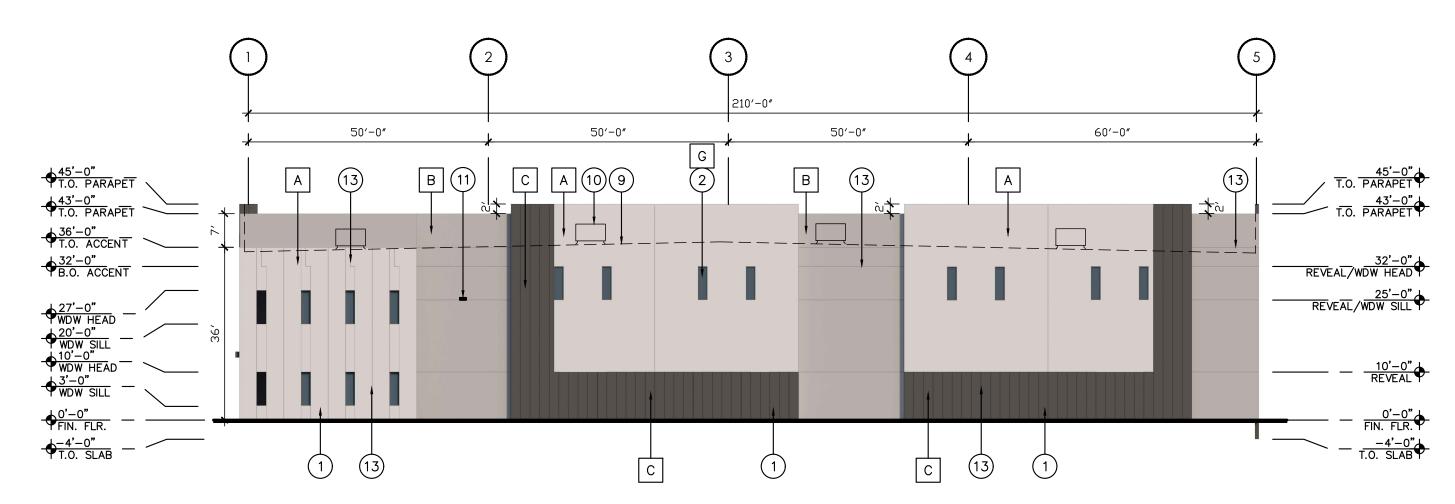
(Sheet Title) **BUILDING 2** COLORED

(Project Number)

30-22167-00

466′-0″ 52′-0″ 52'-0" 52′-0″ 51′-0″ 52′-0″ 52′-0″ xxxxx 7 5 25 H 712

BUILDING 3 - EXTERIOR ELEVATIONS (NORTH)



MATERIAL CALCULATIONS

BUILDING 3 - EXTERIOR ELEVATIONS (WEST)

PAINT: NORTH ELEVATION A MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) A: 8,665 SF (41%) TO MATCH SHERWIN WILLIAMS B: 3,330 SF (16%) SW6252 'ICE CUBE' C: 6,745 SF (32%) B MFR: COLOR: G: 2,216 SF (11%) SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWINN WILLIAMS TOT: 20,956 SF SW6233 'SAMOVAR SILVER' C MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM' WEST ELEVATION A: 4,713 SF (50%) B: 2,652 SF (28%) C:1,795 SF (19%) G: 224 SF (2%) **GLAZING:** TOT: 9,384 SF VIRACON (OR APPROVED EQUAL) G MFK: TYPE: 1" INSULATED, REFLECTIVE COLOR: VS26-08 SOLAR BLUE **ALUMINUM STOREFRONT:** ARCADIA (OR APPROVED EQUAL) TYPE:

MATERIAL SCHEDULE

ANODIZED ALUMINUM

COLOR: AB-8, BLACK, CLASS I

GENERAL NOTES

SUPERLITE (OR EQUAL) 8"x8"x16"

SUPERLITE (OR EQUAL)

SUPERLITE (OR EQUAL)

TEXTURE: SMOOTH FACE

TEXTURE: SMOOTH FACE

TEXTURE: SPLIT FACE

COLOR: 'OPAL'

COLOR:

☐ MFR:

SIZE:

'PEARL WHITE'

8"x8"x16"

COLOR: 'RUTHERFORD GREY'

8"x8"x16"

MASONRY:

J MFR: SIZE:

K MFR: SIZE:

- A. BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INSUTRIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
- BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTERGRAL PART OF THE BUILDING.
- . EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL ME LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR
- FACADE. ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT
- ARCHITECTURAL TREATMENT, ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

- NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.
- . PAINTED CONCRETE TILT PANEL.
- 2. 1" INSULATED GLAZING. 3. C.M.U. SCREEN WALL.
- 4. HOLLOW METAL DOOR AND FRAME PAINTED.
- 5. AL/GL DOOR TO MATCH WINDOW SYSTEM. 6. OVERHEAD DOOR - PAINTED.
- STEEL CANOPY SEE CANOPY DETAILS SHEET A10.02.
- 8. NOT USED.
- 9. LINE OF ROOF BEYOND. 10. LINE OF FUTURE MECHANICAL UNIT BEYOND. 11. LIGHT FIXTURE — SEE ELECTRICAL DRAWINGS.
- 12. NOT USED.
- 13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. TYP.
- 14. NOT USED. 15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL
- WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

30-22167-00 (Sheet Title) **BUILDING 3**

(Project Number)

Z

ШЁ

CD F

9.22.2022

(Revisions)

SITE PLAN

DESIGN REVIEW

COLORED **EXTERIOR ELEVATIONS**

DESIGN REVIEW CASE #: DRB22-00730 ZONING CASE #: ZON22-00731 PRE-SUB CASE #: PRS21-01194

52′-0″ 52′-0″ 52′-0**″** 52′-0″ 52′-0″ 52′-0**″** 52′-0**″** 51′-0″ 51′-0″ 11 10 <u> 43'−0"</u> T.O. PARAPET 32'-0" REVEAL/WDW HEAD REVEAL/WDW HEAD →25'-0" REVEAL/WDW SILL REVEAL/WDW SILL +10'-0" — — 1 6 1 6 6 11

BUILDING 3 - EXTERIOR ELEVATIONS (SOUTH)

50′-0**″** 50'-0" 50′-0**″** PREVEAL/WDW HEAD →25'-0"
REVEAL/WDW SILL

BUILDING 3 - EXTERIOR ELEVATIONS (EAST)

MATERIAL CALCULATIONS SOUTH A: 10,579 SF (48%) B: 3,917 SF (18%) C: 7,693 SF (35%) G: 0 SF TOT: 22,189 SF EAST ELEVATION A: 4,713 SF (50%) B: 2,652 SF (28%) C:1,795 SF (19%) G: 224 SF (2%) TOT: 9,384 SF

MATERIAL SCHEDULE PAINT:

A MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWIN WILLIAMS SW6252 'ICE CUBE' B MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWINN WILLIAMS SW6233 'SAMOVAR SILVER' C MFR: COLOR: SHERWIN WILLIAMS (OR EQUAL) TO MATCH SHERWIN WILLIAMS SW7062 'ROCK BOTTOM'

GLAZING:

VIRACON (OR APPROVED EQUAL) G MFK: TYPE: 1" INSULATED, REFLECTIVE COLOR: VS26-08 SOLAR BLUE

ALUMINUM STOREFRONT:

ARCADIA (OR APPROVED EQUAL) TYPE: ANODIZED ALUMINUM COLOR: AB-8, BLACK, CLASS I

MASONRY:

SUPERLITE (OR EQUAL) 8"x8"x16" J MFR: SIZE: TEXTURE: SMOOTH FACE 'PEARL WHITE' COLOR:

K MFR: SIZE: SUPERLITE (OR EQUAL) 8"x8"x16" TEXTURE: SMOOTH FACE COLOR: 'RUTHERFORD GREY'

SIZE:

SUPERLITE (OR EQUAL) 8"x8"x16" TEXTURE: SPLIT FACE COLOR: 'OPAL'

GENERAL NOTES

- A. BUILDING ARCHITECTURE IS EXPECTED TO CONFORM TO THE BUILDING DESIGN COMPONENTS IN THE DESIGN MANUAL FOR COMMERCIAL, INSUTRIAL AND MULTI-FAMILY
- RESIDENTIAL DEVELOPMENT. BUILDINGS SHALL BE SITED AND DESIGNED TO ACHIEVE AN OPTIMUM LEVEL OF ENERGY EFFICIENCY WITH REGARD TO SOLAR ORIENTATION.
- MECHANICAL EQUIPMENT, WHETHER GROUND LEVEL OR ROOF-MOUNTED, SHALL BE SCREENED FROM PUBLIC VIEW AND BE SO LOCATED TO BE PERCEIVED AS AN INTERGRAL PART OF THE BUILDING.
- . EXTERIOR ELECTRICAL WALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, SERVICE ENTRANCE SECTIONS, ELECTRICAL ACCESS PANELS, AND ELECTRICAL CABINETS, SHALL ME LOCATED IN THE REAR OR SIDE OF THE BUILDING AND BE FULLY ENCLOSED ON IN A RECESSED AREA OF THE BUILDING SO NOT TO PROJECT PAST THE EXTERIOR
- FACADE. ALL SIDES OF A BUILDING SHALL RECEIVE CONSISTENT
- ARCHITECTURAL TREATMENT, ALL BUILDINGS LOCATED WITHIN A UNIFIED, PLANNED DEVELOPMENT, SUCH AS A SHOPPING CENTER OR BUSINESS PARK, SHALL BE ARCHITECTURALLY STYLED TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. BUILDING ELEVATIONS SHALL BE COORDINATED WITH REGARD TO COLOR, TEXTURE, MATERIALS, FINISHES, AND FORM.
- PEDESTRIAN-OREINTED SITE DESIGN IS REQUIRED. BUILDINGS WITH METAL OR STEEL EXTERIORS SHALL BE ARCHITECTURALLY ALTERED THROUGH THE CONSTRUCTION OF VENEERS, FACADES, OR OTHER ARCHITECTURAL TREATMENTS TO MINIMIZE THE EXTENT OF METAL SURFACES VISIBLE.
- ALL DOWNSPOUTS SHALL BE INTERNALIZED OR ARCHITECTURALLY INTEGRATED INTO THE DESIGN OF A BUILDING.

KEYNOTES (ELEVATIONS)

NOTE: THE BUILDING ELEVATION KEYNOTES LISTED BELOW ARE TYPICAL TO THE BUILDING AND MAY NOT BE APPLICABLE AND/OR REFERENCED ON ALL SHEETS.

- . PAINTED CONCRETE TILT PANEL.
- 2. 1" INSULATED GLAZING. 3. C.M.U. SCREEN WALL.
- 4. HOLLOW METAL DOOR AND FRAME PAINTED.
- 5. AL/GL DOOR TO MATCH WINDOW SYSTEM. 6. OVERHEAD DOOR — PAINTED.
- STEEL CANOPY SEE CANOPY DETAILS SHEET A10.02.
- 8. NOT USED.
- 9. LINE OF ROOF BEYOND. 10. LINE OF FUTURE MECHANICAL UNIT BEYOND. 11. LIGHT FIXTURE — SEE ELECTRICAL DRAWINGS.
- 12. NOT USED.
- 13. 1/2" RECESS IN PAINTED CONCRETE TILT PANEL. TYP. 14. NOT USED.
- 15. ADDRESS NUMBERS SHALL BE A MINIMUM OF 24" TALL WITH A 4" BRUSH STROKE OF A CONTRASTING COLOR TO THE BACKGROUND COLOR.

(Project Number) 30-22167-00 (Sheet Title)

ШЁ

9.22.2022

(Revisions)

SITE PLAN

DESIGN REVIEW

BUILDING 3 COLORED **EXTERIOR ELEVATIONS**

DESIGN REVIEW CASE #: DRB22-00730 ZONING CASE #: ZON22-00731 PRE-SUB CASE #: PRS21-01194