

# Preliminary Grading & Drainage Plans

## for

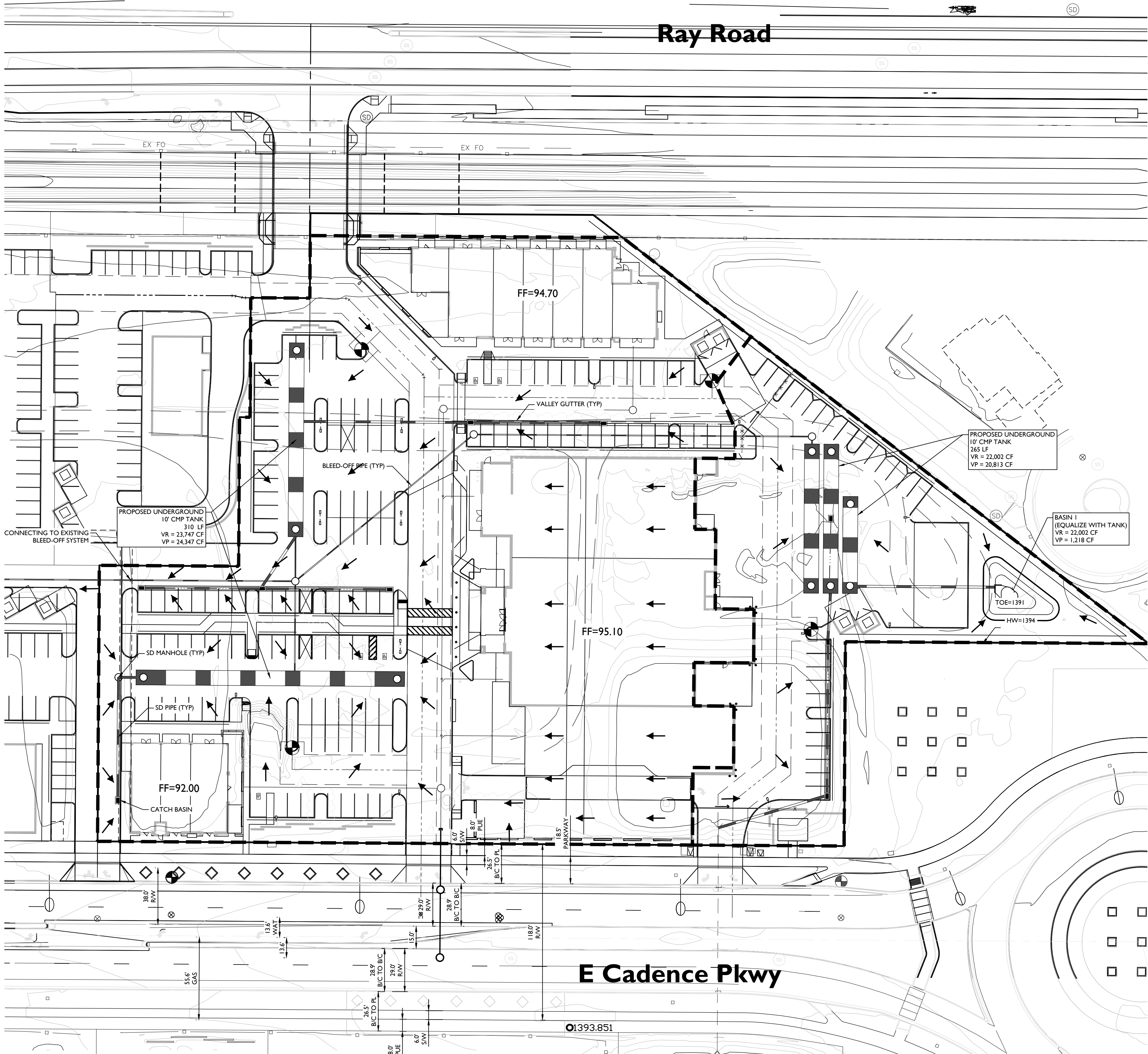
# Ace Hardware & Shops

## Mesa, Arizona

A PORTION OF THE NORTHWEST QUARTER OF SECTION 27,  
TOWNSHIP 1 SOUTH, RANGE 7 EAST OF GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA

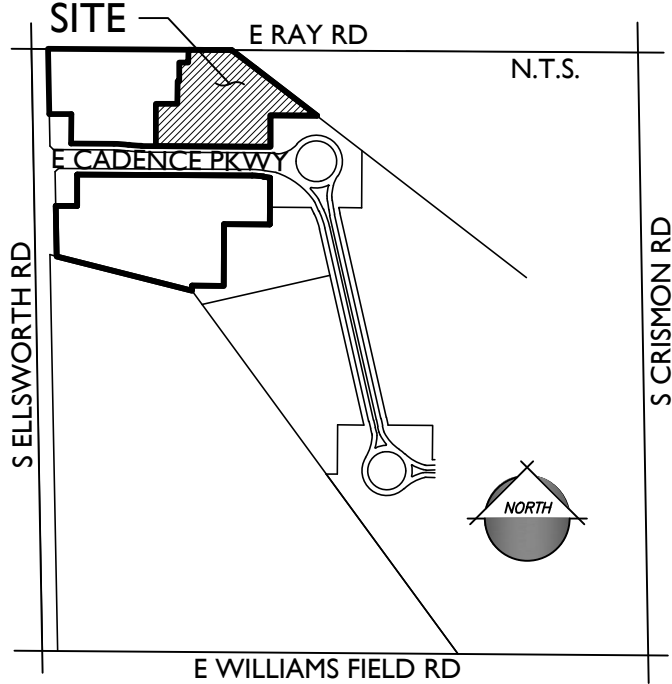
### LEGEND

- SEWER LINE
- SEWER MANHOLE
- WATER LINE
- FIRE HYDRANT
- WATER VALVE
- FF= FINISHED FLOOR
- SLOPE DIRECTION
- STORM DRAIN PIPE
- TRENCH DRAIN PIPE
- CATCH BASIN
- DRYWELL
- GUTTER



### VICINITY MAP

N.T.S.



### OWNER/DEVELOPER:

HARDWARE HOLDINGS, LLC  
13811 N. TATUM BLVD.  
PHOENIX, AZ 85032  
PHONE: 602-953-2800  
CONTACT: ARTIE HOLM  
EMAIL: a.holm612@gmail.com

### ARCHITECT:

CARHUFF+CUEVA ARCHITECTS, LLC  
3149 E PRINCE RD, #151  
TUCSON, AZ 85716  
PHONE: 520-577-4560  
CONTACT: MICHAEL FARLEY  
EMAIL: michael@cca-az.com

### LAND USE PLANNER:

GAMMAGE & BURNHAM  
40 N. CENTRAL AVE., 20TH FLOOR  
PHOENIX, AZ 85004  
PHONE: 602-256-0566  
CONTACT: ELLIE BRUNDIGE  
EMAIL: ebrundige@gblaw.com

### CIVIL ENGINEER:

EPS GROUP, INC.  
1130 N. ALMA SCHOOL ROAD, STE. 120  
MESA, ARIZONA 85201  
PHONE: 480-503-2250  
CONTACT: DANIEL AUXIER, P.E.  
EMAIL: dan.auxier@epsgruoinc.com

### LANDSCAPE ARCHITECT:

TJ MCQUEEN & ASSOCIATES, INC.  
10450 N. 74TH STREET, STE. 120  
SCOTTSDALE, AZ 85258  
PHONE: 602-265-0320  
CONTACT: TIM MCQUEEN  
EMAIL: timmcqueen@tjmla.net

### BASIS OF BEARING

THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 27,  
TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER  
MERIDIAN, BEING NORTH 01 DEGREES 07 MINUTES 11 SECONDS WEST AS  
MEASURED AND AS SHOWN ON THAT PLAT RECORDED IN BOOK 1315,  
PAGE 25 OF MARICOPA COUNTY RECORDS.

### BENCHMARK

BENCHMARK:  
BRASS TAG IN THE TOP OF CURB ON THE NORTHWEST CORNER OF THE  
INTERSECTION OF MERIDIAN AND WARNER ROADS.  
ELEVATION = 1481.15 (CITY OF MESA DATUM / NAVD-88)  
ELEVATION OBTAINED FROM "2012 CITY OF MESA BENCHMARKS" LIST IN APRIL 2012

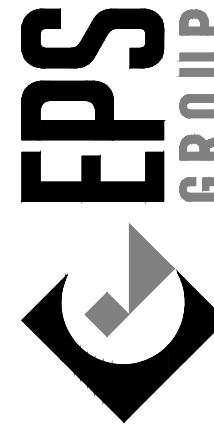
### FLOOD ZONE INFORMATION

THIS SITE IS LOCATED WITHIN "ZONE X SHADED" AS SHOWN ON FLOOD  
INSURANCE RATE MAP NUMBER 04013C2760L.

### 100-YR RUNOFF & RETENTION CALCULATIONS:

VOLUME REQUIRED:  
 $V_{REQ} = C * D * A / 12$   
WHERE:  $V_{REQ}$  = RUNOFF VOLUME (SF)  
C = WEIGHTED RUNOFF COEFFICIENT = 0.90  
D = 100-YR, 2-HR RAINFALL DEPTH (IN) = 2.20-IN  
A = AREA OF PROJECT SITE IN ACRES (4.30 AC)  
 $V_R = 30,926 \text{ CF} + 14,822 \text{ CF (FROM EX TEMP BASIN)} = 45,748 \text{ CF}$   
 $V_P = 46,378 \text{ CF}$

1130 N Alma School Road  
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Mesa, AZ 85201  
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www.epsgruoinc.com



Project: Cadence at Gateway - Ace Hardware & Shops

Mesa, Arizona

Preliminary Grading & Drainage

Revisions:

NO.	DESCRIPTION

Call at least two full working days  
before you begin excavation.

DESIGNED BY: EPS  
DRAWN BY: EPS



Job No.  
22-0191

PG01

Sheet No.  
1  
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