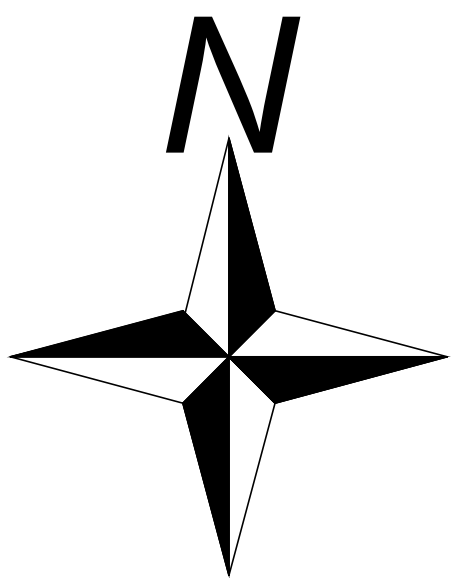


Owner Information	
Owner Name:	GAGNON ASHLEY A/SOCORRO
Property Address:	6536 E DELMON DR MESA 85215
Mailing Address:	6536 E DELMON DR MESA AZ USA 85215
Deed Number:	120678866
Sale Date:	06/1/2012
Sale Price:	\$172,000

Property Information

Lat/Long:	33.453344, -111.689138
S/T/R:	11N 6E
Jurisdiction:	MESA
Zoning:	RS-9
PUC:	0131
Lot Size (sq ft):	12,528.00
MCR #:	76-31
Subdivision:	SKYWAY VILLAGE 1 AMD
Lot #:	28
Floor:	1
Construction Year:	1973

EXIST. LIVING SPACE: 1656 SQFT.
NEW LIVING ROOM: 361 SQFT.
NEW OFFICE: 96.25 SQFT.
NEW TOTAL LIVABLE: 2113.25 SQFT
NEW GARAGE: 557 SQFT.
NEW COV. PATIO: 246 SQFT.



REVISION TABLE	
NUMBER	REVISION DESCRIPTION

6536 E Delmon Dr,
Mesa, AZ 85215

SITEPLAN

DRAWINGS PROVIDED BY:
**MIRANDA JAYMES
INTERIORS**

DATE:

09/12/2022

SCALE:

$$1'' = 10'$$

SHEET:

P-1

FOUNDATION NOTES:

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ., 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

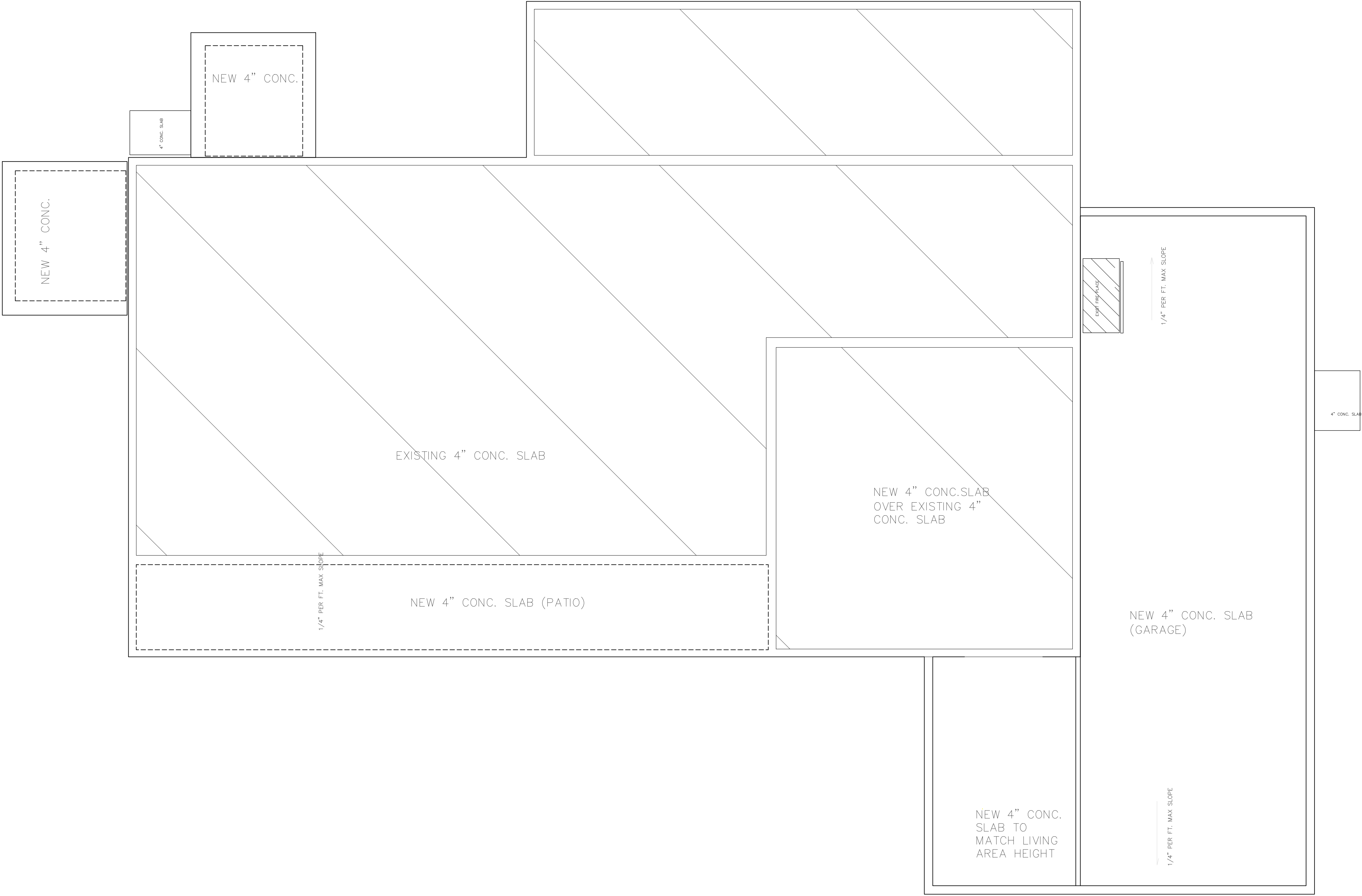
CONCRETE STRENGTH,
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPASION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- *JOINTS AROUND WINDOW AND DOOR FRAMES
- *JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- *JOINTS BETWEEN WALL AND FOUNDATION
- *JOINTS BETWEEN WALL AND ROOF
- *JOINTS BETWEEN WALL PANELS
- *UTILITY PENETRATIONS THROUGH EXTERIOR WALLS



REVISION TABLE	
NUMBER	DATE

6536 E Delmon Dr,
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FOUNDATION

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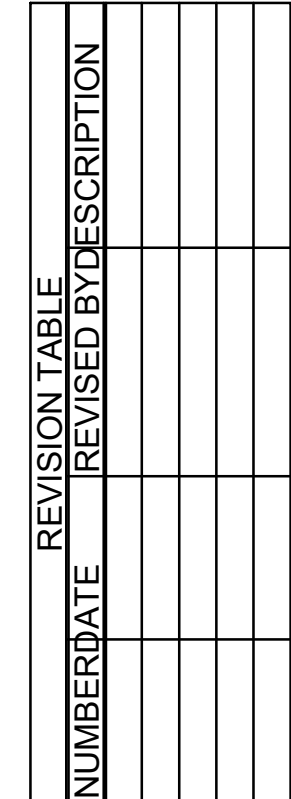
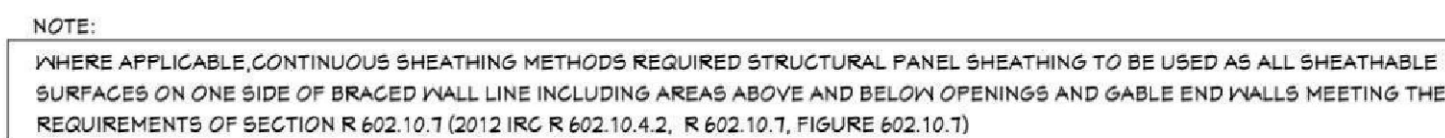
SCALE:

1/4"=1'

SHEET:

3

ALL HEADERS TO COMPLY WITH THE FOLLOWING			
ROUGH OPENING WIDTH	HEADER AT BEARING OR SHEAR WALLS	HEADER AT OTHER WALLS	ADD'L JAMB STUDS EACH SIDE OF OPNG
0'-0" TO 3'-0"	2-2x8	2-2x4	---
3'-1" TO 6'-0"	2-2x10	2-2x6	1
6'-1" TO 8'-0"	3-2x10	2-2x8	2
8'-1" TO 10'-0"	3 1/8X12 GLB	2-2x10	3



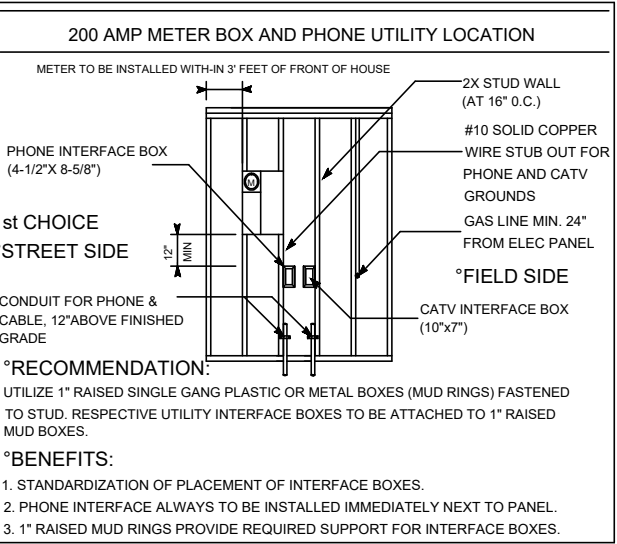
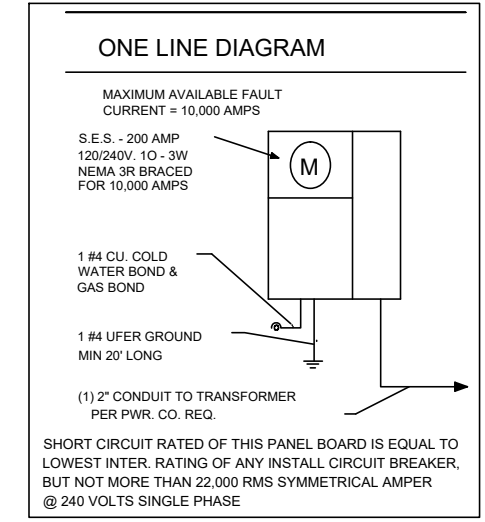
FRAMING

DATE:
09/12/2022
SCALE:
1/4"=1'
SHEET:

LOAD CALCULATIONS			
2118/7708 S.F. X 3 WATTS			5610
APPLIANCE CIRCUITS	2 X 1500 W		3000
LAUNDRY CIRCUITS	1 X 1500 W		1500
DISHWASHER/DSP	1 X 1500 W		1500
WATER HEATER	1 X 4500 W		4500
DRYER	1 X 5000 W		5000
RANGE	1 X 12000 W		12000
MICROWAVE	1 X 1500 W		1500
BATH	1 X 1500 W		1500
TOTAL			36,110

FIRST 10 KW. @ 100%	10000
26,110 REMAINDER @ 40 %	10,444
AC 1 X 9600	9600
TOTAL	30,044
30,044 DIVIDED BY 240V = 125 AMPS	

PANEL BOARD SCHEDULE			
200 AMP SERVICE			
1. A/C 1	2	RANGE	2
3. A/C 1	4	RANGE	4
5. A/H 1	2	DRYER	6
7. A/H 1	2	DRYER	8
9. D/W & DSP	2	W.H.	10
11. KITCHEN	2	W.H.	12
13. KITCHEN	2	GENERAL	14
15. WASHER	2	LIGHTING	16
17. GENERAL	2	GENERAL	18
19. LIGHTING	2	LIGHTING	20
21. LIGHTING	2	LIGHTING	22
23. LIGHTING	2	LIGHTING	24
25. BATHRM GFI	2	BLANK	26
27. MICROWAVE	2	BLANK	28
29. BLANK	2	BLANK	30

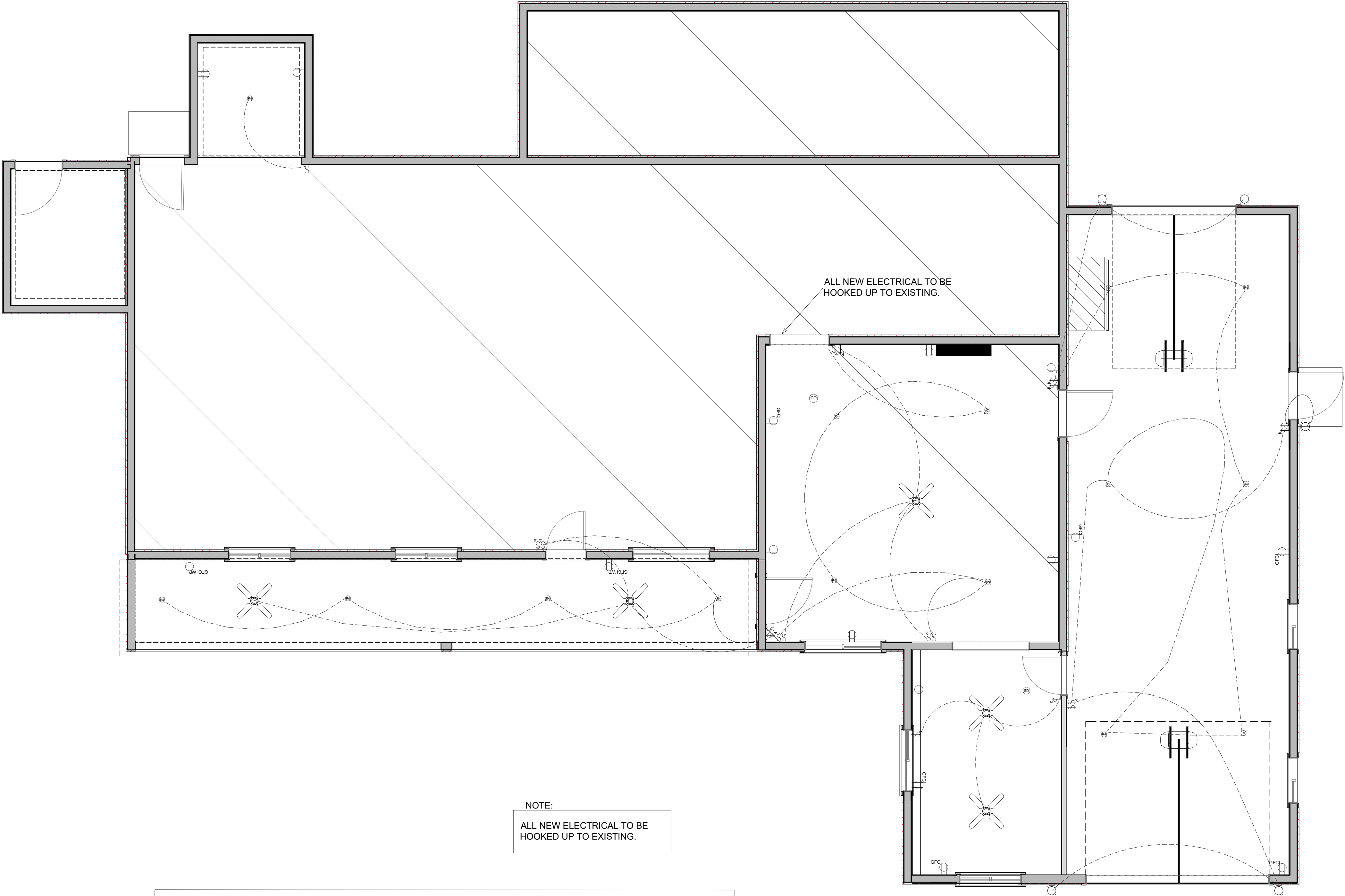


ELECTRICAL LEGEND

1. SWITCH	2. STANDARD LIGHT
3. DIMMER SWITCH	4. PREHEATED LIGHT
5. OUTDOOR SWITCH	6. TOWN LIGHT
7. 120V OUTLET	8. WALL HOOK
9. 120V GFI	10. LIGHT CHANDELIER
11. 120V OUTDOOR	12. 120V OUTDOOR GFI
13. 120V OUTDOOR GFI	14. 120V ARC FAULT CURRENT INTERRUPTER
15. 220V OUTLET	16. SURFACE FLUORESCENT
17. TELEPHONE JACK	18. PREHEATED FLUORESCENT
19. TELEVISION JACK	20. LANTERN
21. DOOR BELL CHIMES	22. CEILING FAN
23. INTERCOM	24. CEILING FAN
25. JUNCTION BOX	26. STANDARD BREAKER PANEL
27. 120V DISH WASHER	28. TRACK LIGHTING
29. 120V MICROWAVE	29. HALF HOT

NOTE:
ALL GARAGE RECEPTACLES TO BE GFCI.

NOTE:
IRC R314 - Provide interconnected smoke alarms in each sleeping room, outside of each sleeping area in the immediate vicinity of the bedrooms, not less than 3' (horizontally) from a bath room door and on each additional story of the dwelling. Smoke alarms shall be hard wired with battery backup.



NOTE:
ALL NEW ELECTRICAL TO BE HOOKED UP TO EXISTING.

PE04-IRC E3902.12 NEC 210.12- All branch circuits that supply 120-volt, single phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a combination typed ar-fault circuit interrupter installed to provided protection of the branch circuit. Please update note room locations required.

Home currently has a 4 Star Split Vertical 3 Ton Split Heatpump which was installed on 2019 by Goettl. The unit is designed to cool approximately 1,800 sq ft, additionally the new living room area will have a 1 ton minisplit installed that will accommodate up to 600 sq ft.

6536 E Delmon Dr,
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ELECTRICAL

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1/4"=1'

SHEET:

5

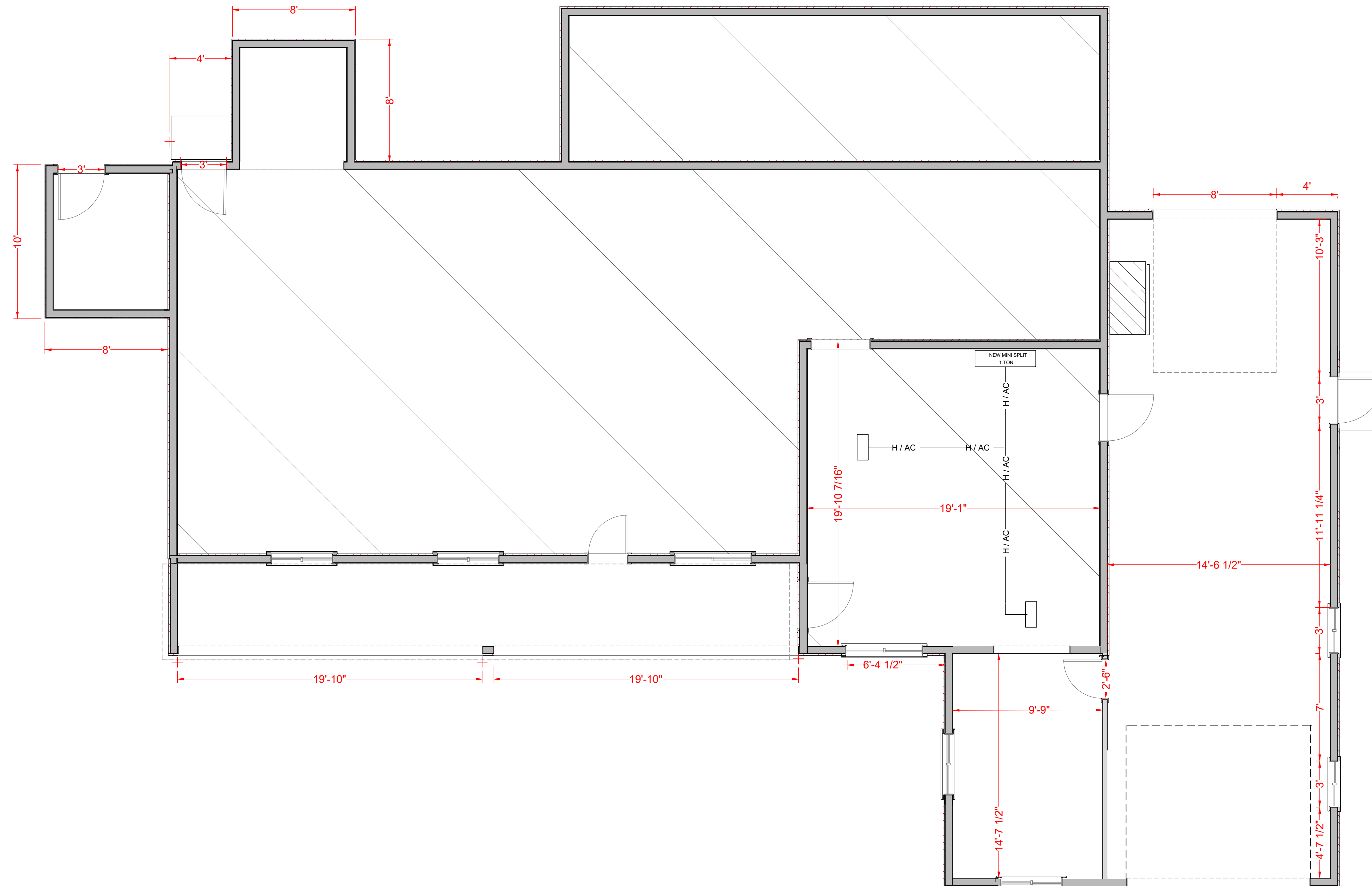
REVISION TABLE	
NUMBER	DATE
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9	
10	

VENTILATION NOTES: ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND OR SHOWER AND IN LAUNDRY ROOMS.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

1. HVAC SHALL HAVE THREE ZONES, ONE FOR EACH FLOOR.
2. THE FURNACE AND WATER HEATER ON FLOOR 3 SHALL SERVE FLOOR 3.
3. THE FURNACE AND WATER HEATER ON FLOOR 1 SHALL SERVE FLOORS 1 & 2.
4. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
5. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
6. ALL 1/2" LINES SHALL BE 1/2" FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
7. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
8. WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE.
9. 50% OF THE PRESSURE BALANCE SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
10. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
11. INSTALL WATERPROOF GYPSON BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.
12. INSULATE WASTE LINES FOR SOUND CONTROL.
13. INSTALL CENTRAL VACUUM SYSTEM & PIPING, CONFIRM BRAND WITH HOMEOWNER.



REVISION TABLE					
NUMBER	DATE	REVISED BY	DESCRIPTION		

6536 E Delmon Dr,
Mesa, AZ 85215

MECHANICAL

DRAWINGS PROVIDED BY:

DRAWINGS PROVIDED BY:
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INTERIORS**

DATE:

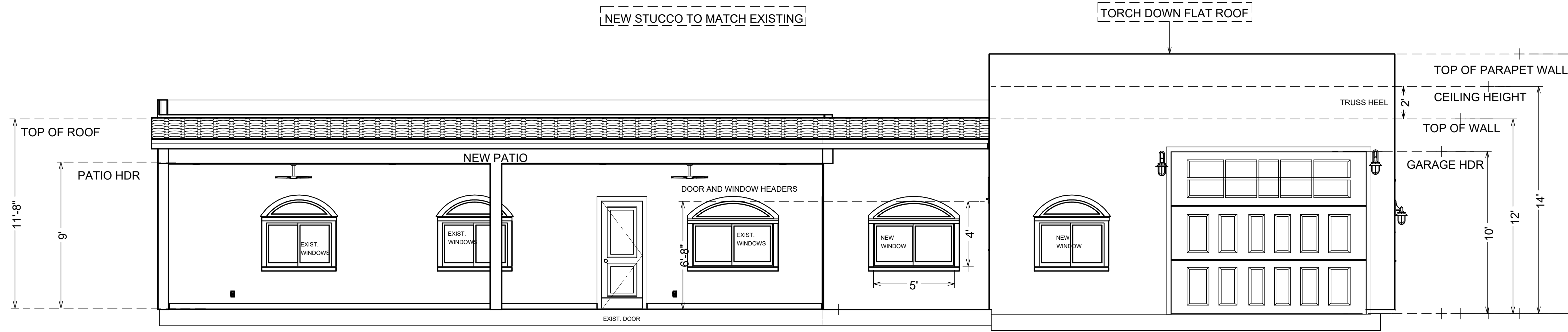
09/12/2022

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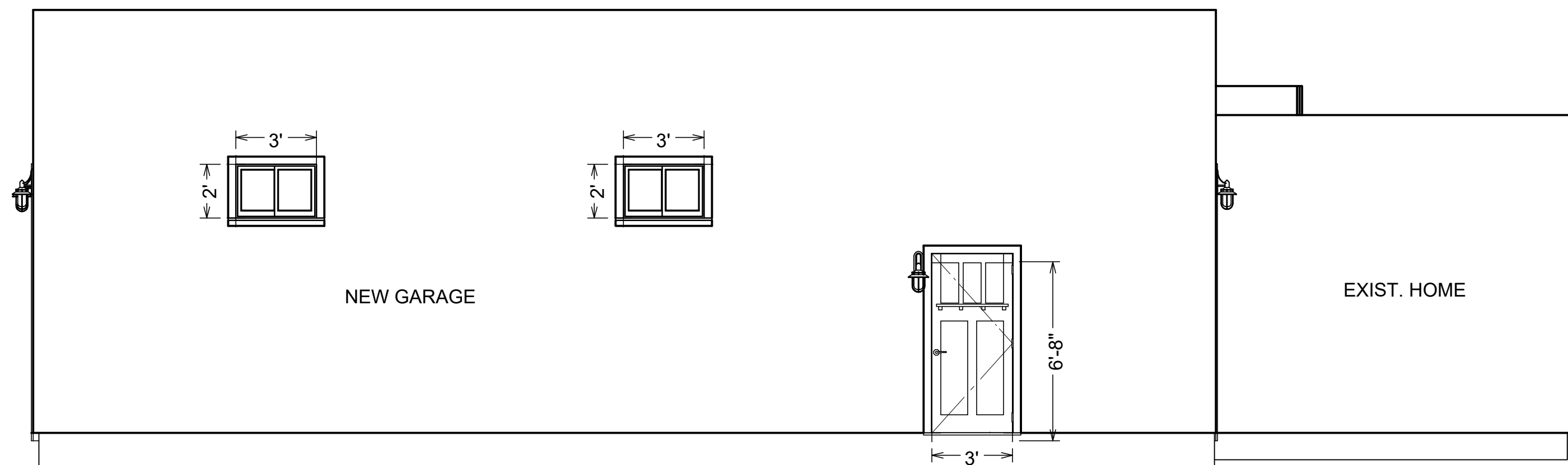
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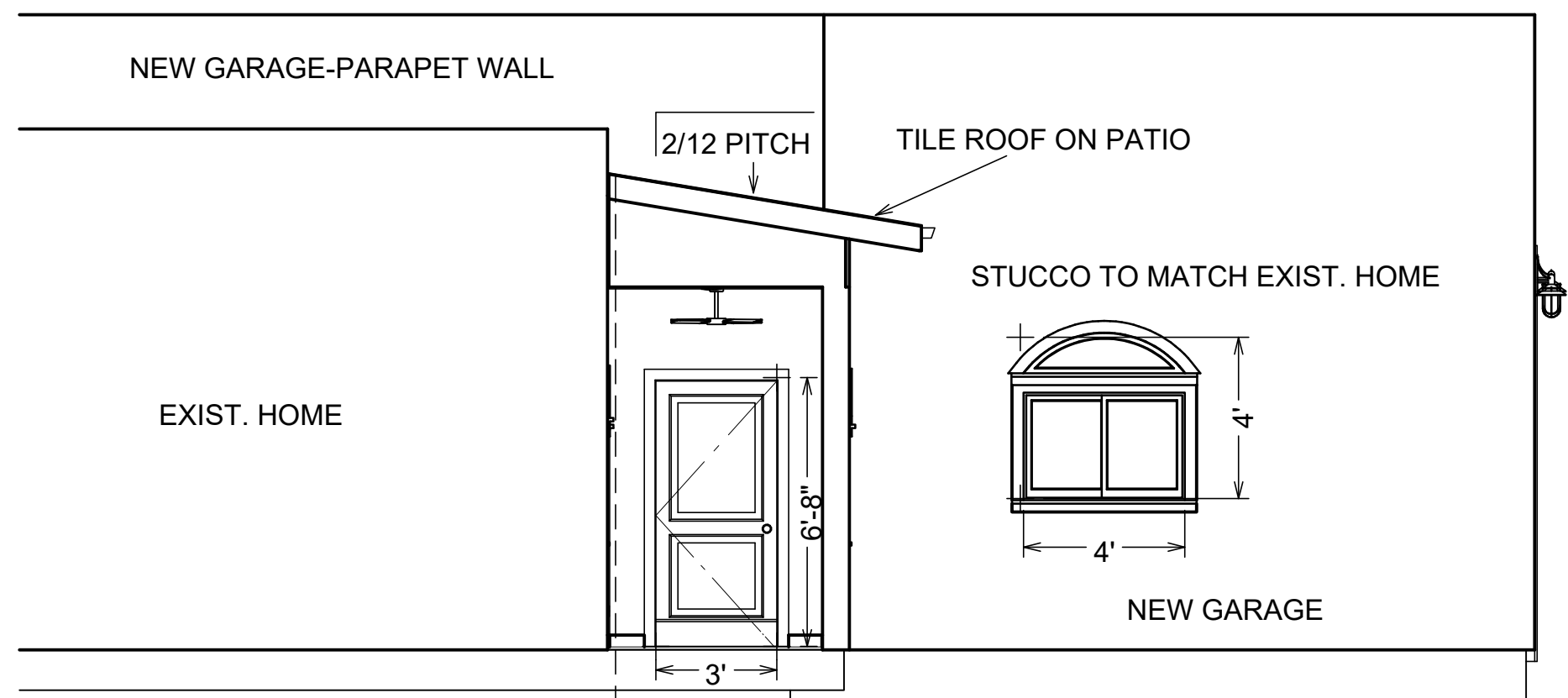
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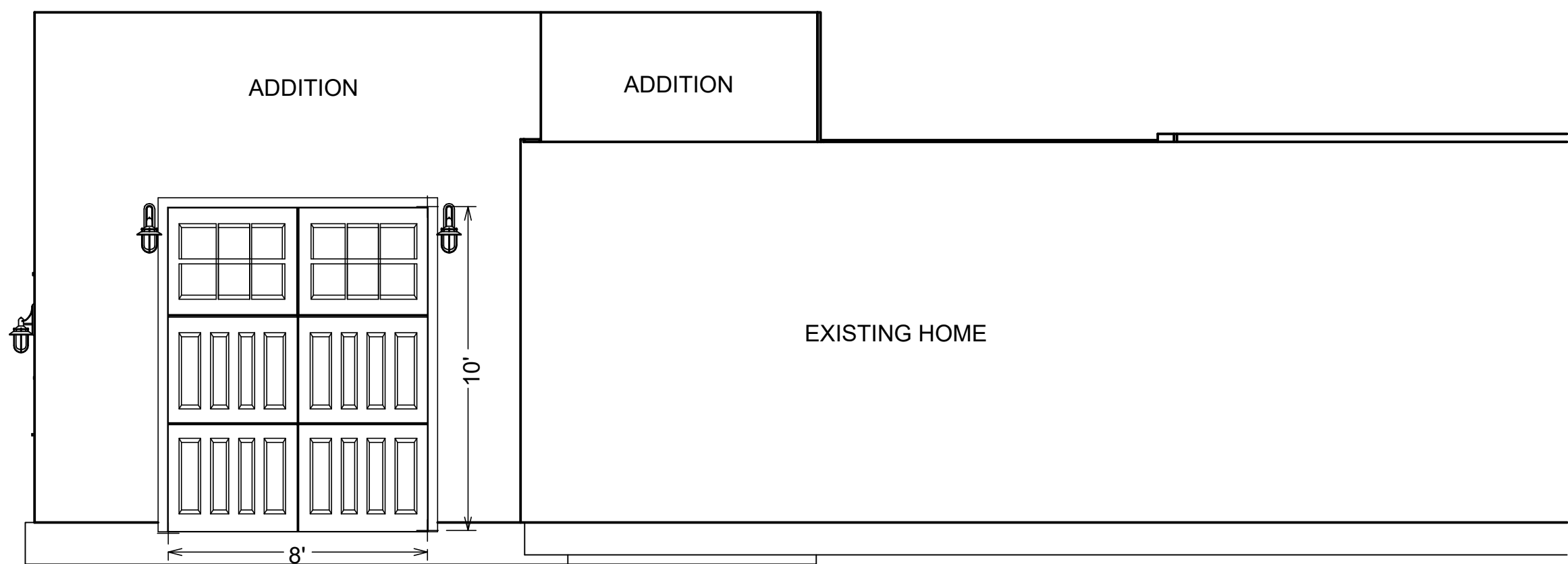
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



BACK ELEVATION

REVISION TABLE	
NUMBER	DATE

6536 E Delmon Dr,
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ELEVATIONS

DRAWINGS PROVIDED BY:
MIRANDA JAYMES
INTERIORS

DATE:

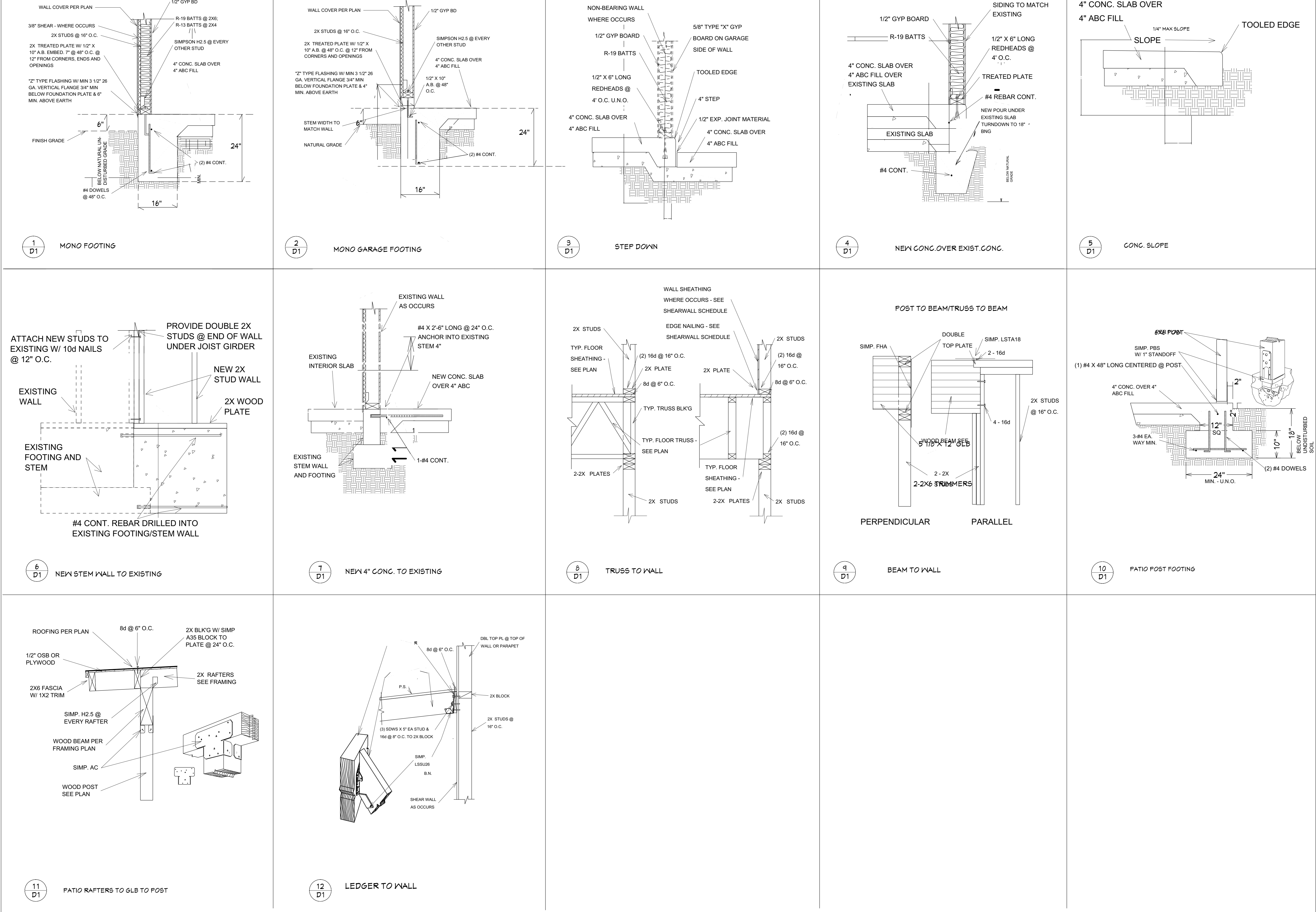
09/12/2022

SCALE:

1/4"=1'

SHEET:

7



REVISION TABLE	
NUMBER	DATE

6536 E Delmon Dr,
Mesa, AZ 85215

DETAILS 1

DRAWINGS PROVIDED BY:
MIRANDA JAYMES
INTERIORS

DATE:

09/12/2022

SCALE:

SHEET:

8

CONSTRUCTION NOTES & BUILDING CODES

DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

ELECTRICAL, DATA, & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

- 1.ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- 2.PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- 3.CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
- 4.FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
- 5.FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

- 1.LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
- 2.AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
- 3.LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

FRAMING NOTES:

PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

PROVIDE POSITIVE CONECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

LUMBER SPECIES:

- 1.POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.
- 2.EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.
- 3.SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
- 4.ALL STUDS TO BE DF#2 OR BETTER.
- 5.PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
- 6.ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 9/32 OSB.
- 7.WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
- 8.FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

NAILING NOTES: (PER IRC TABLE R602.3(1))

JOIST TO SILL OR GIRDER	TOE NAIL (3)-8d
BRIDGING TO JOIST	TOE NAIL EA. END (2)-8d
SOLE PLATE TO JOIST OR BLK'G	FACE NAIL 16d @ 16"OC
STUD TO SOLE PLATE	TOE NAIL (4)-8d, END NAIL (2) 16d
TOP PLATE TO STUD	END NAIL (2)-16d
DOUBLE STUDS	FACE NAIL 16d @ 24" OC
DOUBLE TOP PLATES	FACE NAIL 16d @ 16" OC
CONTINUOUS HEADER, TWO PIECES	16d @ 16" OC ALONG EA. EDGE
BUILT-UP HEADER, TWO PIECES	FACE NAIL (2)-16d
W/ 1/2" SPACER	
TOP PLATES, LAPS AND INTERSECTIONS	16d @ 16" OC ALONG EA. EDGE
	FACE NAIL (2)-16d
CEILING JOISTS TO PLATE	TOE NAIL (3)-8d
CONTINUOUS HEADER TO STUD	TOE NAIL (4)-8d
CEILING JOISTS, LAPS OVER PARTITIONS	FACE NAIL (3)-10d
CEILING JOISTS TO PARALLEL RAFTERS	FACE NAIL (3)-10d
RAFTER TO PLATE	TOE NAIL (2)-16d
1" BRACE TO EACH STUD AND PLATE	FACE NAIL (2)-8d
BUILT-UP CORNER STUDS	10d @ 24" OC
2" PLANKS	(2)-16d @ EA.BRG.
1/2" PLYWOOD ROOF AND WALL SHEATHING	EDGES 8d @ 6" OC
	INTERMEDIATE 8d @ 12" OC
3/4" PLYWOOD SUBFLOOR	EDGES 8d @ 6" OC
	INTERMEDIATE 8d @ 12" OC
2x MULTIPLE JOISTS - STAGGER @ 15" OC	
W/(2) @ EA. END OR SPLICE	
(3)OR FEWER	16d NAILS
(4)OR MORE	1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16".

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

MIN. SNOW LOAD 50 LBs PER SQUARE FOOT.

WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

ROOF & FLOOR TRUSS MANUFACTURER: _____

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

GARAGES SHALL BE VENTED WITH 60 SQUARE INCHES LOCATED 6" ABOVE THE FLOOR SURFACE.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

WALL PANEL NOTES:

B.P. BRACED WALL PANEL

3'-4" MIN. LENGTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD.

I.B.P. INTERIOR BRACED WALL PANEL

1/2" GYP. BD PER R 602.10.3(5); 1/2 GWB EACH SIDE w/ #6 X 1 1/4 TYPE S OR W SCREWS PERS ASTM C1002 @ 7" o/c @ ALL SUPPORTS

A.B.P. ALTERNATE BRACED WALL PANEL

2'-8" MIN. WIDTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD & (2) A.B. PER PANEL LOCATED AT 1/4 POINTS & 1800# MIN. HOLDDOWN EACH END *HPAHD22 OR STD10)

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS,STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

- 2018 International Building Code
- 2018 International Residential Code
- 2018 International Plumbing Code
- 2018 International Mechanical Code
- 2018 International Fuel Gas Code
- 2018 International Green Construction Code (Optional)
- 2018 International Energy Conservation Code (Optional)
- 2018 International Existing Building Code
- 2017 National Electric Code

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CONSTRUCTION NOTES

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SHEET:

NOTES