# Olympus Gateway

## Southwest Corner of Pecos Road and 89th Place

## Requests for:

## BIZ Overlay

## Prepared for
## City of Mesa, Arizona

## June 28, 2022

# Introduction

Olympus Construction Management (Olympus) is proposing to construct approximately 27,240 SF of small bay industrial office and warehouse space within the Gateway Airport Commerce Park. The +/- 3-gross-acre site is located at the southwest corner of Pecos Road and 89th Place, as shown on the aerial to the right.

The site is zoned LI-PAD (Light Industrial) and located within the Gateway Airport Commerce Park. Special care has been taken in working with Staff and the Design Review Board to design attractive buildings on the subject site which enhance the entrance to Gateway Airport Commerce Park: i.e. partial, glass sectional doors, landscaping on the exterior and interior to enhance the streetscape and visitor experience on-site and additional elements that will be discussed further. Although a large majority of the Park is still undeveloped, there are several existing industrial buildings just south of the subject site. The Subject property is located at the entrance to this Park and is surrounded on three sides by roadway.

The site is very narrow in depth, from north to south. In order to accommodate the buildings, needed parking and required setbacks and landscaping, the BIZ Overlay is needed to allow for the adjustment of these standards so the site is workable. The City's street system hems in this site on three sides. The applicant has combined two parcels to maximize flexibility for the site plan, but is limited by these streets. There simply is no functional way for these units to face any of the adjacent 3 streets, as there is no way to accommodate parking and loading by any site plan other than as submitted: one drive aisle, parking in the interior, with office doors and loading doors facing the one interior drive aisle.

In order to develop these two parcels with significant roadway frontage and right of way constraints, several deviations are being requested in this BIZ Overlay request.

# General Plan

The City of Mesa General Plan designates the site as Employment. The goal for this district is to provide for a wide range of employment opportunities. The proposed small bay industrial development is an ideal use to realize the intentions of the General Plan for this area by providing employment and economic opportunities. The subject site is also

located within the Logistics and Commerce District of the Mesa Gateway Strategic Development Plan and is consistent with the intent of this district.

The proposal supports several key Goals and Objectives identified in the General Plan as listed below:

***Land Use***

- Goal LU-5 – Provide for an adequate long-term supply of business park/industrial land that continues to enhance the City and regional employment base.

- Objective LU5.1 – Provide a wide range of office/business park/industrial related uses that are optimally located in relation to their purpose, environmental considerations and transportation infrastructure needs.

***Economic Development***

- Goal ED-1 – Foster and sustain long-term economic growth for the City of Mesa.

- Objective ED-1.1 – Increase and maintain Mesa's employment to population ratio to at least the top quartile of Maricopa County communities by attracting and retaining competitive and quality jobs.

- Objective ED-2.1 – Support the development of key employment center/corridors throughout the City of Mesa.

# Existing Zoning

The site is zoned LI-PAD and is completely surrounded by other LI zoned properties. The proposed use is completely in line with the existing zoning and the surrounding industrial developments.

Light Industrial Zoning is intended for "limited manufacturing and processing, wholesaling, and distribution activities which take place within enclosed buildings". The proposed development perfectly fits within this definition. All suites are completely enclosed with no outdoor storage provided or allowed.

# Proposed Development

The proposed development consists of two buildings; a northern building of approximately 15,000SF along Pecos Road and a southern building of approximately 12,000SF that runs along Waltham Avenue. The main entrance is located on the east, off of 89th Place, and runs through the center of the 2 buildings. Each building has 10 suites of varying

size. Each suite has a private entrance with small office space and partial glass sectional doors to a larger warehouse space. The partial glass sectional doors are interior to the site and not visible from the adjacent roadways. As stated in the introduction, landscaping will be added to the exterior and interior of the site. Furthermore, you will see in the elevations other design elements that are distinctive and a superior high-quality design via:

- Tension Rod Canopies instead of Shed Canopies that are located on the fronts of both buildings and wrap around both sides
- Distinct contrasting CMU materials used throughout to add visual interest
    - Aesthetic mix of contemporary and traditional styles are achieved through use of natural CMU for a contemporary style and a red color (brick look) CMU material for a traditional style to all sides of the buildings
- Variation of building and details which is atypical for a front-loaded concept building design to create a unique, innovative development of superior quality
- Rear elevations show faux storefront glass, small canopies, and trellises to create a “street front” elevation on the rear sides of the buildings
- Parapets reduced from 2’-0” to 1’-8” to emphasize massing and provide visual interest, while minimizing emphasis on wall thickness, for a proportionate appearance
- Horizontal CMU reveals and varying wainscotting bring cohesiveness to overall design
- Parapet cap treatments vary in height and shape to enhance visual aesthetics of roofline
- The partial glass sectional doors are interior to the site and not visible from the adjacent roadways

Environmental Performance Standards

- All entries will have canopies to provide shade and shelter
- Installation of bike racks (4)
- Low emission parking spaces (2)
- Carpool parking spaces (2)
- R-30 insulation for the entire roof on all buildings
- Warehouse will use evaporative cooling which is more energy efficient than rooftop package HVAC units
- Office space, common area, and restrooms will be utilizing mini-split HVAC units which are more energy efficient than rooftop package HVAC units
- Additional landscaping to provide shade near buildings and in parking lot

The site also includes generous landscaped buffers on all four sides and multiple outdoor common spaces that could contain outdoor seating.

# Requests

The BIZ Overlay is being requested in order to accommodate modifications to the Zoning Ordinance development standards. There are six (6) modifications being requested with this BIZ Overlay request. The required and proposed modified standards are outlined below:

| | **Existing L-I** | **Proposed Standard** |
|---|---|---|
| **Parapet Wall Height Section 11-7-3(B)(c)** | Minimum 2'-0" of vertical modulation of building parapets | 1'-8" of vertical modulation of building parapets |
| **15' Foundation Base Requirements at Public Entrances Section 11-33-5(A)(1)** | 15' of foundation base is required at public entrances | 12' of foundation base |
| **Truck Loading/Overhead Door Location Section 11-30-13** | Truck loading/overhead doors must be located on side or rear of building and screened from public view. | The truck loading/overhead doors are proposed in the front of the buildings. |
| **Parking Space Requirements Section 11-32-3** | 34 parking spaces are required per code | 25 parking spaces provided (see discussion on p.5) |
| **7'-6" Landscape Setback Requirement Gateway Airport Commerce Park recorded plat** | 7'-6" landscape setback is required at western property line | 5'-0" landscape setback along western property line at parking stalls |
| **Façade 50% Material Coverage Section 11-7-3(B)(5)(b)** | No more than fifty percent (50%) of the total façade may be covered with on (1) single material | Split face opal and smooth face grey and red CMU will be recognized as separate materials |

1. **Parapet Wall Height:** A minimum of 2'-0" of vertical modulation of building parapets is required. This application proposes a minimum of 1'-8" of vertical modulation of building parapets. Requiring the larger parapet in this application will feel out of scale. As seen below in the conceptual elevations, the 1'-8" modulation is appropriate to the scale and size of the building.

2. **15' Foundation Base Requirements at Public Entrances:** A minimum of 15'-0" of foundation base is required at public entrances for landscaping. In order to provide a drive lane of 30' combined with the shallow depth of the site, this application proposes a minimum of 12'-0" of foundation base. This reduced foundation is not visible from the adjacent roadways and in no way will create a negative impact on the site or surrounding developments.

3. **Truck Loading/Overhead Door Location:** Truck loading and overhead doors are required to be located along the side or rear of the building and screened from public view. Due to the narrow depth of the site and the site being bound by roadways on 3 sides, the buildings are forced to face inwards to use a single internal drive lane. This additionally requires the truck loading and overhead doors to face the internal drive lane as well, technically locating on the front of the buildings. Again, these doors will not be visible from public view, as they are internal to the site, though they are upgraded, partial glass sectional doors and create a uniquely attractive impression.

4. **Parking Space Requirements:** Per the code, 34 parking spaces are required. Code does not allow parking within the warehouse space or parking in front of the warehouse roll-up doors to be counted towards required parking. The site plan proposes 25 parking spaces, located mostly in front of the office entry doors, as directed by the code. However, including the parking within the warehouse space and in front of the partial glass sectional doors, the site plan provides 34 parking spaces. The tenants of these spaces are small business owners, many of whom will be moving into this project from working from home, hoping to expand into a larger and legal work space. Due to the nature of these types of business, typically subcontractor type businesses, customer parking is typically not needed. Additionally, it is expected that tenants and/or their employees would be comfortable parking in front of their own sectional door, as it would be little trouble for them to move their own parked vehicle if/when they need vehicular access through their sectional door. Additionally, knowing that the use does not yield the required parking spaces, providing the required amount of 34 spaces would go against the Environmental Performance Standards desire to not consume resources when not necessary. Lastly, speaking of Environmental Performance Standards, we've added low emission and carpool spaces to encourage the use of alternative transportation methods that are more sustainable.

5. **Landscape Setback Reduction:** Landscape setbacks do not allow the encroachment of parking stalls and therefore would require the elimination of the four

(4) parking stalls located along the western property line. In order to provide required parking spaces, we are proposing a reduction in the 7'-6" landscape setback to 5'-0" only in proximity to these 4 parking stalls.

6. **Façade Material Coverage:** There are four materials for the façade: stucco, insulated glass unit, and smooth and spit face CMU. The stucco is painted "Whisper Gray" and complements the CMU. There are three types of CMU being used creating distinct visual and tactile qualities. CMU-1 is a smooth face grey color, CMU-2 is a smooth face autumn color and looks like red bricks, and CMU-3 is a split face opal color. CMU-3 noted on the Elevations are split face block to be used as a 'base' to give a material change near the ground plane and as accent bands across the facades while CMU-1 and CMU-2 are smooth face.

**Development Standards Compliance**
The proposed project complies with the requirements of Chapter 21 of the Mesa Zoning Ordinance of superior quality design by creating a contemporary aesthetic. The use of metal canopies, unique configurations of CMU and stucco along with a neutral palette enhances the design, creates distinct building entries, and pushes beyond a typical industrial office and warehouse design standard. The building architecture is intended to convey a contemporary and fresh look utilizing clean lines, painted metal canopies at the entries, clear anodized storefront, and a straightforward paint scheme. The design between the two buildings is consistent to establish a "streetscape" appearance with varied roof lines and pop-outs. The site is designed to provide adequate space for entry plazas and common spaces as well as an emphasis on providing low maintenance landscape across the site. Landscaping within the interior of the site near entries contains a variety of evergreen and shade trees, along with a colorful assortment of groundcover and shrubs. The street-side elevations fronting Pecos Road, 89$^{th}$ Place and Waltham Avenue continue to provide a similar aesthetic to the interior facades with fluctuating roof lines, wall pop-outs and a variety of CMU and stucco materials. The buildings will be well lit by wall mounted lights and recessed can lighting under the canopies for each individual entry.

# Conclusion

The proposal for a small bay industrial development at this location is an ideal use conforming to the General Plan and complementing surrounding industrial development. The development will provide quality employment opportunities and a unique, innovative design of superior quality.

# OLYMPUS GATEWAY - PECOS & S 89TH PL

MESA

## project consultants

### landscape architecture:

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7525 EAST 6TH AVENUE
SCOTTSDALE, ARIZONA 85251
CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.net

### architecture:

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PHONE: 602.952.858
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### engineering:

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1355 NORTH 86TH PLACE
MESA, ARIZONA 85207
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PHONE: 602.980.8246
EMAIL: kbell@kbelleng.com

### owner:

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GILBERT, ARIZONA 85295
CONTACT: TRAVIS KAY
PHONE: 602.619.9710
EMAIL: tkay@olympuscm.com

## site data:

| | |
|---|---|
| ZONING: | LT |
| NET SITE AREA: | 84,564 SF / 1.94 AC |

## sheet index


| SHEET | TITLE |
|---|---|
| L.01 | COVER SHEET & NOTES |
| L.02 -L.03 | PLANTING PLAN |


## city of mesa landscape data

| | |
|---|---|
| ZONING: | LT - LIGHT INDUSTRIAL |
| NET SITE AREA: | 84,564 SF / 1.94 AC |
| TOTAL R.O.W.: | NOT A PART |
| TOTAL FRONTAGE: | 967 L.F. |
| TOTAL ON-SITE LANDSCAPE: | 22,375 S.F. |
| PERCENTAGE OF LANDSCAPE: | 85.2% |
| OVERALL: | |
| TREES PROVIDED FOR ENTIRE SITE: | 71 TREES |
| 36" BOX TREES REQUIRED: (25% OF TREES REQUIRED FOR ENTIRE SITE) | 18 TREES |
| 36" BOX TREES PROVIDED: | 18 TREES |
| STREET FRONTAGE 967 LINEAR FEET: | |
| TREES REQUIRED: (1 PER 25' OF STREET FRONTAGE - 967/25= 38) | 38 |
| TREES PROVIDED: | 38 |
| 24" BOX TREES REQUIRED: (50% OF TREES REQUIRED) | 19 |
| 24" BOX TREES PROVIDED: | 19 |
| 36" BOX TREES REQUIRED: (25% OF TREES REQUIRED) | 10 |
| 36" BOX TREES PROVIDED: | 10 |
| SHRUBS REQUIRED: (6 PER 25' OF STREET FRONTAGE) | 228 |
| SHRUBS PROVIDED: | 228 |

## city of mesa vegetation credit table

| | CREDIT (S.F.) | QTY ON PLAN | TOTAL CREDIT (S.F.) |
|---|---|---|---|
| EVERGREEN TREE: (MIN. 25'-0" TALL AT MATURITY) | 100 | 53 | 5,300 |
| SHADE TREE: | 50 | 18 | 900 |
| LARGE SHRUB: (MIN. 8'-0" TALL AT MATURITY) | 50 | 25 | 1,400 |
| MEDIUM SHRUB: (4'-0" - 8'-0" TALL AT MATURITY) | 25 | 365 | 9,125 |
| EVERGREEN GROUNDCOVER: | 25 | 220 | 5,500 |
| COLUMNAR EVERGREEN SHRUB: (MAX. 8'-0" TALL AT MATURITY) | 10 | 15 | 150 |
| TOTAL VEGETATION CREDIT (S.F.) | | | 22,375 |
| TOTAL OPEN SPACE (S.F.) | | | 26,275 |
| VEGETATION COVERAGE (%) | | | 85.16 |

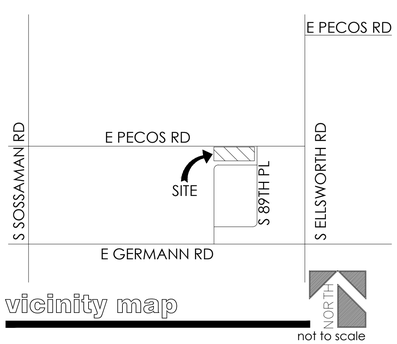
## city of mesa notes

ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IS IN CONFORMANCE WITH THE LOW WATER USE PLANT LIST PROVIDED BY THE ARIZONA DEPT. OF WATER RESOURCES.

ALL LANDSCAPING INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED BY OWNER/OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. TREE HEIGHTS & CALIPERS WILL COMPLY WITH "ARIZONA NURSEY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE & SIZE OF TREE.

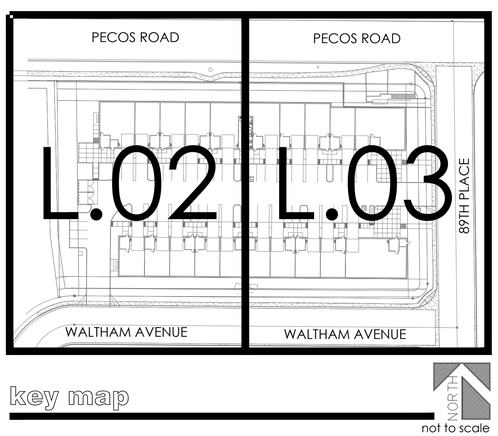
ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7' ALL BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF OF THE BACKFLOW PREVENTER.

ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN.




vicinity map

not to scale




key map

not to scale

DESIGN ETHIC
LANDSCAPE ARCHITECTURE
FORGING NEW ENVIRONMENTS
7525 EAST 6TH AVENUE SCOTTSDALE, ARIZONA 85251
480.225.7077

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO.
BRANDON T. PAUL
Date Signed 08-03-22
ARIZONA, U.S.A.
Expires 03/31/24

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

OLYMPUS GATEWAY
PECOS RD & SOUTH 89TH PL
MESA, ARIZONA

PROJECT:

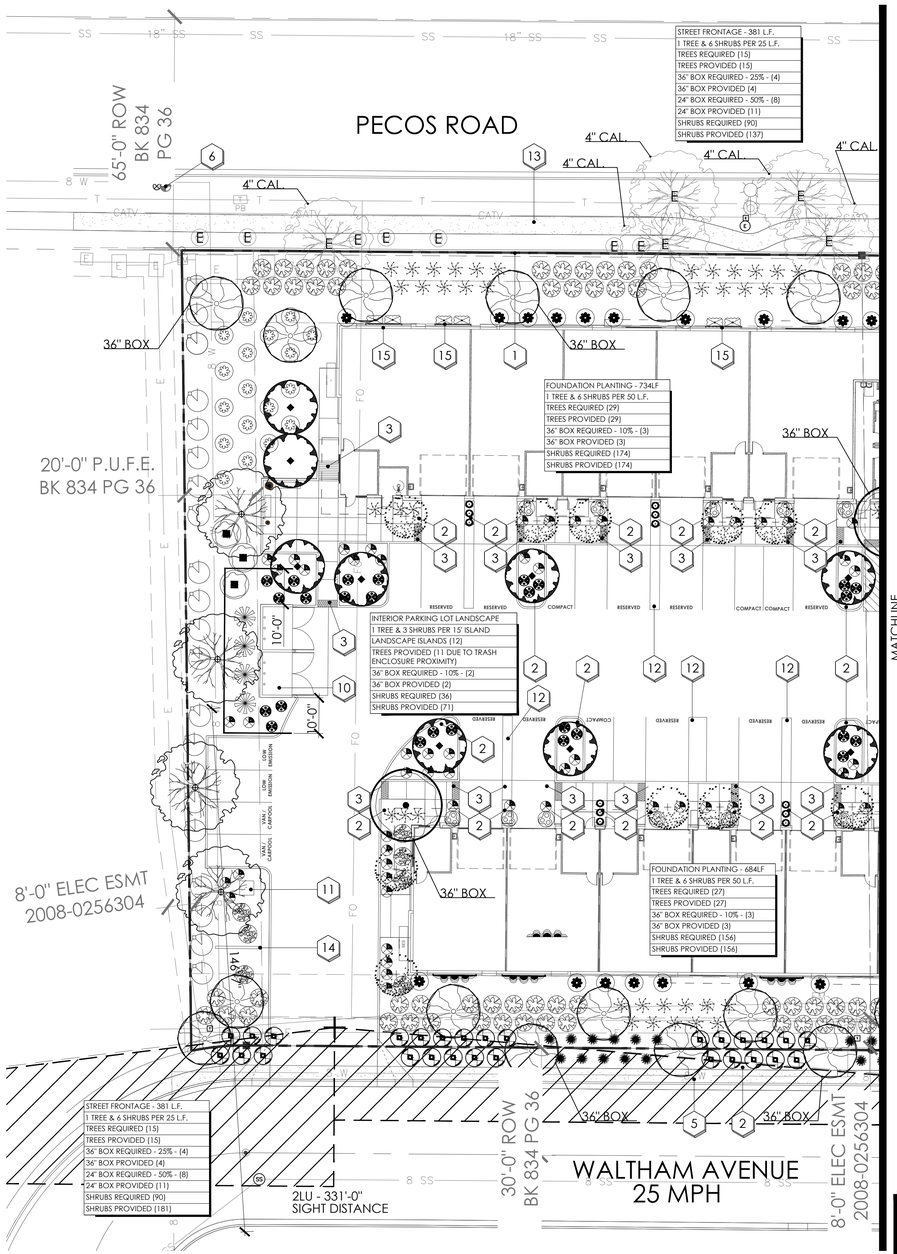
COVER SHEET & NOTES

SHEET TITLE:

| | |
|---|---|
| JOB NO: | 21-077 |
| DATE: | |
| DRAWN BY: | B. PAUL |
| SUBMITTED: | 08.03.2022 |
| REVISED: | |

SHEET

L.01 of L.03




## planting key notes

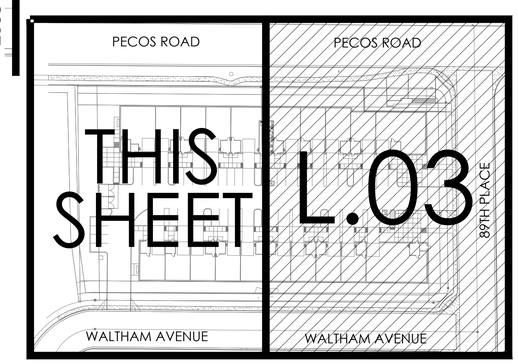
1. PROPERTY LINE / RIGHT OF WAY LINE
2. DECOMPOSED GRANITE IN ALL PLANTING AREAS
3. SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
4. ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
5. SIDEWALK.
6. FIRE HYDRANT -3'-0" CLEAR OF ALL PLANT MATERIAL
7. FIRE LINE BACKFLOW PREVENTOR - SCREEN MAINTAIN 3' ACCESS & CLEARANCE PER MAG STANDARD DETAIL 362.
8. EXISTING MONUMENT SIGN (TO REMAIN)
9. CURB. SEE CIVIL ENG. PLANS.
10. TRASH ENCLOSURE. SEE ARCHITECT'S SITE PLAN. TREE PLANTING SHOULD NOT TAKE PLACE WITHIN TEN (10) FEET OF THE BIN ENCLOSURE AND SHOULD BE SPACED SO AS NOT TO CREATE AN AERIAL OBSTRUCTION FOR THE BIN DUMPING AT THE FINAL FULL GROWTH DIMENSIONS.
11. PROPOSED TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.
12. PARKING STRIPE (TYPICAL)
13. EXISTING SIDEWALK & LANDSCAPE (TYPICAL)
14. SCREEN WALL. SEE ARCH. PLANS.
15. 10'-0" X 10'-0" PLANTING TRELLIS. SEE ARCH. PLANS.

## general landscape notes

1. CONTRACTOR TO VERIFY ALL QUANTITIES.
2. CONTRACTOR TO PROVIDE DECOMPOSED GRANITE SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL.
3. MAINTAIN 3' TO 5' TREE AND SHRUB CLEARANCE FROM WALLS.
4. MAINTAIN 1' TO 2' TREE AND SHRUB CLEARANCE FROM SIDEWALKS.
5. TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF 6'-8".
6. ALL MATURE TREES AND PALM CANOPIES MUST BE A MINIMUM OF 5' FROM ANY BUILDING WALLS OR BUILDING WINDOWS.

## existing landscape & irrigation notes

1. SITE VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION WITHIN 24 HOURS OF THE OBSERVATION.
2. CONTRACTOR TO INSPECT EXISTING IRRIGATION SYSTEM AND VERIFY THAT THE SYSTEM IS WORKING PROPERLY.
3. ALL PLANT MATERIAL DESIGNATED AS "EXISTING TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE(S) THAT DIE DUE TO: LACK OF WATER, LACK OF MAINTENANCE OR CARE, NEGLECT OR VANDALISM SHALL BE REPLACED BY A SIMILAR SPECIES OF TREE, (MINIMUM 48" BOX) AT NO ADDITIONAL COST TO OWNER. PALMS THAT DIE SHALL BE BE REPLACED WITH LIKE TYPE: HEIGHT AND SIZE. ALL SHRUBS AND GROUNDCOVER SHALL BE REPLACED WITH 5 GALLON PLANTS.
4. LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPAIRED WITH SOD IN TURF AREAS AND NEW DECOMPOSED GRANITE MATCHING EXISTING. BLEND ALL DISTURBED AREAS WITH UNDISTURBED SO THERE IS A SMOOTH TRANSITION BETWEEN ALL EDGES. REPLACE ALL DISTURBED, BROKEN OR DAMAGED HEADERS WITH MATCHING TYPE.
5. ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UN-INTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO; HAND WATERING, TEMPORARY ABOVE GROUND IRRIGATION, EXISTING SYSTEM ,ETC.
6. THE EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. ALL EQUIPMENT SUCH AS MAINLINE, WIRES, LATERAL HEADS AND ETC. SHALL BE REPAIRED AND REPLACED TO MAINTAIN CONTINUOUS WATER.
7. PROVIDE NEW SCHEDULE 40 SLEEVES AT ALL NEW DRIVES. (SEE SLEEVE SCHEDULE FOR SIZE.) ANY EXISTING IRRIGATION SYSTEM IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND GUARANTEE 100% COVERAGE.
8. EXISTING TREES TO REMAIN SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECT INSTRUCTIONS.
9. ALL EXISTING SHRUBS WITHIN THE SIGHT DISTANCE LINES AND SIGHT VISIBILITY TRIANGLES SHALL BE SELECTIVELY PRUNED SO THAT THEY DO NOT EXCEED A MAXIMUM HEIGHT OF 30 INCHES.
10. ALL EXISTING TREES SHALL BE TRIMMED TO MAINTAIN A CLEAR A MINIMUM CANOPY HEIGHT OF 7 FEET.




key map

NORTH

not to scale

## existing plant legend

| | botanical name<br>common name | emitters | size | qty | comments |
|---|---|---|---|---|---|
| **trees** | | | | | |
| | OLEA EUROPAEA<br>SWAN HILL OLIVE | (6 @<br>1.0 GPH) | SIZE<br>VARIES | 6 | REMAIN IN PLACE |
| | ULMUS PARVIFOLIA<br>EVERGREEN ELM | (6 @<br>2.0 GPH) | SIZE<br>VARIES | 8 | REMAIN IN PLACE |
| **palms** | | | | | |
| | PHOENIX DACTYLIFERA<br>DATE PALM | | SIZE<br>VARIES | 5 | STAKE IN PLACE |
| **shrubs** | | | | | |
| | LEUCOPHYLLUM FRUTESCENS<br>'GREEN CLOUD'<br>GREEN CLOUD SAGE | (1 @<br>1.0 GPH) | 5 GAL. | 15 | PLANT AT 8' O.C. |
| | NERIUM OLEANDER<br>PETITE PINK OLEANDER | (1 @<br>1.0 GPH) | 5 GAL. | 16 | PLANT AT 5' O.C. |
| **accents** | | | | | |
| | DASYLIRION WHEELERI<br>DESERT SPOON | | 5 GAL. | 30 | PLANT AT 5' O.C. |

## proposed plant legend

| | botanical name<br>common name | emitters | size | qty | comments |
|---|---|---|---|---|---|
| **evergreen trees** | | | | | |
| | ACACIA ANEURA<br>MULGA | (5 @<br>1.0 GPH) | 15 GAL. | 13 | 4.0H., 1.0W., 0.5CAL.<br>STAKE IN PLACE |
| | ACACIA SALICINA<br>WILLOW ACACIA | (5 @<br>1.0 GPH) | 24" BOX<br>36" BOX | 17<br>8 | 7.0H., 2.5W., 1.25CAL.<br>9.0H., 5.0W., 2.0CAL.<br>STAKE IN PLACE |
| | MARIOSOUSA WILLARDIANA<br>PALO BLANCO | (5 @<br>1.0 GPH) | 24" BOX | 15 | 5.0H., 2.5W., 1.0CAL.<br>STAKE IN PLACE |
| **shade trees** | | | | | |
| | ULMUS PARVIFOLIA<br>EVERGREEN ELM | (5 @<br>1.0 GPH) | 15 GAL. | 4 | 6.0H., 2.0W., 0.5CAL.<br>STAKE IN PLACE |
| | PARKINSONIA X.<br>'DESERT MUSEUM'<br>DESERT MUSEUM | (5 @<br>1.0 GPH) | 24" BOX<br>36" BOX | 4<br>10 | 5.0H., 3.0W., 1.0CAL.<br>8.0H., 5.0W., 1.75CAL.<br>STAKE IN PLACE |
| **large shrubs** | | | | | |
| | TECOMA STANS<br>YELLOW BELLS | (1 @<br>1.0 GPH) | 5 GAL. | 22 | |
| | LEUCOPHYLLUM FRUTESCENS<br>'GREEN CLOUD'<br>GREEN CLOUD SAGE | (1 @<br>1.0 GPH) | 5 GAL. | 3 | |
| **medium shrubs** | | | | | |
| | AGAVE AMERICANA<br>CENTURY PLANT | (1 @<br>1.0 GPH) | 5 GAL. | 4 | |
| | BOUGAINVILLEA 'LA JOLLA'<br>LA JOLLA BOUGAINVILLEA | (1 @<br>1.0 GPH) | 5 GAL. | 30 | |
| | BOUGAINVILLEA X BUTTIANA<br>'ORANGE KING'<br>'ORANGE KING BOUGAINVILLEA | (1 @<br>1.0 GPH) | 5 GAL. | 33 | |
| | DASYLIRION WHEELERI<br>DESERT SPOON | (1 @<br>1.0 GPH) | 5 GAL. | 97 | |
| | EUPHORBIA TRICUCALLI<br>STICKS OF FIRE | (1 @<br>1.0 GPH) | 5 GAL. | 22 | |
| | HESPERALOE FUNIFERA<br>GIANT HESPERALOE | (1 @<br>1.0 GPH) | 5 GAL. | 91 | |
| | HESPERALOE PARVIFLORA<br>RED YUCCA | (1 @<br>1.0 GPH) | 5 GAL. | 58 | |
| | MUHLENBERGIA RIGENS<br>DEER GRASS | (1 @<br>1.0 GPH) | 5 GAL. | 9 | |
| | OPUNTIA FICUS INDICA<br>INDIAN FIG PRICKLY PEAR | (1 @<br>1.0 GPH) | 5 GAL. | 21 | |
| **evergreen groundcover** | | | | | |
| | LANTANA 'DALLAS RED'<br>RED LANTANA | (1 @<br>1.0 GPH) | 5 GAL. | 35 | |
| | EREMOPHILA GLABRA<br>'MIGNEW GOLD'.<br>OUTBACK SUNRISE EMU | (1 @<br>1.0 GPH) | 5 GAL. | 76 | |
| | MUHLENBERGIA CAPILLARIS<br>REGAL MIST | (1 @<br>1.0 GPH) | 5 GAL. | 82 | |
| | MUHLENBERGIA RIGIDA<br>NASHVILLE DEER GRASS | (1 @<br>1.0 GPH) | 5 GAL. | 27 | |
| **columnar evergreen shrub** | | | | | |
| | FICUS PUMILA<br>CREEPING FIG | (1 @<br>1.0 GPH) | 5 GAL. | 8 | |
| | MACFADYENA UNGUIS-CATI<br>CAT'S CLAW VINE | (1 @<br>1.0 GPH) | 5 GAL. | 7 | |
| **inerts** | | | | | |
| 2 | 1/2" SCREENED DECOMPOSED GRANITE<br>EXPRESS GOLD<br>MATCH EXISTING ADJACENT | | 1/2"<br>SCRN | 26,275<br>S.F. | 2" MINIMUM IN<br>ALL PLANTERS |

DESIGN ETHIC
LANDSCAPE ARCHITECTURE
FORGING NEW ENVIRONMENTS
7525 EAST 6TH AVENUE SCOTTSDALE, ARIZONA 85251
480.225.7077

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO.
BRANDON J. PAUL
Date Signed 08.03.22
ARIZONA, U.S.A.
Expires 03/31/23

NORTH

0' 20' 40' 60'

SCALE: 1" = 20'-0"

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

PROJECT:

OLYMPUS GATEWAY
PECOS RD & SOUTH 89TH PL
MESA, ARIZONA

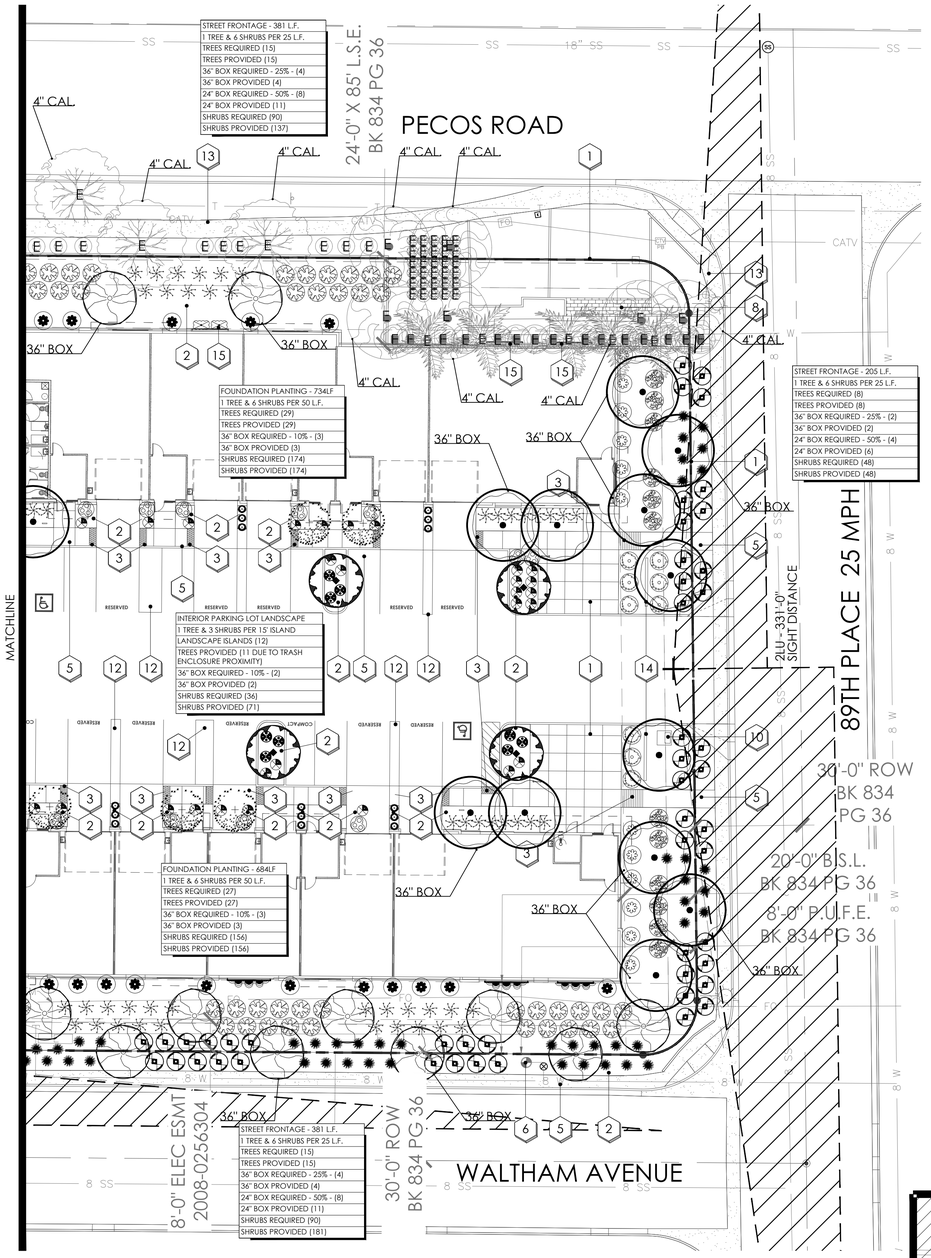
SHEET TITLE:

PLANTING PLAN

JOB NO: 21-077
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 08.03.2022
REVISED:

SHEET

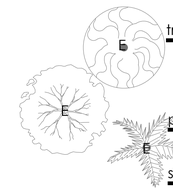
L.02 of L.03




## planting key notes

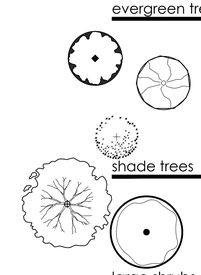
1. PROPERTY LINE / RIGHT OF WAY LINE
2. DECOMPOSED GRANITE IN ALL PLANTING AREAS
3. SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
4. ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
5. SIDEWALK.
6. FIRE HYDRANT -3'-0" CLEAR OF ALL PLANT MATERIAL
7. FIRE LINE BACKFLOW PREVENTOR - SCREEN MAINTAIN 3' ACCESS & CLEARANCE PER MAG STANDARD DETAIL 362.
8. EXISTING MONUMENT SIGN (TO REMAIN)
9. CURB. SEE CIVIL ENG. PLANS.
10. TRASH ENCLOSURE. SEE ARCHITECT'S SITE PLAN. TREE PLANTING SHOULD NOT TAKE PLACE WITHIN TEN (10) FEET OF THE BIN ENCLOSURE AND SHOULD BE SPACED SO AS NOT TO CREATE AN AERIAL OBSTRUCTION FOR THE BIN DUMPING AT THE FINAL FULL GROWTH DIMENSIONS.
11. PROPOSED TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.
12. PARKING STRIPE (TYPICAL)
13. EXISTING SIDEWALK & LANDSCAPE (TYPICAL)
14. SCREEN WALL. SEE ARCH. PLANS.
15. 10'-0" X 10'-0" PLANTING TRELLIS. SEE ARCH. PLANS.

## existing plant legend



| botanical name / common name | emitters | size | qty | comments |
|---|---|---|---|---|
| **trees** | | | | |
| OLEA EUROPAEA / SWAN HILL OLIVE | (6 @ 1.0 GPH) | SIZE VARIES | 6 | REMAIN IN PLACE |
| ULMUS PARVIFOLIA / EVERGREEN ELM | (6 @ 2.0 GPH) | SIZE VARIES | 8 | REMAIN IN PLACE |
| **palms** | | | | |
| PHOENIX DACTYLIFERA / DATE PALM | | SIZE VARIES | 5 | STAKE IN PLACE |
| **shrubs** | | | | |
| LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' / GREEN CLOUD SAGE | (1 @ 1.0 GPH) | 5 GAL. | 15 | PLANT AT 8' O.C. |
| NERIUM OLEANDER / PETITE PINK OLEANDER | (1 @ 1.0 GPH) | 5 GAL. | 16 | PLANT AT 5' O.C. |
| **accents** | | | | |
| DASYLIRION WHEELERI / DESERT SPOON | | 5 GAL. | 30 | PLANT AT 5' O.C. |

## proposed plant legend



| botanical name / common name | emitters | size | qty | comments |
|---|---|---|---|---|
| **evergreen trees** | | | | |
| ACACIA ANEURA / MULGA | (5 @ 1.0 GPH) | 15 GAL. | 13 | 4.0H., 1.0W., 0.5CAL. STAKE IN PLACE |
| ACACIA SALICINA / WILLOW ACACIA | (5 @ 1.0 GPH) | 24" BOX<br>36" BOX | 17<br>8 | 7.0H., 2.5W., 1.25CAL.<br>9.0H., 5.0W., 2.0CAL. STAKE IN PLACE |
| MARIOSOUSA WILLARDIANA / PALO BLANCO | (5 @ 1.0 GPH) | 24" BOX | 15 | 5.0H., 2.5W., 1.0CAL. STAKE IN PLACE |
| **shade trees** | | | | |
| ULMUS PARVIFOLIA / EVERGREEN ELM | (5 @ 1.0 GPH) | 15 GAL. | 4 | 6.0H., 2.0W., 0.5CAL. STAKE IN PLACE |
| PARKINSONIA X. 'DESERT MUSEUM' / DESERT MUSEUM | (5 @ 1.0 GPH) | 24" BOX<br>36" BOX | 4<br>10 | 5.0H., 3.0W., 1.0CAL.<br>8.0H., 5.0W., 1.75CAL. STAKE IN PLACE |
| **large shrubs** | | | | |
| TECOMA STANS / YELLOW BELLS | (1 @ 1.0 GPH) | 5 GAL. | 22 | |
| LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' / GREEN CLOUD SAGE | (1 @ 1.0 GPH) | 5 GAL. | 3 | |
| **medium shrubs** | | | | |
| AGAVE AMERICANA / CENTURY PLANT | (1 @ 1.0 GPH) | 5 GAL. | 4 | |
| BOUGAINVILLEA 'LA JOLLA' / LA JOLLA BOUGAINVILLEA | (1 @ 1.0 GPH) | 5 GAL. | 30 | |
| BOUGAINVILLEA X BUTTIANA 'ORANGE KING' / 'ORANGE KING BOUGAINVILLEA | (1 @ 1.0 GPH) | 5 GAL. | 33 | |
| DASYLIRION WHEELERI / DESERT SPOON | (1 @ 1.0 GPH) | 5 GAL. | 97 | |
| EUPHORBIA TRICUCALLI / STICKS OF FIRE | (1 @ 1.0 GPH) | 5 GAL. | 22 | |
| HESPERALOE FUNIFERA / GIANT HESPERALOE | (1 @ 1.0 GPH) | 5 GAL. | 91 | |
| HESPERALOE PARVIFLORA / RED YUCCA | (1 @ 1.0 GPH) | 5 GAL. | 58 | |
| MUHLENBERGIA RIGENS / DEER GRASS | (1 @ 1.0 GPH) | 5 GAL. | 9 | |
| OPUNTIA FICUS INDICA / INDIAN FIG PRICKLY PEAR | (1 @ 1.0 GPH) | 5 GAL. | 21 | |
| **evergreen groundcover** | | | | |
| LANTANA 'DALLAS RED' / RED LANTANA | (1 @ 1.0 GPH) | 5 GAL. | 35 | |
| EREMOPHILA GLABRA 'MIGNEW GOLD'. / OUTBACK SUNRISE EMU | (1 @ 1.0 GPH) | 5 GAL. | 76 | |
| MUHLENBERGIA CAPILLARIS / REGAL MIST | (1 @ 1.0 GPH) | 5 GAL. | 82 | |
| MUHLENBERGIA RIGIDA / NASHVILLE DEER GRASS | (1 @ 1.0 GPH) | 5 GAL. | 27 | |
| **columnar evergreen shrub** | | | | |
| FICUS PUMILA / CREEPING FIG | (1 @ 1.0 GPH) | 5 GAL. | 8 | |
| MACFADYENA UNGUIS-CATI / CAT'S CLAW VINE | (1 @ 1.0 GPH) | 5 GAL. | 7 | |
| **inerts** | | | | |
| 1/2" SCREENED DECOMPOSED GRANITE / EXPRESS GOLD / MATCH EXISTING ADJACENT | | 1/2" SCRN | 26,275 S.F. | 2" MINIMUM IN ALL PLANTERS |

## existing landscape & irrigation notes

1. SITE VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION WITHIN 24 HOURS OF THE OBSERVATION.
2. CONTRACTOR TO INSPECT EXISTING IRRIGATION SYSTEM AND VERIFY THAT THE SYSTEM IS WORKING PROPERLY.
3. ALL PLANT MATERIAL DESIGNATED AS "EXISTING TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE(S) THAT DIE DUE TO: LACK OF WATER, LACK OF MAINTENANCE OR CARE, NEGLECT OR VANDALISM SHALL BE REPLACED BY A SIMILAR SPECIES OF TREE, (MINIMUM 48" BOX) AT NO ADDITIONAL COST TO OWNER. PALMS THAT DIE SHALL BE BE REPLACED WITH LIKE TYPE: HEIGHT AND SIZE. ALL SHRUBS AND GROUNDCOVER SHALL BE REPLACED WITH 5 GALLON PLANTS.
4. LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPAIRED WITH SOD IN TURF AREAS AND NEW DECOMPOSED GRANITE MATCHING EXISTING. BLEND ALL DISTURBED AREAS WITH UNDISTURBED SO THERE IS A SMOOTH TRANSITION BETWEEN ALL EDGES. REPLACE ALL DISTURBED, BROKEN OR DAMAGED HEADERS WITH MATCHING TYPE.
5. ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UN-INTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO; HAND WATERING, TEMPORARY ABOVE GROUND IRRIGATION, EXISTING SYSTEM ,ETC.
6. THE EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. ALL EQUIPMENT SUCH AS MAINLINE, WIRES, LATERAL HEADS AND ETC. SHALL BE REPAIRED AND REPLACED TO MAINTAIN CONTINUOUS WATER.
7. PROVIDE NEW SCHEDULE 40 SLEEVES AT ALL NEW DRIVES. (SEE SLEEVE SCHEDULE FOR SIZE.) ANY EXISTING IRRIGATION SYSTEM IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND GUARANTEE 100% COVERAGE.
8. EXISTING TREES TO REMAIN SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECT INSTRUCTIONS.
9. ALL EXISTING SHRUBS WITHIN THE SIGHT DISTANCE LINES AND SIGHT VISIBILITY TRIANGLES SHALL BE SELECTIVELY PRUNED SO THAT THEY DO NOT EXCEED A MAXIMUM HEIGHT OF 30 INCHES.
10. ALL EXISTING TREES SHALL BE TRIMMED TO MAINTAIN A CLEAR A MINIMUM CANOPY HEIGHT OF 7 FEET.

## key map

NORTH

not to scale

DESIGN ETHIC
LANDSCAPE ARCHITECTURE
FORGING NEW ENVIRONMENTS
7525 EAST 6TH AVENUE SCOTTSDALE, ARIZONA 85251
480.225.7077

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 22818
BRANDON J. PAUL
Date Signed 08.03.22
ARIZONA, U.S.A.
Expires 03/31/23

NORTH
0' 20' 40' 60'
SCALE: 1" = 20'-0"

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

# OLYMPUS GATEWAY
PECOS RD & SOUTH 89TH PL
MESA, ARIZONA

PLANTING PLAN

PROJECT:

SHEET TITLE:

| | |
|---|---|
| JOB NO: | 21-077 |
| DATE: | |
| DRAWN BY: | B. PAUL |
| SUBMITTED: | 08.03.2022 |
| REVISED: | |

SHEET

LEGEND

MONUMENT LINE
SUBJECT PROPERTY LINE
ADJACENT PARCEL LINES
EASEMENT LINE

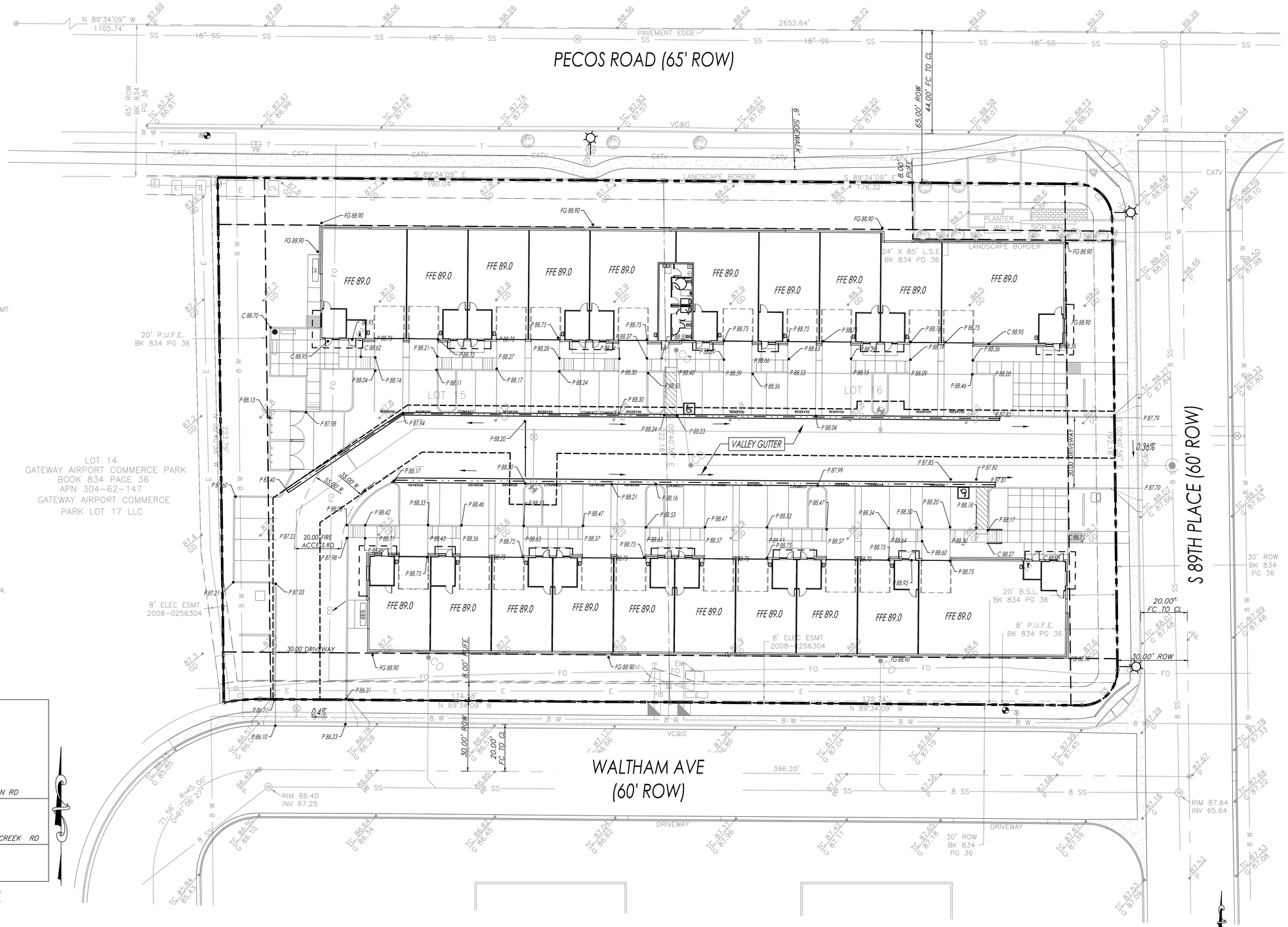
XX — EXISTING LINE
(XX) OR [XX] — EXISTING MANHOLES, VAULTS AND BOXES
WATER VALVE
BACKFLOW PREVENTER
FIRE HYDRANT
WATER METER
SIGN
LIGHT
EXISTING CONCRETE
EXISTING BRICK
TREE
PALM

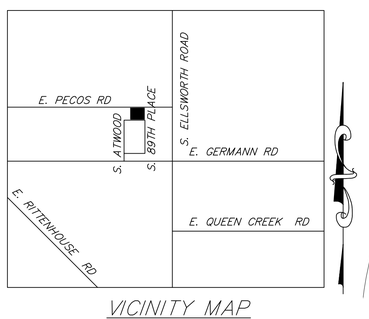
ABBREVIATIONS

| | |
|---|---|
| BK | BRICK |
| BSL | BUILDING SETBACK LINE |
| C | CONCRETE |
| CVAE | CONTROLLED VEHICULAR ACCESS ESMT |
| CTL | CONTROL BOX |
| E | ELECTRIC |
| EM | ELECTRIC MARKER |
| FO | FIBER OPTICES |
| FS | FIRELINE STUB |
| G | GUTTER |
| GD | GROUND |
| PB | PULL BOX |
| P | PAVEMENT |
| LSE | LANDSCAPE EASEMENT |
| PUFE | PUBLIC & FACILITY EASEMENT |
| ROW | RIGHT OF WAY |
| SS | SANITARY SEWER |
| TC | TOP OF CURB |
| W | WATER |
| VC&G | VERTICAL CURB & GIUTTER |

SURVEY MONUMENT LEGEND

FOUND BRASS CAP FLUSH
FOUND 1/2" REBAR W/CAP, NO I.D.
FOUND 1/2" REBAR W/CAP 40127
FOUND 1/2" REBAR W/ALUM CAP 42137.
FOUND 1/2" REBAR ATTACHED CAP 44144.




VICINITY MAP
NTS

CALL AT LEAST TWO FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
ARIZONA 811
DIAL 8-1-1 OR 1-800-STAKE-IT (782-5348)
IN MARICOPA COUNTY: (602) 263-1100

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTE:
THE SITE IS A PART OF THE GATEWAY AIRPORT COMMERCE PARK WHICH HAS ONSITE REGIONAL RETENTION LOCATED ON TRACT A OF THE SUBDIVISION AS INDICATED IN ASBUILT DRAWINGS FOR GATEWAY AIRPORT COMMERCE PARK BY ALLEN CONSULTING ENGINEERS, INC, DATED 3.7.2008. THE PROJECT CONSISTS OF LOTS 15 & 16 OF THE GATEWAY AIRPORT COMMERCE PARK.

0 10 20 40
SCALE: 1"=20'


PINNACLE DESIGN INC
1048 N. 44th St. #200
Phoenix, AZ 85008
602.952.8585
www.pdi-az.com


Registered Professional Engineer (Civil) CERTIFICATE NO. 57116 KELLY J. BELL Date Signed 3.7.2022 ARIZONA U.S.A.

**PRELIMINARY NOT FOR CONSTRUCTION**

# OLYMPUS GATEWAY INDUSTRIAL DEVELOPMENT

8934 E. WALTHAM AVE, MESA, ARIZONA

## PRELIMINARY GRADING AND DRAINAGE PLAN

PROJECT #: 101806 KBE
DATE: MARCH 7, 2022
DRAWN BY: KJB

| REV # | DATE | DESCRIPTION |
|---|---|---|

SHEET
C-1

## ELEVATION MATERIAL PERCENTAGES

| | SF | % |
|---|---|---|
| **NORTH:** | | |
| CMU-1 | 2,761.19 | 37% |
| CMU-2 | 677.35 | 9% |
| CMU-3 | 355.89 | 5% |
| GL-1 | 0 | 0% |
| PT-1 | 127.76 | 2% |
| STUC-1 | 3,622.03 | 48% |
| | **7,544.22** | |
| **SOUTH:** | | |
| CMU-1 | 2,855.36 | 38% |
| CMU-2 | 958.34 | 13% |
| CMU-3 | 334.76 | 4% |
| GL-1 | 396.72 | 5% |
| PT-1 | 1,733.85 | 23% |
| STUC-1 | 1,214.46 | 16% |
| | **7,493.49** | |
| **EAST:** | | |
| CMU-1 | 299.56 | 28% |
| CMU-2 | 430.01 | 41% |
| CMU-3 | 52.39 | 5% |
| GL-1 | 52.15 | 5% |
| PT-1 | 39.01 | 4% |
| STUC-1 | 183.78 | 17% |
| | **1,056.9** | |
| **WEST:** | | |
| CMU-1 | 299.56 | 28% |
| CMU-2 | 430.01 | 41% |
| CMU-3 | 52.39 | 5% |
| GL-1 | 52.15 | 5% |
| PT-1 | 39.01 | 4% |
| STUC-1 | 183.78 | 17% |
| | **1,056.9** | |

## EXTERIOR FINISHES & MATERIALS LEGEND

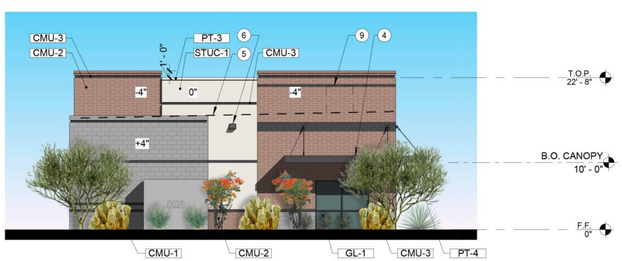
| | |
|---|---|
| CMU-1 | 8"x8"x16" SMOOTH FACE CMU, STANDARD GREY |
| CMU-2 | 8"x4"x16" SMOOTH FACE CMU, INTEGRAL COLOR AUTUMN |
| CMU-3 | 8"x4"x16" SMOOTH FACE CMU, INTEGRAL COLOR OPAL |
| GL-1 | INSULATED GLASS UNIT, VITRO SOLARBAN z50 (2) + CLEAR GLASS |
| PT-1 | PAINT TO MATCH CMU-1 |
| PT-2 | PAINT TO MATCH CMU-2 |
| PT-3 | PAINT TO MATCH STUC-1 |
| PT-4 | DUNN EDWARDS #DE6364 "CAVERNOUS" |
| STUC-1 | STUCCO PAINTED DUNN EDWARDS #DEC785 "WHISPER GRAY" |

## EXTERIOR ELEVATION KEYNOTES

1. 12'x12' OVERHEAD SECTIONAL DOOR
2. 3'-0"x7'-0" ANODIZED ALUMINUM STOREFRONT ENTRY WITH 1" INSULATED GLAZING WITH 3'-0" SIDELITE
3. 3'-0"x7'-0" HM DOOR WITH FRAME AND HARDWARE
4. ENTRY CANOPY
5. DASHED LINE INDICATES LINE OF ROOF BEYOND
6. WALL MOUNTED SITE LIGHT- SEE PHOTOMETRIC PLAN
7. FIRE DEPARTMENT CONNECTION
8. ALUMINUM FRAMED WINDOW WITH 1" INSULATED GLAZING 3'-0" A.F.F.
9. FULLY SCREENED MECHANICAL UNIT
10. 10'-0" x 10'-0" PLANTING TRELLIS
11. FAUX STOREFRONT WITH SPANDREL GLASS

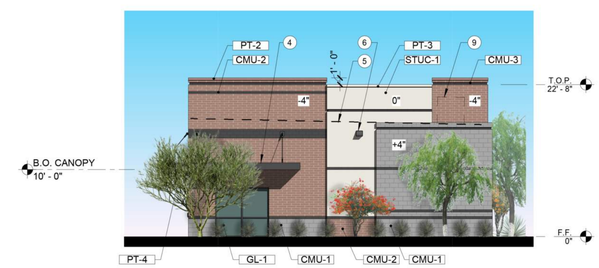
## SOUTH ELEVATION

3/32" = 1'-0"



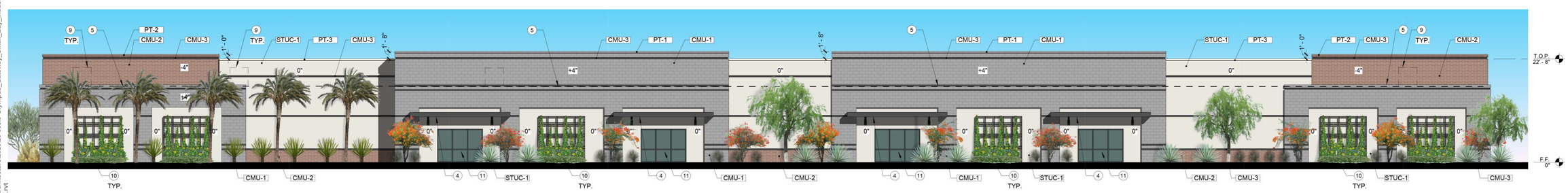

## WEST ELEVATION

3/32" = 1'-0"




## EAST ELEVATION

3/32" = 1'-0"




## NORTH ELEVATION

3/32" = 1'-0"

\\PDIDC01\Architecture\2020\20-008.0-Olympus_Gateway_Small_Bay_Industrial\20-008.0_Building A_detached.rvt


PINNACLE DESIGN INC

1048 N. 44th St. #200
Phoenix, AZ 85008
602.952.8585


**DESIGN REVIEW PACKAGE**

# OLYMPUS GATEWAY SMALL BAY INDUSTRIAL

8934 E. WALTHAM AVE MESA, AZ 85212

## BUILDING A

## CONCEPTUAL COLORED ELEVATIONS

PROJECT #: 20-008.0
DATE: 6.27.2022
DRAWN BY: MC

| REV # | DATE | DESCRIPTION |
|---|---|---|


COPYRIGHT PINNACLE DESIGN, INC. 2021


SHEET

**DR-9**

PLEASE RECYCLE

## ELEVATION MATERIAL PERCENTAGES

| NORTH: | SF | % |
|---|---|---|
| CMU-1 | 2,649.76 | 38% |
| CMU-2 | 1,052.20 | 15% |
| CMU-3 | 288.16 | 4% |
| GL-1 | 373.42 | 5% |
| PT | 1,678.63 | 24% |
| STUC-1 | 914.49 | 13% |
| | **6,956.66** | |

| SOUTH: | SF | % |
|---|---|---|
| CMU-1 | 2,657.56 | 31% |
| CMU-2 | 421.14 | 6% |
| CMU-3 | 338.45 | 5% |
| GL-1 | 0 | 0% |
| PT | 120.11 | 2% |
| STUC-1 | 3,514.93 | 50% |
| | **7,052.09** | |

| EAST: | SF | % |
|---|---|---|
| CMU-1 | 299.06 | 31% |
| CMU-2 | 368.08 | 38% |
| CMU-3 | 51.20 | 5% |
| GL-1 | 52.15 | 5% |
| PT | 34.07 | 3% |
| STUC-1 | 169.36 | 17% |
| | **973.92** | |

| WEST: | SF | % |
|---|---|---|
| CMU-1 | 299.06 | 31% |
| CMU-2 | 368.08 | 38% |
| CMU-3 | 51.20 | 5% |
| GL-1 | 52.15 | 5% |
| PT | 34.07 | 3% |
| STUC-1 | 169.36 | 17% |
| | **973.92** | |

## EXTERIOR FINISHES & MATERIALS LEGEND

| | |
|---|---|
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| CMU-3 | 8"x4"x16" SMOOTH FACE CMU, INTEGRAL COLOR OPAL |
| GL-1 | INSULATED GLASS UNIT, VITRO SOLARBAN z50 (2) + CLEAR GLASS |
| PT-1 | PAINT TO MATCH CMU-1 |
| PT-2 | PAINT TO MATCH CMU-2 |
| PT-3 | PAINT TO MATCH STUC-1 |
| PT-4 | DUNN EDWARDS #DE6322 "BLACK LEAD" |
| STUC-1 | STUCCO PAINTED WITH PT-2 (DUNN EDWARDS #DEC751 "ASH GRAY") |

## EXTERIOR ELEVATION KEYNOTES

1 12'x12' OVERHEAD SECTIONAL DOOR

2 3'-0"x7'-0" ANODIZED ALUMINUM STOREFRONT ENTRY WITH 1" INSULATED GLAZING WITH 3'-0"x4'-4" SIDELITE

3 3'-0"x7'-0" HM DOOR WITH FRAME AND HARDWARE

4 ENTRY CANOPY

5 DASHED LINE INDICATES LINE OF ROOF BEYOND

6 WALL MOUNTED SITE LIGHT- SEE PHOTOMETRIC PLAN

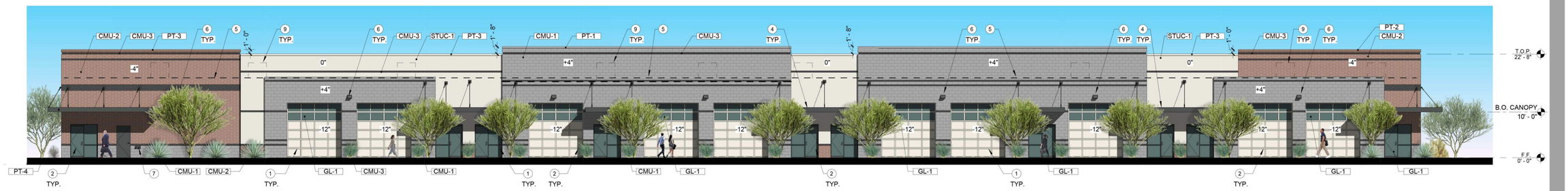
7 FIRE DEPARTMENT CONNECTION

8 ALUMINUM FRAMED WINDOW WITH 1" INSULATED GLAZING 3'-0" A.F.F.

9 FULLY SCREENED MECHANICAL UNIT

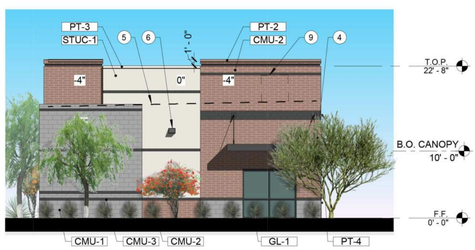
10 10'-0" x 10'-0" PLANTING TRELLIS

11 FAUX STOREFRONT WITH SPANDREL GLASS



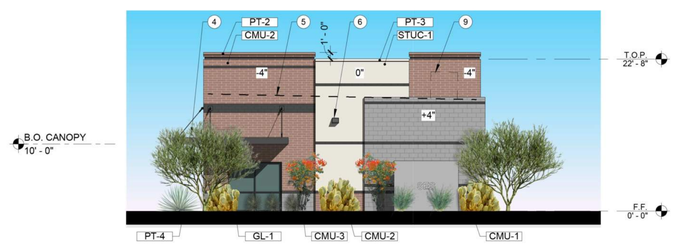

## NORTH ELEVATION

3/32" = 1'-0"



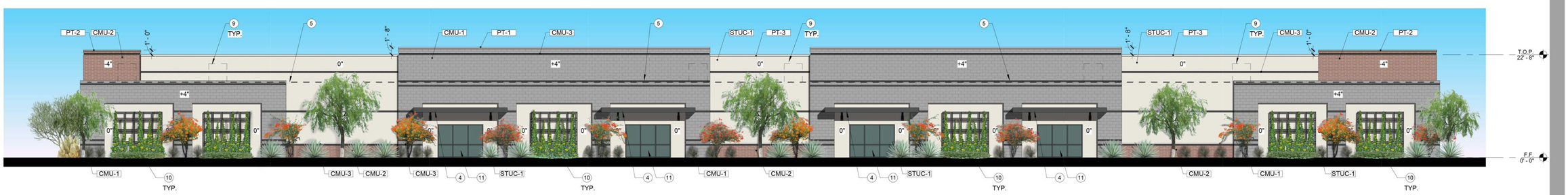

## EAST ELEVATION

3/32" = 1'-0"




## WEST ELEVATION

3/32" = 1'-0"




## SOUTH ELEVATION

3/32" = 1'-0"


PINNACLE DESIGN INC

1048 N. 44th St. #200
Phoenix, AZ 85008
602.952.8585


**DESIGN REVIEW PACKAGE**

# OLYMPUS GATEWAY SMALL BAY INDUSTRIAL

8934 E. WALTHAM AVE MESA, AZ 85212

## BUILDING B

CONCEPTUAL COLORED ELEVATIONS

PROJECT #: 20-008.0
DATE: 6.28.2022
DRAWN BY: MC

| REV # | DATE | DESCRIPTION |
|---|---|---|


COPYRIGHT PINNACLE DESIGN, INC. 2021


SHEET

**DR-10**

PLEASE RECYCLE

C:\Users\mculver\Documents\Revit Local Files\20-008.0_Building B_mculverEP7QY.rvt

# Citizen Participation Plan

# Olympus 89th and Pecos

# August 16, 2022

**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for the Olympus 89th Place and Pecos Road project. The site is located at the southwest corner of Pecos Road and 89th Place and is approximately three gross acres. The site is zoned Light Industrial (LI-PAD) and we are requesting a BIZ Overlay to develop small bay industrial office and warehouse space.

**Contact:**
Rodney Jarvis
Earl & Curley P.C.
3101 N. Central Ave #1000
Phoenix, AZ 85012
602.265.0094
rjarvis@earlcurley.com

**Pre-Submittal Conference:** Planning Staff did indicate a Citizen Participation Plan should be done, but did not provide a list of nearby residents nor associations. There aren't any nearby residents within 1,000 feet of the parcel since it is in an industrial area. However, we have sent out notifications to all property owners and interested parties within 1,000 feet of the site.

The letter sent to the property owners and interested parties includes the location, scope of project, and preliminary elevations that have been approved by the Design Review Board.

Please note that there will not be an in-person meeting since we have no residents within 1,000 feet of the site and Staff therefore did not require it. However, our letter to the property owners and interested parties urges to offer any feedback or concerns. All received comments will be documented and shared with Staff.

**Schedule**:
Design Review Board: August 9th, 2022
Submittal of Citizen Participation Report and Notification materials: August 16th, 2022

Planning and Zoning Board Hearing- August 24th, 2022

Earl & Curley
ZONING & LAND USE LAW

# Citizen Participation Report

# Olympus 89th and Pecos

# September 1, 2022

**Purpose:** This Citizen Participation Report provides results of the implementation of the Citizen Participation Plan for the Olympus 89th Place and Pecos Road project. The site is located at the southwest corner of Pecos Road and 89th Place and is approximately three gross acres. The site is zoned Light Industrial (LI-PAD) and we are requesting a BIZ Overlay to develop small bay industrial office and warehouse space.

**Contact:**
Rodney Jarvis
Earl & Curley P.C.
3101 N. Central Ave #1000
Phoenix, AZ 85012
602.265.0094
rjarvis@earlcurley.com

**Neighborhood Meetings:** While Planning Staff asked for a Citizen Participation Plan, they did not request any neighborhood meetings take place. The site is more than 1000' from any residential properties and very few, if any, industrial operators would be inclined to comment on the project.

**Correspondence and Telephone Calls:** While a neighborhood meeting was not required, we went beyond the notification requirements of 500' for property owners and have mailed out letters to all property owners and interested parties within 1000' of our site. The letter includes the location, scope of project, and preliminary elevations that have been approved by the Design Review Board. All received comments will be documented and shared with Staff.

The letter went out on 8/16/22 prior to the 8/24/22 Planning & Zoning Hearing. Attached are the contact lists of all property owners and interested parties within 1000' of our site.

**Results:**

On 8/15/22, Ms. Donna Powell, manager of the Gateway Airport Commerce Park Owners Association, emailed Ms. Jennifer Merrill (City Of Mesa Planner II) and Ian Mulich (Architect on project) in regards to not receiving a notice as an Association. This was in regards to the upcoming Planning and Zoning Hearing where notices were appropriately sent to property owners within 500' of the site. On 8/16/22, Travis Kay, Principal for Olympus Construction Group, met with Ms. Powell and was able to review

the current status, approved DRB drawings, and asked for future feedback. On 8/16/23, Ms. Powell sent an approval letter via email for the plans submitted for the project.

Additionally, Mr. Jack Farmer (District 2) sent an email to Earl & Curley staff on 8/17/22 and simply said "No Opposition".

No other feedback from nearby property owners, residents, or associations has been received. If any additional feedback is received prior to the Planning & Zoning Hearing on August 24, 2022, we will provide it to Staff.

## Exhibit A- Interested Parties within 1000' using Plan Net

Untitled - Google Chrome

about:blank

### Parcels

*Total features returned: 1*

| Parcel | Address | Owner |
|---|---|---|
| 304-62-149 | 8934 E WALTHAM AVE | OLYMPUS DEVELOPMENT & INVESTMENTS LLC |

### Area of Interests

*Total features returned: 21*

| Name | Address | Suite | City | State | ZIP Code | Contact | email | Phone | Fax |
|---|---|---|---|---|---|---|---|---|---|
| Maricopa Association of Governments | 302 N. 1st Avenue | 300 | Phoenix | AZ | 85003 | Scott Wilken | swilken@azmag.gov | | |
| Maricopa Association of Governments | 302 N. 1st Avenue | 300 | Phoenix | AZ | 85003 | Kurt Cotner | kcotner@azmag.gov | | |
| Phoenix Gateway Airport | | | | | | Carl D'Acosta | cdacosta@gatewayairport.com | | |
| Phoenix Gateway Airport | | | | | | Tony Bianchi | tbianchi@gatewayairport.com | | |
| District 2 | | | | | | Greg Harmon | GregHarmon@msn.com | | |
| District 2 | | | | | | Elizabeth Bradley | azcakes@mac.com | | |
| District 2 | | | | | | Jack Farmer | jack@santolinafarm.com | | |
| Town of Gilbert | 90 E Civic Center Dr | | Gilbert | AZ | 85296 | Eva Cutro | Eva.Cutro@GilbertAZ.gov | | |
| City of Mesa | | | Mesa | AZ | | | planning.info@mesaaz.gov | | |
| City of Mesa | P.O. Box 1466 | | Mesa | AZ | 85201 | Nana Appiah | nana.appiah@mesaaz.gov | | |
| Town of Gilbert | 90 E Civic Center Dr | | Gilbert | AZ | 85296 | Kyle Mieras | kyle.mieras@gilbertaz.gov | | |
| Town of Queen Creek | 22350 S Ellsworth Rd | | Queen Creek | AZ | 85242 | Brett Burningham | brett.burningham@queencreek.org | 480-358-3097 | |
| Town of Queen Creek | 22350 S Ellsworth Rd | | Queen Creek | AZ | 85242 | Erik Swanson | erik.swanson@queencreek.org | 480-358-3013 | |
| Maricopa County Parks and Recreation | 41835 N Castle Hot Springs Rd | | Morristown | AZ | 85342 | Eileen Baden, AICP | eileen.baden@maricopa.gov | | |
| Maricopa Association of Governments | 302 N. 1st Avenue | 300 | Phoenix | AZ | 85003 | Kurt Cotner | kcotner@azmag.gov | | |
| Arizona State Land Department | | | | | | Karen Dada | pe@azland.gov | | |
| AZDOT | | | | AZ | | B Fenske | bfenske@azdot.gov | | |
| AZDOT | | | | AZ | | J Garcia | jgarcia@azdot.gov | | |
| Dan Krantz | | | | | | | Dkrantz@citytocitycre.com | | |
| MCSO | 550 W Jackson St | | Phoenix | AZ | 85003 | Frank Williams | FrankMcWilliams@mcso.maricopa.gov | 602-876-4479 | |
| Maricopa Association of Governments | 302 N. 1st Avenue | 300 | Phoenix | AZ | 85003 | Alex Garza Navarro | agarza@azmag.gov | 480-321-7266 | |

## Exhibit B- Property Owner's within 1000'

| | A | B | C | D | E | F | G | H | I | J | K | L | M | N |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | Parcel Numbe | Owner | Property Address | Mailing / | MAIL_ADDR1 | MAIL_CITY | MAIL_S | MAIL_ZIP | PHYSIC | PHYSIC | PHYSIC | PHYSIC | PHYSIC | PHYSICAL |
| 2 | 304-62-010Y | SUNBELT LAND HOLDIN( | | 8095 OT | 8095 OTHELLO AVE | SAN DIEGO | CA | 92111 | | | | | | |
| 3 | 304-62-011C | PECOS GATEWAY BUSIN | 8743 E PECOS RD ME | 140117TH | 140117TH ST SUITE 7 | DENVER | CO | 80202 | 8743 | E | PECOS | RD | MESA | 85212 |
| 4 | 304-62-142 | GNDCH HOLDINGS LLC | 7360 S ATWOOD MES | 7408 S A | 7408 S ATWOOD | MESA | AZ | 85212 | 7360 | S | ATWOOD | | MESA | 85212 |
| 5 | 304-62-143 | GNDCH HOLDINGS LLC | 7344 S ATWOOD MES | 7408 S A | 7408 S ATWOOD | MESA | AZ | 85212 | 7344 | S | ATWOOD | | MESA | 85212 |
| 6 | 304-62-144 | HERITAGE HOLDINGS LL | 7310 S ATWOOD MES. | 1129 S O. | 1129 S OAKLAND DR | MESA | AZ | 85206 | 7310 | S | ATWOOD | | MESA | 85212 |
| 7 | 304-62-145 | GLENSCOTT LLC | 7262 S ATWOOD MES | 385 PITT | 385 PITTSBURG AVE | RICHMOND | CA | 94801 | 7262 | S | ATWOOD | | MESA | 85212 |
| 8 | 304-62-146 | TUCKER TODD | 7246 S ATWOOD MES | 2915 E B | 2915 E BASELINE RD | GILBERT | AZ | 85234-247 | 7246 | S | ATWOOD | | MESA | 85212 |
| 9 | 304-62-147 | GATEWAY AIRPORT COI | 8902 E WALTHAM AV | 5055 E W | 5055 E WASHINGTOI | PHOENIX | AZ | 85034 | 8902 | E | WALTH. | AVE | MESA | 85212 |
| 10 | 304-62-148 | OLYMPUS DEVELOPMEN | 8918 E WALTHAM AVE | 4365 E F | 4365 E PECOS RD S | GILBERT | AZ | 85295 | 8918 | E | WALTH. | AVE | MESA | 85212 |
| 11 | 304-62-149 | OLYMPUS DEVELOPMEN | 8934 E WALTHAM AV | 4365 E F | 4365 E PECOS RD S | GILBERT | AZ | 85295 | 8934 | E | WALTH. | AVE | MESA | 85212 |
| 12 | 304-62-150 | GATEWAY AIRPORT COI | 7217 S 89TH PL MESA | 5055 E W | 5055 E WASHINGTOI | PHOENIX | AZ | 85034 | 7217 | S | 89TH | PL | MESA | 85212 |
| 13 | 304-62-151 | GATEWAY AIRPORT COI | 7235 S 89TH PL MESA | 5055 E W | 5055 E WASHINGTOI | PHOENIX | AZ | 85034 | 7235 | S | 89TH | PL | MESA | 85212 |
| 14 | 304-62-152 | GATEWAY AIRPORT COI | 7253 S 89TH PL MESA | 5055 E W | 5055 E WASHINGTOI | PHOENIX | AZ | 85034 | 7253 | S | 89TH | PL | MESA | 85212 |
| 15 | 304-62-153 | KINGDON GATEWAY LLC | 7307 S 89TH PL MESA | 273 W B | 273 W BERGE LN | MURRAY | UT | 84107 | 7307 | S | 89TH | PL | MESA | 85212 |
| 16 | 304-62-154 | KINGDON GATEWAY LLC | 7325 S 89TH PL MESA | 273 W B | 273 W BERGE LN | MURRAY | UT | 84107 | 7325 | S | 89TH | PL | MESA | 85212 |
| 17 | 304-62-155 | S8 RENTAL SERVICES LL | 7343 S 89TH PL MESA | 7343 S 8 | 7343 S 89TH PL | MESA | AZ | 85212 | 7343 | S | 89TH | PL | MESA | 85212 |
| 18 | 304-62-156 | BAV LLC | 7361 S 89TH PL MESA | 7361 S 8 | 7361 S 89TH PL | MESA | AZ | 85212-552 | 7361 | S | 89TH | PL | MESA | 85212 |
| 19 | 304-62-182 | GATEWAY AIRPORT COI | | 1760 E P | 1760 E PECOS RD ST | GILBERT | AZ | 85295 | | | | | | |
| 20 | 304-62-764 | SOUTHGATE NORTH LLC | 8830 E GERMANN RC | 1401 E W | 1401 E WELDON AVE | PHOENIX | AZ | 85014 | 8830 | E | GERMA | RD | MESA | 85212 |
| 21 | 304-62-765 | SOUTHGATE NORTH LLC | 8830 E GERMANN RC | 1401 E W | 1401 E WELDON AVE | PHOENIX | AZ | 85014 | 8830 | E | GERMA | RD | MESA | 85212 |
| 22 | 304-62-766 | SOUTHGATE NORTH LLC | 8830 E GERMANN RC | 1401 E W | 1401 E WELDON AVE | PHOENIX | AZ | 85014 | 8830 | E | GERMA | RD | MESA | 85212 |
| 23 | 304-62-767 | SOUTHGATE NORTH LLC | 8830 E GERMANN RC | 1401 E W | 1401 E WELDON AVE | PHOENIX | AZ | 85014 | 8830 | E | GERMA | RD | MESA | 85212 |
| 24 | 304-62-768 | SOUTHGATE NORTH LLC | 8830 E GERMANN RC | 1401 E W | 1401 E WELDON AVE | PHOENIX | AZ | 85014 | 8830 | E | GERMA | RD | MESA | 85212 |
| 25 | 304-62-782 | SOUTHGATE COMMERC | 8830 E GERMANN RC | 8660 E W | 8660 E WATERFORD | MESA | AZ | 85242 | 8830 | E | GERMA | RD | MESA | 85212 |
| 26 | 304-62-783A | CITY OF MESA | 9015 E PECOS RD ME | PO BOX | PO BOX 1466 | MESA | AZ | 85211-1466 | 9015 | E | PECOS | RD | MESA | 85212 |
| 27 | 304-62-784E | SUNBELT LAND HOLDIN( | | 8095 OT | 8095 OTHELLO AVE | SAN DIEGO | CA | 92111 | | | | | | |
| 28 | 304-62-785 | KILLER BULLS LLC | 7324 S ATWOOD MES | 5332 E M | 5332 E MAIN ST | MESA | AZ | 85205 | 7324 | S | ATWOOD | | MESA | 85212 |
| 29 | 304-62-786 | KILLER BULLS LLC | 7330 S ATWOOD MES | 5332 E M | 5332 E MAIN ST | MESA | AZ | 85205 | 7330 | S | ATWOOD | | MESA | 85212 |
| 30 | 304-62-790 | MARLYE PROPERTIES L | 7256 S 89TH PL 101 ME | 9833 E S | 9833 E SOLSTICE AV | MESA | AZ | 85212 | 7256 | S | 89TH | PL | MESA | 85212 |
| 31 | 304-62-791 | MARLYE PROPERTIES L | 7256 S 89TH PL 103 MI | 9833 E S | 9833 E SOLSTICE AV | MESA | AZ | 85212 | 7256 | S | 89TH | PL | MESA | 85212 |
| 32 | 304-62-792 | MIKA MONSTER LLC | 7256 S 89TH PL 105 MI | 20622 E | 20622 E SUPERSTITI | QUEEN CREEK | AZ | 85142 | 7256 | S | 89TH | PL | MESA | 85212 |
| 33 | 304-62-793 | ARCAS STEVE/TERRI TF | 7256 S 89TH PL 107 MI | 2626 E E | 2626 E ENCINAS ST | GILBERT | AZ | 85234 | 7256 | S | 89TH | PL | MESA | 85212 |
| 34 | 304-62-794 | OESTREICH RYAN/PICC | 7256 S 89TH PL 110 ME | 1192 W D | 1192 W DESERT VALL | SAN TAN VALLI | AZ | 85143 | 7256 | S | 89TH | PL | MESA | 85212 |
| 35 | 304-62-795 | MIKA MONSTER LLC | 7256 S 89TH PL 112 ME | 20622 E | 20622 E SUPERSTITI | QUEEN CREEK | AZ | 85142 | 7256 | S | 89TH | PL | MESA | 85212 |
| 36 | 304-62-796 | MIKA MONSTER LLC | 7256 S 89TH PL 113 ME | 20622 E | 20622 E SUPERSTITI | QUEEN CREEK | AZ | 85142 | 7256 | S | 89TH | PL | MESA | 85212 |
| 37 | 304-62-797 | ASKA RESOURCES LLC | 7257 S ATWOOD 101 M | PO BOX | PO BOX 1010 | QUEEN CREEK | AZ | 85142 | 7257 | S | ATWOOD | | MESA | 85212 |
| 38 | 304-62-798 | ASKA RESOURCES LLC | 7257 S ATWOOD 104 M | PO BOX | PO BOX 1010 | QUEEN CREEK | AZ | 85142 | 7257 | S | ATWOOD | | MESA | 85212 |
| 39 | 304-62-799 | ZAHARIS CHERYL T TR | 7257 S ATWOOD 105 M | 2444 E M | 2444 E MINTON ST | MESA | AZ | 85213 | 7257 | S | ATWOOD | | MESA | 85212 |
| 40 | 304-62-800 | FRANK WEST INVESTME | 7257 S ATWOOD 107 M | 2457 E F | 2457 E PAGE AVE | GILBERT | AZ | 85234 | 7257 | S | ATWOOD | | MESA | 85212 |
| 41 | 304-62-801 | TBAZ LLC | 7257 S ATWOOD 108 M | 450 N M | 450 N MCCLINTOCK | CHANDLER | AZ | 85226 | 7257 | S | ATWOOD | | MESA | 85212 |
| 42 | 304-62-802 | PDS ENTERPRIZES LLC/ | 7257 S ATWOOD 110 M | 11331 E S | 11331 E SOLINA CIR | MESA | AZ | 85212 | 7257 | S | ATWOOD | | MESA | 85212 |
| 43 | 304-62-803 | BRIAN AND VICTORIA LC | 7257 S ATWOOD 111 M | 30939 3 | 30939 36TH AVE SW | FEDERAL WAY | WA | 98023 | 7257 | S | ATWOOD | | MESA | 85212 |
| 44 | 304-62-804 | MIRASZEK CHRISTOPHE | 7257 S ATWOOD 113 M | 20143 E | 20143 E SUNSET DR | QUEEN CREEK | AZ | 85142 | 7257 | S | ATWOOD | | MESA | 85212 |
| 45 | 304-62-805 | NU WAVZ HOLDINGS LLC | 7319 S ATWOOD 101 M | 7319 S A | 7319 S ATWOOD STE | MESA | AZ | 85212 | 7319 | S | ATWOOD | | MESA | 85212 |
| 46 | 304-62-806 | NU WAVZ HOLDINGS LLC | 7319 S ATWOOD 103 M | 7319 S A | 7319 S ATWOOD STE | MESA | AZ | 85212 | 7319 | S | ATWOOD | | MESA | 85212 |
| 47 | 304-62-807 | RM MARKETING LLC | 7319 S ATWOOD 105 M | 7250 W F | 7250 W FRANKLIN RI | FLORENCE | AZ | 85132 | 7319 | S | ATWOOD | | MESA | 85212 |
| 48 | 304-62-808 | CUSTOM TECH SERVICE | 7319 S ATWOOD 107 M | 7319 S A | 7319 S ATWOOD STE | MESA | AZ | 85212 | 7319 | S | ATWOOD | | MESA | 85212 |
| 49 | 304-62-809 | CUSTOM TECH SERVICE | 7319 S ATWOOD 109 M | 7319 S A | 7319 S ATWOOD STE | MESA | AZ | 85212 | 7319 | S | ATWOOD | | MESA | 85212 |
| 50 | 304-62-810 | CUSTOM TECH SERVICE | 7319 S ATWOOD 111 ME | 7319 S A | 7319 S ATWOOD STE | MESA | AZ | 85212 | 7319 | S | ATWOOD | | MESA | 85212 |
| 51 | 304-62-811 | CUSTOM TECH SERVICE | 7319 S ATWOOD 113 M | 7319 S A | 7319 S ATWOOD STE | MESA | AZ | 85212 | 7319 | S | ATWOOD | | MESA | 85212 |
| 52 | 304-62-812 | TK COMMERCIAL LLC | 7318 S 89TH PL 101 ME | 7697 SU | 7697 SUMMER DAY | CORONA | CA | 92883 | 7318 | S | 89TH | PL | MESA | 85212 |
| 53 | 304-62-813 | S8 RENTAL SERVICES LL | 7318 S 89TH PL 103 ME | 8 SAILO | 8 SAILORS WAY | RED BANK | NJ | 7701 | 7318 | S | 89TH | PL | MESA | 85212 |
| 54 | 304-62-814 | UNIQUE SOLUTIONS AND | 7318 S 89TH PL 105 ME | 952 E SU | 952 E SUN VALLEY F | SAN TAN VALLI | AZ | 85140 | 7318 | S | 89TH | PL | MESA | 85212 |
| 55 | 304-62-815 | JACS LLC | 7318 S 89TH PL 106 ME | 166 E PA | 166 E PASE FINO WY | QUEEN CREEK | AZ | 85143 | 7318 | S | 89TH | PL | MESA | 85212 |
| 56 | 304-62-816 | T2 PEST SERVICES INC | 7318 S 89TH PL 108 ME | 7318 S 8 | 7318 S 89TH PL UNIT | MESA | AZ | 85212 | 7318 | S | 89TH | PL | MESA | 85212 |
| 57 | 304-62-817 | FRASCO PROPERTIES L | 7318 S 89TH PL 110 ME | 10787 E | 10787 E SURVEYOR ( | GOLD CANYON | AZ | 85118 | 7318 | S | 89TH | PL | MESA | 85212 |
| 58 | 304-62-818 | MIKA MONSTER LLC | 7318 S 89TH PL 112 ME | 20622 E | 20622 E SUPERSTITI | QUEEN CREEK | AZ | 85142 | 7318 | S | 89TH | PL | MESA | 85212 |
| 59 | 304-62-819 | MIKA MONSTER LLC | 7318 S 89TH PL 113 ME | 20622 E | 20622 E SUPERSTITI | QUEEN CREEK | AZ | 85142 | 7318 | S | 89TH | PL | MESA | 85212 |
| 60 | 304-62-820 | GATEWAY AIRPORT BUS | 7256 S 89TH PL MESA | 670 E EN | 670 E ENCINAS AVE | GILBERT | AZ | 85234 | 7256 | S | 89TH | PL | MESA | 85212 |
| 61 | 304-62-942 | 8803 E PECOS ROAD OW | 8803 E PECOS RD ME | 626 WIL | 626 WILSHIRE BLVD | LOS ANGELES | CA | 90017 | 8803 | E | PECOS | RD | MESA | 85212 |
| 62 | 304-62-943 | KILLER BULLS LLC | | 5332 E M | 5332 E MAIN ST | MESA | AZ | 85205 | | | | | | |
| 63 | | | | | | | | | | | | | | |

## Exhibit C- Property Owners within 1000' Buffer Map

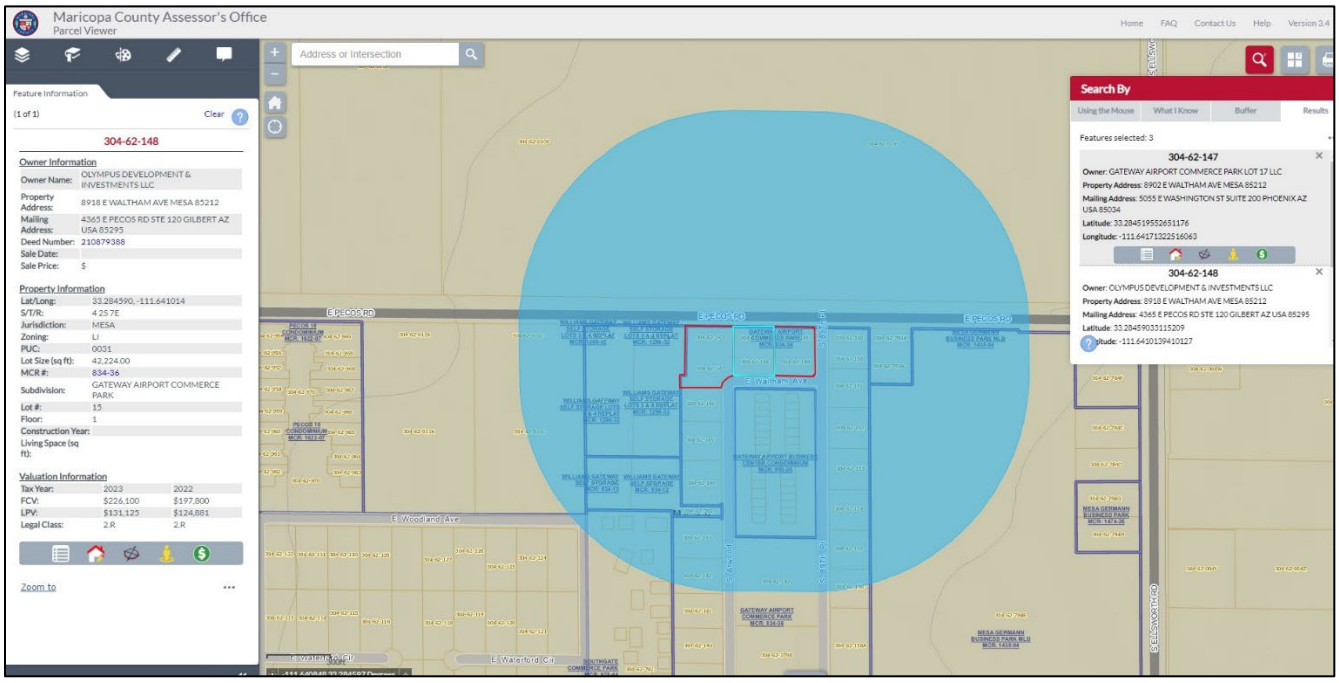


**Exhibit D- P&Z Notification Example- Property Owners within 500'**

PINNACLE DESIGN INC

**Notice of Public Meeting**
**Design Review Board**

August 8th, 2022

Sunbelt Land Holdings LP
8095 Othello Ave,
San Diego, CA 92111

Meeting Date: August 24, 2022
Time: 4:00 p.m.
Location: Lower Level City Council Chambers – 57 E. 1st Street

Proposed Development:
Address: 8934 E. Waltham Ave & 8918 E. Waltham Ave
Parcel Number: 304-62-149 & 304-62-148

Dear Sunbelt Land Holdings LP,

We have applied for the City of Mesa Rezone from Light Industrial with a Planned Area Development Overlay (LI-PAD) to Light Industrial with a Planned Area Development Overlay and Bonus Intensity Zone Overlay (LI-PAD-BIZ) for the property located at 8934 E. Waltham Ave & 8918 E. Waltham Ave. This request is for development of the Olympus Gateway Small Bay Industrial. The case number assigned to this project is ZON21-00995.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602-952-8585 or e-mail me at imulich@pdi-az.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on August 24, 2022 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.** If you want to provide a written comment or speak

1048 North 44th St, #200 Phoenix, AZ 85008 | 602.952.8585 | pdi-az.com | Architecture | Landscape | Interiors

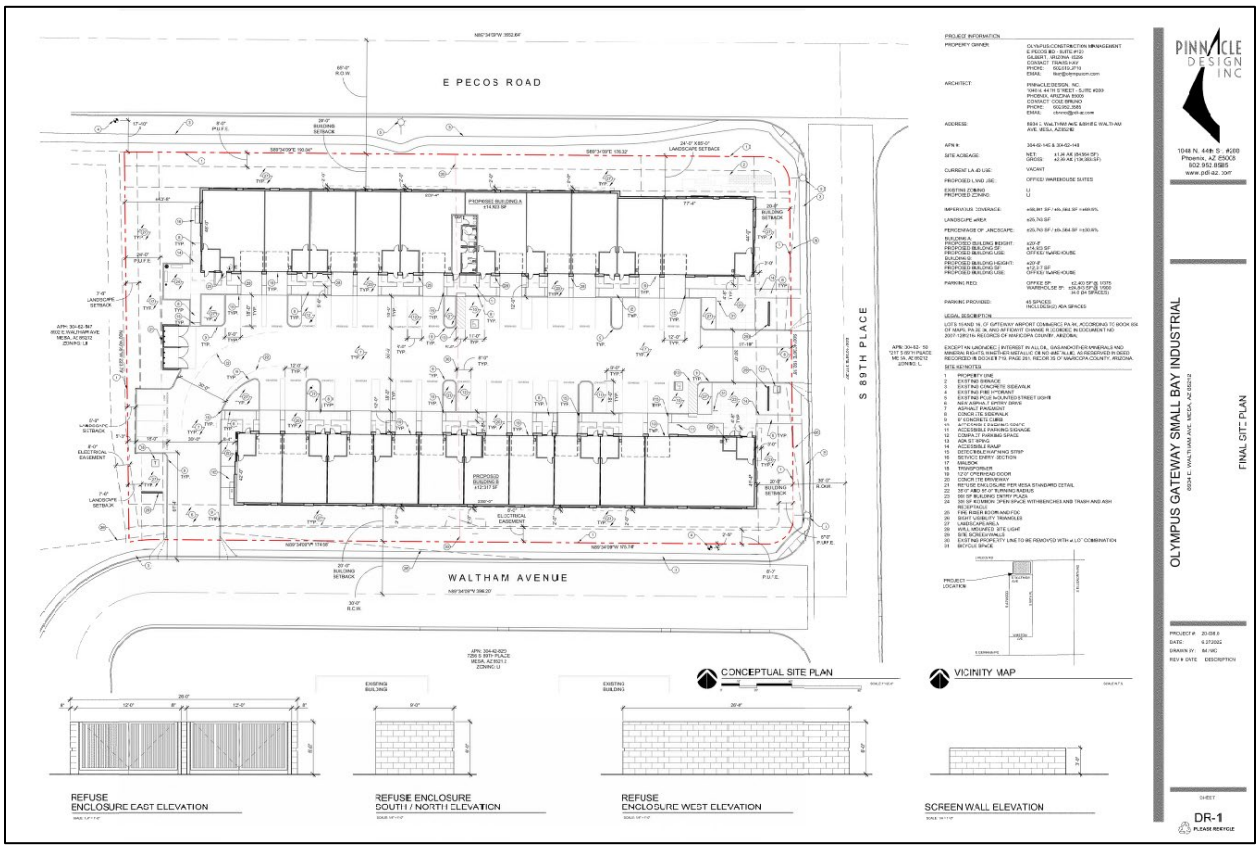
telephonically at the meeting, please submit an **online comment card** at https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card at **least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Jennifer Merrill of their Planning Division staff. He/she can be reached at 480-644-6439 or Jennifer.Merrill@MesaAZ.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Applicant: Ian Mulich
Phone: 602.952.8585


E PECOS ROAD
S 89TH PLACE
WALTHAM AVENUE
CONCEPTUAL SITE PLAN
VICINITY MAP
REFUSE ENCLOSURE EAST ELEVATION
REFUSE ENCLOSURE SOUTH ELEVATION
REFUSE ENCLOSURE WEST ELEVATION
SCREEN WALL ELEVATION
PINNACLE DESIGN INC
OLYMPUS GATEWAY SMALL BAY INDUSTRIAL
FINAL SITE PLAN
DR-1

ELEVATION MATERIAL PERCENTAGES
EXTERIOR FINISHES & MATERIALS LEGEND
EXTERIOR ELEVATION KEYNOTES
SOUTH ELEVATION
WEST ELEVATION
EAST ELEVATION
NORTH ELEVATION
PINNACLE DESIGN INC
DESIGN REVIEW PACKAGE
OLYMPUS GATEWAY SMALL BAY INDUSTRIAL
BUILDING A
CONCEPTUAL COLORED ELEVATIONS
DR-9

ELEVATION MATERIAL PERCENTAGES
EXTERIOR FINISHES & MATERIALS LEGEND
EXTERIOR ELEVATION KEYNOTES
PINNACLE DESIGN INC
1048 N. 44th St. #200
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602.952.8585
DESIGN REVIEW PACKAGE
OLYMPUS GATEWAY SMALL BAY INDUSTRIAL
8934 E. WALTHAM AVE MESA, AZ 85212
BUILDING B
CONCEPTUAL COLORED ELEVATIONS
NORTH ELEVATION
EAST ELEVATION
WEST ELEVATION
SOUTH ELEVATION
SHEET
DR-10