



NARRATIVE
Expansion Phase 1 & Phase 2

Happy Wife Storage located at 3815 S. Sossaman Road, Mesa 85212 (Parcel 304-30-007Q) is proposing an expansion to develop approximately eight acres zoned – Light Industrial (LI) Parcel 304-30-007M located directly north of our current location. The Happy Wife Storage original project was built under permit PMT19-01503. The facility opened 10/2020 and was at 100% capacity (with over 500 renters) in four months.

Onsite-

The onsite improvements will consist of two phases. We are planning on building both phases at the same time. Phase 1 is adding twenty-six enclosed RV, Boat and Trailer storage garages along our southeastern property border. This area is currently an above ground water retention area. This water retention area will be placed underground. We are requesting to build the enclosed storage buildings five feet from the property boundary. The bordering parcel is located in the County. The buildings will be screened by the existing 8' tall pre-cast concrete decorative wall. The enclosed storage buildings will be built with the same quality materials and colors as the rest of the existing facility. This will provide a professional upscale facility.

Phase 2 consists of the addition of eight acres to the immediate north of the existing facility and will utilize the current Happy Wife Storage entry off Sossaman, leasing office, trash enclosure and other amenities. This expansion will mirror the existing facility. It will have the same 8' high precast concrete fencing around the perimeter with the same color palette as the existing fence and office. There will be additional screening provided by the approximately 20' tall, enclosed storage garages along Sossaman. This site will have a mix of covered and enclosed garage parking for RV, Boat & Trailers. The metal canopies and garages will be fire sprinklered in accordance with Mesa fire code for buildings over 5,000 sq ft. An onsite fire loop will be installed for the fire sprinklers and hydrants. The facility will have concrete drive aisles and parking spaces. Water retention will be installed both above and below ground.

The proposed project will improve the site and surrounding properties which consist of vacant land mainly Light Industrial (LI) zoning, construction yards and other miscellaneous storage. This project will enhance the existing facility and improve the neighborhood with a high-quality level of construction and materials. RV, Boat and Trailer storage is a permitted use for Light Industrial (LI) which is subject to a CUP.

Both phases 1 and 2 are within the city of Mesa and will be supported by Mesa Police and Fire departments. Water and sewerage are provided by the City of Mesa and electricity is provided by SRP.



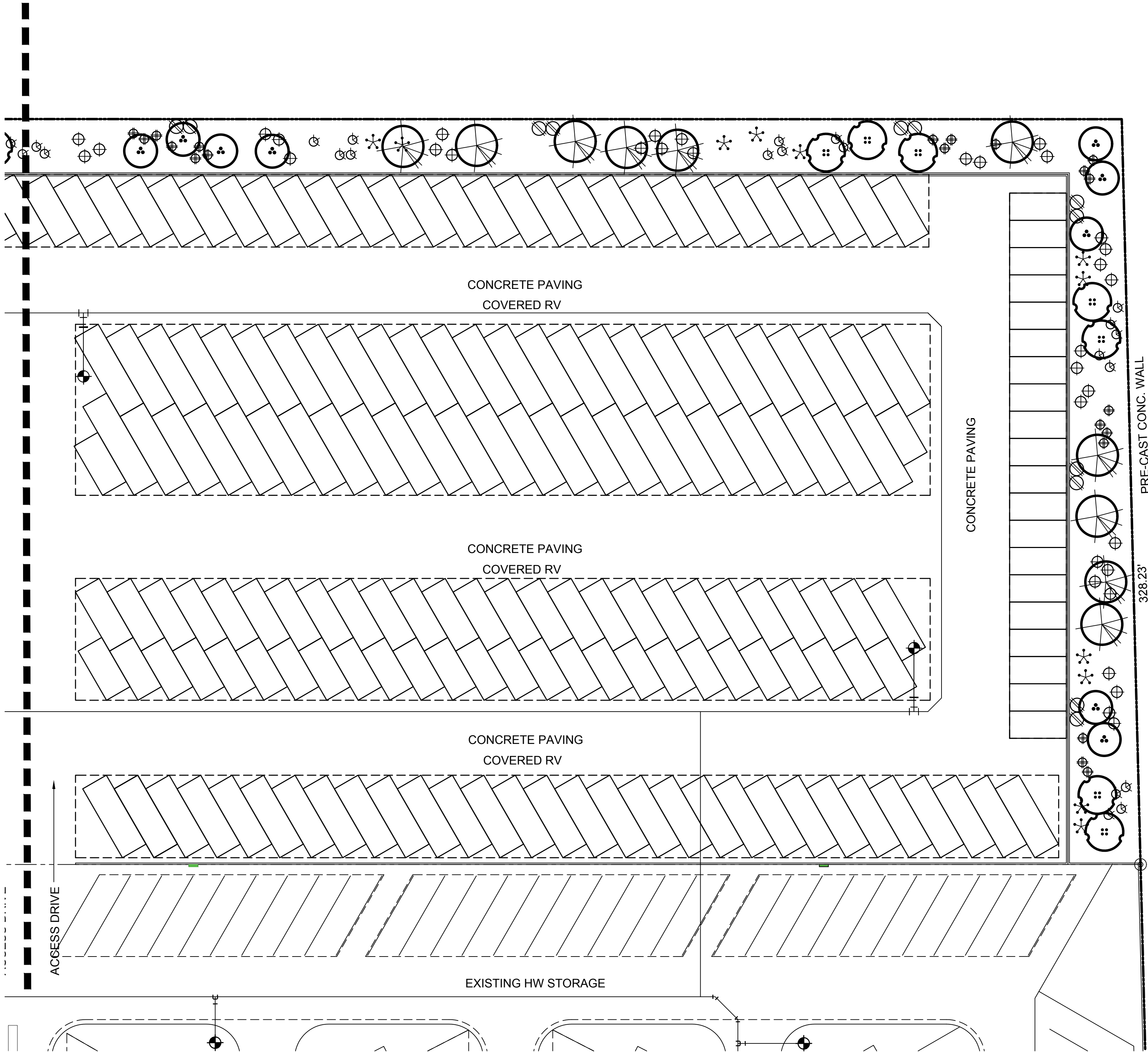
Offsite– The frontage on Sossaman is approximately 328'. We understand from our original project that Sossaman is under Maricopa County jurisdiction. We will work with Maricopa County and Mesa as we did previously to complete the required offsite improvements. We will be extending to the north the 12" water transmission line that we previously installed / extended in front of our existing facility. We will match the design and materials previously used to extend the storm channel / drainage. The sewer we installed on the west side of Sossaman will not need to be tapped for this expansion.

As previously stated, our existing facility has been at capacity since February 2021. We continue to see an enormous need within Mesa and the surrounding communities for more covered and enclosed RV, Boat and Trailer storage. This is due largely to most residents of Mesa and the surrounding areas living in HOA's and being unable to park their recreational vehicles at their homes.

We look forward to working with the City of Mesa again to provide a beautiful storage facility that adds value to the community and City of Mesa.

Questions – Please Contact
Timothy Quigley 608-444-4000

MATCH LINE SEE SHEET La.01



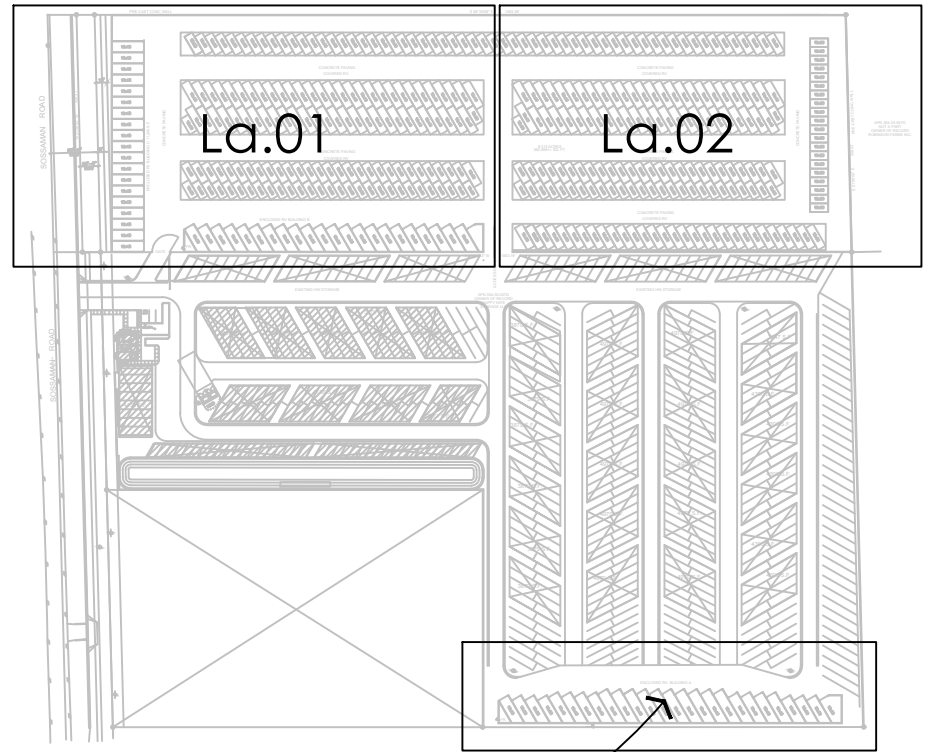
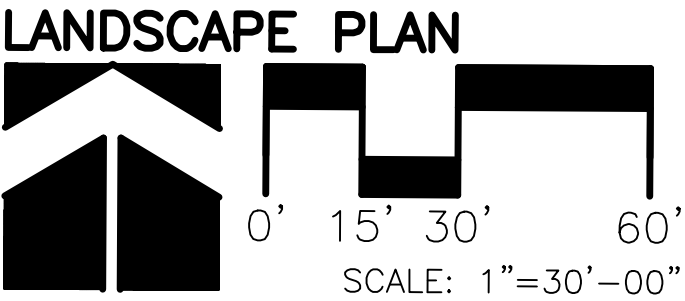
APN 304-30-007G
NOT A PART
OWNER OF RECORD
ROBINSON FARMS INC.

LANDSCAPE LEGEND

- TREES**
- CHILOPSIS LINEARIS
DESERT WILLOW
36" BOX (10)
 - PROSOPIS VELUTINA
NATIVE MESQUITE
24" BOX (7)
 - CAESALPINIA CACALACO
CASCALOTE
15 GALLON (7)
 - LARREA TRIDENTATA
CREOSOTE BUSH
5 GALLON (10)
 - DASYLIRION WHEELERII
DESERT SPOON
5 GALLON (24)
 - SIMMONSIA CHINENSIS
JOJOBA
5 GALLON (96)
 - CELTIS PALLIDA
DESERT HACKBERRY
5 GALLON (8)
 - NOLINA MICROCARPA
BEAR GRASS
5 GALLON (22)
 - ERICAMERIA LARCIFOLIA
TERPENTINE BUSH
1 GALLON (99)
 - BAILEYA MULTIRADIATA
DESERT MARIGOLD
1 GALLON (143)
 - SPHAERALCEA AMBIGUA
DESERT GLOBE MALLOW
1 GALLON (77)
 - MELAMPodium LEUCANTHUM
BLACKFOOT DAISY
1 GALLON (141)
- 1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE CALCULATION:

SOSSAMAN ROAD (330')
TREES REQUIRED: 13 TREES (7-24" BOX)
TREES PROVIDED: 13 TREES (13-24" BOX OR LARGER)
SHRUBS REQUIRED: 78 SHRUBS
SHRUBS PROVIDED: 78 SHRUBS



NO NEW LANDSCAPE
IN THIS AREA

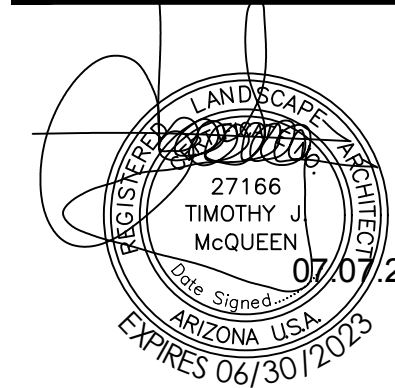
KEY MAP



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320
F. (602) 265-0320
EMAIL: timmqueen@tjma.net

HW STORAGE
3815 S. SOSSAMAN ROAD
MESA, ARIZONA

| NUMBER | REVISION | DATE |
|--------|----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |



SHEET TITLE: LANDSCAPE
ISSUE DATE: 07.07.22
DRAWN BY: STAFF
CHECKED BY: TJMCQ
PROJECT No.:
SHEET:

La.02

GRADING AND DRAINAGE PLAN
FOR
HAPPY WIFE STORAGE, MESA, AZ

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF:

SOUTH PARKING EXPANSION (DETAIL A)
REPLACING THE SOUTH RETENTION BASIN WITH STORAGE PARKING SPACES,
DRIVEWAY, AND UNDERGROUND RETENTION.

PHASE 2 PARKING IMPROVEMENTS/EXPANSION
PROPOSED PARKING IMPROVEMENTS ON PARCEL APN 304-30-007M

PROJECT DATA

ASSESSOR'S PARCEL NUMBERS : 304-30-007M
: 304-30-007N
PROJECT ADDRESS : 3815 S SOSSAMAN RD,
MESA, AZ 85212
ZONING : L1
CONSTRUCTION TYPE : TYPE B
RV BUILDING B : 14,568 SF
RV BUILDING C : 14,208 SF

LOT AREA : 348,875 SF (8.01 AC) 726,861 SQ.FT. = 16.61 AC
NET AREA : 694,408 SF = 15.94 AC
NARRATIVE : PROPOSED PARKING SOUTH PARKING EXPANSION

OWNER

HAPPY WIFE STORAGE LLC
3815 S SOSSAMAN RD,
MESA, AZ 85212

ENGINEER

NPS MARICOPA INC
859 NORTH LAFAYETTE
MESA, AZ 85201
TEL: 480.201.5476
EMAIL: TOM.HAWS@GMAIL.COM

ARCHITECT

TIM QUICKLEY
TIM@TDIAMONDS.COM
608-444-4000

SURVEYOR

D2 SURVEYING
24468 N. CORN ST.
FLORENCE, AZ 85132
(480) 221-1365
DATE SURVEYED NOV 6, 2021

LEGAL DESCRIPTION:

PARCEL 304-30-007
LOT 1, OF MINOR LAND DIVISION FOR HW STORAGE, ACCORDING TO THE PLAT OF
RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA,
RECORDED IN BOOK 1484 OF MAPS, PAGE 28.

PROJECT BENCHMARK:

TAG IN HEADWALL AT THE INTERSECTION OF SOSSAMAN ROAD AND ELLIOT ROAD.
ELEVATION = 1350.18' (NAVD88 DATUM)

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT
I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS
DEFINED IN SECTION R4-30-301 OF THE RULES OF THE ARIZONA STATE BOARD
OF TECHNICAL REGISTRATION, AND THAT THE DESIGN IS CONSISTENT WITH
CURRENT STANDARDS.
I UNDERSTAND THAT THE REVIEW OF THE PROJECT DRAWINGS AND SPECIFICATIONS
BY CITY OF MESA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME,
AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

ABBREVIATIONS LIST

APN ASSESSOR'S PARCEL NUMBER
ABC AGGREGATE BASE COURSE
BVC BACK OF VERTICAL CURB
C CONCRETE
CF,CU,FT CUBIC FEET
COM CITY OF MESA
EX EXISTING
FFE FINISHED FLOOR ELEVATION
FL FLOW LINE
G GUTTER
IE INVERT ELEVATION
LF LINEAR FOOT
MCR MARICOPA COUNTY RECORDER
P PAVEMENT
PL PROPERTY LINE
ROW RIGHT OF WAY
SD STORM DRAIN
SF SQUARE FEET
TBM TEMPORARY BENCH MARK
TC TOP OF CURB
YR YEAR

SHEET INDEX

PHASE 2 ON-SITE PARKING IMPROVEMENTS
C001 - ON-SITE COVER SHEET
C002 - ON-SITE GENERAL NOTES
C201 - ON-SITE GRADING AND DRAINAGE PLAN
C202 - ON-SITE GRADING AND DRAINAGE SECTIONS
C301 - ON-SITE UTILITY PLAN
C302 - ON-SITE DETAILS

PHASE 1 ON-SITE SOUTH PARKING EXPANSION
C203 - ON-SITE GRADING, DRAINAGE AND UTILITY PLAN

PHASE 2 OFFSITE ROW IMPROVEMENTS
C801 - OFFSITE COVER SHEET
C802 - OFFSITE GENERAL NOTES
C801 - OFFSITE PAVING PLAN
C802-C803 - STRIPING PLAN
C804 - OFFSITE WATER PLAN

LEGEND OF SYMBOLS

RIP RAP
CONCRETE AREA
EXISTING PAVEMENT
RIGHT OF WAY LINE
ADJACENT LOT
LOT BOUNDARY
FLOW LINE
MONUMENT LINE
EASEMENT
FINISHED GROUND CONTOUR (1' INTERVAL)
EXISTING GROUND CONTOUR (1' INTERVAL)
DRAINAGE FLOW ARROW
BUILDING SETBACK LINE
BOTTOM OF PROPOSED DRAINAGE DITCH
BOTTOM OF EXISTING DRAINAGE DITCH (TO REMAIN)
BOTTOM OF EXISTING DRAINAGE DITCH (DEMO)
EXISTING SEWER LINE
EXISTING 24" WATER LINE
EXISTING 12" WATER LINE
EXISTING GAS LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING FENCE
EXISTING FIRELINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING LUMEN DUCT
PROPOSED WATER LINE
PROPOSED GUARD RAIL
EXISTING GUARD RAIL
EXISTING EDGE OF PAVEMENT

ESTIMATED DIRT QUANTITIES

RAW FG CUT 3,706 CY
RAW FG FILL 9,222
NET RAW FILL -5,516
FILL ADDITION FOR COMPACTION AND SHRINKAGE =0.15*340683/27 1,893
FILL REDUCTION FOR 8" THICK FLOOR =0.67*28776/27 714
FILL REDUCTION FOR WALKWAYS (4") =0.33*0/27 0
FILL REDUCTION FOR CONC. PVMT (8") =0.67*272707/27 6,734
TOTAL CUT 11,154
TOTAL FILL 11,115
ADJUSTED NET CUT 39

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT THE "AS-BUILT" MEASUREMENTS AS SHOWN OR
NOTED HEREON WERE MADE BY MYSELF OR UNDER MY SUPERVISION AND
ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RESIDENT ENGINEER/LAND SURVEYOR DATE

FINISHED FLOOR GENERAL STATEMENT:

FINISHED FLOORS ARE SAFE FROM INUNDATION DURING A 100-YEAR, 24-HR PEAK
RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS.

STANDARDS

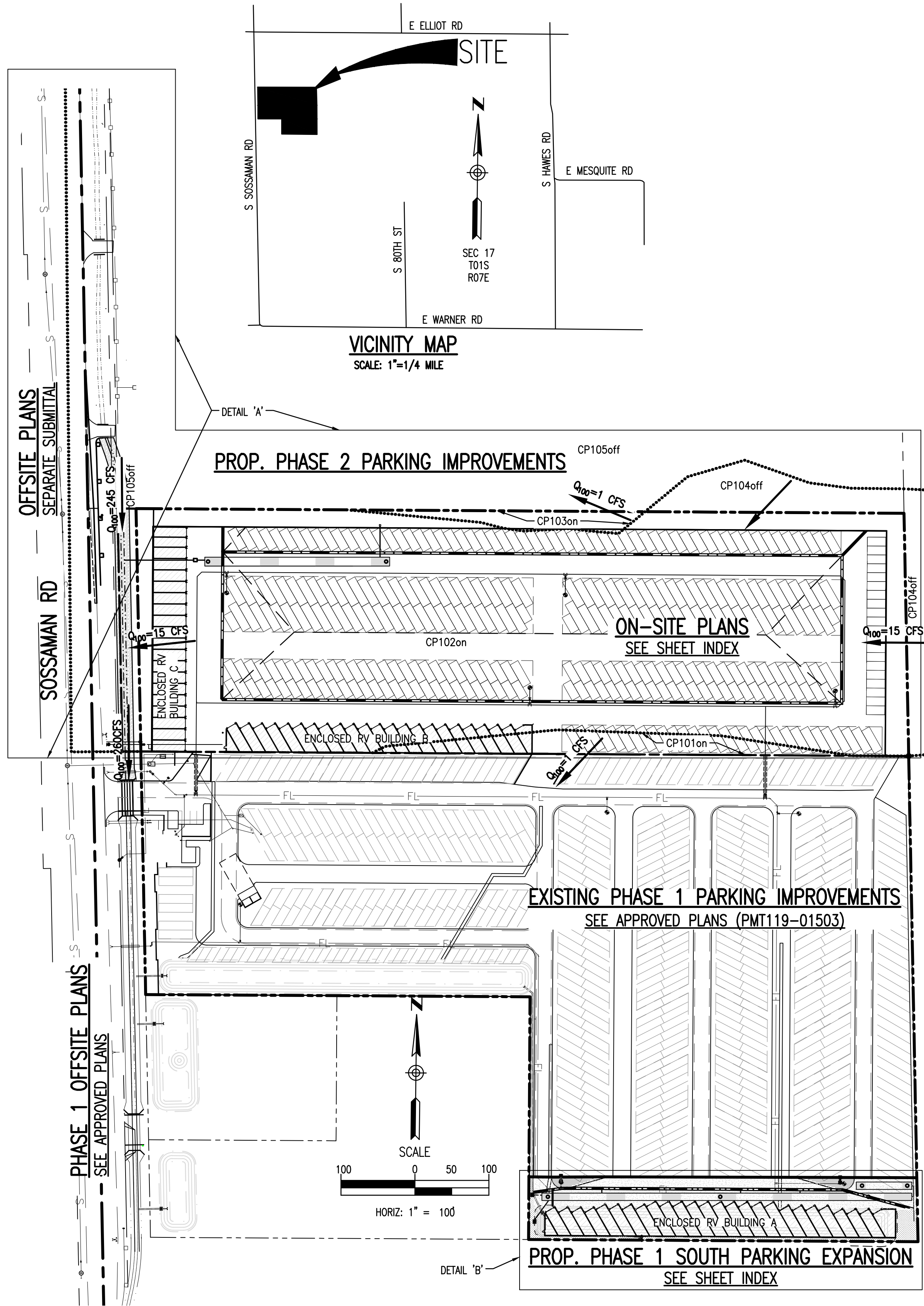
CITY OF MESA ENGINEERING DESIGN STANDARDS MANUAL (2021).

MCDOT APPROVAL

MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION DATE

MCESD APPROVAL

MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT DATE



| UTILITY COORDINATION | | | | | | |
|----------------------|--|-----------------|--------------|----------------------------|----------------|--------------------|
| UTILITY COMPANY | ADDRESS | CONTACT | PHONE | EMAIL | DATE SUBMITTED | RESPONSE |
| CENTURY LINK/LUMEN | 135 W ORION ST TEMPE, AZ 85283 | KAREN BROWN | 602-630-5476 | KAREN.BROWN1@LUMEN.COM | 2022-06-20 | POSSIBLE CONFLICTS |
| SOUTHWEST GAS | 5705 S. KYRENE RD, TEMPE AZ 85283 | ANDY SAKS | 480-730-3857 | ANDREW.SAKS@SWGAS.COM | 2022-06-20 | NO CONFLICTS |
| SRP ELECTRIC | P.O. BOX 52025, PHOENIX, AZ 85072-2025 | ANDRE BENAVIDEZ | 602-236-3586 | ANDRE.BENAVIDEZ@SRPNET.COM | 2022-06-20 | POSSIBLE CONFLICTS |

HAPPY WIFE STORAGE LLC, MESA, AZ

CITY OF MESA GENERAL REQUIREMENT NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND DETAILS FOR THE CITY OF MESA. WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE PERMIT SERVICES SECTION OF THE BUILDING SAFETY DIVISION AT (480) 644-4BSD OR AT [HTTP://WWW.MESAAZ.GOV/DEVSUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaaz.gov/dev/sustain/constructionpermits.aspx)
3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
4. TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING CONSTRUCTION SERVICES AT (480) 644-2253 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR. FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE, SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
5. CONTRACTOR'S SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
6. THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
7. THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
8. THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY OR EASEMENT HAVE BEEN CORRECTLY PLOTTED/SHOWN.
9. THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE ENGINEERING DEPARTMENT - CONSTRUCTION SERVICES SECTION.
10. THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
11. THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
12. THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
13. THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL (602)263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
14. WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
15. CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
16. IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
17. IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE ENGINEERING CONSTRUCTION INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.

CITY OF MESA PUBLIC STREET/RIGHT-OF-WAY IMPROVEMENT NOTES

1. THE DEVELOPER AND THE CONTRACTOR ARE REQUIRED TO COORDINATE THE PLACEMENT OR INSTALLATION OF DRIVEWAYS IN ORDER TO AVOID CONFLICT WITH UTILITY SERVICES.
2. ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., SHALL BE INSTALLED TO FINISH GRADE OR SHALL BE ADJUSTED TO FINISH GRADE AFTER PLACING OF ASPHALTIC SURFACE COURSE BY THE CONTRACTOR PER M.A.G. STANDARD DETAIL 270 AND 422.
3. THE CONTRACTOR SHALL ADJUST ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC. THAT ARE LOCATED WITHIN THE PARKWAY AREA AFTER FINAL GRADING AND INSTALLATION OF LANDSCAPING.
4. ALL LANDSCAPING IMPROVEMENTS, INCLUDING IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR RETENTION BASINS THAT ARE TO BE MAINTAINED BY THE CITY OF MESA, SHALL BE IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION STANDARDS BOOKLET.
5. THE STREET PAVING PERMITEE/CONTRACTOR IS HEREBY NOTIFIED THAT IN THE EVENT THAT ACCEPTANCE OF THE PUBLIC STREET PAVING IS DELAYED; SIX MONTHS OR MORE AFTER THE PAVEMENT WAS INSTALLED, THE PERMITEE/CONTRACTOR SHALL APPLY A SEAL COAT TO THE PAVEMENT. TYPE OF MATERIAL AND RATE OF APPLICATION WILL BE DIRECTED BY THE CITY OF MESA ENGINEERING DEPARTMENT - FIELD SUPERVISING ENGINEER.
6. A STANDARD RESIDENTIAL DRIVEWAY APPROACH SHALL BE CONSTRUCTED TO A MAXIMUM WIDTH OF 30 FEET UNLESS SPECIAL APPROVAL HAS BEEN OBTAINED.

A.D.E.Q. NOTES

1. WATER LINE AND FITTINGS SHALL HAVE NSF-PW SEAL.
2. CONSTRUCTION MATERIALS USED IN THE WATER SYSTEM SHALL BE LEAD FREE AS DEFINED AT A.A.C. R18-4-504 AND A.A.C. R18-4-101.
3. BACKFLOW PREVENTION ASSEMBLY SHALL MEET A.A.C. R18-4-115.
4. MINIMUM DEPTH OF COVER OVER WATER LINES SHALL BE 3 FEET.
5. UNIFORM SLOPE STETING OF TOTAL LENGTH OF SEWER LINE IS REQUIRED PER AAC R18-9-E301(D)(2)(K).

CITY OF MESA PUBLIC WATER UTILITY NOTES

1. ALL PUBLIC WATER MAIN MATERIALS SHALL BE PER SECTION 610.3 OF THE M.A.G. UNIFORM STANDARD SPECIFICATIONS. ALL DUCTILE IRON PIPE (D.I.P.) WATER MAINS SHALL HAVE POLYETHYLENE CORROSION PROTECTION PER SECTION 610.5 OF THE M.A.G. UNIFORM STANDARD SPECIFICATIONS.
2. ALL NEW WATERLINES THAT REQUIRE SERVICE DISRUPTION IN ORDER TO CONNECT TO THE CITY SYSTEM SHALL REQUIRE A DAYTIME TIE-IN. THE CONTRACTOR SHALL COMPLETE ALL WORK NECESSARY TO RESTORE UTILITY SERVICE AND FULLY OPEN THE TIE-IN AREA TO VEHICULAR TRAFFIC WITHIN THE TIME FRAME ALLOWED BY THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR.
3. THE CONTRACTOR SHALL INSTALL A TEMPORARY PLUG OR VALVE ON A SECTION OF NEW WATER LINE TO TEST LINES BEFORE CONNECTING TO THE EXISTING PUBLIC WATER SYSTEM WHERE THERE IS NO WATER VALVE ON THE EXISTING LINE.
4. WATER LINE TESTS SHALL BE CONDUCTED SO THAT EXISTING WATER LINES WILL NOT BE INCLUDED IN THE TEST OF THE NEW LINE.
5. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE A MANUFACTURER AND MODEL DESIGNATED IN THE CURRENT "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES" AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
6. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA "LIST OF APPROVED INSPECTORS" PRIOR TO THE REQUEST FOR FINAL INSPECTION.
7. IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1, 1993, WHICH MAY COME INTO CONTACT WITH DRINKING WATER, SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.
8. PER CITY ORDINANCE NO. 2341, ALL WATER METERS ARE TO BE PURCHASED FROM THE CITY OF MESA. METERS TWO INCHES OR LESS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS LARGER THAN TWO INCHES WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES (CONTACT BUILDING SAFETY - PERMIT SERVICES (480)- 644-48SD FOR THE SPECIFIC PROCEDURE).

CITY OF MESA PUBLIC WASTEWATER UTILITY NOTES

1. CONTRACTORS SHALL VERIFY ALL INVERT ELEVATIONS BEFORE PROCEEDING WITH THE BALANCE OF THE UTILITY TRENCHING.
2. ALL MANHOLES PER M.A.G. DETAILS MUST NECK DOWN TO USE THE STANDARD 30INCH FRAME AND COVER. STEPS SHALL NOT BE INSTALLED WITHIN THE MANHOLE.

CITY OF MESA NATURAL GAS UTILITY NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE MOST CURRENT CITY OF MESA GAS OPERATIONS, MAINTENANCE, EMERGENCY RESPONSE AND CONSTRUCTION PRACTICE MANUAL.
2. WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
3. BEDDING OR SHADING MATERIAL ADJACENT TO THE CITY OF MESA GAS PIPE SHALL BE SELECT SANDY TYPE SOIL FREE OF ROCK AND DEBRIS THAT WILL PASS THROUGH A 3/8" SCREEN AS INSPECTED AND APPROVED BY CITY GAS INSPECTION PERSONNEL.
4. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AS INDICATED ON THE CITY OF MESA DETAIL M-58 WHEN TRENCHING FOR THE WATERLINE WHERE A GAS MAIN IS TO BE INSTALLED IN THE SAME TRENCH.
5. CONTACT CITY OF MESA GAS DIVISION AT 480-644-2753 FOR SCHEDULING AND COORDINATION OF THE INSTALLATION OF NATURAL GAS SERVICES AND MAINS.
6. GAS LINE SHALL MAINTAIN A NOMINAL 12" (MINIMUM OF 8") SEPARATION FROM EXISTING WATER, SEWER, ELECTRICAL, CABLE TV AND TELCO FACILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CALL (602) 263-1100 FOR BLUE STAKES. OUTSIDE MARICOPA COUNTY CALL 1-800-STAKEIT.
8. ALL GAS NOTES IN DASHED BOXES SHOULD BE COMPLETED BY CITY OF MESA CREWS OR CITY OF MESA GAS LINE CONTRACTOR.

CITY OF MESA NON-CITY UTILITY NOTES

EL PASO NATURAL GAS:

MARICOPA COUNTY:

1. THE CONTRACTOR SHALL NOTIFY EL PASO NATURAL GAS (602) 967-1686 48 HOURS PRIOR TO COMMENCING CONSTRUCTION IN THE VICINITY OF EL PASO NATURAL GAS RIGHT-OF-WAY.

1. ALL CONSTRUCTION WITHIN MARICOPA COUNTY RIGHT-OF-WAY SHALL CONFORM TO CURRENT MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION STANDARD PROVISIONS FOR CONSTRUCTION OF STREET IMPROVEMENTS AND INSTALLATION OF UNDERGROUND UTILITIES.
2. CONTRACTORS ARE TO OBTAIN ALL NECESSARY MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION PERMITS PRIOR TO CONSTRUCTION WITHIN MARICOPA COUNTY RIGHT-OF-WAY.

ROOSEVELT WATER CONSERVATION DISTRICT (RWCD):

CITY OF MESA STORMWATER DRAINAGE & RETENTION NOTES

1. THE ENGINEER, OR LAND SURVEYOR SHALL CERTIFY THAT THE REQUIRED STORM WATER RETENTION HAS BEEN PROVIDED. THE CERTIFICATION SHALL ALSO INDICATE THE ACTUAL VOLUME PROVIDED. SUCH CERTIFICATION SHALL BE PROVIDED TO BUILDING SAFETY DIVISION – BUILDING INSPECTIONS WHEN THE RETENTION AREA IS TO REMAIN PRIVATE PROPERTY AND TO ENGINEERING CONSTRUCTION SERVICES WHEN THE RETENTION AREA IS TO BECOME CITY OF MESA PROPERTY.
2. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER IN A 36 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL–SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL. IN ACCORDANCE WITH ARIZONA REVISED STATUTES, DRYWELLS ARE REQUIRED TO BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) IT IS THE OWNER'S RESPONSIBILITY TO REGISTER ALL DRYWELLS. AN AQUIFER PROTECTION PERMIT MAY BE REQUIRED BY A.D.E.Q. FOR DRYWELLS DEEMED TO BE HAZARDOUS TO GROUNDWATER.

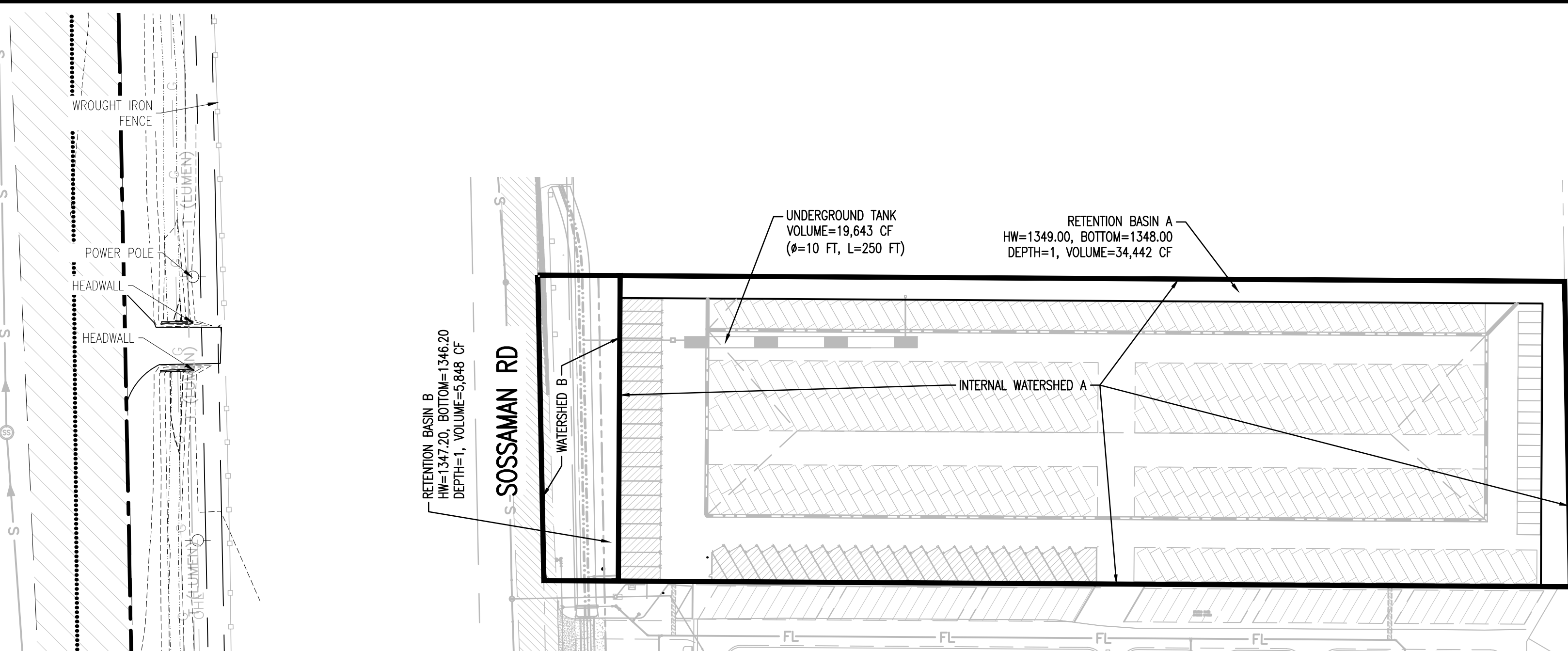
CITY OF MESA PUBLIC STREET LIGHTING NOTES

3. STREET LIGHT CONDUITS SHOULD BE INSTALLED PRIOR TO DRIVEWAY INSTALLATIONS. IF STREETLIGHT CONDUIT IS INSTALLED AFTER DRIVEWAY INSTALLATION, CONTRACTOR OR SHALL BORE CONDUIT UNDER THE DRIVEWAY PER CITY OF MESA DETAIL M-18. MEANDERING THE CONDUIT BEHIND THE DRIVEWAY ENTRANCE WILL NOT BE PERMITTED.
2. MATERIALS AND INSTALLATION OF THIS PROJECT SHALL COMPLY WITH THE CURRENT MESA STANDARD DETAILS, AMENDMENTS TO THE UNIFORM STANDARD DETAILS, THE CITY OF MESA ENGINEERING PROCEDURE MANUAL AND AMENDMENTS TO THE CITY OF MESA ENGINEERING PROCEDURE MANUAL.
3. THE CONTRACTOR SHALL HAVE AT LEAST AN IMSA-CERTIFIED LEVEL I (1) STREET LIGHT TECHNICIAN OR AN IMSA LEVEL I (1) TRAFFIC SIGNAL TECHNICIAN ON SITE DURING ALL PHASES OF ANY STREET LIGHT WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF THIS CERTIFICATION. IF A JOB SITE IS INSPECTED AND NO TECHNICIAN IS PRESENT ON SITE, ANY WORK ASSOCIATED WITH THE STREET LIGHTS WILL BE SUSPENDED.
4. ALL TREES SHALL BE PLANTED A MINIMUM OF EIGHTEEN (18) FEET FROM STREET LIGHT POLES AND LIGHTING CONTROL CABINETS. ALL SHRUBS SHALL BE PLANTED A MINIMUM OF SEVEN (7) FEET FROM STREET LIGHT POLES AND LIGHTING CONTROL CABINETS.
5. ALL CONDUIT, CONDUCTORS, WIRE, AND QUANTITIES SHALL BE MEASURED BY THE LINEAR FOOT HORIZONTALLY BETWEEN POLES, PULL BOXES AND CONTROL CABINETS. NO ADDITIONAL PAYMENT WILL BE MADE FOR SWEEPS AND VERTICAL RUNS, AS THEY SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND INCLUDED IN THE HORIZONTAL MEASUREMENT OF THE QUANTITIES.
6. CONDUITS SHOULD BE INSTALLED PRIOR TO DRIVEWAY INSTALLATIONS. IF CONDUIT IS INSTALLED AFTER DRIVEWAY INSTALLATION, THE CONTRACTOR SHALL BORE UNDER THE DRIVEWAY, PER (M-18), FOR CONDUIT INSTALLATION. MEANDERING THE CONDUIT BEHIND THE ENTRANCE WILL NOT BE ALLOWED.
7. NOTE: THE LOCATION OF THE TRAFFIC SIGNAL FIBER OPTIC CONDUIT (TSFO) AS SHOWN IS DRAWN AT AN OFFSET AND IS FOR GRAPHICAL REPRESENTATION ONLY AND SHALL BE INSTALLED IN A JOINT TRENCH WITH THE STREET LIGHT CONDUIT PER COM DETAIL (M-93.3 & 93.4).
8. AREAS WHERE 24" OF COVER IS NOT POSSIBLE SEE CHAPTER 9 OF THE CITY OF MESA ENGINEERING & DESIGN STANDARDS; THESE AREAS SHALL BE IDENTIFIED ON PLANS. SUPPLY FULL CONFLICT DATA, INCLUDING TOP OF CURB, SIZE AND MATERIAL OF PIPE, INVERT ETC.
9. TO RETURN SALVAGED STREET LIGHT MATERIALS THE CONTRACTOR SHALL CONTACT THE STREET LIGHT FOREMAN FOR THE AREA THE WORK IS OCCURRING IN. WEST OF VAL VISTA CALL 480-644-3178. EAST OF VAL VISTA CALL 480-644-5077. ARRANGEMENTS TO DELIVER MATERIALS MUST BE MADE A MINIMUM OF 48 HOURS IN ADVANCE. THE CONTRACTOR IS RESPONSIBLE FOR UNLOADING AND STACKING ALL MATERIALS. A CITY OF MESA STAFF MEMBER MUST BE PRESENT WHEN MATERIALS ARE DELIVERED TO GET CREDIT FOR THE SALVAGE MATERIALS.
10. ALL EXISTING CONCRETE DISTURBED OR DAMAGED DURING THE INSTALLATION OR REMOVAL OF STREET LIGHTING SYSTEMS SHALL BE REPLACED IN KIND. THE WORK IS TO BE COORDINATED WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR.
11. ALL EXISTING LANDSCAPE, HARDSCAPE OR SPRINKLER SYSTEMS DISTURBED OR DAMAGED DURING THE INSTALLATION OR REMOVAL OF STREET LIGHTING SYSTEMS SHALL BE REPLACED IN KIND. THE WORK IS TO BE COORDINATED WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR.
12. THE CONTRACTOR IS TO USE UTMOST CAUTION WHILE WORKING AROUND ALL OVERHEAD AND UNDERGROUND UTILITIES. SPECIFICALLY ELECTRIC, GAS, WATER, SEWER AND FIBER OPTIC LINES.

CITY OF MESA PUBLIC TRAFFIC SIGNAL NOTES

1. CONTRACTORS SHALL CONTACT THE CITY OF MESA TRAFFIC SIGNALS SUPERVISOR (480) 644-3122 PRIOR TO ANY WORK WITHIN THE VICINITY OF OR THROUGH A SIGNALIZED INTERSECTION, WHICH WILL CHANGE TRAFFIC LANE PATTERNS.
2. CONTRACTORS ARE ADVISED THAT DAMAGE TO ANY TRAFFIC SIGNAL EQUIPMENT (DETECTOR LOOPS, PULLBOXES, CONDUIT, ETC.) AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MESA TRAFFIC SIGNALS GROUP. DETECTOR LOOPS SHALL BE REINSTALLED WITHIN TWENTY-FOUR (24) HOURS OF REMOVAL AND PRIOR TO THE PLACEMENT OF THE ASPHALT FINISH COURSE.
3. THE CONTRACTOR SHALL HAVE AT LEAST AN IMSA-CERTIFIED LEVEL II (2) TRAFFIC SIGNAL TECHNICIAN ON SITE DURING ALL PHASES OF ANY TRAFFIC SIGNAL WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF THIS CERTIFICATION. IF A JOB SITE IS INSPECTED AND NO TECHNICIAN IS PRESENT ON SITE, ANY WORK ASSOCIATED WITH THE TRAFFIC SIGNAL WILL BE SUSPENDED.
4. IN TRAFFIC AREAS ADD A SLURRY CAP TO THE TRAFFIC SIGNAL FIBER OPTIC (TSFO) CONDUIT TRENCH WHERE THE 48" DEPTH REQUIRED PER (M-93.3 & M-93.4) CANNOT BE MAINTAINED. IN NON-TRAFFIC AREAS (BACK OF SIDEWALK) IF THE TSFO CONDUIT IS INSTALLED AT A DEPTH OF LESS THAN 36", A 6" SLURRY CAP IS REQUIRED. THE MINIMUM ALLOWABLE DEPTH FOR TSFO CONDUITS IS 24". THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR SHALL BE NOTIFIED 48 HOURS PRIOR TO INSTALLING CONDUITS WHEN ANY VARIATION TO DETAIL (M-93.3 & M-93.4) IS REQUIRED. IF TSFO CONDUIT IS REQUIRED TO MEANDER VERTICALLY OR HORIZONTALLY, NO CONDUIT BEND SHALL EXCEED 45 DEGREES.
5. TSFO CONDUITS SHALL BE INSTALLED 48" DEEP IN A JOINT TRENCH WITH STREET LIGHT CONDUIT PER (M-93.3 & M-93.4).

SOSSAMAN ROAD

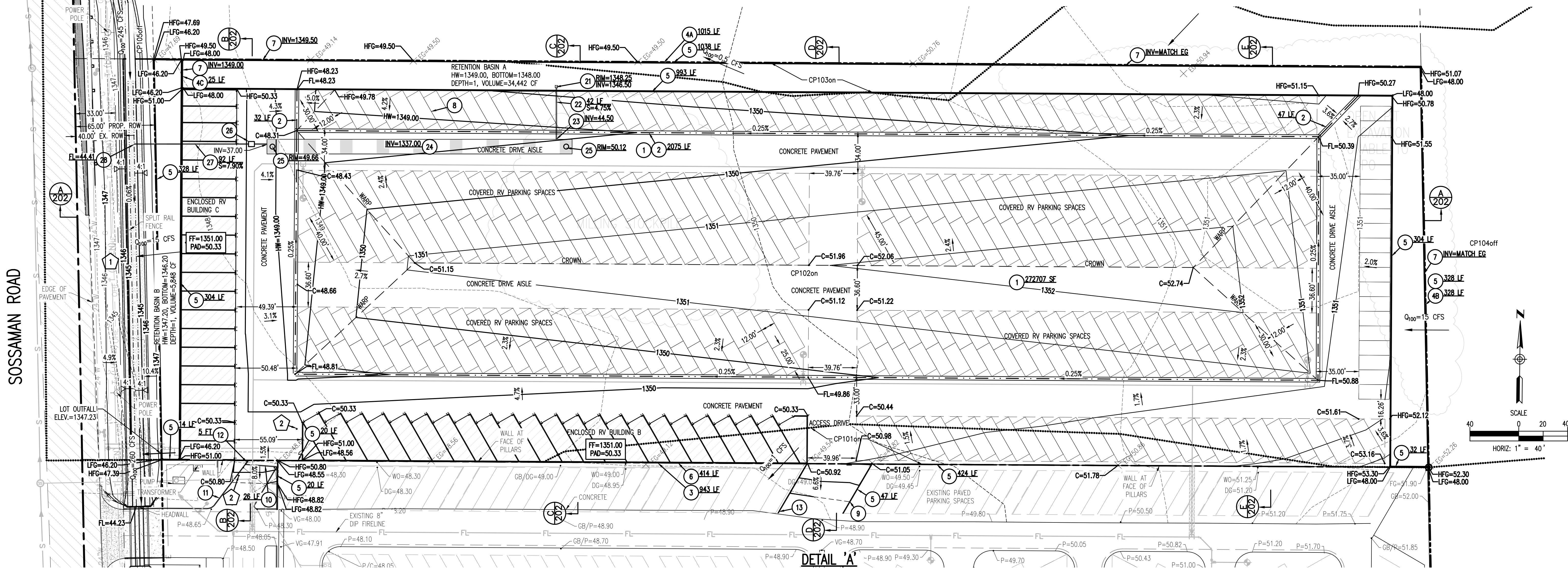
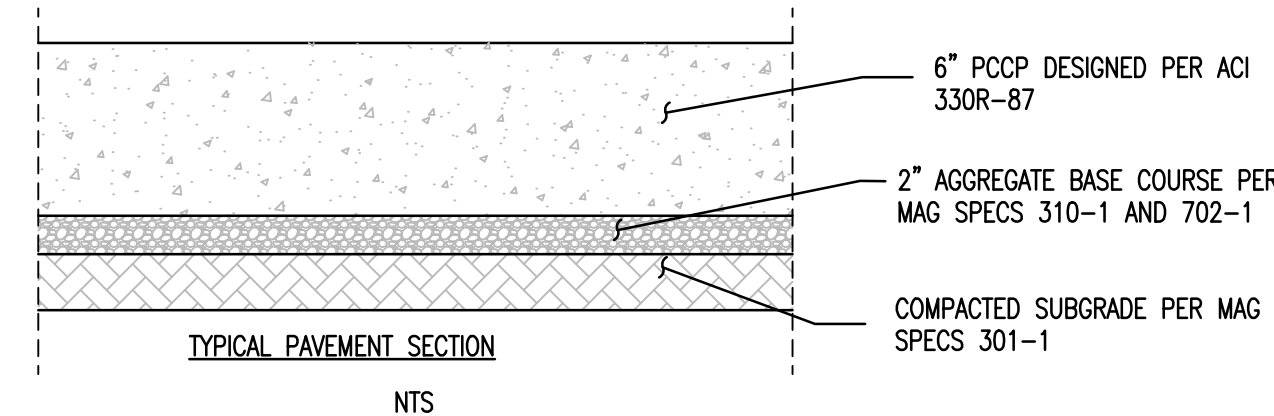


INTERNAL WATERSHEDS MAP
SCALE: 1"=100 FT

INFORMATION NOTES

- 1 SEE OFFSITE PLANS FOR ROW IMPROVEMENTS.
- 2 KEYPAD
- GRADING AND PAVING NOTES**
- 1 6" CLASS A CONCRETE PAVEMENT PER SECTION ON THIS SHEET. 272707 SF
- 2 CONSTRUCT 3 FT VALLEY GUTTER PER MAG DETAIL 240 2154 LF
- 3 REMOVE AND SALVAGE THE EXISTING 8 FT PRECAST FENCE WITH PILLARS. RETAINING WALL TO REMAIN, IF ANY. 943 LF
- 4A INSTALL THE 8 FT PRECAST FENCE WITH PILLARS (REMOVED ALONG SOUTH PROPERTY LINE AND SALVAGED) ABOVE THE RETAINING WALL. 1015 LF
- 4B INSTALL THE 8 FT PRECAST FENCE ABOVE THE RETAINING WALL. MATCH THE SALVAGED FENCE. 328 LF
- 4C INSTALL THE 8 FT PRECAST FENCE. MATCH THE SALVAGED FENCE. 25 LF
- 5 RETAINING WALL PER DETAIL ON THIS CIVIL SHEET. SEE THIS SHEET FOR RETAINING WALL ELEVATIONS. SEE STRUCTURAL PLANS FOR MORE DETAILS. 3852 LF
- 6 HIGH STEM WALL 414 LF
- 7 PROVIDE OPENINGS AT THE BOTTOM. 4 EA
- 8 4" NON-REFLECTORIZED WHITE PAINT STRIPE (PARKING), TYPICAL.
- 9 MATCH EXISTING ELEVATION.
- 10 REMOVE EXISTING CURB. 26 LF

- 11 EXISTING CURB TO REMAIN.
- 12 6" SINGLE CURB PER MAG STD DTL 222, TYPE A 5 LF
- 13 CURB TERMINATION PER MAG STD DTL 222. 1 EA
- 21 CONCRETE CATCH BASIN PER COM STD DTL M-64. RIM AND INVERT ELEVATIONS PER PLANS. 1 EA
- 22 8" HDPE STORM DRAIN PIPE PER MAG SPEC 738. BACKFILL AND COMPACTION PER MAG SPEC 601. SLOPE AND INVERTS PER PLAN. 42 LF
- 23 CONNECT HDPE TO LATERAL FULL CIRCUMFERENCE WELDED CMP INLET. USE FLAT BAND WITH GASKET FOR HDPE TO CMP CONNECTION 1 EA
- 24 120" DIA, 275 FT LONG 14 GAUGE POLYMER COATED CMP STORAGE TANK PIPE WITH 3"x1" CORRUGATION PER UNDERGROUND RETENTION TANK DETAIL ON CIVIL SHEET C006. 1 EA
- 25 ACCESS MANHOLE 2 EA
- 26 RETENTION BLEED-OFF PUMP STATION. Q=0.42 CFS AND TOTAL DYNAMIC HEAD, TDH =7.41 FT. 1 EA
- 27 4" PVC SDR-35 STORM DRAIN BLEED-OFF PIPELINE PER MAG SPEC 738, BACK FILL AND COMPACTION PER MAG SPEC 601 92 LF
- 28 RETENTION BLEED-OFF LINE DISCHARGE POINT. FLOW LINE =1344.41



REVISIONS:

| NO. | DESCRIPTION | DATE |
|-----|-------------------|------------|
| 1 | ISSUED FOR PERMIT | 07/22/2022 |

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GRADING AND DRAINAGE PLAN

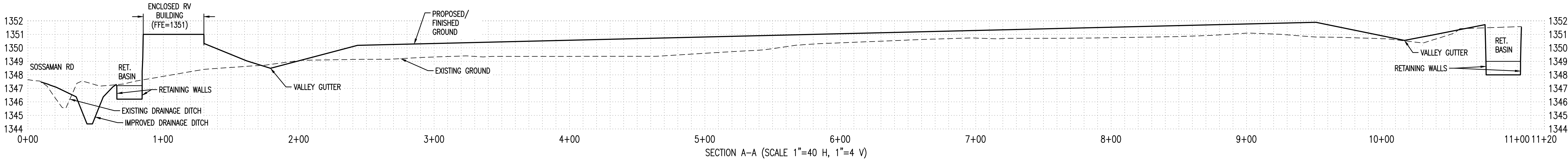
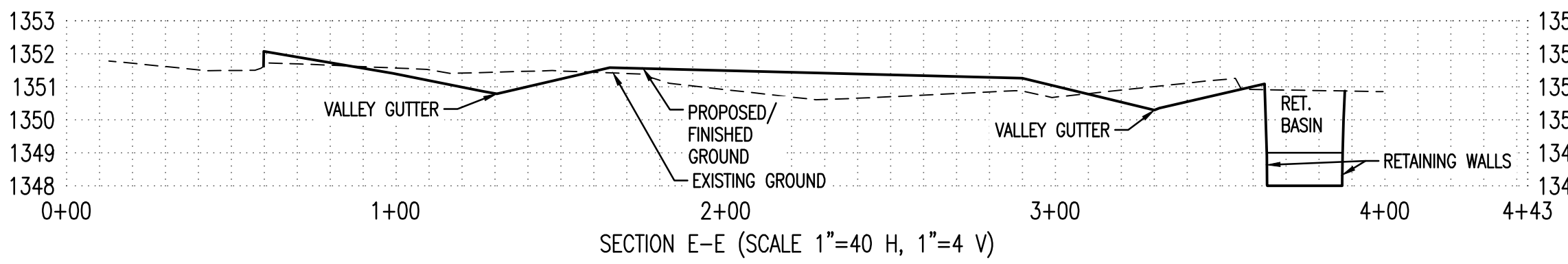
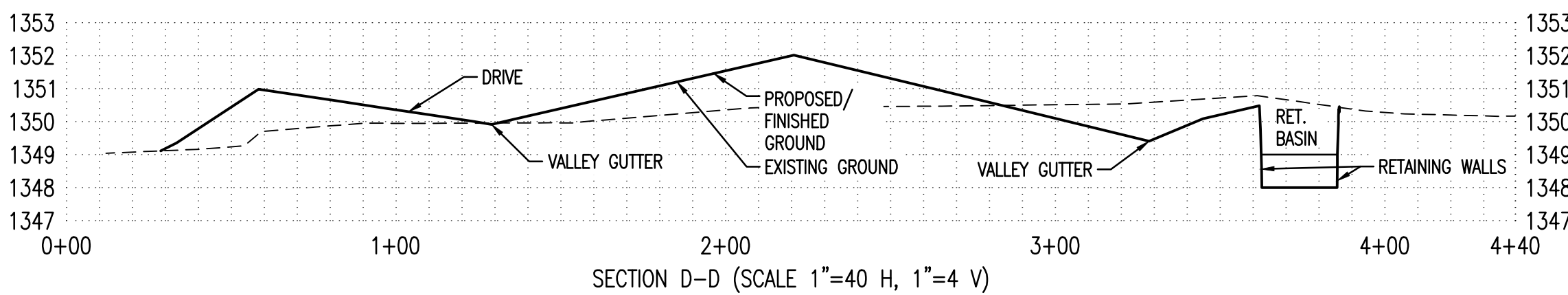
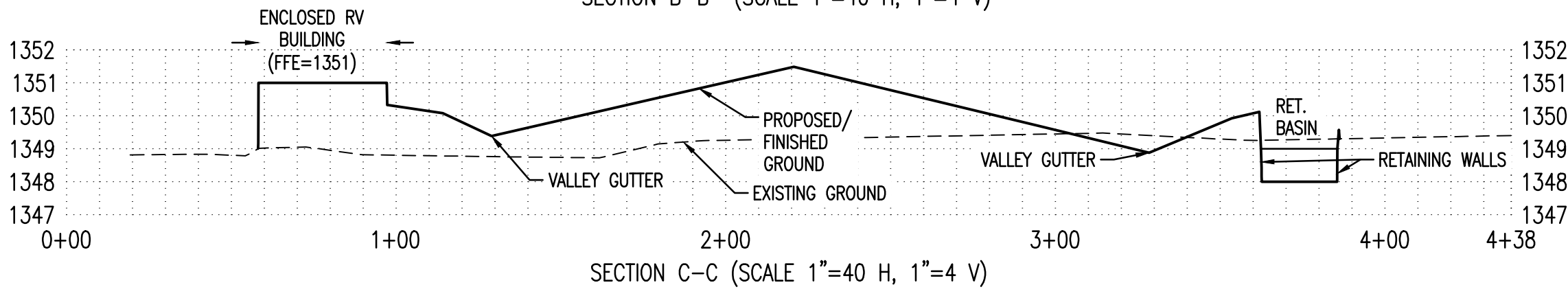
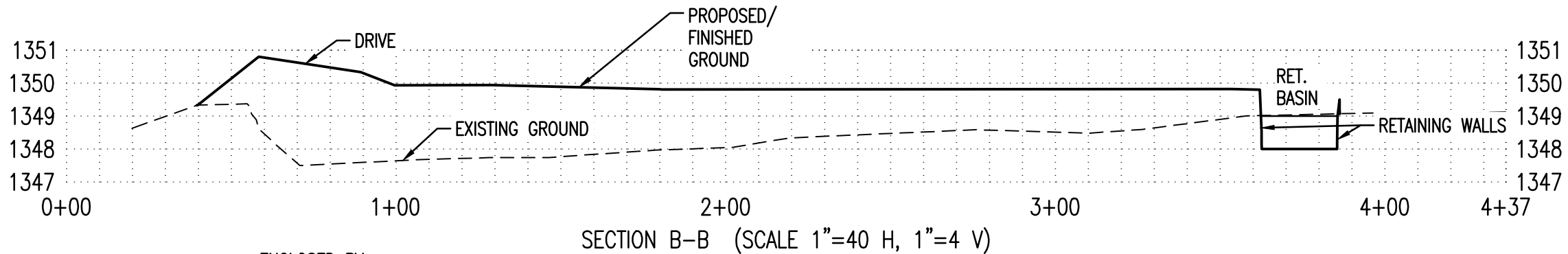
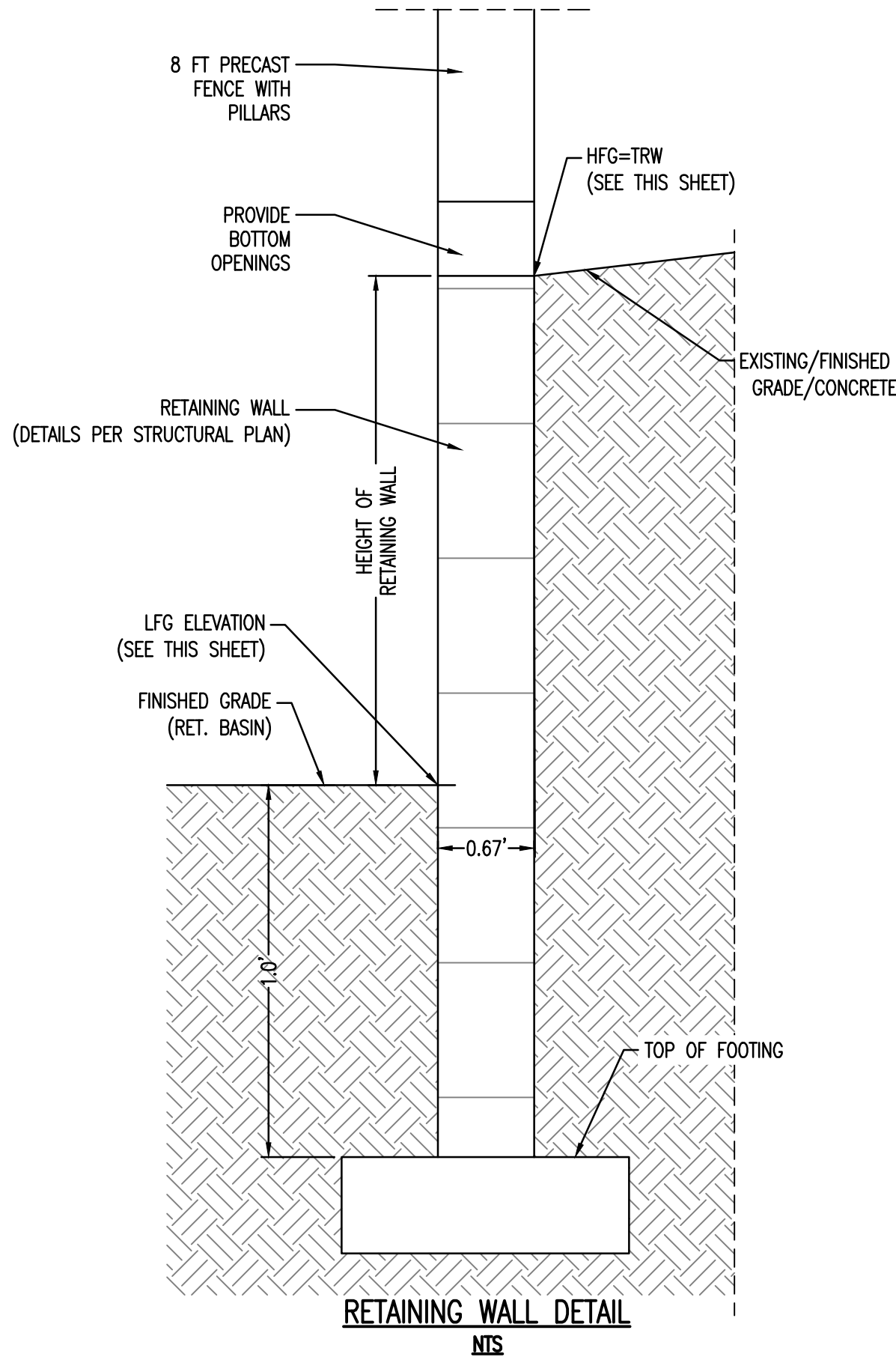
PROJECT: WIFE STORAGE -PHASE 1 SOUTH PARKING EXPANSION
AND PHASE 2 PARKING IMPROVEMENTS
3815 S SOSSAMAN RD, MESA, AZ 85212

811
Know what's below.
Call before you dig.

30503
THOMAS GAIL
HAWS
State Signed
ARIZONA U.S.A.

JOB NO.
M21040
DRAWN BY: SWN
SHEET NO.
C201

GRADING AND DRAINAGE SECTIONS
FOR
HAPPY WIFE STORAGE, MESA, AZ



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| REVISIONS: |
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GRADING AND DRAINAGE SECTIONS

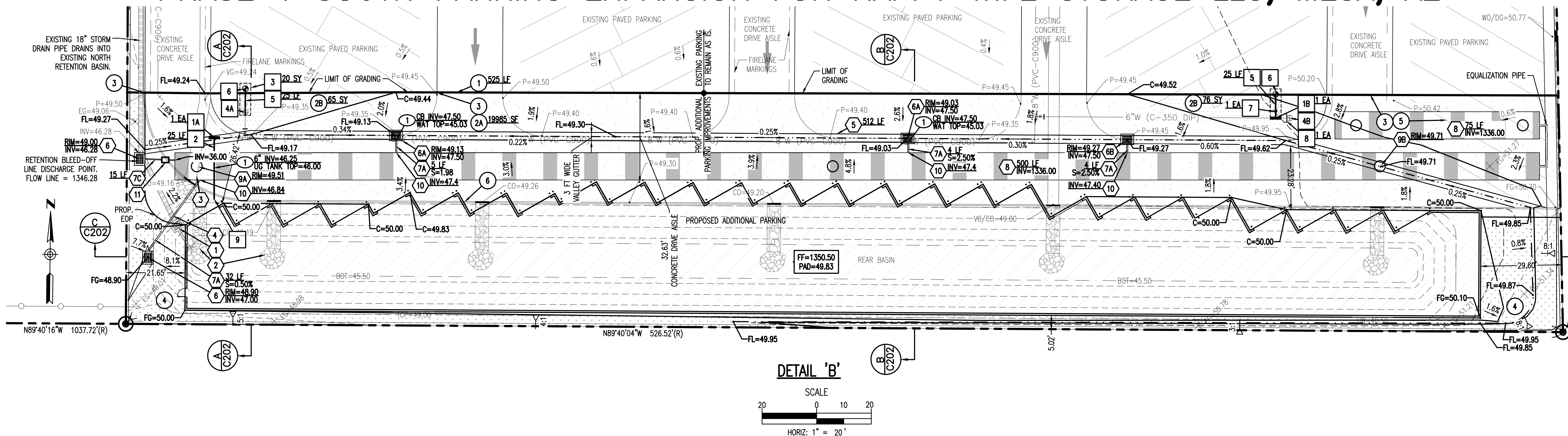
PROJECT: HAPPY WIFE STORAGE -PHASE 1 SOUTH PARKING EXPANSION
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Know what's below.
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Digitally signed by **THOMAS GAIL HAWS** DN: cn=THOMAS GAIL HAWS, o=PROFESSIONAL ENGINEER, ou=STATE OF ARIZONA, email=THOMAS.GAIL.HAWS@ARIZONA.GOV, c=US

JOB NO.
M21040
DRAWN BY: SWN
SHEET NO.
C202

PHASE 1 SOUTH PARKING EXPANSION FOR HAPPY WIFE STORAGE LLC, MESA, AZ



DRAINAGE REPORT

FLOODPLAIN
THIS PARCEL IS LOCATED IN ZONE X AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP PANEL 04013C2760L REVISED OCTOBER 16, 2013. THE ENTIRE SITE IS POSITIONED IN ZONE X OUTSIDE THE FLOOD PLAIN. ZONE X DENOTES AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AREAS PROTECTED BY LEVEES FROM 1% ANNUAL FLOOD CHANCE.

EXISTING SITE CONDITIONS

THE ENTIRE SITE HAS BEEN PAVED, GRADED AND DRAINED PER APPROVED GRADING AND DRAINAGE PLANS (PERMIT PMT119-01503). ALL ONSITE FLOWS ARE RETAINED ON SITE IN THE THE EXISTING RETENTION BASINS. THE PAVED AND LANDSCAPED AREAS HAVE BEEN GRADED TO DRAIN TOWARDS RETENTION BASINS.

OFF-SITE FLOWS

OFFSITE FLOWS THAT AFFECTED THE SITE FROM NORTH AND EAST ARE ACCEPTED ON SITE AND ROUTED TO THE HISTORICAL LOCATIONS.

ON-SITE AND OFFSITE DRAINAGE

THE EXISTING OFFSITE AND ONSITE DRAINAGE CONDITIONS FOR THE EXISTING IMPROVEMENTS WILL BE MAINTAINED SAVE FOR THE AREA EARMARKED FOR THE ADDITIONAL PARKING.

THE PROPOSED ADDITIONAL PARKING IS PROPOSED ON THE RETENTION BASIN 2 LOCATION. THE PROPOSED IMPROVEMENTS WILL BE GRADED SUCH THAT ALL STORM RUNOFF THAT WAS RETAINED IN RETENTION BASIN 2 WILL BE CAPTURED BY CATCH BASINS/SLOTTED MANHOLE COVERS DIRECTLY ABOVE PROPOSED UNDERGROUND TANKS.

RETENTION SYSTEM SUMMARY

EXISTING REAR BASIN (RETENTION BASIN 2) VOLUME = 43,048 CF (PERMIT PMT119-01503).

PROPOSED UNDERGROUND TANK VOLUME $V_{TOT}=45,257$ CU FT (1EA, D=12', L=400')

THE VOLUME OF THE PROPOSED UNDERGROUND TANK IS GREATER THAN THAT OF THE EXISTING REAR RETENTION BASIN AND THUS OK.

BLEED-OFF DESIGN

BLEED-OFF PIPE WILL CONNECT THE UNDERGROUND RETENTION TO THE EXISTING DRAINAGE DITCH ON SOSSAMAN ROAD. A PUMP WILL BE USED TO DISSIPATE THE RETENTION VOLUME.

FINISHED FLOOR GENERAL STATEMENT:

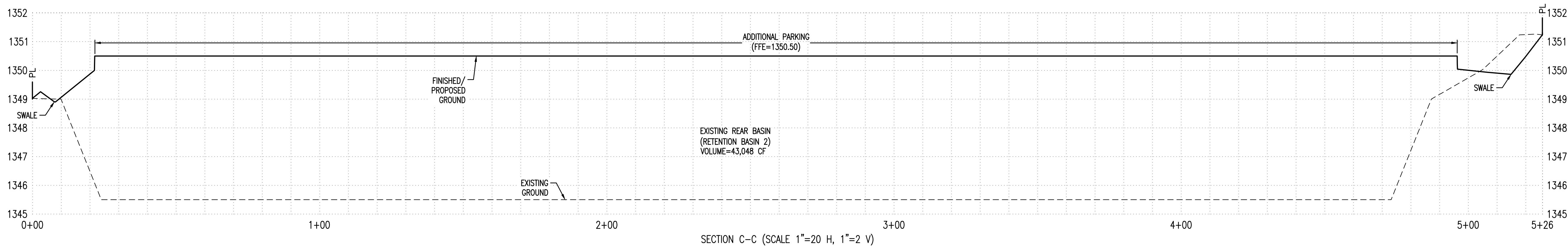
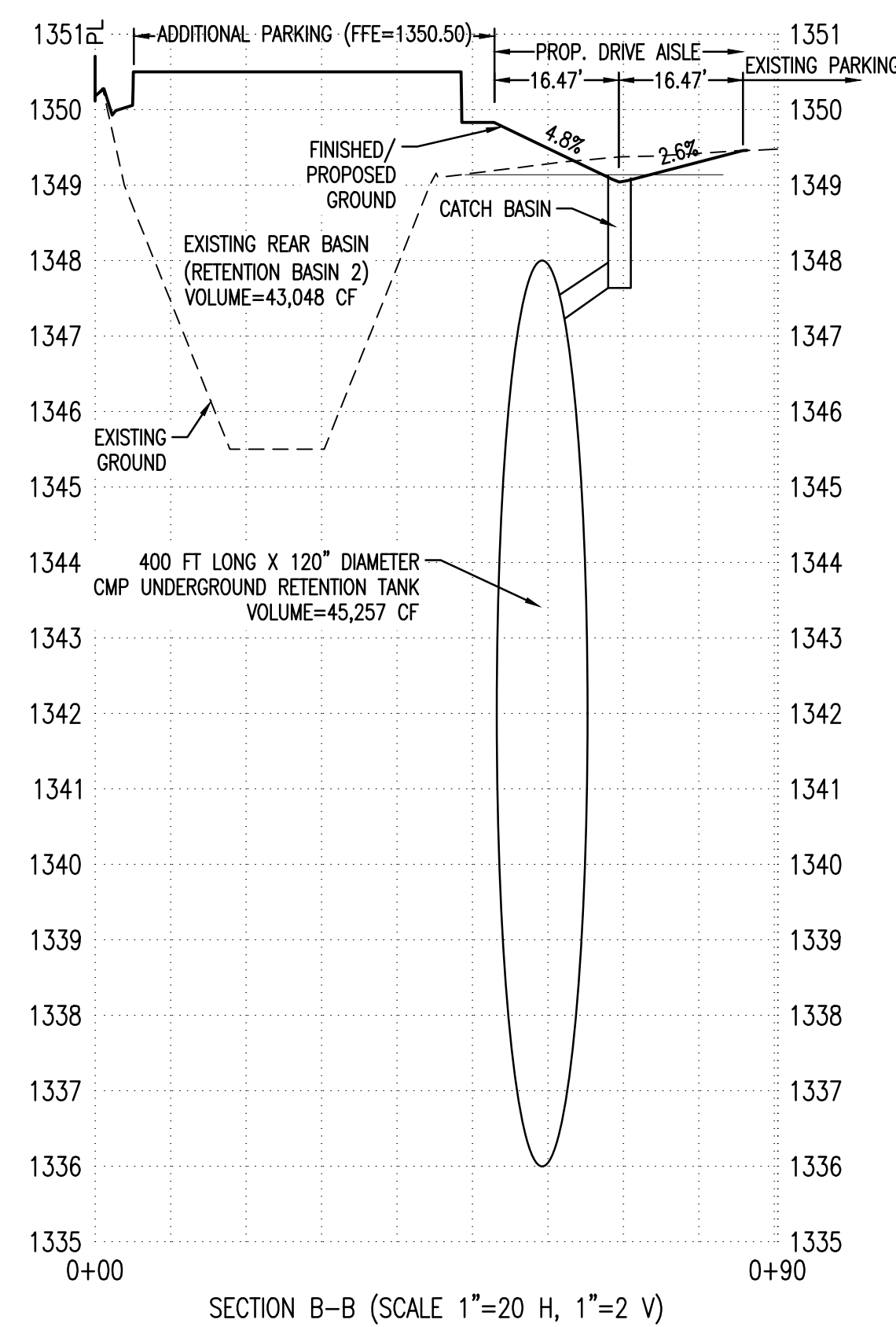
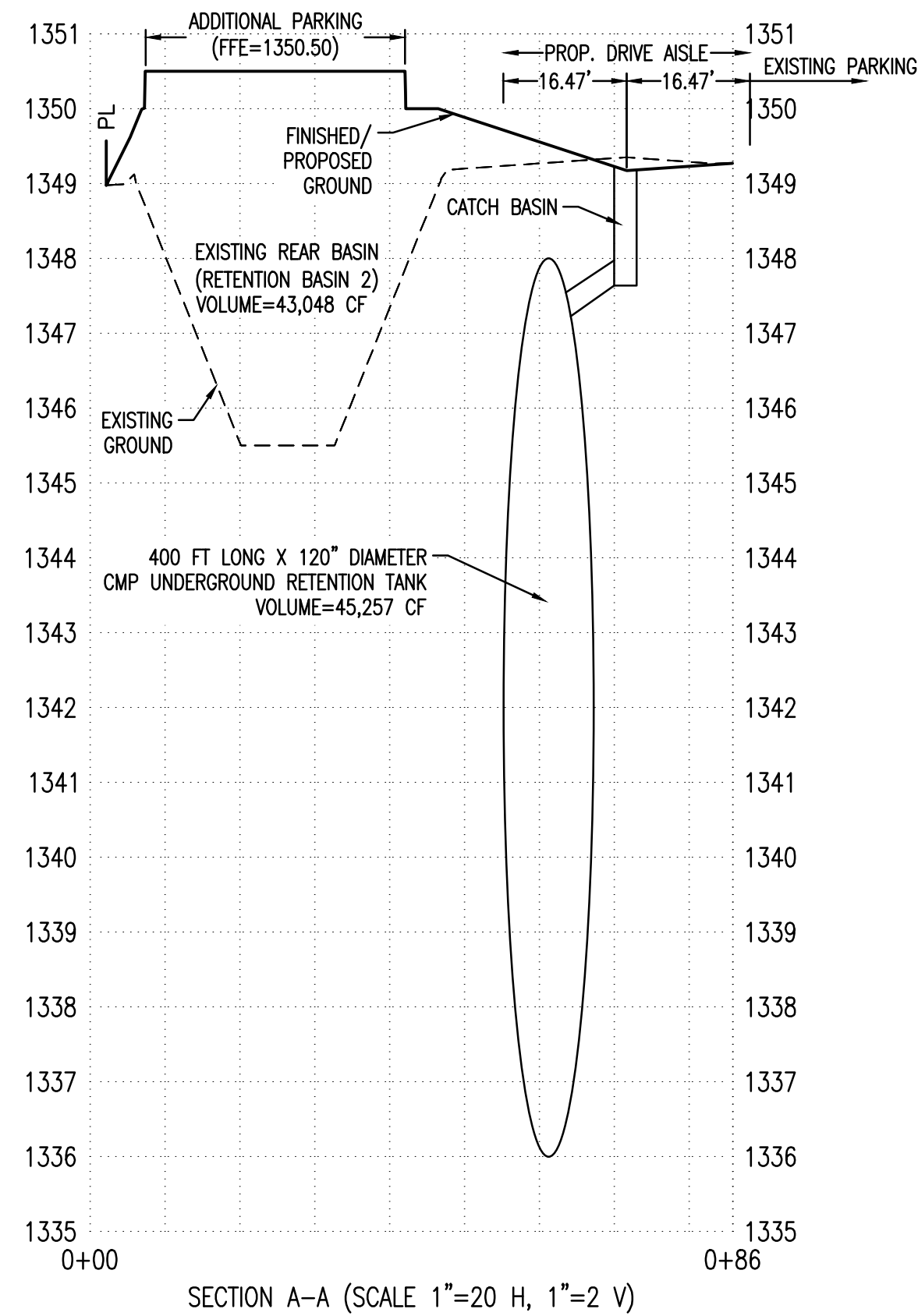
FINISHED FLOORS ARE SAFE FROM INUNDATION DURING A 100-YEAR, 24-HR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS.

STANDARDS

CITY OF MESA ENGINEERING DESIGN STANDARDS MANUAL (2021).

- GRADING AND PAVING NOTES**
- 1 SAWCUT AND REMOVE EXISTING PAVEMENT SURFACE.
 - 2A DEMOLISH EXISTING PAVEMENT/CONCRETE. CONSTRUCT 6" CONCRETE PAVEMENT OVER 6" ABC. GRADE PER THIS PLAN ELEVATIONS.
 - 2B DEMOLISH EXISTING PAVEMENT/CONCRETE. REPLACE PAVEMENT IN KIND. GRADE PER THIS PLAN ELEVATIONS.
 - 3 MATCH EXISTING PAVEMENT ELEVATION.
 - 4 LANDSCAPED AREA
 - 5 PARKING STRIPE. MATCH EXISTING.
 - 6 DEMOLISH EXISTING VERTICAL CURB.
- STORM DRAIN CONSTRUCTION NOTES**
- 1 DEMOLISH OR REMOVE AND SALVAGE EXISTING CATCH BASIN.
 - 2 DEMOLISH OR ABANDON THE RIP RAP ROCK (TYPICAL).
 - 3 DEMOLISH VALLEY GUTTER AND GRADE PAVEMENT PER THE GRADING PLAN.
 - 4 ABANDON EXISTING STORM DRAIN PIPE.
 - 5 3 FT WIDE VALLEY GUTTER.
 - 6A CATCH BASIN PER MAG DTL 534. POT HOLE EXISTING WATER BEFORE CONSTRUCTION AND NOTIFY ENGINEER IF A FIELD CHANGE IS NEEDED.
 - 6B CATCH BASIN PER MAG DTL 534.
 - 7A 6" HDPE STORM DRAIN PIPE PER MAG SPEC 738, BACKFILL AND COMPACTION PER MAG SPEC 601. SLOPE AND INVERTS PER PLAN.
 - 7C 4" PVC SDR-35 STORM DRAIN BLEEDOFF PIPELINE PER MAG SPEC 738, BACK FILL AND COMPACTION PER MAG SPEC 601
 - 8 10 FT DIA 14 GAUGE POLYMER COATED CMP STORAGE TANK PIPE WITH 3"x1" CORRUGATION PER UNDERGROUND RETENTION TANK DETAIL. LENGTH PER PLAN.
 - 9A ACCESS MANHOLE PER DETAIL ON SHEET C302
 - 9B ACCESS MANHOLE WITH SLOTTED COVER.

- WATER NOTES**
- 1A 8"x4" TEE WITH JOINT RESTRAINTS PER MAG DETAIL 303
 - 1B 6"x6" TEE FOR FIRELINE
 - 2 6" CLASS 350 D.I.P. WATER LINE.
 - 3 SAWCUT AND REMOVE EXISTING PAVEMENT SURFACE, 2' MIN. LEAVE NEAT EDGE FOR REPAIR.
 - 4A REMOVE AND SALVAGE EXISTING FIRE HYDRANT AND INSTALL D.I.P TO D.I.P MATERIAL COUPLER.
 - 4B REMOVE AND SALVAGE EXISTING FIRE HYDRANT.
 - 5 6" CLASS 350 D.I.P. WATER LINE.
 - 6 INSTALL SALVAGED FIRE HYDRANT.
 - 7 6" VALVE PER MAG STD DTL 301 AND 391-1 WITH JOINT RESTRAINTS PER MAG DETAIL 303 AND THRUST BLOCK PER MAG STD DETAIL 380.
 - 8 6" BLIND FLANGE END CAP.
 - 9 SEE PLUMBING PLANS FOR CONTINUATION.
- UTILITY CROSSINGS**
- 1 UTILITY CROSSING. ELEVATIONS PER PLAN.



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GRADING, DRAINAGE AND UTILITY PLAN

PROJECT:
HAPPY WIFE STORAGE -PHASE 1 SOUTH PARKING EXPANSION
AND PHASE 2 PARKING IMPROVEMENTS
38115 S SOSSAMAN RD., MESA, AZ 85212

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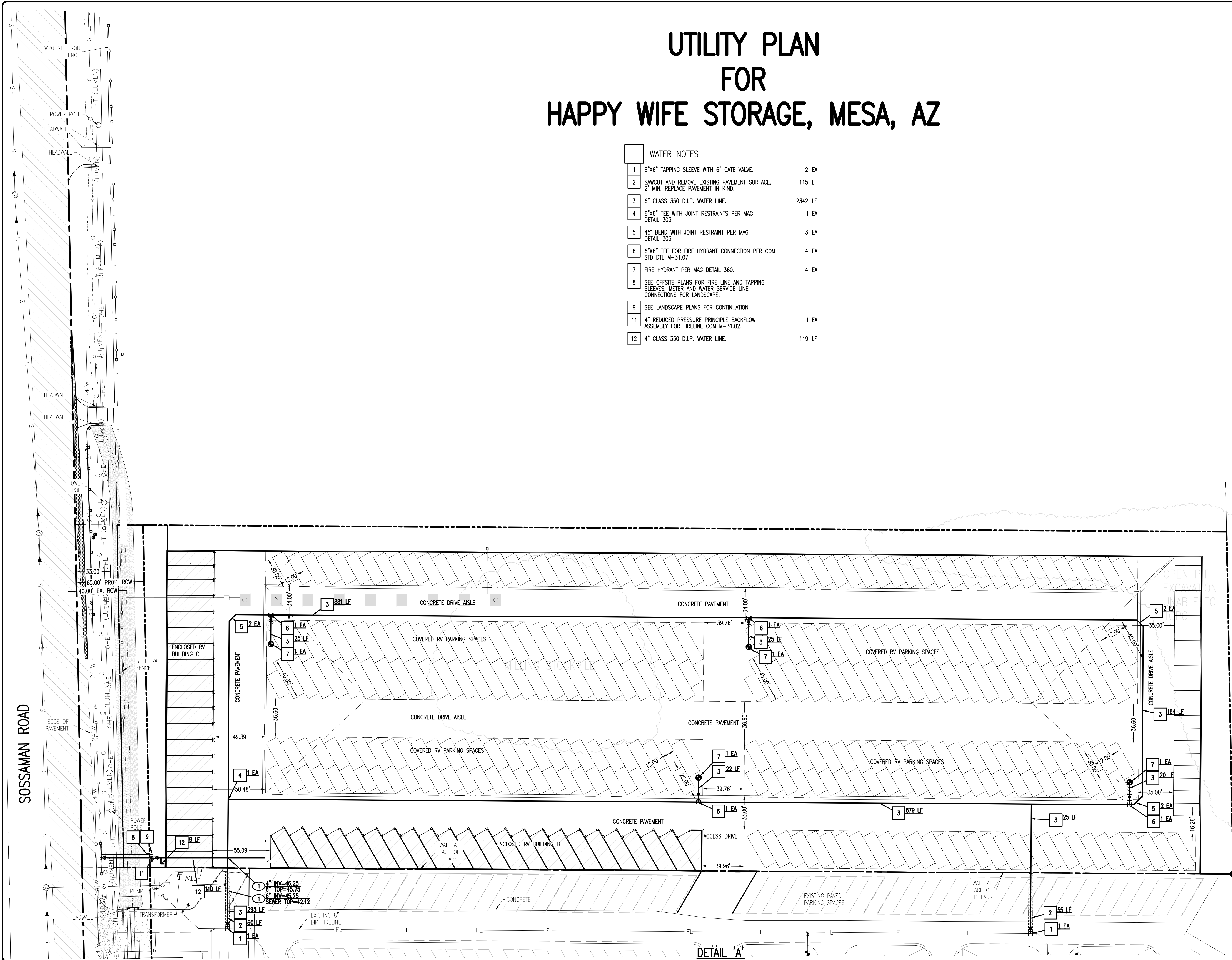
Digitally
per
Professional Engineer
THOMAS GAIL HAWS
30503
DATE SIGNED
ARIZONA U.S.A.

JOB NO.
M21040
DRAWN BY: SWN

SHEET NO.
C203

UTILITY PLAN FOR HAPPY WIFE STORAGE, MESA, AZ

| WATER NOTES | | |
|-------------|--|---------|
| 1 | 8"x6" TAPPING SLEEVE WITH 6" GATE VALVE. | 2 EA |
| 2 | SAWCUT AND REMOVE EXISTING PAVEMENT SURFACE, 2" MIN. REPLACE PAVEMENT IN KIND. | 115 LF |
| 3 | 6" CLASS 350 D.I.P. WATER LINE. | 2342 LF |
| 4 | 6"x6" TEE WITH JOINT RESTRAINTS PER MAG DETAIL 303 | 1 EA |
| 5 | 45° BEND WITH JOINT RESTRAINT PER MAG DETAIL 303 | 3 EA |
| 6 | 6"x6" TEE FOR FIRE HYDRANT CONNECTION PER COM STD DTL M-31.07. | 4 EA |
| 7 | FIRE HYDRANT PER MAG DETAIL 360. | 4 EA |
| 8 | SEE OFFSITE PLANS FOR FIRE LINE AND TAPPING SLEEVES, METER AND WATER SERVICE LINE CONNECTIONS FOR LANDSCAPE. | |
| 9 | SEE LANDSCAPE PLANS FOR CONTINUATION | |
| 11 | 4" REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY FOR FIRELINE COM M-31.02. | 1 EA |
| 12 | 4" CLASS 350 D.I.P. WATER LINE. | 119 LF |



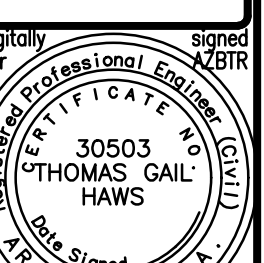
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UTILITY PLAN

**HAPPY WIFE STORAGE -PHASE 1 SOUTH PARKING EXPANSION
AND PHASE 2 PARKING IMPROVEMENTS**
3815 S SOSSAMAN RD, MESA, AZ 85212



JOB NO.

M21040

SHEET NO.

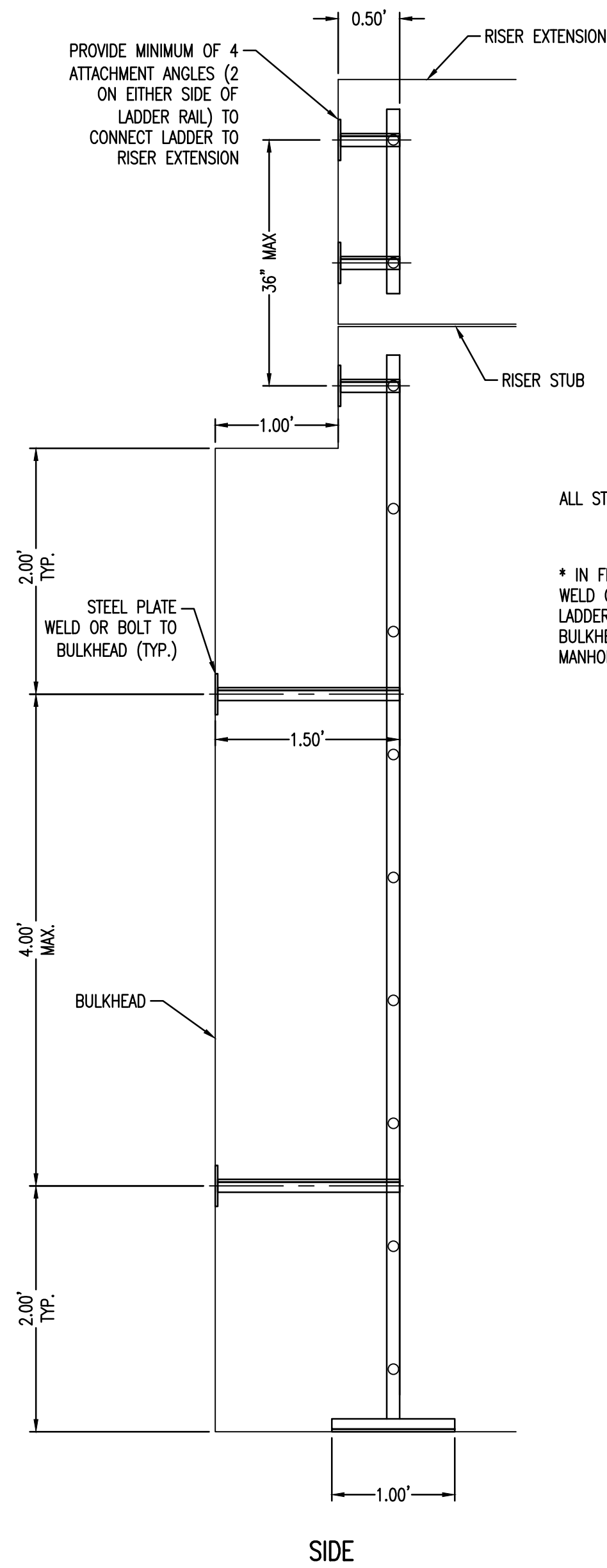
C301

A cross-sectional diagram of a temporary cover for construction loads. The cover is shown as a horizontal slab supported by vertical walls on the left and right. The left wall is labeled "TEMPORARY COVER FOR CONSTRUCTION LOADS" and "HEIGHT OF COVER". The right wall is labeled "FINISHED GRADE". The cover is shown with a dashed line indicating its internal structure. The cover is shown with a dashed line indicating its internal structure. The cover is shown with a dashed line indicating its internal structure.

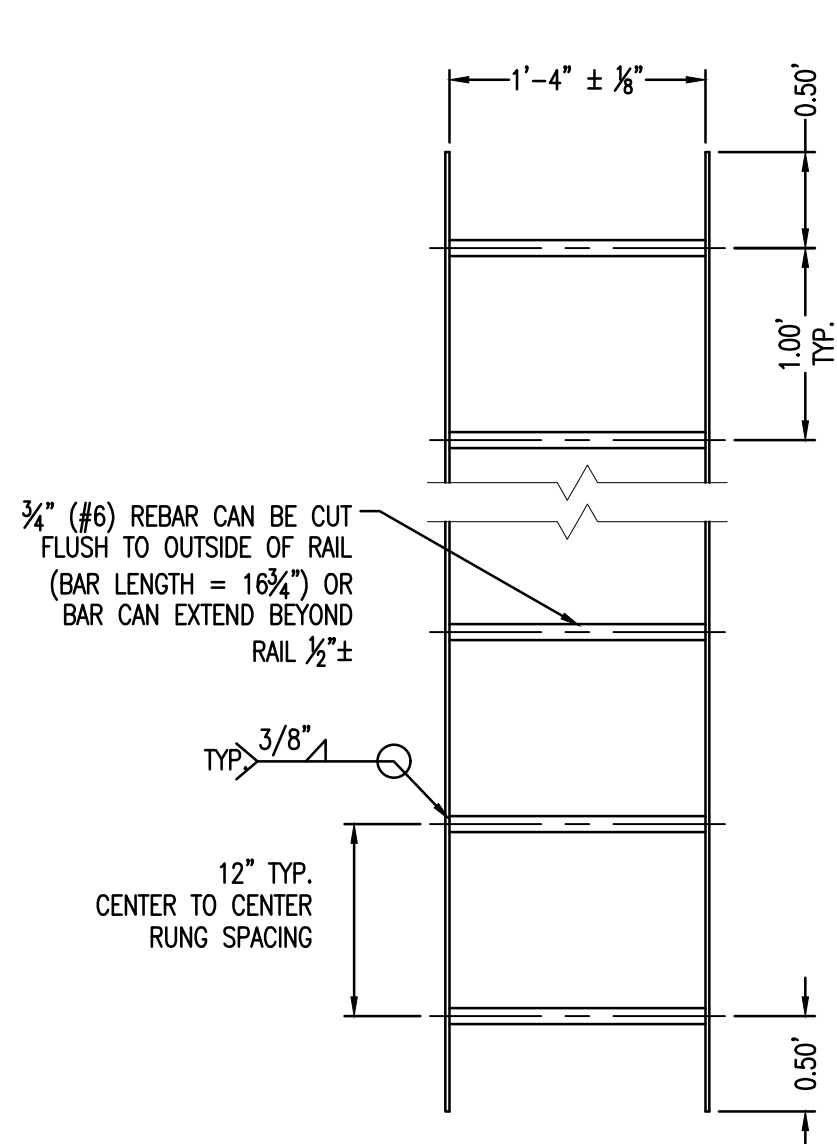
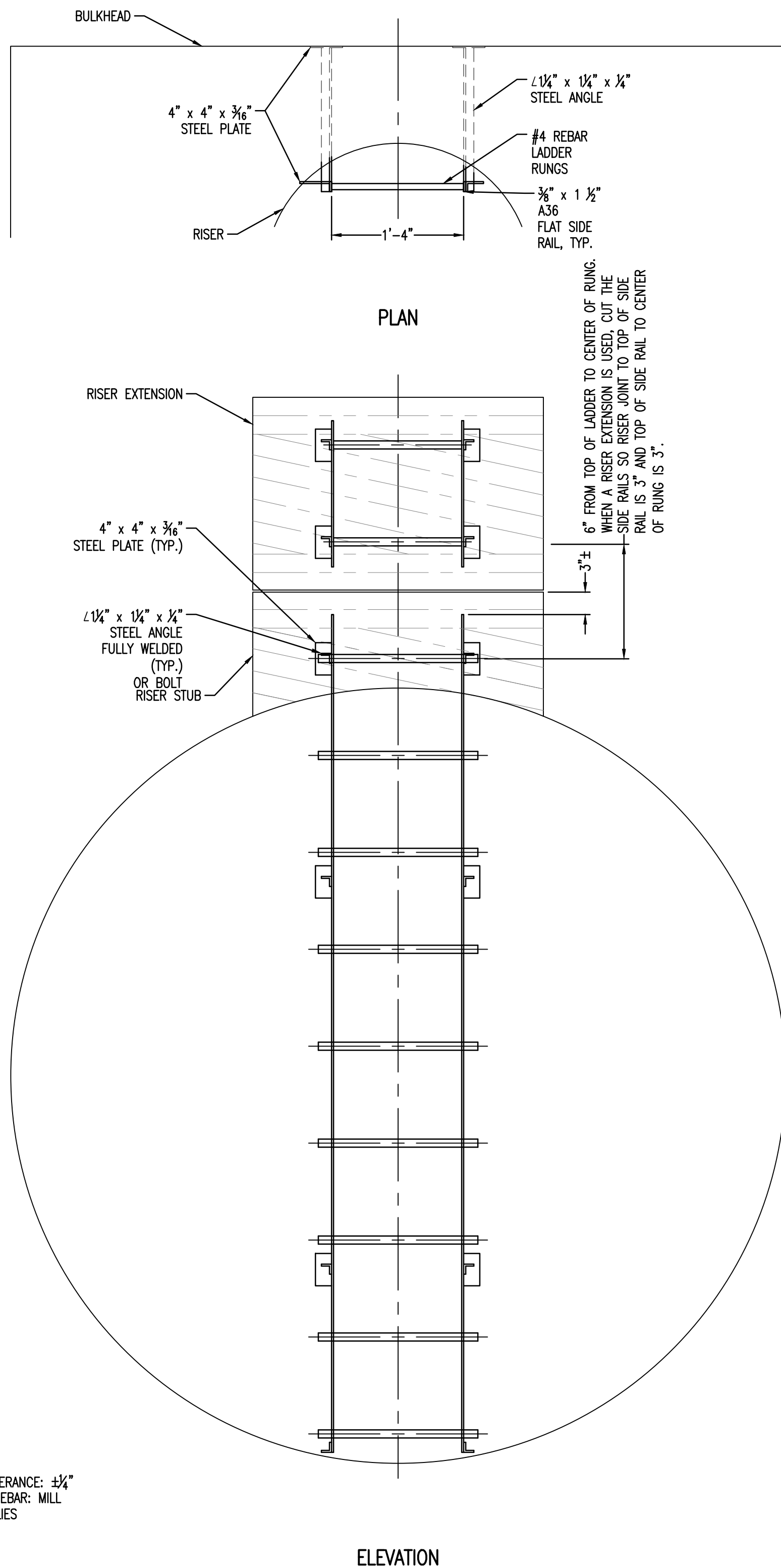
| PIPE SPAN, INCHES | AXLE LOADS (kips) | | | |
|----------------------|--------------------|-------|--------|---------|
| | 18-50 | 50-75 | 75-110 | 110-150 |
| | MINIMUM COVER (FT) | | | |
| 12-42 | 2.0 | 2.5 | 3.0 | 3.0 |
| 48-72 | 3.0 | 3.0 | 3.5 | 4.0 |
| 78-120 | 3.0 | 3.5 | 4.0 | 4.0 |
| 126-144 | 3.5 | 4.0 | 4.5 | 4.5 |

- FOUNDATION/BEDDING PREPARATION**
PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, 4" - 6" OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

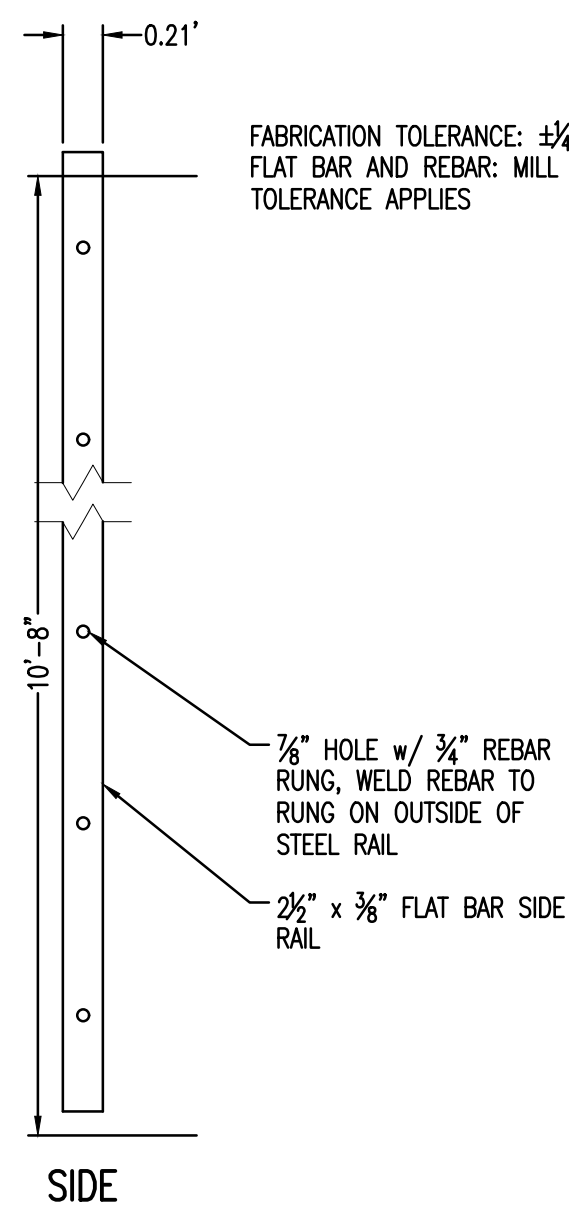


* IN FIELD
WELD OR BOLT
LADDER TO
BULKHEAD AND
MANHOLE RISER



1. LADDERS CAN BE MADE IN STANDARD LENGTHS AND CUT TO FIT
2. ALL MATERIAL TO MEET ASTM A-36
3. LADDER TO BE HOT DIPPED GALVANIZED PER ASTM A-123 AFTER FABRICATION IS COMPLETE

PART No. L-128-16



- 7/8" HOLE w/ 3/4" REBAR RUNG, WELD REBAR TO RUNG ON OUTSIDE OF STEEL RAIL
- 1/2" x 3/8" FLAT BAR SIDE RAIL

NOTE:
THIS DRAWING IS INTENDED TO APPLY TO LADDERS
INSTALLED IN RISERS HAVING A DIAMETER OF 36"
OR LARGER AND LOCATED ONE FOOT FROM THE
BULKHEAD ONLY

MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION (MCDOT)
GENERAL NOTES FOR RIGHT-OF-WAY PERMITS NOTES

- ALL WORK SHALL CONFORM TO THE REVISED EDITION OF THE UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS/CONSTRUCTION PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) AS AUTHORIZED AND MODIFIED BY THE MOST CURRENT MCDOT SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND NON-CONFLICTING PROJECT SPECIAL PROVISIONS. ALL WORK MUST ALSO COMPLY WITH ORDINANCE P-36 "MARICOPA COUNTY ORDINANCE ADDRESSING REQUIREMENTS FOR PERMITS TO WORK IN RIGHT-OF-WAY WITHIN UNINCORPORATED MARICOPA COUNTY." ANY EXCEPTIONS MUST RECEIVE EXPLICIT APPROVAL FROM MCDOT AND SHALL BE IDENTIFIED ON THE PLANS AS HAVING EXPLICIT APPROVAL FROM MCDOT.
- CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY MCDOT. APPROVAL OF THESE PLANS IS FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT MCDOT FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, THE MCDOT ROADWAY DESIGN MANUAL, OR OTHER APPLICABLE DESIGN STANDARDS.
- THE MOST CURRENT APPROVED SET OF PLANS SHALL BE ON THE SITE DURING CONSTRUCTION AND AVAILABLE TO MCDOT INSPECTORS.
- ALL BOX CULVERTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH ARIZONA DEPARTMENT OF TRANSPORTATION (ADOT) LATEST DESIGN SPECIFICATIONS AND STANDARDS.
- CONTRACTOR TO OBTAIN MCDOT PERMITS PRIOR TO CONSTRUCTION WITHIN COUNTY RIGHT-OF-WAY, AND ALL NECESSARY PERMITS FROM OTHER AGENCIES AND FROM LOCAL GOVERNMENTS FOR WORK WITHIN THEIR JURISDICTION.
- CONTRACTOR SHALL NOTIFY THE ASSIGNED MCDOT INSPECTOR LISTED ON PERMIT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION.
- CONTRACTOR PERFORMING CONSTRUCTION OR EXCAVATING OPERATIONS IS RESPONSIBLE FOR LOCATING AND RELOCATING ALL UTILITIES IN CONFLICT AT NO EXPENSE TO MARICOPA COUNTY. THE CONTRACTOR SHALL CONTACT ARIZONA 811 PRIOR TO BEGINNING CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FOR EARTH MOVING FROM MARICOPA COUNTY AIR QUALITY DEPARTMENTS DUST COMPLIANCE DIVISION PRIOR TO CONDUCTING EXCAVATION OPERATIONS. A COPY OF THE PERMIT AND DUST CONTROL PLAN SHALL BE SUBMITTED TO THE COUNTY ENGINEER PRIOR TO COMMENCEMENT OF ANY EARTHMOVING ACTIVITIES.
- PRIOR TO CONDUCTING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL OBTAIN FROM THE ARIZONA STATE HISTORICAL PRESERVATION OFFICER RECOMMENDATIONS REGARDING THE NEED FOR CULTURAL RESOURCES (ARCHAEOLOGICAL) CLEARANCE. ALL DISCOVERIES OF HUMAN REMAINS, CULTURAL ARTIFACTS, OR PALEONTOLOGICAL REMAINS SHALL BE REPORTED TO THE ARIZONA STATE MUSEUM AND MCDOT. UPON DISCOVERY, CONTRACTOR SHALL CEASE OPERATIONS IN THE VICINITY OF THE FIND AND PROTECT THE DISCOVERY AREA FROM FURTHER DISTURBANCE UNTIL THE FIND CAN BE PROFESSIONALLY INVESTIGATED BY THE ARIZONA STATE MUSEUM AND MCDOT.
- EXCEPT UNDER EMERGENCY CONDITIONS, ROADS SHALL NOT BE CLOSED FOR CONSTRUCTION ACTIVITY UNLESS PRIOR APPROVAL IS OBTAINED FROM THE MCDOT TRANSPORTATION DIRECTOR.
- PRIOR TO MOVING OR DESTROYING PROTECTED NATIVE PLANT SPECIES, THE CONTRACTOR SHALL FILE A FORMAL NOTICE OF INTENT WITH THE ARIZONA DEPARTMENT OF AGRICULTURE NATIVE PLANTS.
- PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, BASE COURSE AND WEARING SURFACE, A PAVEMENT VERIFICATION REPORT SUBMITTAL IS REQUIRED TO BE SUBMITTED TO MCDOT FOR REVIEW AND APPROVAL. IF SUBGRADE STABILIZATION IS REQUIRED, THE AREA STABILIZED SHALL BE FROM BACK OF SIDEWALK TO BACK OF SIDEWALK AND MATCH THE STABILIZATION DEPTH OF THE PAVEMENT STRUCTURE.
- ASPHALT MIX DESIGNS SHALL BE SUBMITTED TO MCDOT A MINIMUM OF TWO BUSINESS DAYS PRIOR TO PLACING ANY ASPHALT COURSES. (TRENCH WORK EXCLUDED.) ASPHALT MIX DESIGNS MUST BE APPROVED PRIOR TO PAVING ACTIVITIES. ALL PAVED TURNOUTS SHALL HAVE THE SAME ASPHALT AND BASE REQUIREMENTS AS THE ADJACENT ROADWAY UNLESS NOTED OTHERWISE.
- ALL ASPHALT CONCRETE PAVEMENT OF LOCAL AND MINOR COLLECTOR ROADS WITH A LONGITUDINAL GRADE LESS THAN 5% SHALL RECEIVE A PRESERVATIVE SEAL (FILLED) ASPHALT SEALER) IN ACCORDANCE WITH SECTIONS 334 AND 718.3 OF THE MAG UNIFORM STANDARD SPECIFICATIONS.
- EXCEPT FOR ARAC MIXES, ALL OTHER AC MIXES SHALL BE SUPERPAVE/GRYATORY TYPE UNLESS APPROVED BY MCDOT. AC MIX DESIGN USED ON LOCAL AND MINOR COLLECTOR STREETS SHALL BE FOR LOW TRAFFIC CONDITION. NOMINAL SIZE TO THICKNESS RATIO SHALL NOT EXCEED 1:3. THE NOMINAL SIZE DESIGNATION FOR THE SURFACE COURSE ON URBAN ROADWAYS SHALL BE A ½" MIX, UNLESS APPROVED BY MCDOT.
- ALL COMPACTION AND BACKFILL WITHIN COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE MCDOT SUPPLEMENT TO MAC SPECIFICATION SECTION 601. BACKFILL UNDER EXISTING PAVEMENT, CURB AND GUTTER, ROADWAY SHOULDERS, AND UNPAVED ROADWAYS SHALL CONSIST OF ONE-HALF (1/2) OR ONE SACK CLSM. UNPAVED ROADWAY AREAS INCLUDE THE TRAVELLED WAY PLUS FIVE FEET BEYOND THE TRAVELLED WAY.
- ALL STRUCTURES, SUCH AS MANHOLES, VALVE BOX & COVERS, AND MONITORING WELLS MUST BE MARKED WITH AT LEAST TWO REFLECTIVE FLEXIBLE POSTS WHEN STRUCTURES ARE LOCATED OUTSIDE THE TRAVELED WAY AND WITHIN THE RIGHT-OF-WAY. (APPLIES ONLY WHEN THERE IS NO CURB.) ALL CLEAR ZONE HAZARDS SHALL BE MITIGATED IN A MANOR APPROVED BY MCDOT AT NO COST TO THE COUNTY.
- PAVEMENT WIDENING AND PAVEMENT REPLACEMENT SHALL CONFORM TO THE REQUIREMENTS OF MAG SPECIFICATION SECTION 336 AND THE MCDOT SUPPLEMENT THERETO. PAVEMENT CUTS SHALL NOT BE LOCATED WITHIN A LANE WHEEL PATH. THE LANE WHEEL PATH IS THE ENTIRE LANE WIDTH EXCEPT THE AREA WITHIN ONE FOOT OF A LANE LINE STROKE AND EXCEPT THE CENTER TWO FEET OF THE TRAVEL LANE.
- ALL EXISTING PAVEMENT MARKINGS, TRAFFIC SIGNS AND SIGNAL EQUIPMENT TO BE REMOVED, REPLACED, RELOCATED OR REPAIRED DUE TO CONTRACTOR'S WORK WILL BE DONE BY THE CONTRACTOR AT THEIR EXPENSE. ALL SALVAGED SIGNS SHALL BE DELIVERED TO THE TRAFFIC OPERATIONS BUILDING AT 2909 W. DURANGO ST. ARRANGEMENTS CAN BE MADE FOR DELIVERY BY CALLING (602) 506-8662. ALL NEW STREET NAME SIGNS SHALL BE PROVIDED AND INSTALLED BY THE PERMITEE AT NO EXPENSE TO MARICOPA COUNTY.
- ALL PERMITTED CONSTRUCTION IS SUBJECT TO INSPECTION AND IS REQUIRED TO MEET ALL APPLICABLE STANDARDS PRIOR TO THE RELEASE OF THE CORRESPONDING BOND.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS PER MAC 107.9. DISPOSAL OF ALL WASTE MATERIAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CHIPPED, CRACKED, OR IMPRINTED CURB, GUTTER, OR SIDEWALK IS NOT PERMITTED. CONCRETE PATCHING OF CURB, GUTTER, AND SIDEWALK IS NOT PERMITTED.
- THE PERMITEE'S ENGINEER OF RECORD IS REQUIRED TO CERTIFY SUBDIVISION CONSTRUCTION IN ACCORDANCE WITH THE MCDOT SUBDIVISION INSPECTION GUIDELINES.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION R4-30-301 OF THE RULES OF THE ARIZONA STATE BOARD OF TECHNICAL REGISTRATION, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE REVIEW OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY CITY OF MESA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE REVIEWED THE 'AS-BUILT' FOR THE ABOVE REFERENCED PROJECT AND CERTIFY THAT THE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS AND REVISIONS THAT IT WILL FUNCTION AS DESIGNED AND PERMITTED.

REGISTERED CIVIL ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT THE 'RECORD DRAWING' MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED ARE CORRECT TO THE BEST OF MY KNOWLEDGE.

REGISTERED SURVEYOR _____ DATE _____

MCDOT APPROVAL

MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION _____ DATE _____

UTILITY COORDINATION

| UTILITY COMPANY | ADDRESS | CONTACT | PHONE | EMAIL | DATE SUBMITTED | RESPONSE |
|--------------------|--|-----------------|--------------|----------------------------|----------------|--------------------|
| CENTURY LINK/LUMEN | 135 W ORION ST TEMPE, AZ 85283 | KAREN BROWN | 602-630-5476 | KAREN.BROWN1@LUMEN.COM | 2022-06-20 | POSSIBLE CONFLICTS |
| SOUTHWEST GAS | 5705 S. KYRENE RD. TEMPE AZ 85283 | ANDY SAKS | 480-730-3857 | ANDREW.SAKS@SWGAS.COM | 2022-06-20 | NO CONFLICTS |
| SRP ELECTRIC | P.O. BOX 52025, PHOENIX, AZ 85072-2025 | ANDRE BENAVIDEZ | 602-236-3586 | ANDRE.BENAVIDEZ@SRPNET.COM | 2022-06-20 | POSSIBLE CONFLICTS |

PHASE 2 OFFSITE IMPROVEMENTS PLANS FOR HAPPY WIFE STORAGE, MESA, AZ

PROJECT DATA

ASSESSOR'S PARCEL NUMBER : 304-30-007M
PROJECT ADDRESS : 3815 S SOSSAMAN RD, MESA, AZ 85212
ZONING : L1
LOT AREA : 348,875 SQ.FT. = 8.01 AC
PROJECT NARRATIVE : PROPOSED PARKING

ROAD DESIGN DATA

ROAD NAME : SOSSAMAN ROAD
CLASSIFICATION : URBAN/MINOR ARTERIAL
TERRAIN : LEVEL
DESIGN SPEED : 45 MPH
AVERAGE DAILY TRAFFIC : 9500/VPD
CLEAR DISTANCE WIDTH : 24 FT - 28 FT

OWNER

REDPOINT CONTRACTING HOLDINGS LLC
39506 N DAISY MOUNTAIN,
PHOENIX, AZ 85086

ENGINEER

NPS MARICOPA INC
859 NORTH LAFAYETTE'
MESA, AZ 85201
TEL: 480.201.5476
EMAIL: TOM.HAWS@GMAIL.COM

ARCHITECT

TM QUIGLEY
TIM@TODDAMMONDS.COM
608-444-4000

SURVEYOR

D2 SURVEYING
24468 N. CORN ST.
FLORENCE, AZ 85132
(480) 221-1365

DATE SURVEYED NOV 6, 2021

DRAINAGE REPORT

SEE SEPARATE DRAINAGE REPORT
PROVIDED AS PART OF THIS SUBMITTAL.

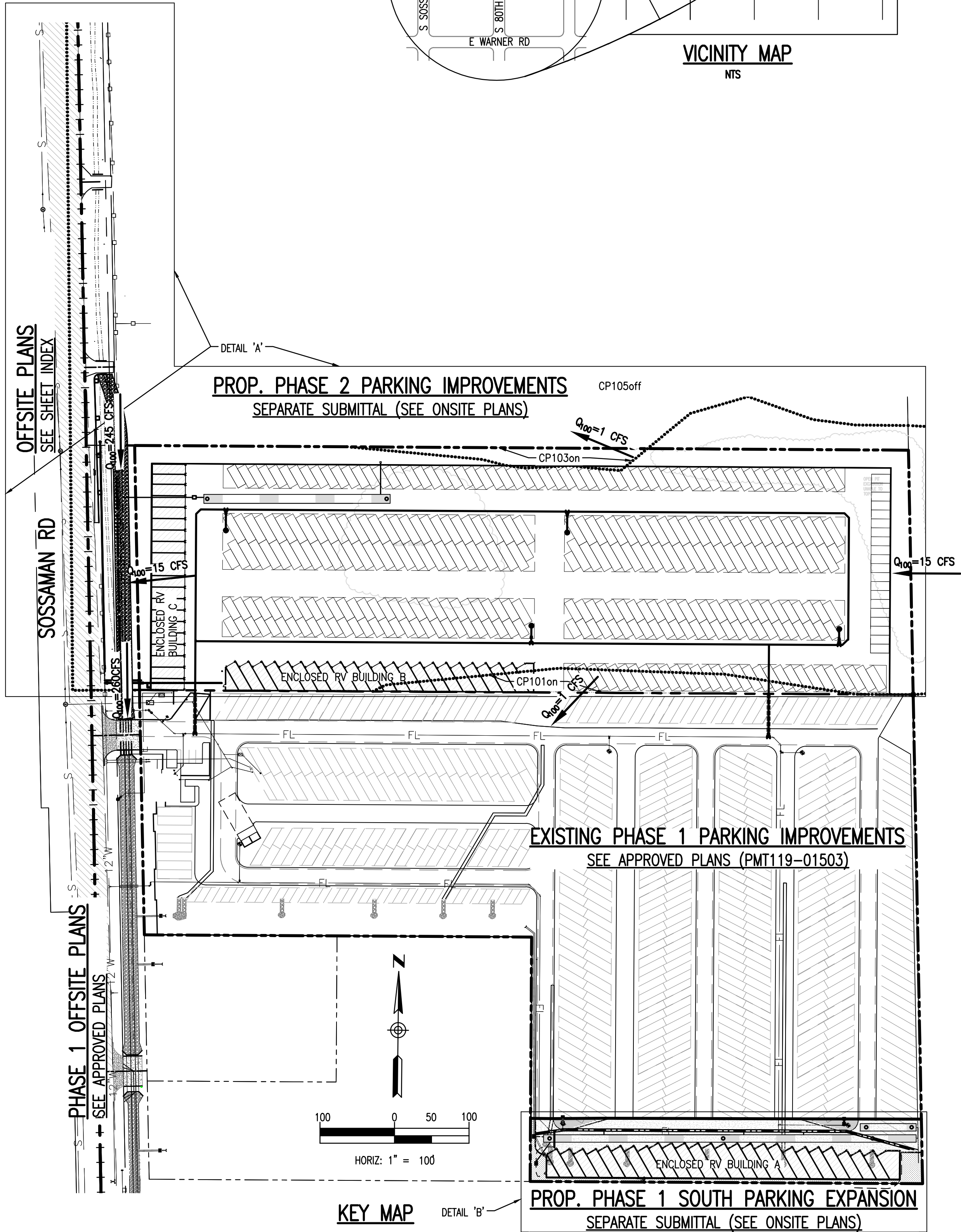
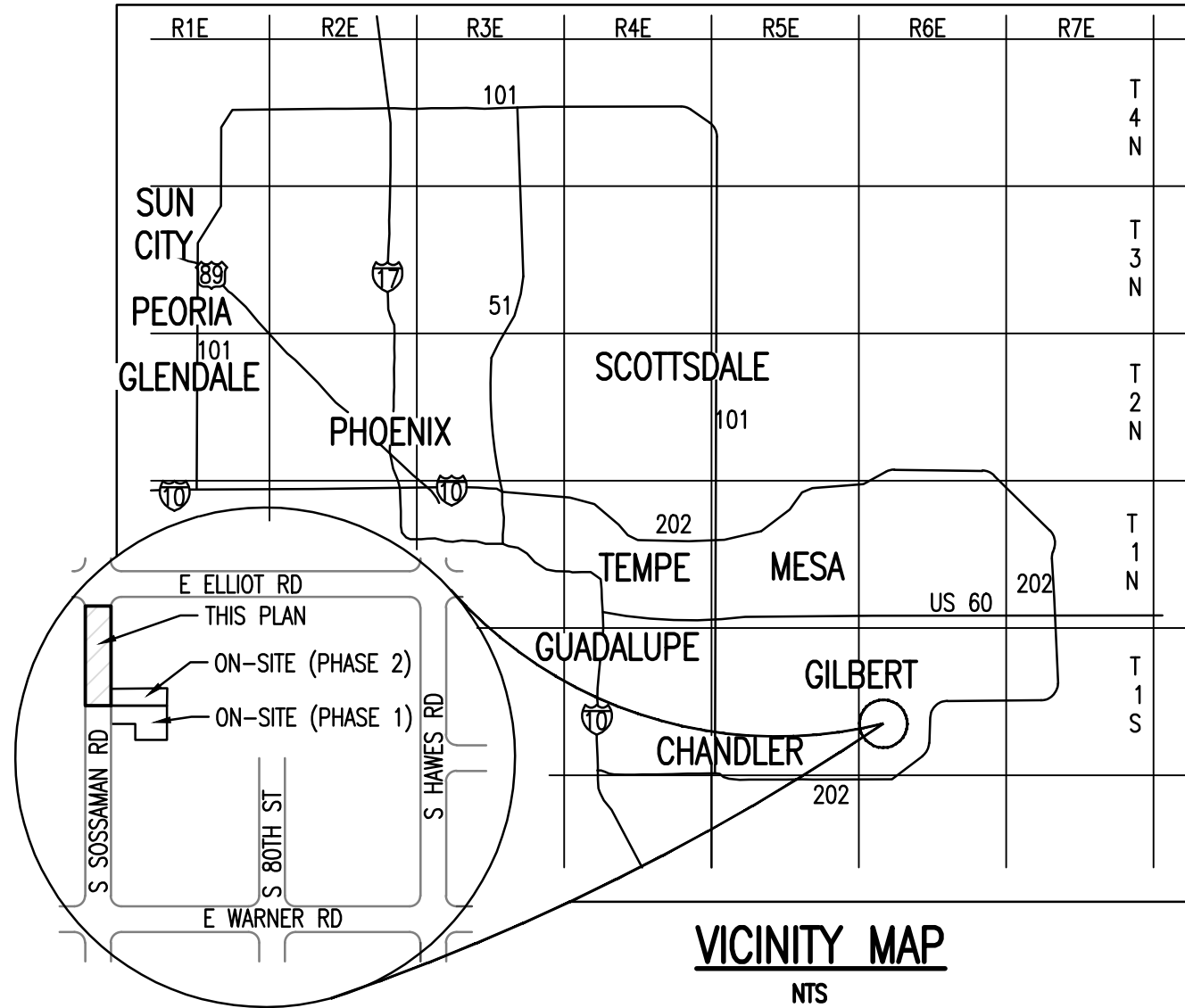
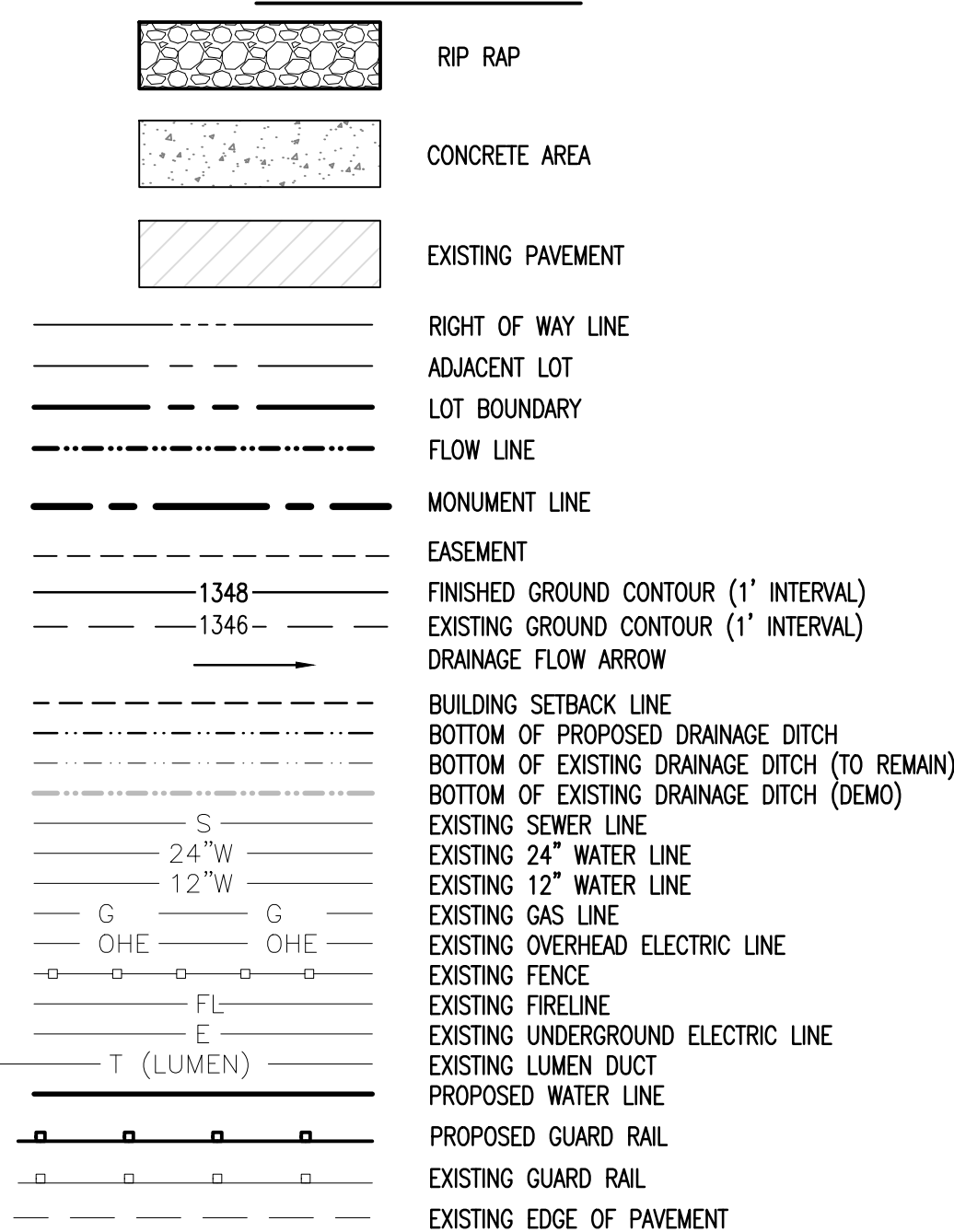
ABBREVIATIONS LIST

APN ASSESSOR PARCEL NUMBER
ABC AGGREGATE BASE COURSE
BVC BACK OF VERTICAL CURB
C CONCRETE
CF,CU,FT CUBIC FEET
COM CITY OF MESA
EX EXISTING
FFE FINISHED FLOOR ELEVATION
FL FLOW LINE
G GUTTER
IE INVERT ELEVATION
LF LINEAR FOOT
MCR MARICOPA COUNTY RECORDER
P PAVEMENT
PL PROPERTY LINE
ROW RIGHT OF WAY
SD STORM DRAIN
SF SQUARE FEET
TBM TEMPORARY BENCH MARK
TC TOP OF CURB
YR YEAR

SHEET INDEX

C801 - OFFSITE COVER SHEET
C802 - OFFSITE GENERAL NOTES
C803 - OFFSITE GRADING AND DRAINAGE PLAN
C806 - WATER PLAN

LEGEND OF SYMBOLS



REVISIONS:

NPS MARICOPA INC.

AN ARIZONA NONPROFIT CORPORATION

859 N LAFAYETTE

MESA, ARIZONA 85201

(480) 201-5476

TOM.HAWS@GMAIL.COM

OFFSITE COVER SHEET

PROJECT: WIFE STORAGE -PHASE 1 SOUTH PARKING EXPANSION
AND PHASE 2 PARKING IMPROVEMENTS

3815 S SOSSAMAN RD, MESA, AZ 85212

811

Know what's below.
Call before you dig.

Digitally signed per 30503 "THOMAS GAIL HAWS" Date: 2022.06.20 15:11:11 -0700

JOB NO.
M21140

DRAWN BY: SWN

SHEET NO.
C801

P:\M21140-HWS\2-Work\Phase1-and-Phase2-Expansion\Phase-2\Construction-plans\ROW-Plans\HWS-Phase-2-ROW-Civil.dwg SAMUEL 2022-07-22 13:22:32

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND DETAILS FOR THE CITY OF MESA. ALL WORK AND MATERIALS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE PERMIT SERVICES SECTION OF THE BUILDING SAFETY DIVISION AT (480) 644-4BSD OR AT [HTTP://WWW.MESAAZ.GOV/DEV/SUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaz.gov/dev/sustain/constructionpermits.aspx)
3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
4. TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING CONSTRUCTION SERVICES AT (480) 644-2253 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR. FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE, SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
5. CONTRACTOR'S SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
6. THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
7. THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
8. THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY OR EASEMENT HAVE BEEN CORRECTLY PLOTTED/SHOWN.
9. THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE ENGINEERING DEPARTMENT - CONSTRUCTION SERVICES SECTION.
10. THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
11. THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
12. THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
13. THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL (602)263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
14. WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
15. CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
16. IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
17. IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE ENGINEERING CONSTRUCTION INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.

1. THE DEVELOPER AND THE CONTRACTOR ARE REQUIRED TO COORDINATE THE PLACEMENT OR INSTALLATION OF DRIVEWAYS IN ORDER TO AVOID CONFLICT WITH UTILITY SERVICES.
2. ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., SHALL BE INSTALLED TO FINISH GRADE OR SHALL BE ADJUSTED TO FINISH GRADE AFTER PLACING OF ASPHALTIC SURFACE COURSE BY THE CONTRACTOR PER M.A.G. STANDARD DETAIL 270 AND 422.
3. THE CONTRACTOR SHALL ADJUST ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC. THAT ARE LOCATED WITHIN THE PARKWAY AREA AFTER FINAL GRADING AND INSTALLATION OF LANDSCAPING.
4. ALL LANDSCAPING IMPROVEMENTS, INCLUDING IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR RETENTION BASINS THAT ARE TO BE MAINTAINED BY THE CITY OF MESA, SHALL BE IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION STANDARDS BOOKLET.
5. THE STREET PAVING PERMITEE/CONTRACTOR IS HEREBY NOTIFIED THAT IN THE EVENT THAT ACCEPTANCE OF THE PUBLIC STREET PAVING IS DELAYED; SIX MONTHS OR MORE AFTER THE PAVEMENT WAS INSTALLED, THE PERMITEE/CONTRACTOR SHALL APPLY A SEAL COAT TO THE PAVEMENT. TYPE OF MATERIAL AND RATE OF APPLICATION WILL BE DIRECTED BY THE CITY OF MESA ENGINEERING DEPARTMENT – FIELD SUPERVISING ENGINEER.
6. A STANDARD RESIDENTIAL DRIVEWAY APPROACH SHALL BE CONSTRUCTED TO A MAXIMUM WIDTH OF 30 FEET UNLESS SPECIAL APPROVAL HAS BEEN OBTAINED.

1. WATER LINE AND FITTINGS SHALL HAVE NSF-PW SEAL.
2. CONSTRUCTION MATERIALS USED IN THE WATER SYSTEM SHALL BE LEAD FREE AS DEFINED AT A.A.C. R18-4-504 AND A.A.C. R18-4-101.
3. BACKFLOW PREVENTION ASSEMBLY SHALL MEET A.A.C. R18-4-115.
4. MINIMUM DEPTH OF COVER OVER WATER LINES SHALL BE 3 FEET.
5. UNIFORM SLOPE TESTING OF TOTAL LENGTH OF SEWER LINE IS REQUIRED PER AAC R18-9-E301(D)(2)(K).

1. ALL PUBLIC WATER MAIN MATERIALS SHALL BE PER SECTION 610.3 OF THE M.A.G. UNIFORM STANDARD SPECIFICATIONS, ALL DUCTILE IRON PIPE (D.I.P.) WATER MAINS SHALL HAVE POLYETHYLENE CORROSION PROTECTION PER SECTION 610.5 OF THE M.A.G. UNIFORM STANDARD SPECIFICATIONS.
2. ALL NEW WATERLINES THAT REQUIRE SERVICE DISRUPTION IN ORDER TO CONNECT TO THE CITY SYSTEM SHALL REQUIRE A DAYTIME TIE-IN. THE CONTRACTOR SHALL COMPLETE ALL WORK NECESSARY TO RESTORE UTILITY SERVICE AND FULLY OPEN THE TIE-IN AREA TO VEHICULAR TRAFFIC WITHIN THE TIME FRAME ALLOWED BY THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR.
3. THE CONTRACTOR SHALL INSTALL A TEMPORARY PLUG OR VALVE ON A SECTION OF NEW WATER LINE TO TEST LINES BEFORE CONNECTING TO THE EXISTING PUBLIC WATER SYSTEM WHERE THERE IS NO WATER VALVE ON THE EXISTING LINE.
4. WATER LINE TESTS SHALL BE CONDUCTED SO THAT EXISTING WATER LINES WILL NOT BE INCLUDED IN THE TEST OF THE NEW LINE.
5. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE A MANUFACTURER AND MODEL DESIGNATED IN THE CURRENT "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES" AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
6. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA "LIST OF APPROVED INSPECTORS" PRIOR TO THE REQUEST FOR FINAL INSPECTION.
7. IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1, 1993, WHICH MAY COME INTO CONTACT WITH DRINKING WATER, SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.
8. PER CITY ORDINANCE NO. 2341, ALL WATER METERS ARE TO BE PURCHASED FROM THE CITY OF MESA. METERS TWO INCHES OR LESS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS LARGER THAN TWO INCHES WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES (CONTACT BUILDING SAFETY - PERMIT SERVICES (480)- 644-48SD FOR THE SPECIFIC PROCEDURE).

1. CONTRACTORS SHALL VERIFY ALL INVERT ELEVATIONS BEFORE PROCEEDING WITH THE BALANCE OF THE UTILITY TRENCHING.
2. ALL MANHOLES PER M.A.G. DETAILS MUST NECK DOWN TO USE THE STANDARD 30INCH FRAME AND COVER. STEPS SHALL NOT BE INSTALLED WITHIN THE MANHOLE.

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE MOST CURRENT CITY OF MESA GAS OPERATIONS, MAINTENANCE, EMERGENCY RESPONSE AND CONSTRUCTION PRACTICE MANUAL.
2. WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
3. BEDDING OR SHADING MATERIAL ADJACENT TO THE CITY OF MESA GAS PIPE SHALL BE SELECT SANDY TYPE SOIL FREE OF ROCK AND DEBRIS THAT WILL PASS THROUGH A 3/8" SCREEN AS INSPECTED AND APPROVED BY CITY GAS INSPECTION PERSONNEL.
4. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AS INDICATED ON THE CITY OF MESA DETAIL M-58 WHEN TRENCHING FOR THE WATERLINE WHERE A GAS MAIN IS TO BE INSTALLED IN THE SAME TRENCH.
5. CONTACT CITY OF MESA GAS DIVISION AT 480-644-2753 FOR SCHEDULING AND COORDINATION OF THE INSTALLATION OF NATURAL GAS SERVICES AND MAINS.
6. GAS LINE SHALL MAINTAIN A NOMINAL 12" (MINIMUM OF 8") SEPARATION FROM EXISTING WATER, SEWER, ELECTRICAL, CABLE TV AND TELCO FACILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CALL (602) 263-1100 FOR BLUE STAKES. OUTSIDE MARICOPA COUNTY CALL 1-800-STAKEIT.
8. ALL GAS NOTES IN DASHED BOXES ARE TO BE COMPLETED BY CITY OF MESA CREWS OR CITY OF MESA GAS LINE CONTRACTOR.

EL PASO NATURAL GAS:

1. THE CONTRACTOR SHALL NOTIFY EL PASO NATURAL GAS (602) 967-1686 48 HOURS PRIOR TO COMMENCING CONSTRUCTION IN THE VICINITY OF EL PASO NATURAL GAS RIGHT-OF-WAY.

MARICOPA COUNTY:

1. ALL CONSTRUCTION WITHIN MARICOPA COUNTY RIGHT-OF-WAY SHALL CONFORM TO CURRENT MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION STANDARD PROVISIONS FOR CONSTRUCTION OF STREET IMPROVEMENTS AND INSTALLATION OF UNDERGROUND UTILITIES.
2. CONTRACTORS ARE TO OBTAIN ALL NECESSARY MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION PERMITS PRIOR TO CONSTRUCTION WITHIN MARICOPA COUNTY RIGHT-OF-WAY.

ROOSEVELT WATER CONSERVATION DISTRICT (RWCD):

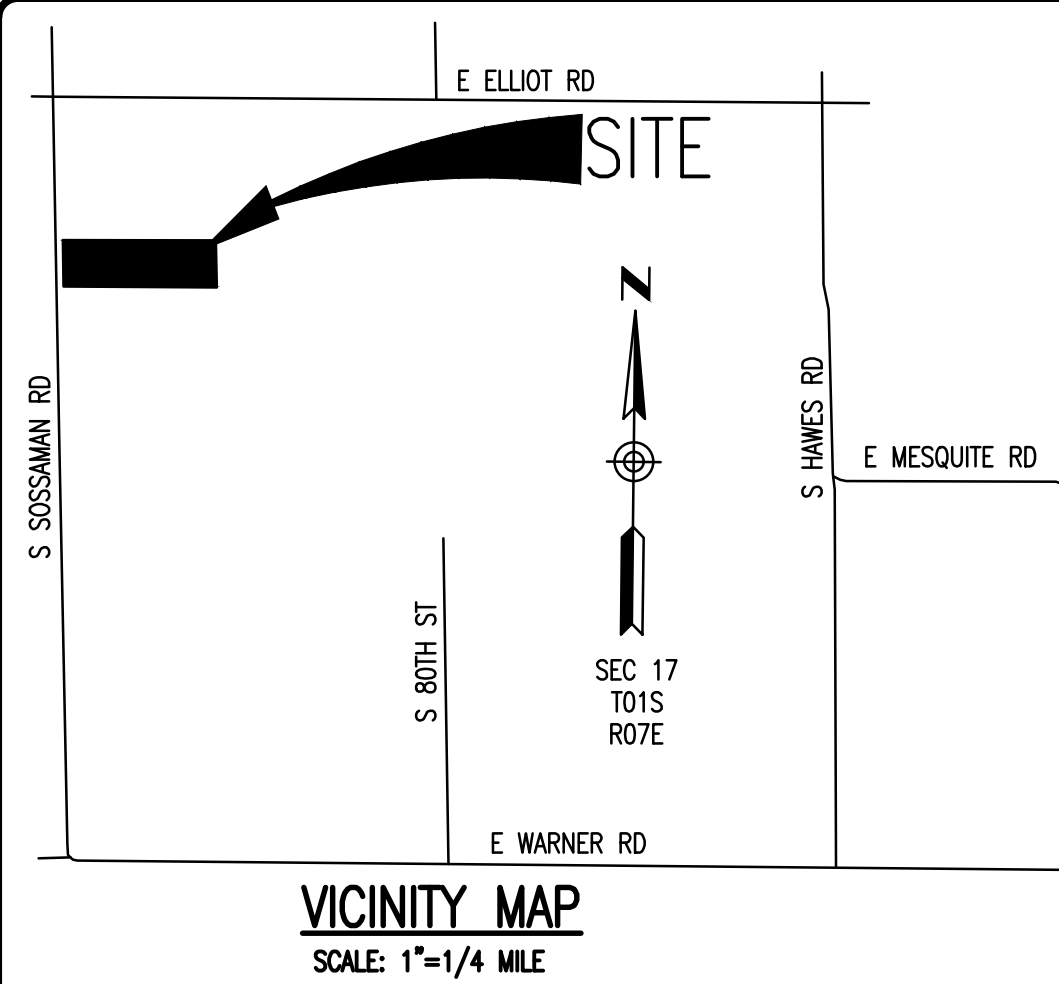
1. THE ENGINEER, OR LAND SURVEYOR SHALL CERTIFY THAT THE REQUIRED STORM WATER RETENTION HAS BEEN PROVIDED. THE CERTIFICATION SHALL ALSO INDICATE THE ACTUAL VOLUME PROVIDED. SUCH CERTIFICATION SHALL BE PROVIDED TO BUILDING SAFETY DIVISION – BUILDING INSPECTIONS WHEN THE RETENTION AREA IS TO REMAIN PRIVATE PROPERTY AND TO ENGINEERING CONSTRUCTION SERVICES WHEN THE RETENTION AREA IS TO BECOME CITY OF MESA PROPERTY.
2. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER IN A 36 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL–SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL. IN ACCORDANCE WITH ARIZONA REVISED STATUTES, DRYWELLS ARE REQUIRED TO BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) IT IS THE OWNER'S RESPONSIBILITY TO REGISTER ALL DRYWELLS. AN AQUIFER PROTECTION PERMIT MAY BE REQUIRED BY A.D.E.Q. FOR DRYWELLS DEEMED TO BE HAZARDOUS TO GROUNDWATER.

1. STREET LIGHT CONDUITS SHOULD BE INSTALLED PRIOR TO DRIVEWAY INSTALLATIONS. IF STREETLIGHT CONDUIT IS INSTALLED AFTER DRIVEWAY INSTALLATION, CONTRACTOR OR SHALL BORE CONDUIT UNDER THE DRIVEWAY PER CITY OF MESA DETAIL M-18. MEANDERING THE CONDUIT BEHIND THE DRIVEWAY ENTRANCE WILL NOT BE PERMITTED.
2. MATERIALS AND INSTALLATION OF THIS PROJECT SHALL COMPLY WITH THE CURRENT MESA STANDARD DETAILS, AMENDMENTS TO THE UNIFORM STANDARD DETAILS, THE CITY OF MESA ENGINEERING PROCEDURE MANUAL AND AMENDMENTS TO THE CITY OF MESA ENGINEERING PROCEDURE MANUAL.
3. THE CONTRACTOR SHALL HAVE AT LEAST AN IMSA-CERTIFIED LEVEL I (1) STREET LIGHT TECHNICIAN OR AN IMSA LEVEL I (1) TRAFFIC SIGNAL TECHNICIAN ON SITE DURING ALL PHASES OF ANY STREET LIGHT WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF THIS CERTIFICATION. IF A JOB SITE IS INSPECTED AND NO TECHNICIAN IS PRESENT ON SITE, ANY WORK ASSOCIATED WITH THE STREET LIGHTS WILL BE SUSPENDED.
4. ALL TREES SHALL BE PLANTED A MINIMUM OF EIGHTEEN (18) FEET FROM STREET LIGHT POLES AND LIGHTING CONTROL CABINETS. ALL SHRUBS SHALL BE PLANTED A MINIMUM OF SEVEN (7) FEET FROM STREET LIGHT POLES AND LIGHTING CONTROL CABINETS.
5. ALL CONDUIT, CONDUCTORS, WIRE, AND QUANTITIES SHALL BE MEASURED BY THE LINEAR FOOT HORIZONTALLY BETWEEN POLES, PULL BOXES AND CONTROL CABINETS. NO ADDITIONAL PAYMENT WILL BE MADE FOR SWEEPS AND VERTICAL RUNS, AS THEY SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND INCLUDED IN THE HORIZONTAL MEASUREMENT OF THE QUANTITIES.
6. CONDUITS SHOULD BE INSTALLED PRIOR TO DRIVEWAY INSTALLATIONS. IF CONDUIT IS INSTALLED AFTER DRIVEWAY INSTALLATION, THE CONTRACTOR SHALL BORE UNDER THE DRIVEWAY, PER (M-18), FOR CONDUIT INSTALLATION. MEANDERING THE CONDUIT BEHIND THE ENTRANCE WILL NOT BE ALLOWED.
7. NOTE: THE LOCATION OF THE TRAFFIC SIGNAL FIBER OPTIC CONDUIT (TSFO) AS SHOWN IS DRAWN AT AN OFFSET AND IS FOR GRAPHICAL REPRESENTATION ONLY AND SHALL BE INSTALLED IN A JOINT TRENCH WITH THE STREET LIGHT CONDUIT PER COM DETAIL (M-93.3 & 93.4).
8. AREAS WHERE 24" OF COVER IS NOT POSSIBLE SEE CHAPTER 9 OF THE CITY OF MESA ENGINEERING & DESIGN STANDARDS: THESE AREAS SHALL BE IDENTIFIED ON PLANS. SUPPLY FULL CONFLICT DATA, INCLUDING TOP OF CURB, SIZE AND MATERIAL OF PIPE, INVERT ETC.
9. TO RETURN SALVAGED STREET LIGHT MATERIALS THE CONTRACTOR SHALL CONTACT THE STREET LIGHT FOREMAN FOR THE AREA THE WORK IS OCCURRING IN. WEST OF VAL VISTA CALL 480-644-3178. EAST OF VAL VISTA CALL 480-644-5077. ARRANGEMENTS TO DELIVER MATERIALS MUST BE MADE A MINIMUM OF 48 HOURS IN ADVANCE. THE CONTRACTOR IS RESPONSIBLE FOR UNLOADING AND STACKING ALL MATERIALS. A CITY OF MESA STAFF MEMBER MUST BE PRESENT WHEN MATERIALS ARE DELIVERED TO GET CREDIT FOR THE SALVAGE MATERIALS.
10. ALL EXISTING CONCRETE DISTURBED OR DAMAGED DURING THE INSTALLATION OR REMOVAL OF STREET LIGHTING SYSTEMS SHALL BE REPLACED IN KIND. THE WORK IS TO BE COORDINATED WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR.
11. ALL EXISTING LANDSCAPE, HARDSCAPE OR SPRINKLER SYSTEMS DISTURBED OR DAMAGED DURING THE INSTALLATION OR REMOVAL OF STREET LIGHTING SYSTEMS SHALL BE REPLACED IN KIND. THE WORK IS TO BE COORDINATED WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR.
12. THE CONTRACTOR IS TO USE UTMOST CAUTION WHILE WORKING AROUND ALL OVERHEAD AND UNDERGROUND UTILITIES. SPECIFICALLY ELECTRIC, GAS, WATER, SEWER AND FIBER OPTIC LINES.

1. CONTRACTORS SHALL CONTACT THE CITY OF MESA TRAFFIC SIGNALS SUPERVISOR (480) 644-3122 PRIOR TO ANY WORK WITHIN THE VICINITY OF OR THROUGH A SIGNALIZED INTERSECTION, WHICH WILL CHANGE TRAFFIC LANE PATTERNS.
2. CONTRACTORS ARE ADVISED THAT DAMAGE TO ANY TRAFFIC SIGNAL EQUIPMENT (DETECTOR LOOPS, PULLBOXES, CONDUIT, ETC.) AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MESA TRAFFIC SIGNALS GROUP. DETECTOR LOOPS SHALL BE REINSTALLED WITHIN TWENTY-FOUR (24) HOURS OF REMOVAL AND PRIOR TO THE PLACEMENT OF THE ASPHALT FINISH COURSE.
3. THE CONTRACTOR SHALL HAVE AT LEAST AN IMSA-CERTIFIED LEVEL II (2) TRAFFIC SIGNAL TECHNICIAN ON SITE DURING ALL PHASES OF ANY TRAFFIC SIGNAL WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF THIS CERTIFICATION. IF A JOB SITE IS INSPECTED AND NO TECHNICIAN IS PRESENT ON SITE, ANY WORK ASSOCIATED WITH THE TRAFFIC SIGNAL WILL BE SUSPENDED.
4. IN TRAFFIC AREAS ADJACENT TO THE TRAFFIC SIGNAL FIBER OPTIC (TSFO) CONDUIT TRENCH WHERE THE 48" DEPTH REQUIRED PER (M-93.3 & M-93.4) CANNOT BE MAINTAINED, IN NON-TRAFFIC AREAS (BACK OF SIDEWALK) IF THE TSFO CONDUIT IS INSTALLED AT A DEPTH OF LESS THAN 36", A 6" SLURRY CURE IS REQUIRED. THE MINIMUM ALLOWABLE DEPTH FOR TSFO CONDUITS IS 24". THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR SHALL BE NOTIFIED 48 HOURS PRIOR TO INSTALLING CONDUITS WHEN ANY VARIATION TO DETAIL (M-93.3 & M-93.4) IS REQUIRED. IF TSFO CONDUIT IS REQUIRED TO MEANDER VERTICALLY OR HORIZONTALLY, NO CONDUIT BEND SHALL EXCEED 45 DEGREES.
5. TSFO CONDUITS SHALL BE INSTALLED 48" DEEP IN A JOINT TRENCH WITH STREET LIGHT CONDUIT PER (M-93.3 & M-93.4).

SHEET NO.
C802

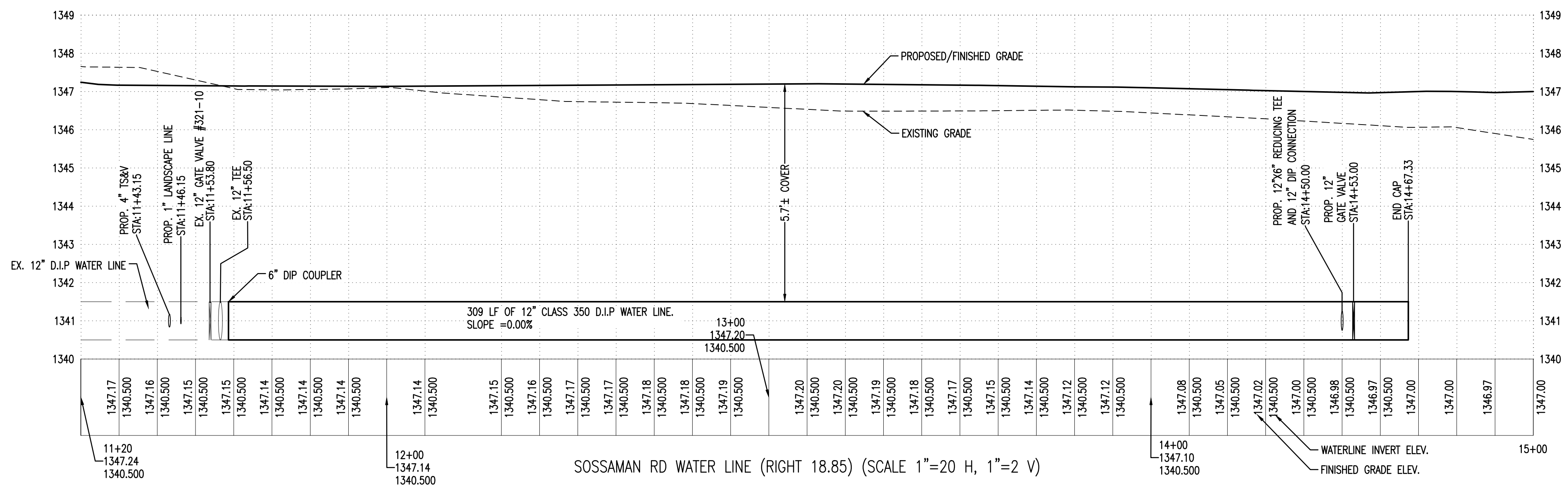
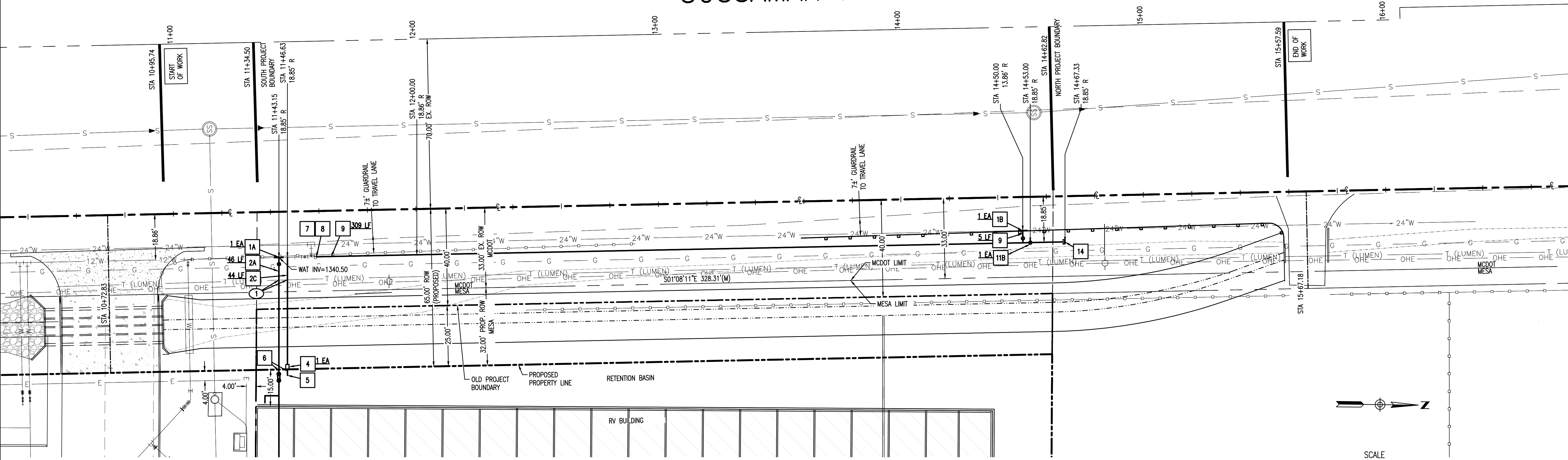
PHASE 2 OFFSITE IMPROVEMENTS PLANS
FOR
HAPPY WIFE STORAGE, MESA, AZ



WATER NOTES

| | | |
|----|---|-------|
| 1A | 12"x4" TAPPING SLEEVE AND VALVE PER MAG DETAIL 340 | 1 EA |
| 1B | 24"x12" TAPPING SLEEVE AND VALVE PER MAG DETAIL 340 (FIELD VERIFY LOCATION OF THE EXISTING 24" WATERLINE OFFSET FROM MONUMENT LINE) | 1 EA |
| 2A | 4" D.I.P. CLASS 350 WATERLINE PIPE WITH POLY WRAP. | 46 LF |
| 2C | 1" SERVICE LINE FOR LANDSCAPE | 44 LF |
| 4 | 1" SERVICE TAP PER COM M-49.01 & M-49.02 AND 1" METER BOX FOR LANDSCAPE PER COM DTL M-29. (METER TO BE INSTALLED BY CITY WHEN PERMITTED). | 1 EA |
| 5 | SEE LANDSCAPE PLANS FOR CONTINUATION | |
| 6 | SEE ON-SITE PLANS FOR CONTINUATION | |
| 7 | REMOVE AND SALVAGE EXISTING END CAP | 1 EA |

| | | |
|-------------------|--|--------|
| 8 | 12" D.I.P. CLASS 350 COUPLER | 1 EA |
| 9 | 12" D.I.P. CLASS 350 WATERLINE PIPE WITH POLY WRAP, BEDDING PER C.O.M. STD DTL M19.05, 48" TYPICAL COVER, SLURRY TRENCH BACKFILL PER GENERAL NOTE #14 ON CIVIL SHEET C002. | 314 LF |
| 11B | 12" D.I.P. VALVE BOX AND COVER PER MAG STD DTL 391-1. | 1 EA |
| 14 | 12" D.I.P. END CAP. | 1 EA |
| UTILITY CROSSINGS | | |
| 1 | WATERLINE AND LUMEN DUCT CROSSING. VERIFY LUMEN DUCT LOCATION AND PROTECT IN PLACE. ADJUST WATERLINE AS NECESSARY TO AVOID CONFLICT. MAINTAIN 12" VERTICAL SEPARATION. | 1 EA |



NPS MARICOPA INC.
AN ARIZONA NONPROFIT CORPORATION
859 N LAFAYETTE
MESA, ARIZONA 85201
(480) 201-5476
TOM.HAWES@GMAIL.COM

OFFSITE WATER PLAN
PROJECT: WIFE STORAGE -PHASE 1 SOUTH PARKING EXPANSION
AND PHASE 2 PARKING IMPROVEMENTS
3815 S SOSSAMAN RD, MESA, AZ 85212

811
Know what's below.
Call before you dig.

Digitally
per
Professional Engineer
30503
THOMAS GAIL
HAWES
State of
Arizona U.S.A.

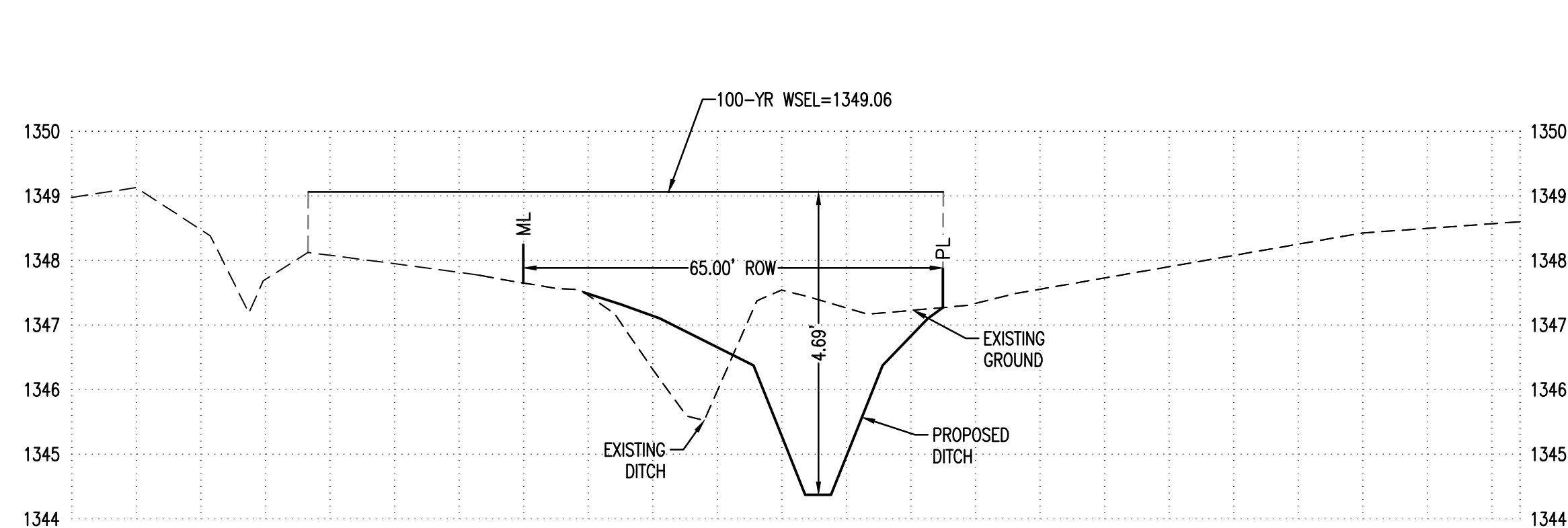
JOB NO.
M21140
DRAWN BY: SWN
SHEET NO.
C806

P:\M21140-HWS\2-Work\Phase1-and-Phase2-Expansion\Phase-2\Construction-plans\ROW-Plans\HWS-Phase-2-ROW-Civil.dwg, SAMUEL 2022-07-22 1:35:58

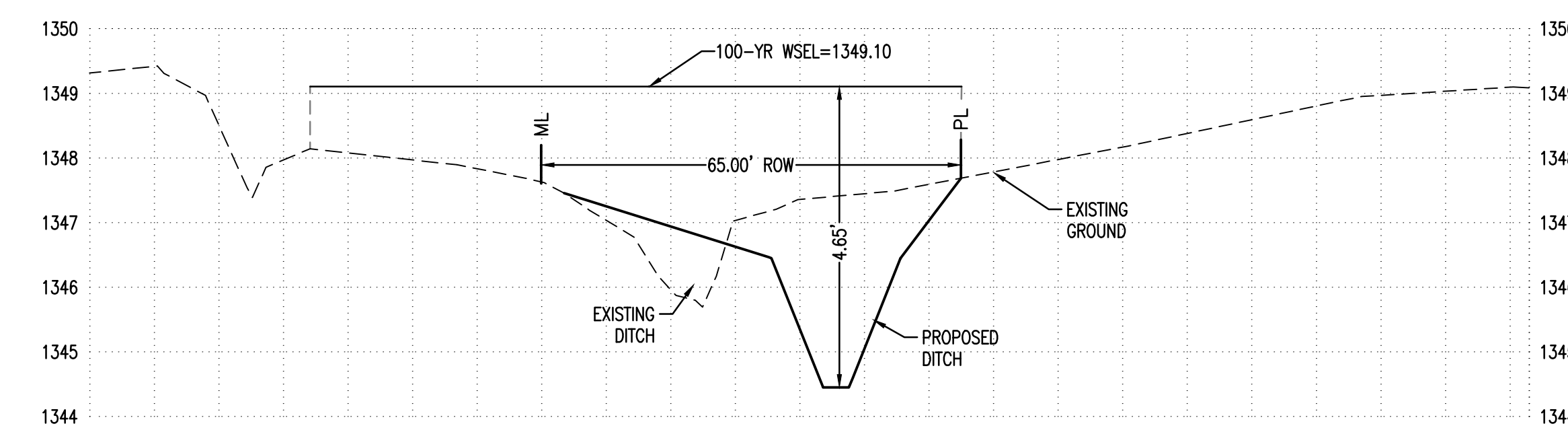
PHASE 2 OFFSITE IMPROVEMENTS PLANS FOR HAPPY WIFE STORAGE, MESA, AZ

GRADING, DRAINAGE AND PAVING NOTES

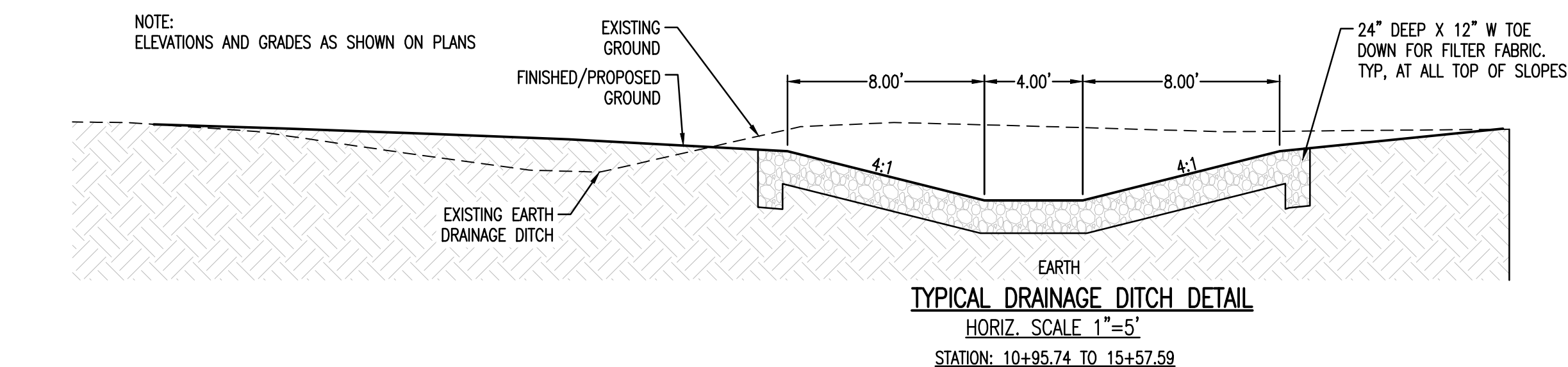
- 1 EXISTING PAVEMENT, STRIPING CONDITIONS AND PAVEMENT MARKINGS TO REMAIN. 2 EA
- 2 EXISTING DRIVEWAY. TO REMAIN. 2 EA
- 4 EXISTING POWER POLE. TO REMAIN. 2 EA
- 5 REMOVE AND SALVAGE EXISTING RIP RAP TO BE REUSED FOR THE PROPOSED DITCH. 388 SY
- 6 475' FT LONG IMPROVED DRAINAGE CHANNEL. INSTALL LINING AT THE BOTTOM OF THE CHANNEL AND TO SIDES SLOPES UP TO THE EXISTING GROUND. SIZE NOTED. SHALL CONSIST OF TWO LAYERS OF SOIL PROTECTION (RIPRAP AND FILTER). ROCK SHALL BE ANGULAR AND SHALL COMPLY WITH MAG SPEC 703, WHICH GOVERNS ROCK SPECIFIC GRAVITY, SHAPE, SIZE, AND STRENGTH. SIZE OF ROCK SHALL VARY UNIFORMLY AT ALL LOCATIONS BETWEEN 0.5 * D50 AND 1.5 * D50, WITH 15% OF ROCK BEING 1.5 * D50 OR LARGER, 50% OF ROCK BEING SMALLER THAN D50, AND 15% OF ROCK BEING SMALLER THAN 0.5 * D50. THICKNESS OF RIPRAP LAYER SHALL BE AT LEAST EQUAL TO MAXIMUM ROCK SIZE (1.5 * D50). TO PROTECT THE SUBGRADE FROM ERODING THROUGH THE RIPRAP LAYER, RIPRAP SHALL BE UNDERLAIN WITH NON-WOVEN GEOTEXTILE FABRIC OR A FILTER LAYER THAT ALSO MEETS THE REQUIREMENTS FILTER LAYER D50 SHALL BE 0.2 * RIPRAP D50. THICKNESS OF FILTER LAYER SHALL BE AT LEAST 0.5 * RIPRAP D50. 1051 SY
- 7A SEE ON-SITE PLANS FOR CONTINUATION
- 7B 8" BLEED-OFF PIPE. LENGTH AND SLOPES PER PLAN. 17 LF
- 7C BLEED-OFF PIPE OUTFALL.
- 8A STANDARD GUARDRAIL. 205 LF
- 8B MASH COMPLIANT MGS END TERMINAL PER DETAIL 3107 (TEST LEVEL NO. 2, TL2) PER MCDOT SUPPLEMENT TO MAG STANDARD UNIFORM STANDARD SPECIFICATIONS AND DETAILS 3000 AND 3100 SERIES AND APPROVED MATERIAL LIST. 1 EA
- 9 REMOVE EXISTING FENCE. 218 LF



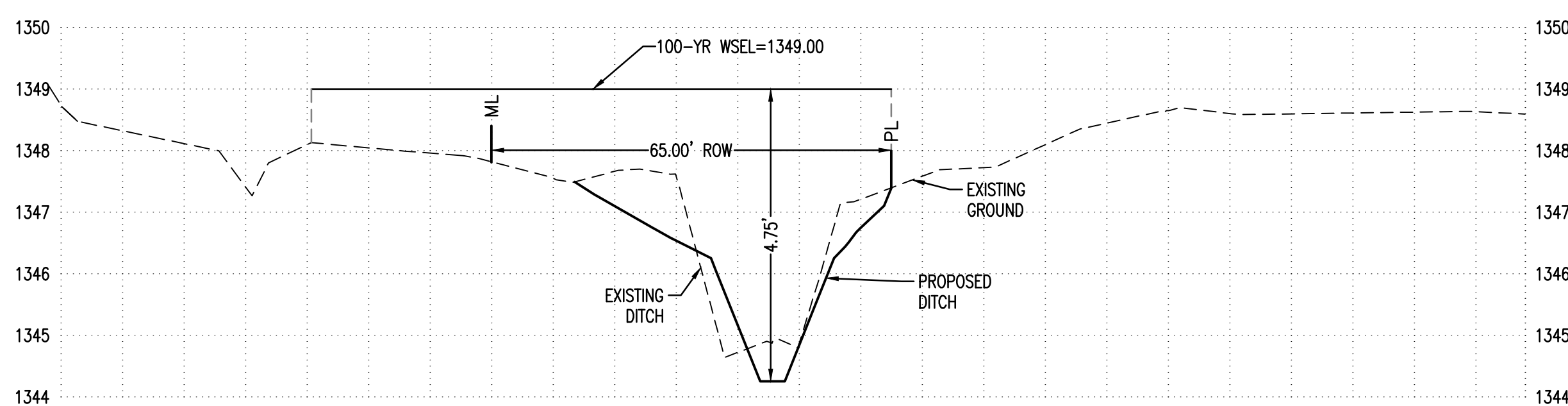
SECTION A-A (SCALE 1"=20 H, 1"=2 V)



DITCH CROSS-SECTION AT THE NORTH PL (SCALE 1"=20 H, 1"=2 V)

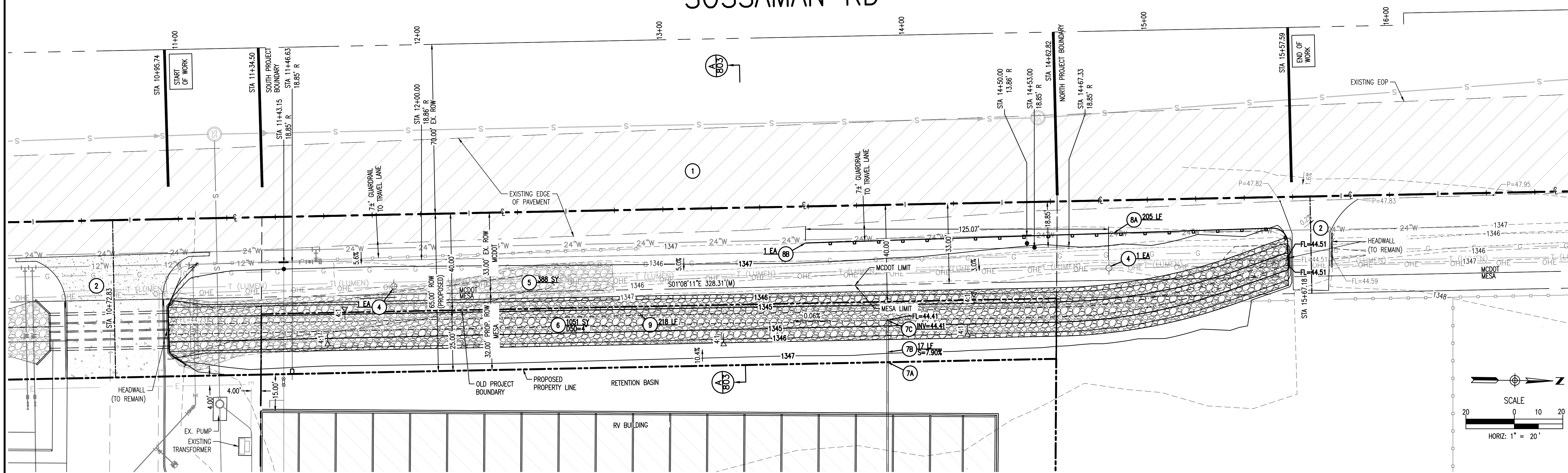


TYPICAL DRAINAGE DITCH DETAIL
HORIZ. SCALE 1"=5'
STATION: 10+95.74 TO 15+57.59



DITCH CROSS-SECTION AT THE SOUTH PL (SCALE 1"=20 H, 1"=2 V)

SOSSAMAN RD



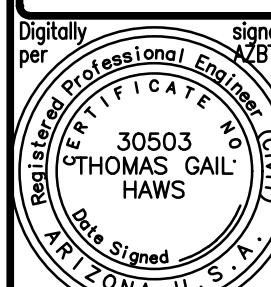
REVISIONS:

NPS MARICOPA INC.

AN ARIZONA NONPROFIT CORPORATION
859 N LAFAYETTE
MESA, ARIZONA 85201
(480) 201-5476
TOM.HAWS@GMAIL.COM

PAVING PLAN

PROJECT: HAPPY WIFE STORAGE -PHASE 1 SOUTH PARKING EXPANSION
AND PHASE 2 PARKING IMPROVEMENTS
3815 S SOSSAMAN RD., MESA, AZ 85212



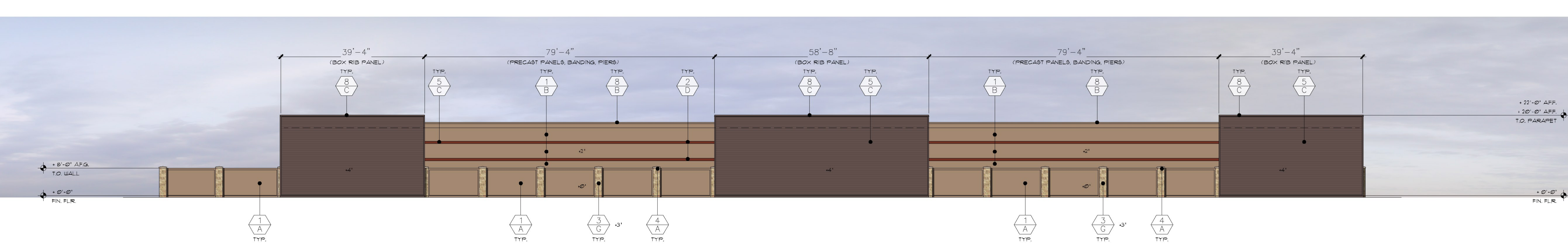
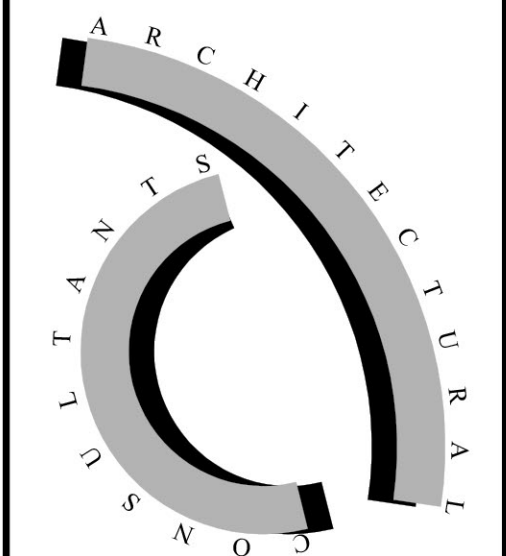
JOB NO.

M21140

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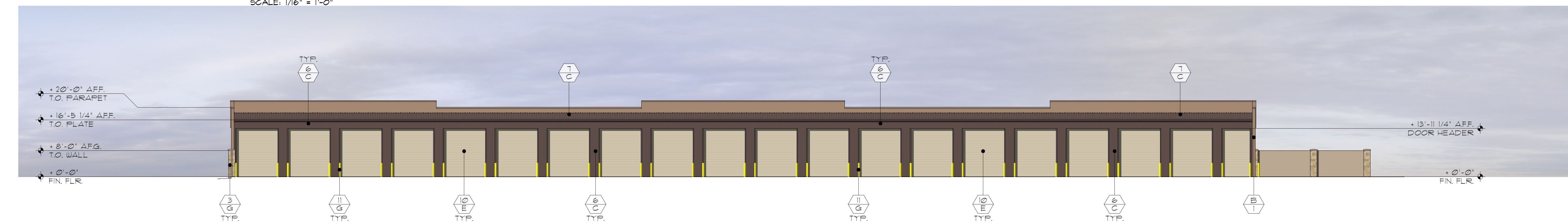
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C803

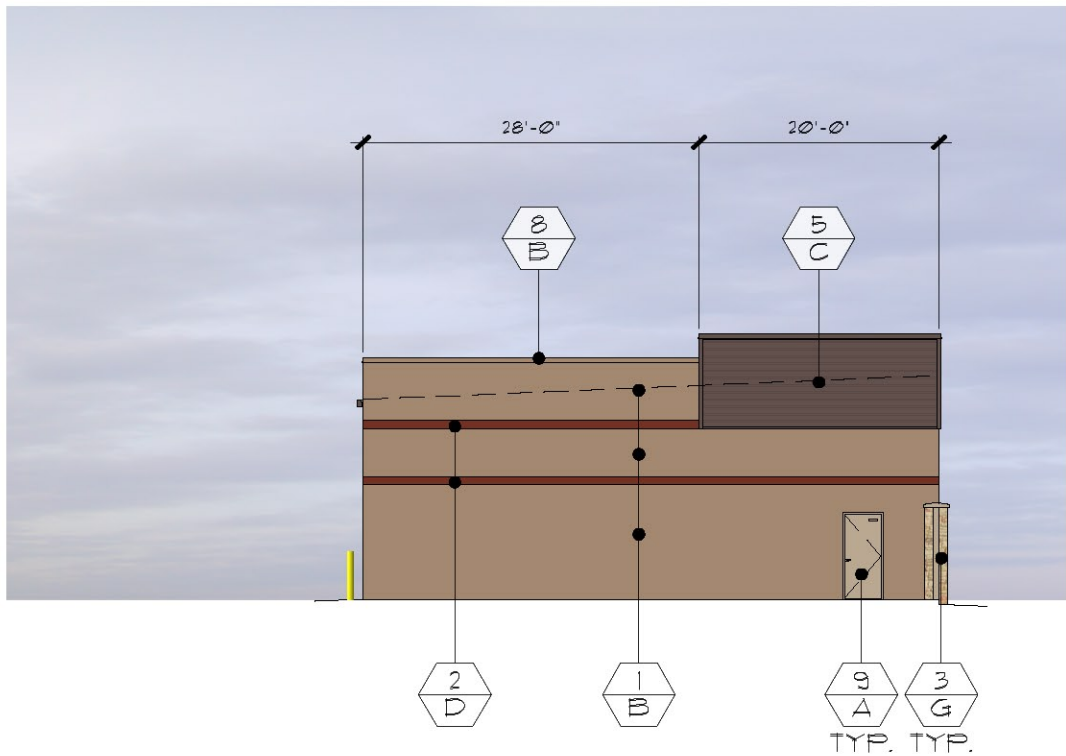


BUILDING 'C' - WEST SIDE ELEVATION
SCALE: 1/16" = 1'-0"

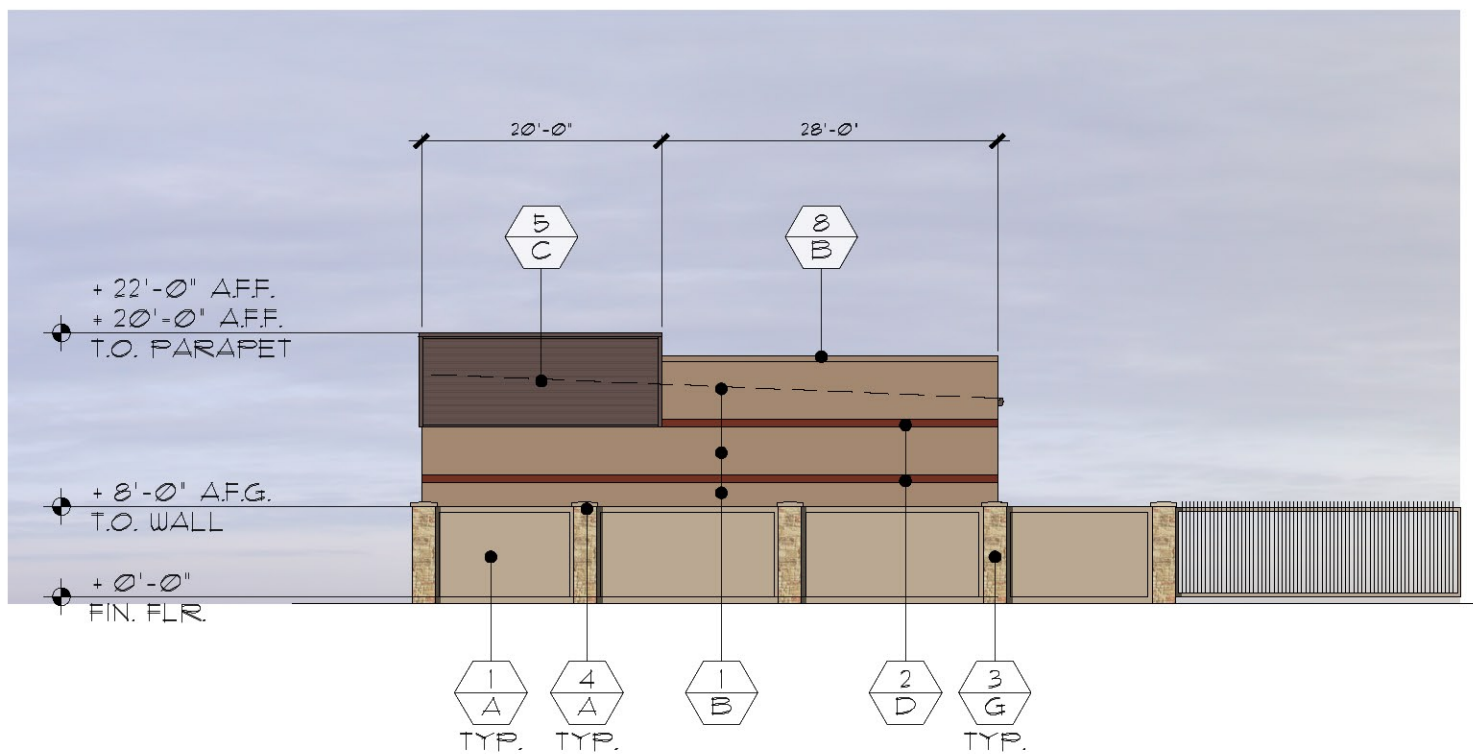
| | | |
|-------------------------------|-------|-------|
| FINISH | S.F. | % |
| PANELS (NEW - ABOVE S) | 1,400 | 24.4 |
| PANELS (NEW - BELOW S) | 1,070 | 17 |
| HORIZONTAL BOX RIB | 3,105 | 48 |
| HORIZONTAL ACCENT BANDS | 211 | 3.2 |
| PIERS WITH STONE VENEER (NEW) | 160 | 2.4 |
| TOTAL | 6,446 | 100.0 |



BUILDING 'C' - EAST SIDE ELEVATION
SCALE: 1/16" = 1'-0"



BLDG. 'C' - NORTH SIDE ELEV.
SCALE: 1/16" = 1'-0"



BLDG. 'C' - SOUTH SIDE ELEV.
SCALE: 1/16" = 1'-0"

| MATERIAL SCHEDULE | |
|--|--|
| MATERIALS | COLORS |
| 1. SMOOTH FINISHED, PRE-CAST CONCRETE PANEL | A. ANTLER VELVET, SW9111, 205-C3 |
| 2. SCORED/FORMED CONCRETE FINISHED PANEL | B. DOUBLE LATTE, SW9108, 204 |
| 3. PRE-CAST CONCRETE PIER | C. TUDOR BROWN (McELROY METAL) |
| 4. PRE-CAST CONCRETE PIER CAP | D. ROYCROFT COPPER RED, SW2839, 312 |
| 5. McELROY METAL MEGA RIB PANEL (HORIZ.) | E. LIGHT STONE (JANUS) |
| 6. McELROY METAL MULTI-COR PANEL (VERT.) | F. CLEAR ANODIZED (ARCADIA) |
| 7. 'McELROY METAL' STANDING SEAM METAL ROOF PANELS | G. STONE VENEER (EXISTING or MATCH EXISTING) |
| 8. METAL PARAPET COPING | H. VIN-L-STRIPE YELLOW (DUNN EDWARDS) |
| 9. 3'W x 7'h HM. DOOR AND FRAME | |
| 10. 'JANUS' STEEL COILING OVERHEAD DOOR | |
| 11. CONCRETE-FILLED STEEL BOLLARD | |
| | ALL PAINTS TO BE SHERWIN WILLIAMS OR EQUAL. |

Citizen Participation Plan for Happy Wife Storage

Date: June 20, 2022

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor, associations, agencies. Schools and businesses in the vicinity of the site of an application for Happy Wife Storage. This site is located at 3815 S. Sossaman Road southeast of the corner of Elliot & Sossaman Streets and is an application for an expansion of our existing RV, Boat & Trailer storage facility. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Timothy Quigley

3815 S. Sossaman Road

Mesa, AZ 85212

(480) 900-6500

email: tim@happywifestorage.com

Pre-application Meeting: The pre-application meeting with City of Mesa planning staff was held on May 3rd, 2022. Staff reviewed the application and recommended that adjacent residents, Mesa School District and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - All registered neighborhood associations within one mile of the project.
 - Homeowners Associations within one half mile of the project.
 - Interested neighbors -focused on 1.000 feet from site, but may include more
 - Mesa Public School District in writing, who may be affected by this application.

2. Presentations will be made to groups of citizens or neighborhood associations upon request. [All materials such as sign-in lists, comments, and petitions received are copied to the City of Mesa]

Schedule:

Pre-Submittal meeting – May 3, 2022

Initial phone calls and door to door visits done - TBD

First neighborhood meeting - TBD

Application Submittal -TBD

Second neighborhood meeting -TBD

Submittal of Citizen Participation Report and Notification materials -TBD

Planning and Zoning Board Hearing - TBD

Citizen Participation Report for Happy Wife Storage

Case Number – ZON22-00682

Date of Report: August 29, 2022

Overview: This report provides results of the implementation of the Citizen Participation Plan for Happy Wife Storage. The site is located within the 3700 to 3900 blocks of South Sossaman Road (east side) 3815 S. Sossaman Road (Parcel 304-30-007Q & 304-30-007M) and is an application for a Rezone from Light Industrial (LI) to Light Industrial with a Planned Area Development overlay (LI-PAD), Council Use Permit (CUP) and site Plan Review.

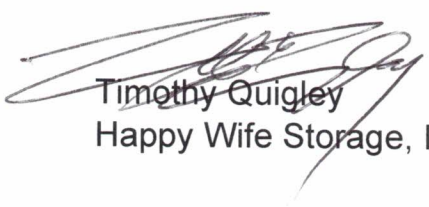
Contact:

Timothy Quigley
3815 S. Sossaman Road
Mesa, AZ 85212
(480) 900-6500
email: tim@happywifestorage.com

Results:

On July 13, 2022, we mailed our Citizen Participation Plan letter to neighbors within 1,000 feet of the site, Homeowners Associations within one half mile of the project and All registered neighborhood associations within one mile of the project. As of August 29, 2022, we haven't received any comments or feedback from the above-mentioned property owners or associations via the telephone, mail, e-mail or in person visits to the site.

Sincerely,



Timothy Quigley
Happy Wife Storage, LLC



NOTICE OF PUBLIC MEETINGS
DESIGN REVIEW BOARD AND PLANNING AND ZONING
CASE NUMBERS – DRB22-00683 & ZON22-00682

Dear Neighbor,

Happy Wife Storage has applied for a Rezone from Light Industrial (LI) to Light Industrial with a Planned Area Development overlay (LI-PAD), Council Use Permit (CUP) and site Plan Review for the property located within the 3700 to 3900 blocks of South Sossaman Road (east side) at 3815 S. Sossaman Road, Mesa, AZ 85212 (Parcel 304-30-007Q & 304-30-007M). This request will allow for the expansion of an existing mini-storage facility with boat and recreational vehicle storage.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at (480) 900-6500 or e-mail me at tim@happywifestorage.com.

The city of Mesa Design Review Board will review the proposal at the public meeting held on **Tuesday, September 13, 2022 at 4:30pm** in the City Council Chambers at 57 East First Street, Mesa, AZ 85201.

The city of Mesa Planning and Zoning will review the proposal at the public meeting held on **Wednesday, September 14, 2022 at 4:00pm** in the City Council Chambers at 57 East First Street, Mesa, AZ 85201.

The public can attend one or both meetings either in-person or electronically and telephonically. The live meetings may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts.**

If you want to provide a written comment or speak telephonically at one or both meetings, please submit an **online comment** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and if not attending the meeting in person you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

3815 S. Sossaman – Mesa, AZ 85212 – (480) 900-6500 – HappyWifeStorage.com



For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to **Sean Pesek** of their Planning Division staff. He can be reached at **480-644-6716** or **Sean.Pesek@mesaaz.gov**, should you have any questions regarding the Design Review or Planning and Zoning public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Timothy E. Quigley, Partner
Happy Wife Storage, LLC

3815 S. Sossaman – Mesa, AZ 85212 – (480) 900-6500 – HappyWifeStorage.com

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 08/29/22

I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON22-00682 Happy Wife Storage Expansions, on s of the SWC Elliot Rd and Sossaman Rd. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: *Meghan Liggett*

SUBSCRIBED AND SWORN before me on 08/29/22

Marybeth Conrad
Notary Public



CITY OF MESA

PUBLIC NOTICE

ZONING HEARING

PLANNING & ZONING BOARD

57 EAST FIRST STREET MESA, ARIZONA

TIME: 4:00 PM DATE: September 14, 2022

CASE: ZON22-00682

REQUEST: Rezone from Light Industrial (LI) to Light Industrial with a Planned Area Development overlay (LI-PAD), Council Use Permit (CUP), and Site Plan Review.

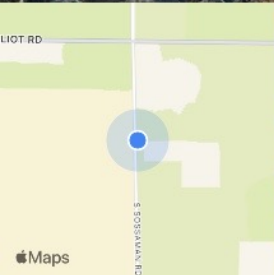
This request will allow for the expansion of an existing mini-storage facility with boat and recreational vehicle storage.

APPLICANT: Happy Wife Storage

PHONE: (480) 900-6500

Planning Division: (480) 644-2385


Posting date: 8/29/2022





Aug 29, 2022 07:42AM
3815 S Sossaman Rd
Maricopa County

[illegible]

?

 The **Layers** tool allows you to turn layers on and off. Each layer has a check box that allows you to easily control its visibility.

 The **Bookmark** tool allows you to store a collection of spatial bookmarks

 The **Draw** tool allows you to draw shapes or add text to the map


 The **Measure** tool allows you to measure the area of a polygon, length of a line, or find the coordinates of a point

The **Feature Information** tool allows you to view feature details in the side panel

Q The **Search By** tool allows you to retrieve data from information you enter in the search parameter or a shape that you define

Hint: The **Clear** button in the results tab of the Search By tool removes the search results layer from the map, the selected features listed in the results tab and sets "What I Know" as the active tab

 The **Basemaps** tool allows you to select different backgrounds for this website

 The **Print** tool allows you to print the current map



Results

500 Feet  [Apply Buffer](#) [Clear Buffer](#)

A. Entirely within the Buffer
B. Within or touching the Buffer

