

**Narrative  
For  
Site Plan Modification  
and Design Review**

Lot 1 Commerce Court II at the Commons

3959 E. Oasis Street

**Applicant:**

Hitchens Associates Architects

Gregory L. Hitchens

**Owner:**

Viewpoint Resort LC

## **Introduction**

This project is located on the southwest corner of Oasis Street and North Norwalk in the Commons Industrial Development. The project consists of 14,767 square feet of site area and will have a new 3,630 square foot office/warehouse building with site improvements. The site is currently approved for a 2,532 square foot office/warehouse building. The property is part of an 8-lot subdivision that was formed in 2005. The subdivision was designed and approved with a shared storm water retention basin for all lots and barrel trash pickup to all lots except Lot 6. Prior to 2005 the property was Lot 2, Unit 1 of the Commons Industrial Park at Falcon view. The 8-lot subdivision has gone through two amendments since its initial inception. These were due to market fluctuations. The applicant has been involved with this development from its origin.

## **Existing Site Conditions**

Lot 1 is currently vacant is essentially graded flat. Both streets are fully improved with sidewalk, curb and gutter along Norwalk and flat ribbon curb along Oasis Circle. Oasis Circle is a private street. Along a portion of the south property line there is an existing 6'-8" high CMU wall. The site is designated Light Industrial zoning.

## **Relationship to Surrounding Properties**

To the north of the site is a vacant lot zoned LI. To the east across North Norwalk, is an office/warehouse building with the property zoned LI. South of the property is an office building complex zoned LI. West of the property is an existing common retention basin.

## **Existing General Plan Designation and Zoning History**

The property is designated in the City of Mesa General Plan as an Employment Character Type and is zoned Light Industrial (LI) PAD. This zoning was established under Zoning Case No. Z05-02 in March of 2005 (Ordinance 4347). A plat was processed to allow for an 8-lot subdivision called Commerce Court II and was recorded on July 28, 2006 (MCR 855-26). In May of 2007, an administrative site plan modification was approved to allow for minor adjustments to building sizes and heights. In July 2019 Administrative Review Case ADMIN19-00144 was approved to modify the site plan and building designs.

There was a prior zoning case associated with this property in 1999, case Z99-099. Z99-099 was created to alleviate a situation that arose between the property owners west of The Commons, across from the RWCD canal and the industrial users of The Commons. In the late 1990's these two developments had some compatibility issues. As a result, the city brought forth zoning case Z99-099 to create some conditions aimed at improving the situation. The primary focus of the case was directed at those lots of the Commons adjacent to the canal. As was mentioned earlier, the original designation of this property was Lot 2 Unit 1 of the Commons Industrial Park at Falcon View. It was one of the larger lots of the original Commons Industrial Park and a potential candidate for a large industrial user. Zoning Case Z05-002 broke this large lot into a

grouping of much smaller lots. The city was supportive of this citing the creation of quieter smaller users would be more compatible with the homes to the west. Below are two tables that have been generated to list the various deviations that have occurred related to this property per the zoning case history.

TABLE ONE OF CHANGES

Case No.	Building Height	Building Area	Oasis Setback	Norwalk Setback	South Setback	West Setback
Z99-099	Per Ord.	Per Ord.	Per Ord.	Per Ord.	Per Ord.	Per Ord.
Z05-002	22 feet	2,496 SF	20 feet	20 feet	Unchanged	Unchanged
Z05-002 Admin	Unchanged	2,496 SF	Unchanged	Unchanged	Unchanged	Unchanged
ADMIN 19-00144	Unchanged	2,532 SF	Unchanged	Unchanged	Unchanged	Unchanged
Current request	Unchanged	3,630 SF	Unchanged	Unchanged	Unchanged	Unchanged

TABLE TWO OF CHANGES

Case No.	Use	Stories	Parking Spaces	Building Footprint
Z99-099	Per Ord.	Per Ord.	Per Ord.	
Z05-002	Office	1	10	2,496 SF
2007 Admin	Office	1	10	2,496 SF
ADMIN19-00144	Office/Warehouse	Unchanged	7	2,532 SF
Current request	Office/Warehouse	Unchanged	8	2,844 SF

## Description

### 1. Site Plan Modification:

The site plan modification includes three proposed changes: (a) reorientation and reconfiguration of the building, (b) increase in size of the building and (c) slight encroachment to the Oasis Street setback for a prominent building architectural feature to occur.

- a) The building is being rotated to be more visible and prominent to the intersection. This orientation will allow for a striking all-glass corner to serve as the feature design element of the building. This configuration will also allow for more landscape area

adjacent to Norwalk.

- b) The current approved building footprint is 2,532 square feet. The proposal is to increase the footprint to 2,844 square feet, or an increase of twelve percent, and add 786 square feet of second story office space for a total building area of 3,630 square feet. The owner, by making this change will provide a more marketable office/warehouse product for today's industrial user.
- c) The north side building architectural buttress feature encroaches by four square feet (2'x2') into the setback area. The setback area totals 3058 square feet.

## **2. Design Review**

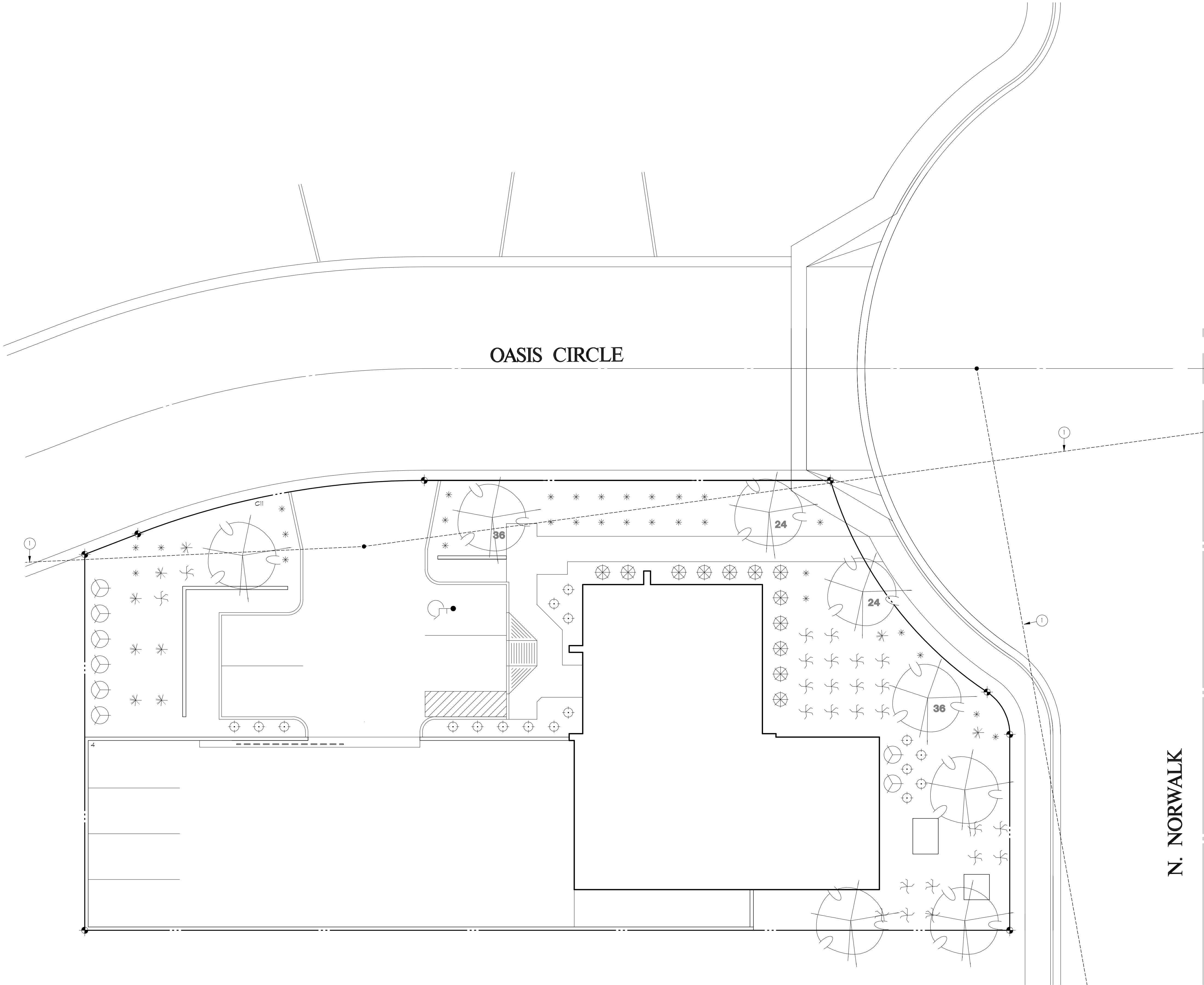
A Design Review application is requested to allow for changes to some of the approved building materials and overall building design. The current elevations include scored regular CMU block with cornice accents, split face CMU and decorative metal window awnings. The new elevations will introduce metal siding and metal panels similar to what was requested and approved through the 2019 administrative request cited above.

- The new architectural buttress features will utilize the scored CMU block.
- The upper portion of the building will consist of horizontal metal siding.
- The awnings will change from the current steel feature to vertical metal panels.
- The glazing changes will introduce more glass at the building corner and at the entry doors.

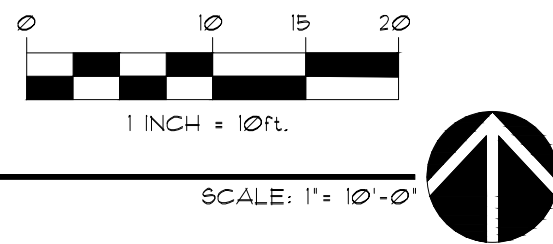
## **Conclusion**

The above listed modifications are considerable improvements to the existing site plan and elevations. The proposed design is consistent with, sensitive to and bears similarity to the surrounding uses in the area.

This drawing is the property of the Architect and is to be used for construction purposes only. No alteration or reproduction shall be made without written authorization from Hitchens Associates Architects. The Contractor shall verify all dimensions and report any discrepancies to the Architect prior to construction. do not scale this drawing. This drawing shall not be used for construction purposes unless approved and sealed by the Architect.



FINAL LANDSCAPE PLAN



N. NORWALK

PLANT LEGEND

SYMBOL	COMMON NAME:	BOTANICAL NAME	SIZE	QNT	AREA	
TREES						
	PALO BREA	Parkinsonia praecox	36" BOX 24" BOX 15 GAL.	2 2 4	100 100 100	200 200 400
SHRUBS / GROUND COVER AND ACCENTS						
	OCOTILLO	Fouquieria spendens	5 GAL.	9	25	225
	RED YUCCA	Hesperaloe parvifolia	5 GAL.	25	25	650
	BLUE ELF ALOE	Aloe 'Blue Elf'	5 GAL.	17	5	85
	SMOOTH AGAVE	Agave desmettiana	5 GAL.	12	10	120
	GOLDEN BARREL CACTUS	Echinocactus grusonii	1 GAL.	30	5	150
	SILVER CLOUD SAGE	Leucophyllum candidum	5 GAL.	9	25	225

TOTAL AREA 2255 SF

NOTES

① LINE OF SIGHT DISTANCE TRIANGLE. DENOTES AREA TO BE FREE OF OBSTRUCTIONS TO VISION BETWEEN 25 FEET AND 8 FEET ABOVE THE SIDEWALK.

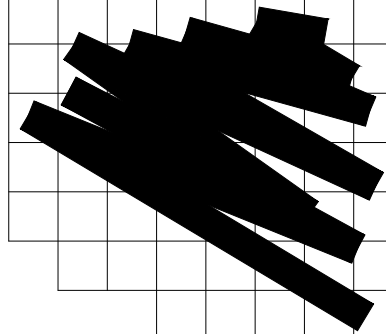
LANDSCAPE CALCULATIONS

YARDS ADJACENT TO STREET  
REQUIRED FRONTAGE LANDSCAPING:  
(NORWALK STREET) 10(12/25) = 4 TREES  
4 X 4 = 16 SHRUBS  
PROVIDED FRONTAGE LANDSCAPING:  
(NORWALK STREET) 4 TREES  
16 SHRUBS  
TOTAL NO. OF TREES REQUIRED: 4  
36" BOX REQUIRED: 4 X 25 = 1 TREE  
24" BOX REQUIRED: 4 X 50 = 2 TREES  
36" BOX PROVIDED: 1  
24" BOX PROVIDED: 2

INTERIOR YARDS  
REQUIRED NON/RES TO NON/RES LANDSCAPING:  
(SOUTH PROPERTY LINE) (50/33) X 1 = 2 TREES  
PROVIDED NON/RES TO NON/RES LANDSCAPING:  
(SOUTH PROPERTY LINE) 2 TREES  
8 SHRUBS

FOUNDATION BASE  
REQUIRED FOUNDATION BASE LANDSCAPING DISTANCE:  
(ADJACENT TO PUBLIC ENTRANCE) 15 FEET  
PROVIDED FOUNDATION BASE LANDSCAPING DISTANCE:  
(ADJACENT TO PUBLIC ENTRANCE) 15 FEET  
REQUIRED FOUNDATION BASE LANDSCAPING TREES:  
1 TREE PER 50 FEET OF EXTERIOR WALL LENGTH 1 TREE (30 FEET)  
PROVIDED FOUNDATION BASE LANDSCAPING TREES:  
(TREE WITHIN 30 FEET PER MZO 11-33-5(B)) 1 TREE  
REQUIRED PLANT MATERIAL IN FOUNDATION BASE:  
(Ø33 X 30 FEET AT PUBLIC ENTRANCE) 10 FEET  
PROVIDED FOUNDATION BASE LANDSCAPING TREES: 10 FEET

HITCHENS ASSOCIATES  
ARCHITECTS



3126 N. LOS ALAMOS  
MESA, ARIZONA 85213

TELEPHONE:  
602-615-0204



REVISIONS

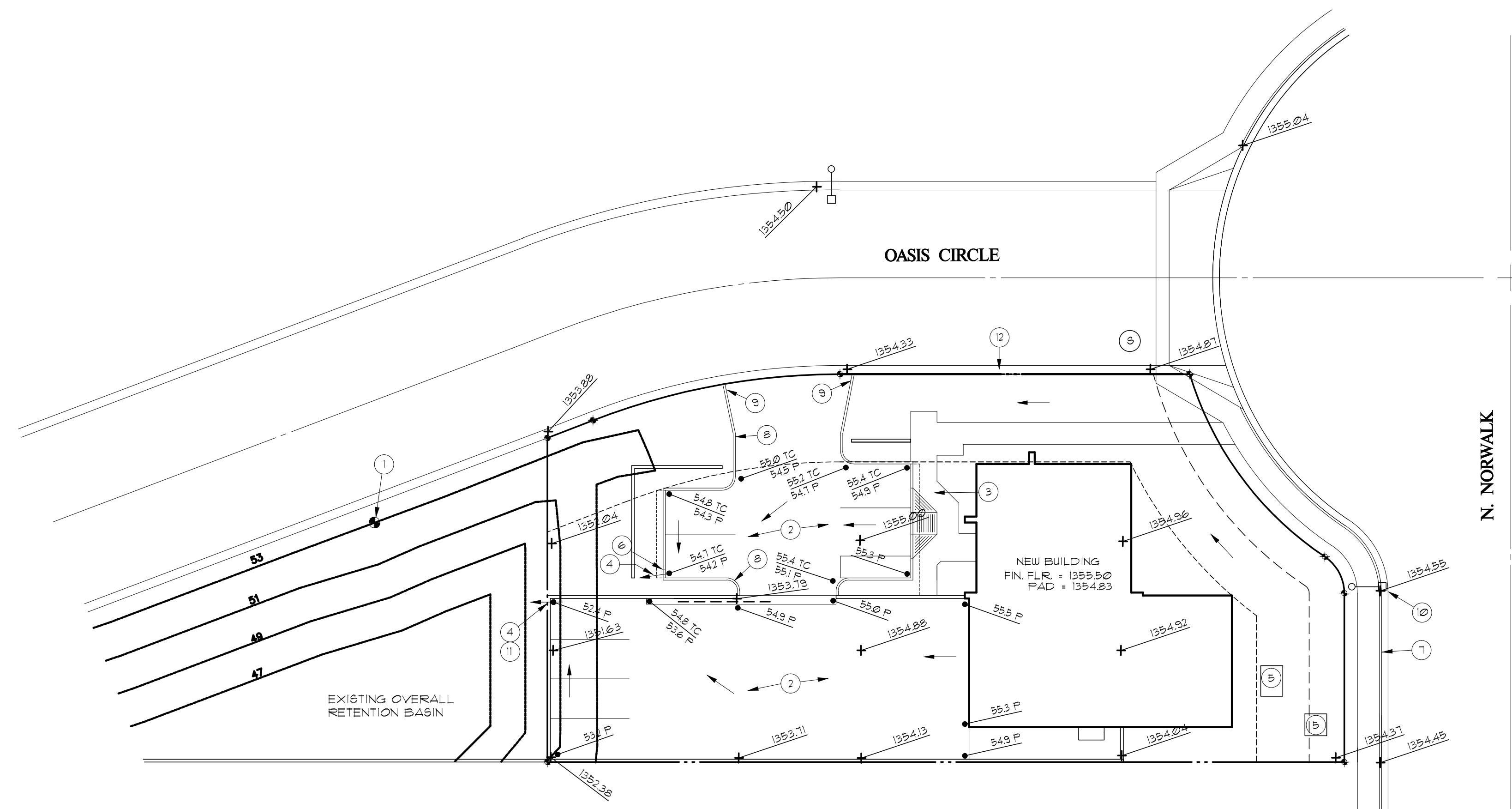
7-25-22 city revisions

PROPOSED  
OFFICE WAREHOUSE  
BUILDING

3959 E. OASIS CIRCLE  
MESA, ARIZONA  
85215

PROJECT NO: 22206  
DRAWN BY: GLH  
DATE: 6-16-2022

LANDSCAPE  
PLAN  
L-1



## PRELIMINARY GRADING PLAN

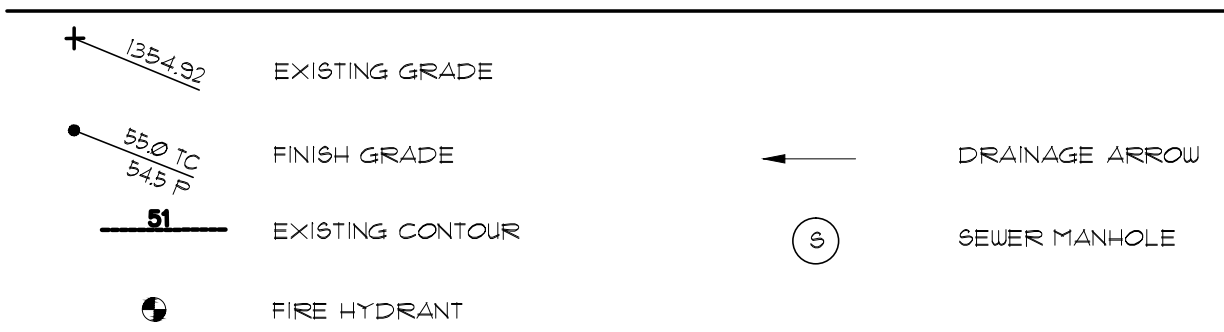
SCALE: 1" = 20'-0"



## GRADING NOTES

- 1 EXISTING FIRE HYDRANT
- 2 INSTALL 2' OF ASPHALT OVER 6' OF ABC IN PAVED AREAS.
- 3 ACCESSIBILITY RAMP
- 4 WALL OPENING
- 5 EXISTING SRP BOXES
- 6 INSTALL 2' CURB OPENING, SEE DTL. 6 SHOT. C-4.
- 7 EXISTING CURB, GUTTER AND SIDEWALK
- 8 NEW 6' CONCRETE CURB
- 9 DRIVE CURB TAPER
- 10 EXISTING STREET LIGHT
- 11 OUTFALL OF SITE TO EXISTING RETENTION BASIN
- 12 EXISTING 2'-0" WIDE FLAT CURB

## LEGEND



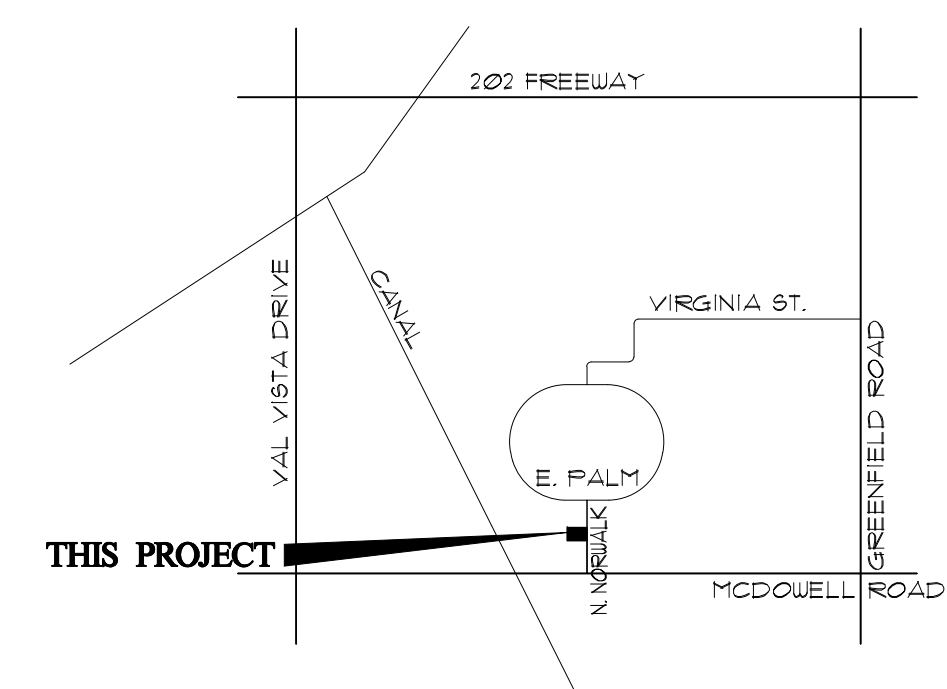
## RETENTION CALCULATIONS

RETENTION PROVIDED:

RETENTION VOLUME IS BEING PROVIDED FOR THIS SITE IN THE COMMON RETENTION BASIN ESTABLISHED FOR THE ENTIRE DEVELOPMENT AT THE SOUTHWEST CORNER. REQUIRED RETENTION FOR THE ORIGINAL 8 LOT SUBDIVISION IS 44,636 CF., PROVIDED RETENTION IS 46,811 CF.

OUTFALL FROM THE SITE IS AT THE MIDDLE OF THE WEST PROPERTY LINE.

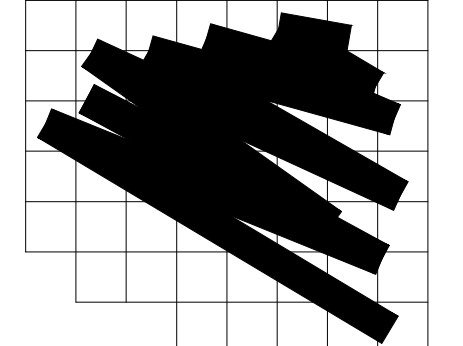
## VICINITY MAP



# HITCHENS ASSOCIATES ARCHITECTS

3126 N. LOS ALAMOS  
MESA, ARIZONA 85213

**TELEPHONE:**  
**602-615-0204**



## REVISIONS

1 7-25-22 city revisions

---

---

---

---

---

---

PROPOSED  
OFFICE WAREHOUSE  
BUILDING

3959 E. OASIS CIRCLE  
MESA, ARIZONA  
85215

PROJECT NO: 22206

DRAWN BY: GLH

DATE: 6-16-2022

# PRELIMINARY GRADING PLAN

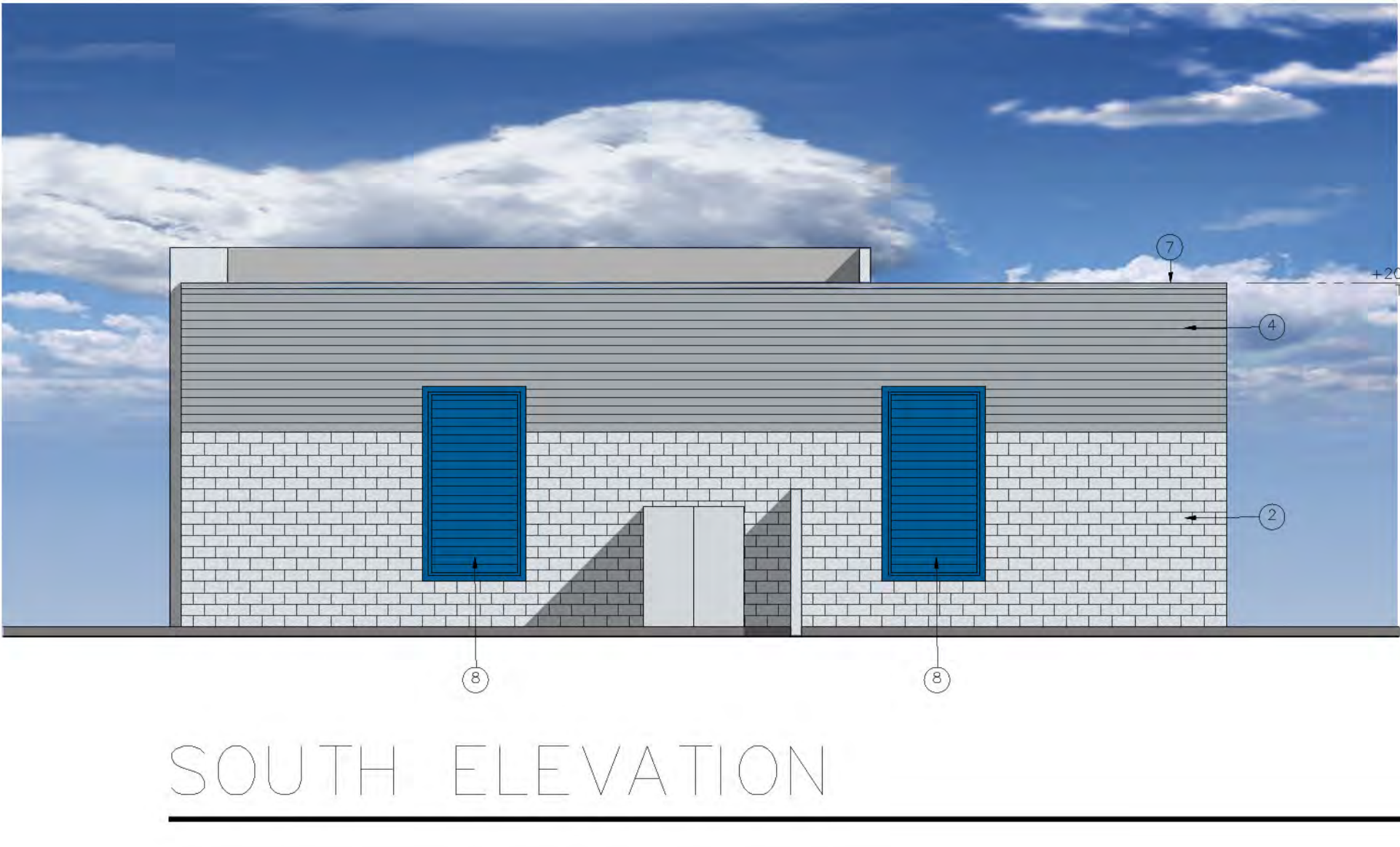
**C-2**



This drawing is the property of the Architect and is loaned to the Client for their use only. It is not to be reproduced, copied, or used in any way without the written consent of the Architect. The Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction. Do not scale the drawing.



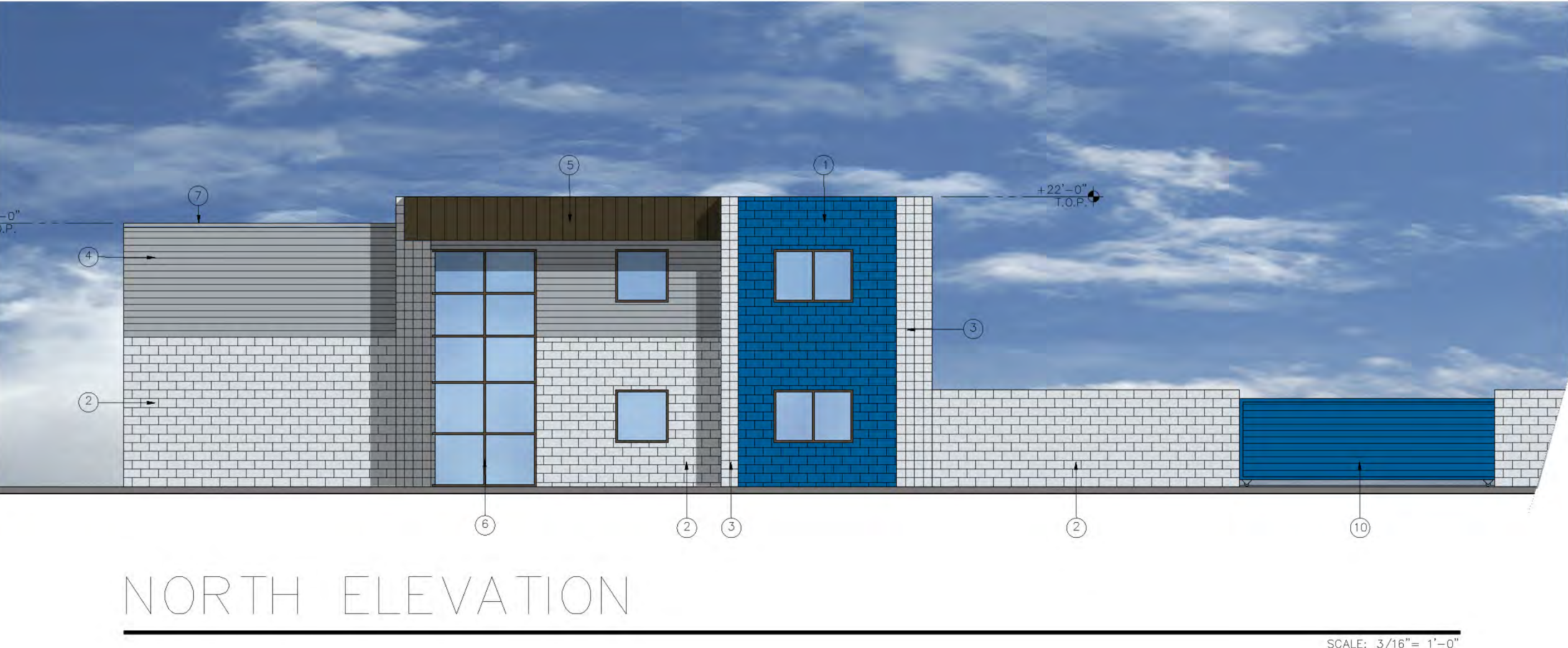
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

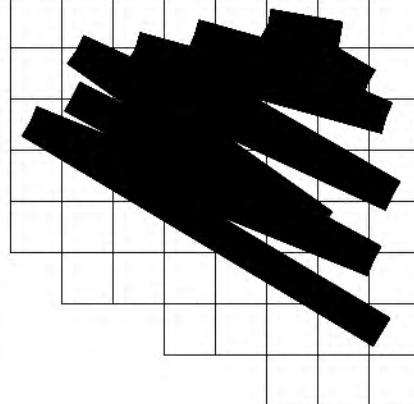


NORTH ELEVATION

MATERIAL/COLOR SCHEDULE:

①	8X8X16 REGULAR CMU	SHERWIN WILLIAMS SW 6797 - JAY BLUE
②	8X8X16 REGULAR CMU	SUPERLITE BLOCK COLOR: LIGHT GRAY
③	8X8X16 SCORED BLOCK CMU	SUPERLITE BLOCK COLOR: LIGHT GRAY
④	HORIZONTAL METAL SIDING	AEP SPAN NU-WAVE CORRUGATED METAL SIDING COLOR: ZINCALUME PLUS
⑤	VERTICAL METAL PANELS	AEP SPAN FLAT SHEET WALL PANEL COLOR: DARK BRONZE
⑥	ALUMINUM WINDOWS/STOREFRONT	COLOR: BRONZE ANNOIDIZED
⑦	METAL CAP FLASHING	COLOR: ZINCALUME PLUS
⑧	DECORATIVE METAL PANELS	SHERWIN WILLIAMS SW 6797 - JAY BLUE
⑨	MANDOOR/OVERHEAD DOOR	SHERWIN WILLIAMS SW 6797 - JAY BLUE
⑩	GATE	SHERWIN WILLIAMS SW 6797 - JAY BLUE

HITCHENS ASSOCIATES  
ARCHITECTS



REVISIONS

1	4-25-22	bldg height revisions

PROPOSED  
OFFICE WAREHOUSE  
BUILDING  
3959 E. OASIS CIRCLE  
MESA, ARIZONA  
85215

PROJECT NO: 22206  
DRAWN BY: GLH  
DATE: 4-7-2022

ELEVATIONS  
A2.0



## **CITIZEN PARTICIPATION PLAN**

*JBN Holdings, LLC*

**Date:** April 14, 2022

**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, and businesses in the vicinity of the proposed project regarding our application for construction of an industrial office/warehouse building located at 3926 E. Oasis St., Mesa, Az 85215 located on Norwalk and Oasis, north of McDowell Rd. between Greenfield and Val Vista. The application and consideration requires Design Review and Site Plan review, but does not require rezoning or modification of the general plan. Outreach is primarily to engage discussion about design and construction elements so that any owners within proximity of the project have ample opportunity to learn about and comment on the project proposal.

**Contact:**

Nathan Palmer, Manager  
JBN Holdings, LLC  
2929 N. Power Rd. #101-C20, Mesa, Az 85215  
480-522-7898 / [reoptions@me.com](mailto:reoptions@me.com)

**Meetings:** An initial consultation meeting in response to the request for administrative review was held on April 12, 2022. As part of the review, staff recommended that a Citizen Participation Plan be adopted so that the below named participants would be notified of the development and kept informed of any upcoming Design Review Board meetings and Planning & Zoning hearings.

**Action Plan:** The following plan is designed to accommodate the surrounding properties and comply with the request for neighbor and neighborhood involvement by the City of Mesa:

1. Contact all property owners within 1,000' of the site, as well as any registered neighborhoods and homeowners associations recommended by the City of Mesa, regarding any Design Review Board meeting or Planning & Zoning hearing.
2. The named participants will be notified by mailed letter containing the project description, conceptual site plan, elevations, and landscape plan together with invitations and information regarding the design review and planning & zoning process with instructions on how to participate/comment on the proposed development.



# **JBN HOLDINGS, LLC**

## **Citizen Participation Report**

**Date:** August 30, 2022

**Purpose:** The Purpose of this Citizen Participation Report is to inform the City of Mesa of the neighborhood outreach efforts and any received correspondence from concerned neighbors.

**Contact:**

Nathan Palmer, Member / JBN Holdings, LLC  
2929 N. Power Rd. #101-C20, Mesa, Az, 85215  
480-522-7898 / [reoptions@me.com](mailto:reoptions@me.com)

**Meetings:** A Pre-submittal meeting was held for the project in May of 2022 as PRS22-00517. Subsequently Design Review Board Meetings and Planning & Zoning Meetings were held to review and comment on the project August of 2022 for cases DRB22-00679 and ZON22-00677 respectively. As part of the initial design and planning review, staff recommended that the participants named in this plan be notified of the proposed development.

**Action Plan:** The following plan was designed to accommodate the surrounding properties and comply with the request for neighbor and neighborhood involvement by the City of Mesa:

1. Contact and invite all property owners by mail within 1,000' of the site, registered neighborhoods within 1 mile of the site, and HOA's within 1/2 mile of the site regarding any Design Review Board meeting, Planning & Zoning hearings, and neighborhood meetings. (Planning staff subsequently reduced the mailing requirement for property owners within 500' of the site.)
2. Post any required Design Review Board or Planning/Zoning Notices on the Property as required by City planning staff.
3. Mail all interested parties a letter, project description, conceptual site plan, concept elevations, and any invitations and information regarding the planning and design review process and how to participate/comment on the proposed development at any relevant neighborhood meeting, design review, or planning and zoning hearing. Exhibits and mailing lists for all property owners, registered neighborhoods, and HOA's will be submitted to the City of Mesa for verification and review.
4. Submit a Citizen participation Report with the results of all outreach and meetings to the City of Mesa at least 10 business days prior to the Planning and Zoning public hearing.

**Plan and Activity Report:** As of 8/30/2022 the following actions have occurred:

1. Applicant created and submitted to the City of Mesa a list of all owners within 500' of the site, along with a corresponding exhibit map, as well as a list of all registered neighborhoods within 1 mile of the site and HOA's within 1/2 mile of the site, along with sample notices which were to be mailed to such parties.

2. Mailings to all property owners within 500' of the site, registered neighborhoods within 1 mile of the site, and HOA's within 1/2 mile of the site were prepared and mailed on August 29th, 2022 providing notice and invitation to attend or participate in a Design Review Board meeting to be held on September 13, 2022 in the lower level of the City Council chambers. The notice included contact information for the applicant along with proposed site plan, landscape plan, and elevations.
3. Mailings to all property owners within 500' of the site, registered neighborhoods within 1 mile of the site, and HOA's within 1/2 mile of the site were prepared and mailed on August 29, 2022 providing notice and invitation to attend or participate in a Planning and Zoning hearing to be held on September 14, 2022 in the City Council chambers. The notice included contact information for the applicant along with proposed site plan, landscape plan, and elevations.
4. On August 30, 2022, applicant installed a sign-post on property notifying the public of the application for Site Plan Review with all meeting details and contact information for applicant. Applicant further submitted all required affidavits and consent/waiver forms related to such posting.
5. As of the date of this Citizen Participation Report there have been **0 responses** to all of the mailings. No other responses have been received from any neighbor as a result of the mailings, and no other feedback has been received.

I certify that the above information is true and correct to the best of my knowledge.

August 30, 2022

Nathan Palmer, Member

JBN Holdings, LLC

**JBN HOLDINGS, LLC**

**Notice of Public Meeting – Site Plan Review**

Dear Neighbor,

We have applied for Site Plan Review for the property located at 3959 E. Oasis Cir., Mesa, Az 85215. This request is for development of an industrial development with office and warehouse. The case number assigned to this project is ZON22-00677-.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-522-7898 or e-mail me at [reoptions@me.com](mailto:reoptions@me.com).

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on September 14, 2022 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://Mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](https://www.youtube.com/user/cityofmesa11/live), or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

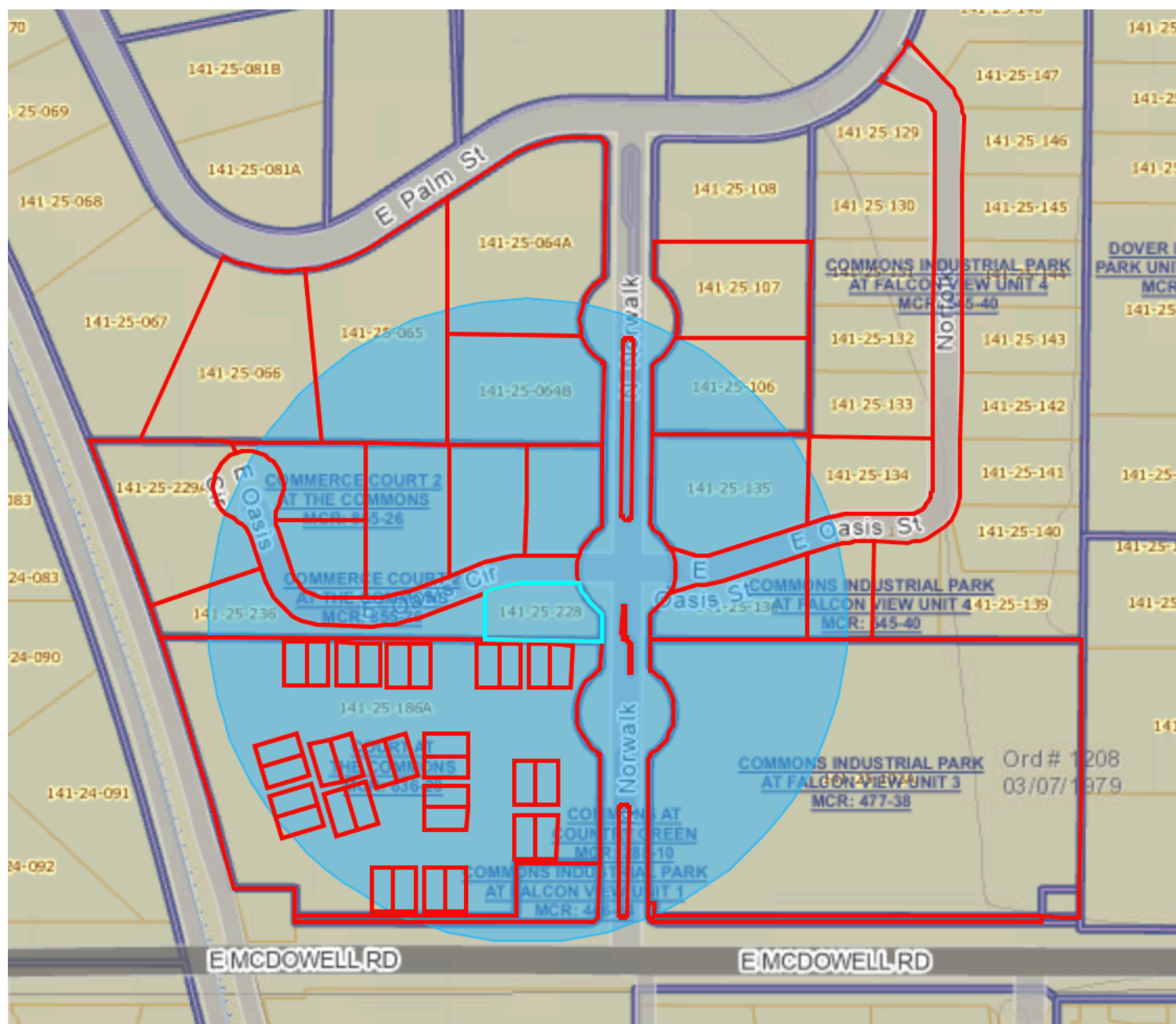
For help with the online comment card, or for any other technical difficulties, please call **480-644-2099**.

The City of Mesa has assigned this case to Sean Pesek of their Planning Division staff. He/she can be reached at **480-644-6716** or [sean.pesek@mesaaz.gov](mailto:sean.pesek@mesaaz.gov) should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Nathan Palmer, Member  
JBN Holdings, LLC





Search Results\_ Parcels

Parcel Number	Owner	Property Address	Mailing Address	SUBNAME
141-25-057A	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COMMONS AT COUNTRY GREEN
141-25-058	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COMMONS AT COUNTRY GREEN
141-25-059	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COMMONS AT COUNTRY GREEN
141-25-064A	EMBREY SHARON	4005 E PALM ST MESA 85215	269 N DEEP SPRING RD ORANGE CA USA 92869	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-064B	MTV INVESTMENTS LLC	2840 N NORWALK MESA 85215	2840 N. NORWALK MESA AZ USA 85215-1126	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-065	AMERICAN SHOTCRETE CONSTRUCTION INC	3951 E PALM ST MESA 85215	120 E LEHI RD MESA AZ USA 85201	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-066	DANDI VILLAGE PROPERTIES LLC	3935 E PALM ST MESA 85215	PO BOX 22273 MESA AZ USA 85277	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-078	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-079B	COMMONS INDUSTRIAL PARK AT FALCON VIEW ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 1
141-25-103A	WAX PROPERTIES LTD	4200 E MCDOWELL RD MESA 85215	PO BOX 23506 SAN DIEGO CA USA 92193	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 3
141-25-106	KAHL TERRILL HOWARD TR	2863 N NORWALK MESA 85215	2863 N NORWALK STE 101 MESA AZ USA 85215	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 3
141-25-107	TIPPETTS COMMERCIAL HOLDINGS LLC	2911 N NORWALK MESA 85215	2911 N NORWALK MESA AZ USA 85215	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 3
141-25-134	IMPALA LLC	2902 N NORFOLK MESA 85215	2339 N VAL VISTA DR MESA AZ USA 85213	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-135	COMMONS BUILDING I LLC	4020 E OASIS ST MESA 85215	PO BOX 21835 MESA AZ USA 85277	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-136	WIERZGACZ WAYNE E	4019 E OASIS ST MESA 85215	3655 E HALIFAX CIR MESA AZ USA 85205	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-137	ONEALL RICHARD C/JANICE G TR	4035 E OASIS ST MESA 85215	PO BOX 13160 PRESCOTT AZ USA 86304	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-149	COMMONS INDUST PK @FALCON VIEW UN 4 P O ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 4
141-25-152	ASH CECIL P/LINDA J	2812 N NORWALK 101 MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-153	ASH EDWIN D/CECIL PAUL	2812 N NORWALK 102 MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-154	EEL HOLDINGS LLC	2812 N NORWALK 103 MESA 85215	2812 N NORWALK ST UNIT-103 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-155	EEL HOLDINGS LLC	2812 N NORWALK 104 MESA 85215	2812 N NORWALK ST UNIT-103 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-156	REEB HAROLD H	2812 N NORWALK 105 MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-157	ASH TRESSA A	2812 N NORWALK 106 MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-158	CJP PROPERTY LLC	2812 N NORWALK 107 MESA 85215	2621 E ODESSA CIR MESA AZ USA 85213	COURT AT THE COMMONS
141-25-159	CJP PROPERTY LLC	2812 N NORWALK 108 MESA 85215	2621 E ODESSA CIR MESA AZ USA 85213	COURT AT THE COMMONS
141-25-160	NORWALK COMMONS LLC	2812 N NORWALK 109 MESA 85215	3106 E HERMOSA VISTA DR MESA AZ USA 85213	COURT AT THE COMMONS
141-25-161	AUGUSTA INVESTMENTS LLC	2812 N NORWALK 110 MESA 85215	2812 N NORWALK ST BLD 5-110 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-162	NOC20 LLC	2812 N NORWALK 111 MESA 85215	22340 YELLOW GATE LN NE UNIT M64 AURORA OR USA 97002-8436	COURT AT THE COMMONS
141-25-163	NOC20 LLC	2812 N NORWALK 112 MESA 85215	22340 YELLOW GATE LN NE UNIT M64 AURORA OR USA 97002-8436	COURT AT THE COMMONS
141-25-164	PHPE HOLDINGS LLC	2812 N NORWALK 113 MESA 85215	8641 E KAEI CIR MESA AZ USA 85207	COURT AT THE COMMONS
141-25-165	PHPE HOLDINGS LLC	2812 N NORWALK 114 MESA 85215	8641 E KAEI CIR MESA AZ USA 85207	COURT AT THE COMMONS
141-25-166	NORWALK PATRIOTS LLC	2812 N NORWALK 115 MESA 85215	3661 E NANCE CIRCLE MESA AZ USA 85215	COURT AT THE COMMONS
141-25-167	NORWALK PATRIOTS LLC	2812 N NORWALK 116 MESA 85215	3661 E NANCE CIRCLE MESA AZ USA 85215	COURT AT THE COMMONS
141-25-168	DURATAIN INC	2812 N NORWALK 117 MESA 85215	2812 N NORWALK BLDG 9 SUITE 117 MESA AZ USA 85207	COURT AT THE COMMONS
141-25-169	RJD LLC	2812 N NORWALK ST 118 MESA 85215	2920 N POWER ROAD NO 103 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-170	AMBER HILLS REALTY LLC	2812 N NORWALK 119 MESA 85215	3549 W MAGELLAN DR ANTHEM AZ USA 85086	COURT AT THE COMMONS
141-25-171	TAND INVESTMENT GROUP LLC	2812 N NORWALK 120 MESA 85215	4795 S VIRGINIA WAY CHANDLER AZ USA 85249	COURT AT THE COMMONS
141-25-172	RANCHLAND HOLDINGS I LLC	2812 N NORWALK 122 MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-173	NORGREN KERRY M/JOAN M	2812 N NORWALK 121 MESA 85215	1317 E FAIRFIELD ST MESA AZ USA 85203	COURT AT THE COMMONS
141-25-174	GRIMES LIVING TRUST	2812 N NORWALK 123 MESA 85215	3121 E GARY ST MESA AZ USA 85213	COURT AT THE COMMONS
141-25-175	GRIMES LIVING TRUST	2812 N NORWALK 124 MESA 85215	3121 E GARY ST MESA AZ USA 85213	COURT AT THE COMMONS
141-25-176	MESA PERIO PROPERTIES LLC	2812 N NORWALK 125 MESA 85215	107 N GREENFIELD RD STE 1 MESA AZ USA 85205	COURT AT THE COMMONS

141-25-177	MESA PERIO PROPERTIES LLC	2812 N NORWALK 126 MESA 85215	107 N GREENFIELD RD STE 1 MESA AZ USA 85205	COURT AT THE COMMONS
141-25-178	GRACIE ANN LLC/BJLEON LLC/JAIJAGADAMBE LLC/JAIMALHAR LLC	2812 N NORWALK 127 MESA 85215	3545 E MENLO CIR MESA AZ USA 85213	COURT AT THE COMMONS
141-25-179	GRACIE ANN LLC/BJLEON LLC/JAIJAGADAMBE LLC/JAIMALHAR LLC	2812 N NORWALK 128 MESA 85215	3545 E MENLO CIR MESA AZ USA 85213	COURT AT THE COMMONS
141-25-180	WAGNER BROTHERS PROPERTIES LLC	2812 N NORWALK 129 MESA 85215	2925 N NORWALK MESA AZ USA 85215	COURT AT THE COMMONS
141-25-181	WAGNER BROTHERS PROPERTIES LLC	2812 N NORWALK 130 MESA 85215	2925 N NORWALK MESA AZ USA 85215	COURT AT THE COMMONS
141-25-182	RBR-CDC LLC	2812 N NORWALK 131 MESA 85215	633 E RAY RD STE 108 GILBERT AZ USA 85296-4202	COURT AT THE COMMONS
141-25-183	RBR-CDC LLC	2812 N NORWALK 132 MESA 85215	633 E RAY RD STE 108 GILBERT AZ USA 85296-4202	COURT AT THE COMMONS
141-25-186A	COURT AT THE COMMONS PROPERTY OWNERS ASSOC	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK 105 MESA AZ USA 85215	COURT AT THE COMMONS
141-25-228	VIEWPOINT RESORT LC	3959 E OASIS CIR MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	COMMERCE COURT 2 AT THE COMMONS
141-25-229A	DANDI VILLAGE PROPERTIES LLC		3935 E PALM ST MESA AZ USA 85215	COMMERCE COURT 2 AT THE COMMONS
141-25-231	JESPERSEN TODD	3936 E OASIS CIR MESA 85215	PO BOX 20972 MESA AZ USA 85277	COMMERCE COURT 2 AT THE COMMONS
141-25-232	COMMONS BUILDING III LLC	3942 E OASIS CIR MESA 85215	4020 E OASIS ST STE 1 MESA AZ USA 85215	COMMERCE COURT 2 AT THE COMMONS
141-25-233	COMMONS BUILDING III LLC	3948 E OASIS CIR MESA 85215	4020 E OASIS ST STE 1 MESA AZ USA 85215	COMMERCE COURT 2 AT THE COMMONS
141-25-234	LORTIE JOCE	3954 E OASIS CIR MESA 85215	11101 E RENFIELD AVE MESA AZ USA 85212	COMMERCE COURT 2 AT THE COMMONS
141-25-235	JBN HOLDINGS LLC	3962 E OASIS CIR MESA 85215	2929 N POWER RD STE 101 PMB C20 MESA AZ USA 85215	COMMERCE COURT 2 AT THE COMMONS
141-25-236	COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATION	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	COMMERCE COURT 2 AT THE COMMONS
141-25-237	COMMERCE COURT II AT THE COMMONS PROPERTY OWNERS ASSOCIATION	4018 E MCDOWELL RD MESA 85215	2812 N NORWALK STE 105 MESA AZ USA 85215	COMMERCE COURT 2 AT THE COMMONS



NeighborhoodName	FirstName	LastName	Address	Unit	City	State	Zip
Somerset Estates Homeowners Association	Larry	Tyler	3821 E Palm Cir		Mesa	AZ	85207

AZCC

<https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=07433811>

City of Mesa Planning Division

**AFFIDAVIT OF PUBLIC POSTING**

To be submitted to the Planning Division by August 30, 2022

Date: August 30, 2022

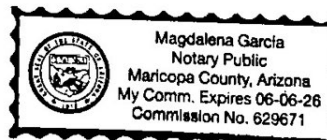
I, Nathan Palmer, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to Case #ZON22-00677 on the 30<sup>th</sup> day of August, 2022. At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature: \_\_\_\_\_

SUBSCRIBED AND SWORN before me this 30 day of August 2022.

Magdalena Garcia  
Notary Public



Case Number: ZON22-00677

Project Name: \_\_\_\_\_



CITY OF MESA  
PUBLIC NOTICE  
**ZONING HEARING**

PLANNING & ZONING BOARD  
57 EAST FIRST STREET  
MESA, ARIZONA

4:00 PM DATE: SEPTEMBER 14TH, 2022

CASE: ZON22-00677

Request: SITE PLAN REVIEW  
THIS REQUEST WILL ALLOW FOR  
AN INDUSTRIAL DEVELOPMENT

Applicant: JBN Holdings, LLC

Phone: 480-522-7898

Planning Division (480) 644-2385

Posting date: AUGUST 30TH, 2022

