



# PLANNING & ZONING BOARD

September 14, 2022



**ZON22-00431**



## Request

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- Rezone from PEP-PAD-CUP to RM-5-PAD and Site Plan Review

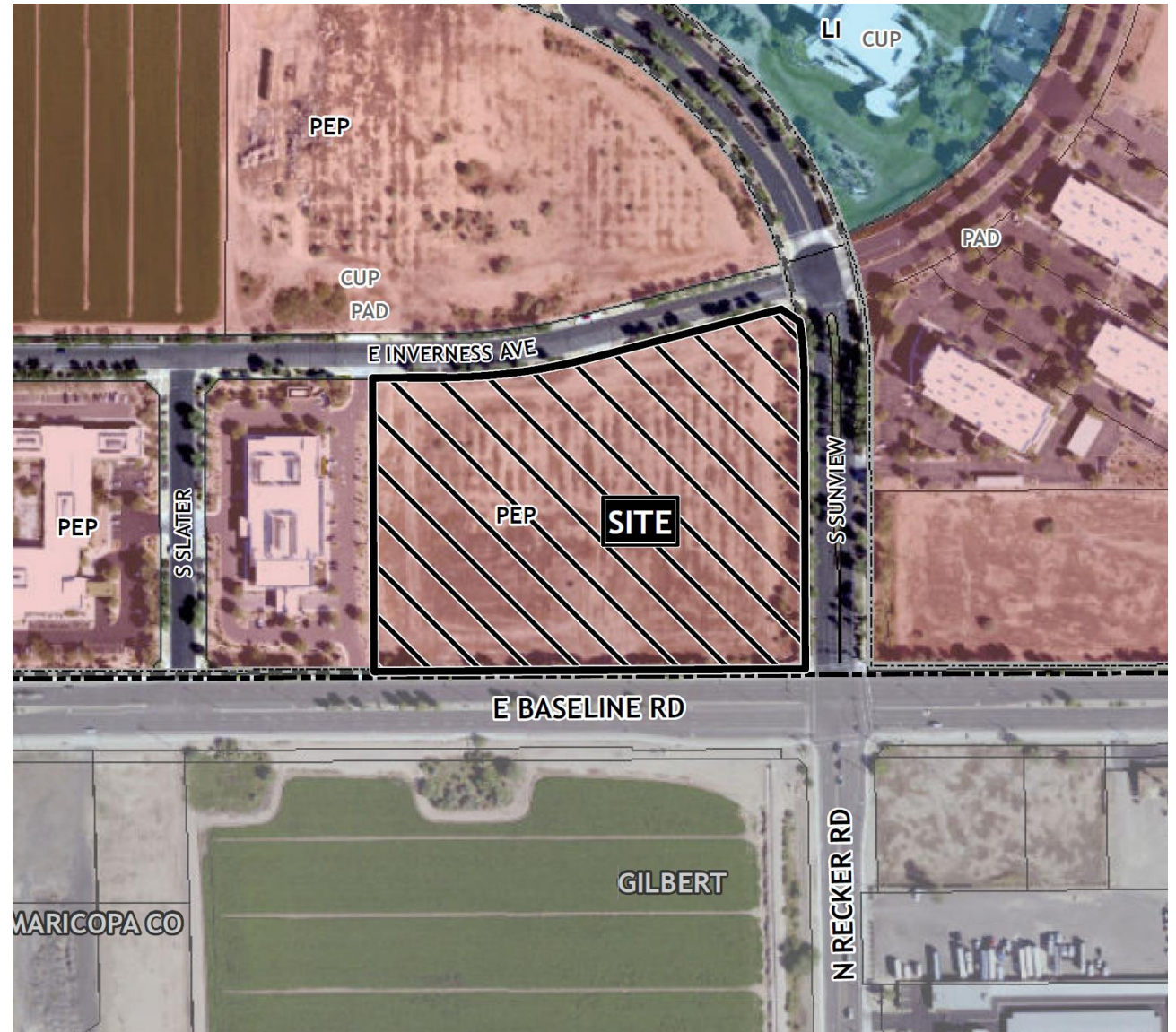
## Purpose

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- Allow for a multiple residence development

# Location

- North of Baseline Road
- West of Sunview Road
- West of Power Road





# General Plan

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## Specialty

- Medical Campus sub-type
- Large areas with a single use

# General Plan

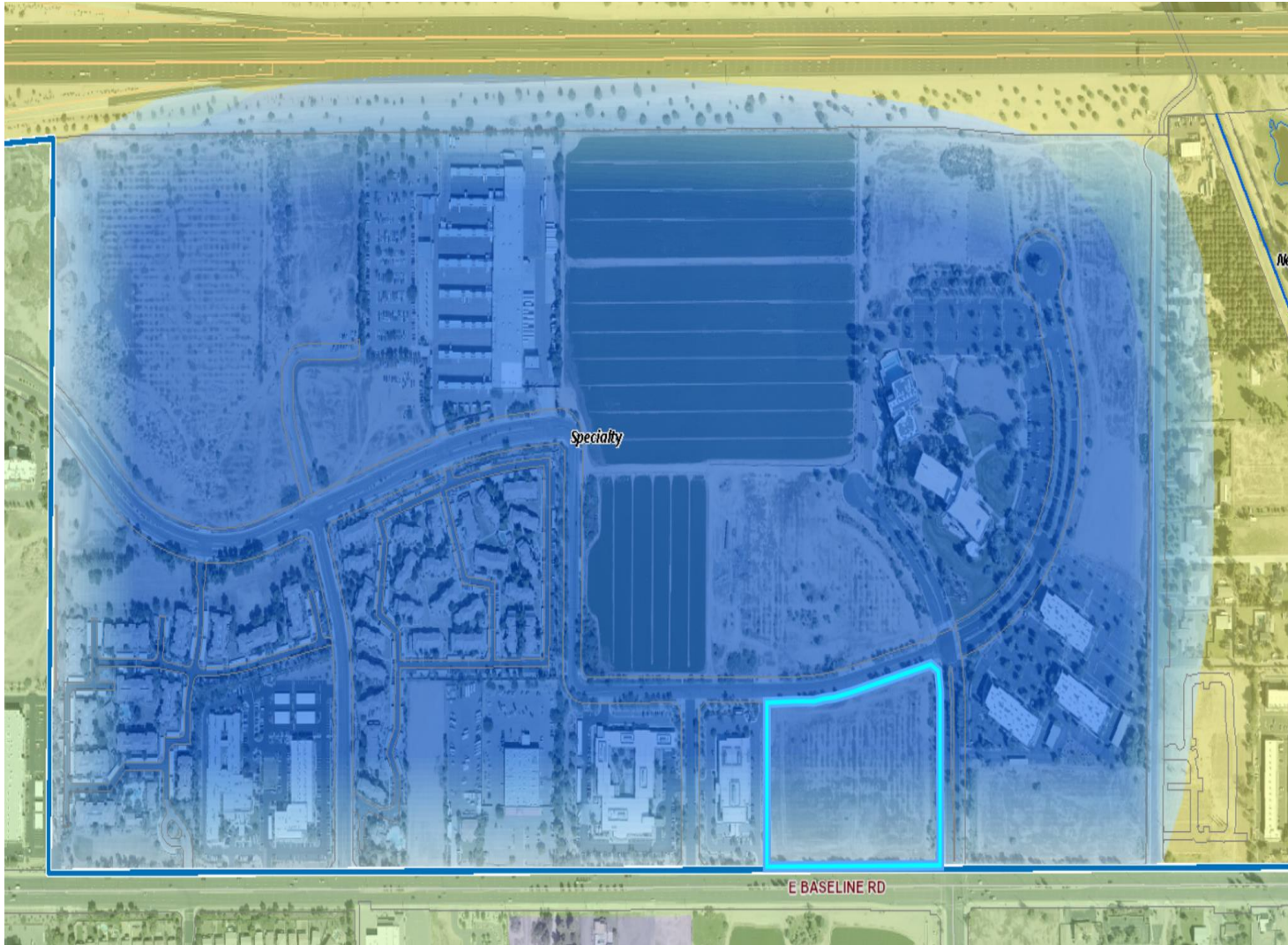
## Primary Zoning and Land Uses - min. 80%

- Hospitals, Medical Offices, Clinics, Supportive hotel
- NC, LC, GC, PEP & LI zoning districts

## Secondary Zoning and Land Uses - min. 20%

*Can only be developed once min. 80% primary is met*

- Supportive commercial and retail, Multiple Residence
- RM-4



## General Plan

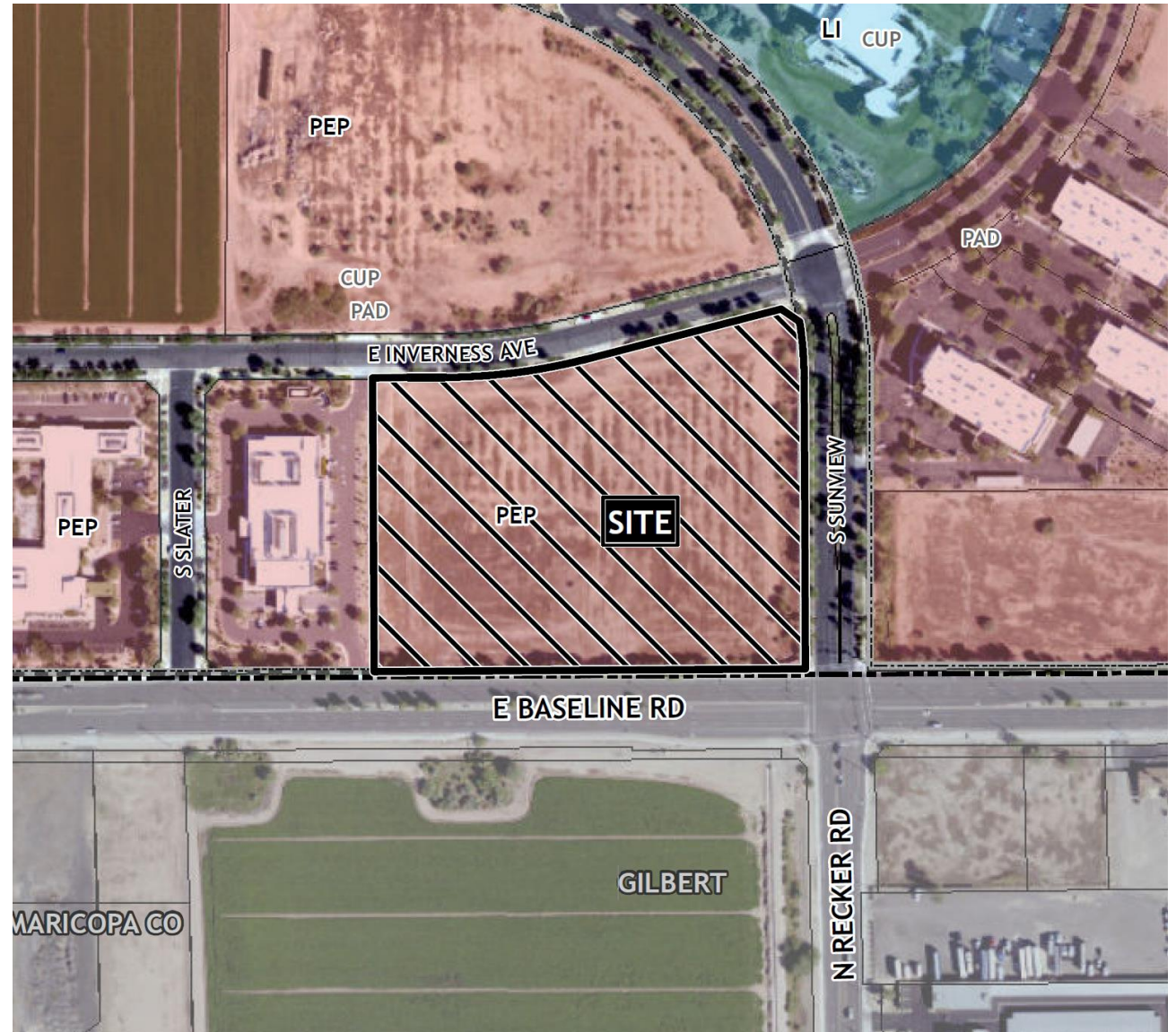
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- RM-5 is not a secondary land use
- 254 acres, 71 acres developed for primary
- Min. 80% for primary has not been met

# Zoning

## Multiple Residence 5

- Provide areas for a variety of housing
- Not consistent with GP
- Not compatible with area



# Site Photos



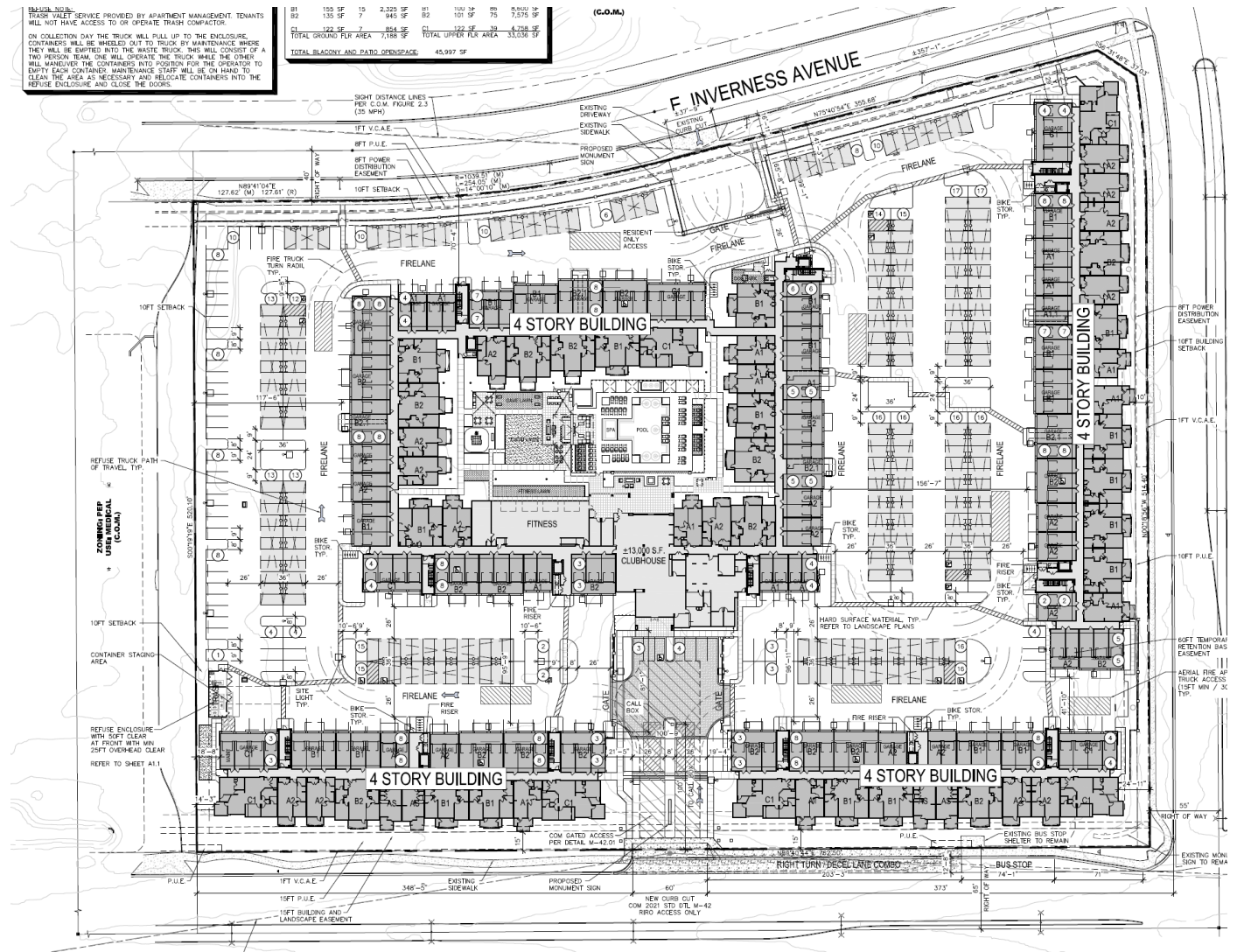
Looking north towards the site

# PAD Request

Development Standard	Required RM-5	Proposed RM-5-PAD	Staff Recommendation
Maximum Building Height	50'	60'	As proposed
Required Yards - Baseline Road - Inverness Avenue	0' min.; 10' max. 0' min.; 10' max.	0' min.; 15' max. 0' min.; 29' max.	As proposed
Landscape Yards - Baseline Road - Inverness Avenue - Interior	0' min.; 10' max. 0' min.; 10' max. 15'	0' min.; 15' max. 0' min.; 20' max. 10'	Not in support
Parking Ratio	2.1 spaces per unit	1.66 spaces per unit	Not in support
Drive Aisle Setback	50'	41'	As proposed

# Site Plan

- 394 units, 4 four-story buildings
- Primary access from Baseline, secondary from Inverness
- Centralized amenity space



# Design Review

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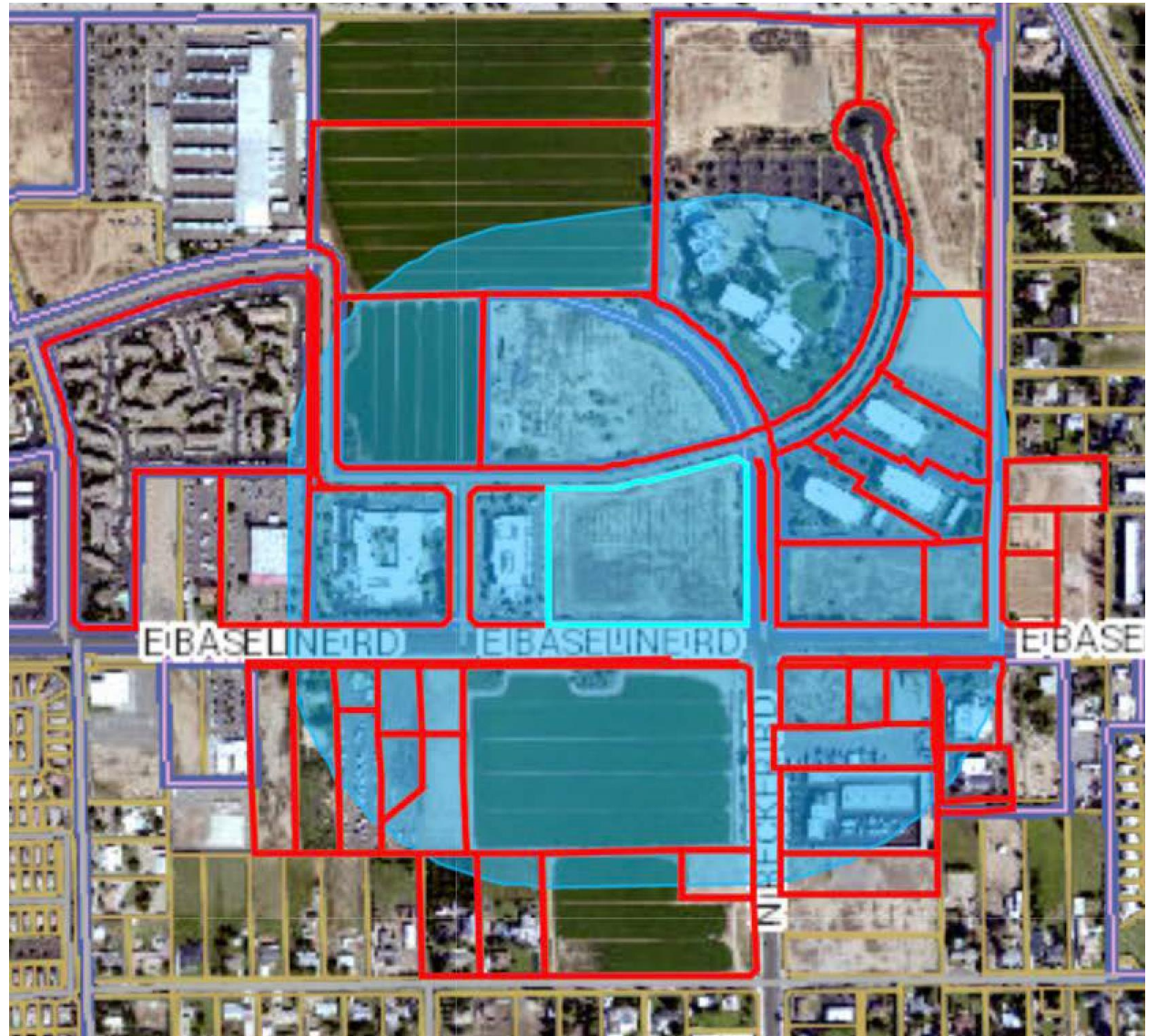
- September 13, 2022



# Citizen Participation

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- Property owners within 1,000 feet, HOAs & Registered Neighborhoods
- 2 neighborhood meetings. 1 attendee
- No additional responses



# Summary

## Findings

- ✗ Complies with the 2040 Mesa General Plan
- ✗ Criteria in Chapters 22 & 69 of the MZO for PAD & Site Plan Review

## Staff Recommendation

Denial



# PLANNING & ZONING BOARD

June 23, 2021