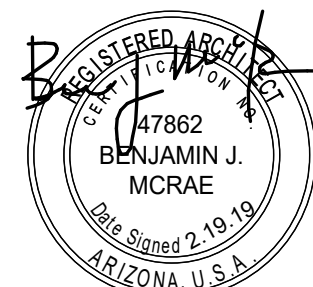


80TH ST AND PECOS

EAST OF SOSSAMAN AND PECOS ROAD
ON THE SOUTH SIDE OF PECOR ROAD
MESA, AZ

LGE DESIGNGROUP

NUMBER REVISION DATE



EXPIRES: 06/30/2023

SHEET TITLE: SITE PLAN

ISSUE DATE: 07/01/2022

DRAWN BY: Author

CHECKED BY: Checker

PROJECT No:

DR2.0

08/22/2022 - DR/ PREOZ SET

PROJECT DATA:

PROJECT ADDRESS: 80TH ST & PECOS
MESA, AZ

OWNER: CENTRIS MESA 80TH AND PECOS, LLC
CONTACT: JOE TRINKLE
130 EAST RANDOLP STREET, SUITE 2100
CHICAGO, IL 60601
PHONE: 281-779-6645
E-MAIL: JTRINKLE@CA-VENTURES.COM

ARCHITECT (DESIGN-BUILDER): LGE CORPORATION d/b/a LGE DESIGN BUILD
1200 NORTH 52ND STREET
PHOENIX, AZ 85008
STUDIO DIRECTOR: BEN MCRAE
PHONE: 480-966-4001

PROJECT SCOPE: 2 NEW SPEC INDUSTRIAL BUILDINGS

ASSESSOR PARCEL NO.: 304-61-013E & 304-61-013D

CURRENT LAND USE: VACANT / FARM LAND

CURRENT ZONING: LI

SITE DATA:

SITE AREA: +/- 1,009,347 S.F. (23.17 AC.)

LOT COVERAGE ALLOWED: 90% MAX. GI (PREOZ)

LOT COVERAGE PROVIDED: 88 % (116,376 S.F. = 12% LANDSCAPE)

F.A.R.: 0.41

STORIES: ONE STORY

BUILDING AREA: 421,682 S.F. (TOTAL)
BUILDING A: 96,882 S.F.
BUILDING B: 324,800 S.F.

EMPLOYEE AND VISITOR AMENITIES

REQUIRED: 4,216 S.F. (1% PER BUILDING GROSS FLOOR AREA)

PROVIDED: 4,976 S.F. (1.18%)

OCCUPANCY: B, S-1

CONSTRUCTION TYPE: V-B w/ A.F.E.S.

SPRINKLERS: YES/ FULLY SPRINKLED

BUILDING HEIGHT: BUILDING A: +/- 32'-0"
BUILDING B: +/- 36'-0"

PARKING CALCS:

REQUIRED PARKING:
OFFICE: +/- 10,000 S.F. /375 S.F. = 27 SPACES
WAREHOUSE: 411,682 S.F. /900 S.F. = 456 SPACES

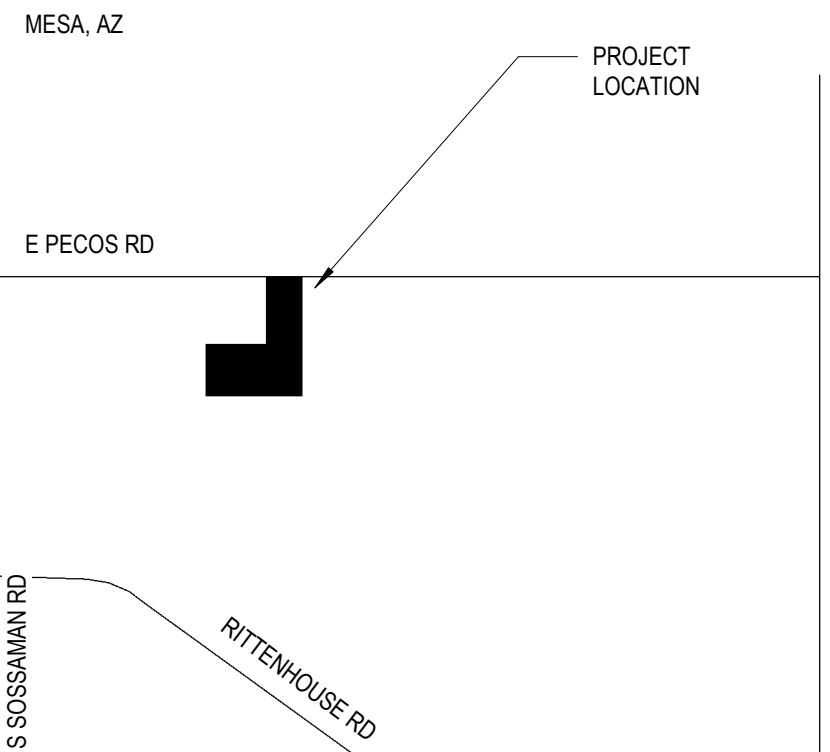
TOTAL SPACES REQUIRED:
(20% REDUCTION ALLOWED) = 485 SPACES*

PROVIDED PARKING:
TOTAL SPACES 388 SPACES

ACCESSIBLE PARKING CALCS:
PROVIDED: 12 SPACES

PARKING/ BUILDING RATIO: 0.92 CARS PER 1,000 S.F.

VICINITY MAP



**BUILDING SAFETY -
FIRE DEPARTMENT NOTES:**
FIRE CODE 503.8.3: PROXIMITY TO
BUILDING, NOT GREATER THAN 30'
POSITIONED PARALLEL TO THE FRONT OF
BUILDING.
*SEGMENTS PROVIDED THROUGHOUT
NORTH OF "BUILDING B" COMPLIANT TO
FIRE APPARATUS REQUIREMENTS

MINIMUM 15' FOUNDATION
BASE ALONG ENTRY SIDE OF
BUILDING (20' AT ENTRIES)

30' ACCESS EASEMENT

TYPICAL PARKING
SPACE DIMENSIONS
PER SECTION
11-32-2(H)(1)

MINIMUM 20'x20' WITH
900 S.F. TOTAL
FOUNDATION BASE
AREA AT ENTRIES

LI ZONING

MINIMUM 10' SIDE
FOUNDATION BASE
ADJACENT TO PARKING

20' STREET BUILDING AND
LANDSCAPE SETBACK

3' CMU PARKING
SCREEN WALL

8' UTILITY EASEMENT

PUBLIC UTILITY EASEMENT

8' HT CMU YARD
SCREEN WALL

VISIBILITY TRIANGLES PER
ZONING SIGHT TRIANGLES

VISIBILITY TRIANGLES PER
ZONING SIGHT TRIANGLES
15' STREET BUILDING AND
LANDSCAPE SETBACK

9' ELECTRICAL EASEMENT

3' CMU PARKING
SCREEN WALL

FIRE ACCESS GATE

FIRE TURNING RADIUS, TYP.

OPEN SPACE AMENITY
REFER TO ENLARGED PLANS

15' LANDSCAPE SETBACK

MINIMUM 10' FOUNDATION
BASE ALONG SIDE OF
BUILDING
AT PARKING
MINIMUM 5' FOUNDATION BASE
ADJACENT TO DRIVE AISLE

0' SIDE AND REAR
BUILDING SETBACKS

LI ZONING

OPEN SPACE AMENITY
REFER TO ENLARGED
PLANS

15' LANDSCAPE
SETBACK

CONNECTIONS ACROSS
PARKING
AREAS, TYP.

BUILDING B
324,800 S.F.
36' CLEAR

SES 3000A

62 TRAILER SPACES

XFMR

LI ZONING

BUILDING A
96,882 S.F.
32' CLEAR

BASE AREA CALCULATION AT NORTH
FACE OF BUILDING B
REQUIRED:
112' (BUILDING LENGTH) * 15' (MIN.
AVERAGE BASE) = 16,800 S.F.
PROVIDED: 18,100 S.F.

EXISTING ADJACENT DRIVE
CONNECTIONS ACROSS
PARKING AREAS, TYP.

MINIMUM 15' FOUNDATION
BASE ALONG ENTRY SIDE OF
BUILDING (20' AT ENTRIES)

MINIMUM 20'x20' WITH 900 S.F. TOTAL
FOUNDATION BASE AREA AT ENTRIES

8' HT YARD CMU SCREEN WALL

XFMR

SES 3000A

REFUSE POSITION

9'x10' DOOR @

12'x14' KNOCKOUT

3'x7' HM DOOR @

16'x14' KNOCKOUT

9'x10' DOOR @

12'x14' KNOCKOUT

8' HT YARD CMU SCREEN
WALL

AUTO SLIDING GATE, TYP

REFUSE POSITION

8' HT YARD CMU SCREEN
WALL

MINIMUM 20'x20' WITH 900 S.F.
TOTAL FOUNDATION BASE
AREA AT ENTRIES

MINIMUM 5' SIDE FOUNDATION
BASE ADJACENT TO DRIVE AISLE

LI ZONING

15' LANDSCAPE SETBACK

8' HT CMU YARD SCREEN
WALL

0' SIDE AND REAR
BUILDING SETBACKS

LANDSCAPING NOT
REQUIRED WITHIN YARD
PER 11-30-7(b)(2)

1

PRELIMINARY SITE PLAN

1" = 100'-0"

80TH ST AND PECOS

EAST OF SOSSAMAN AND PECOS ROAD
ON THE SOUTH SIDE OF PECOR ROAD
MESA, AZ

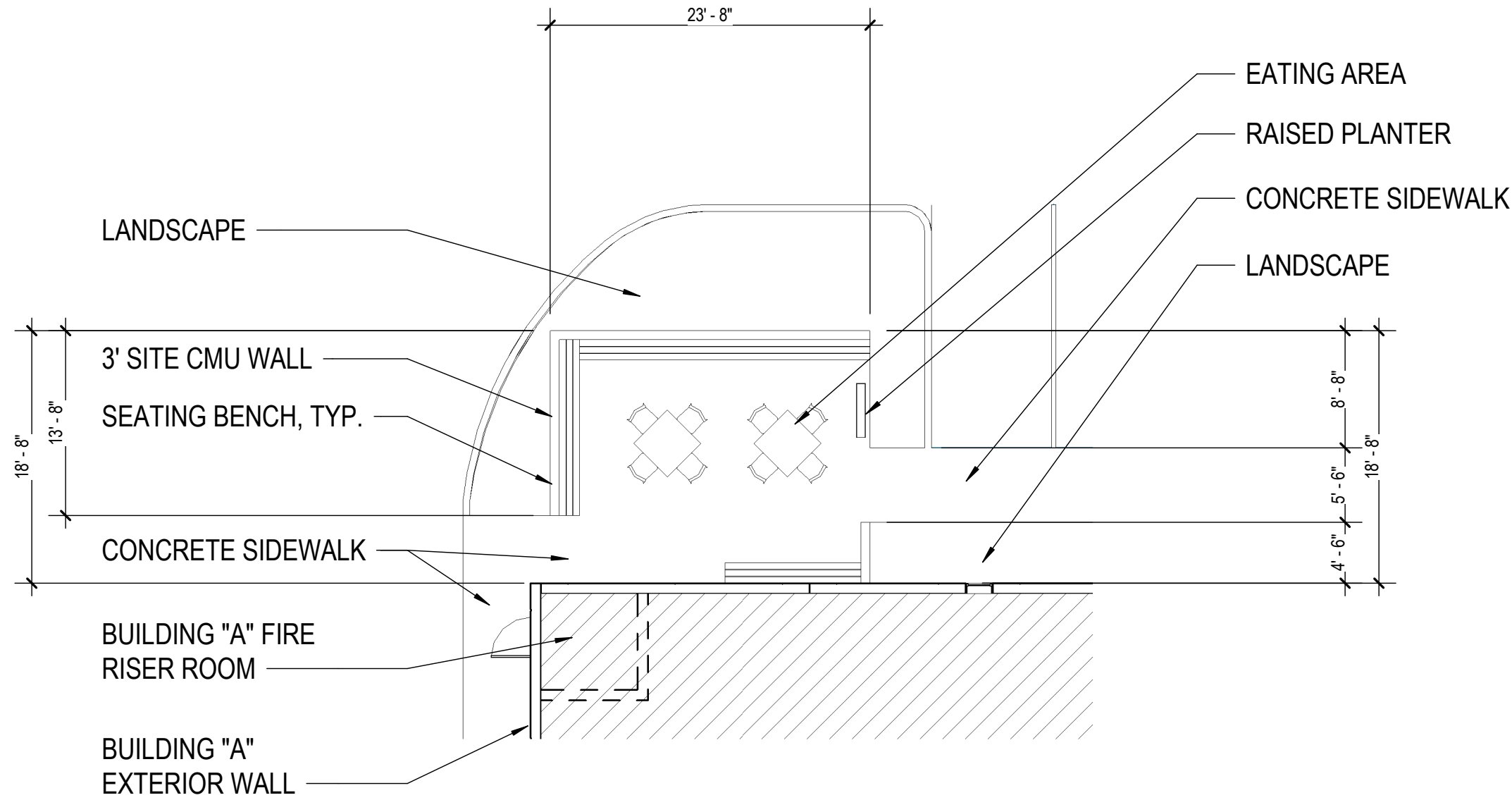
NUMBER	REVISION	DATE

SHEET TITLE:	
ENLARGED EMPLOYEE AND VISITOR AMENITIES	
ISSUE DATE:	07/01/2022
DRAWN BY:	CE
CHECKED BY:	Checker
PROJECT No:	

DR2.4

08/22/2022 - DR/ PREOZ SET

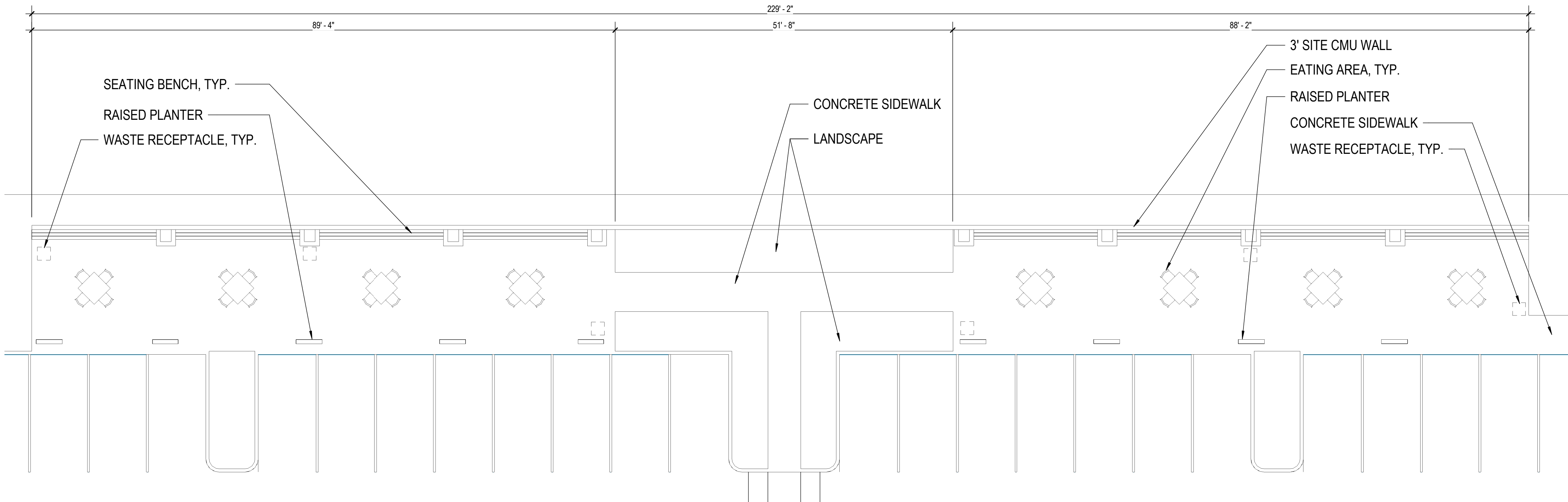
EMPLOYEE AND VISITOR AMENITIES	
REQUIRED:	
BUILDING GROSS FLOOR AREA	421,682 S.F.
1% REQUIRED:	4,216 S.F.
PROVIDED:	
AREA 1	441 S.F.
AREA 2	4,535 S.F.
TOTAL	4,976 S.F. (1.18%)



1

ENLARGED EMPLOYEE AND VISITOR AMENITIES (AREA 1)

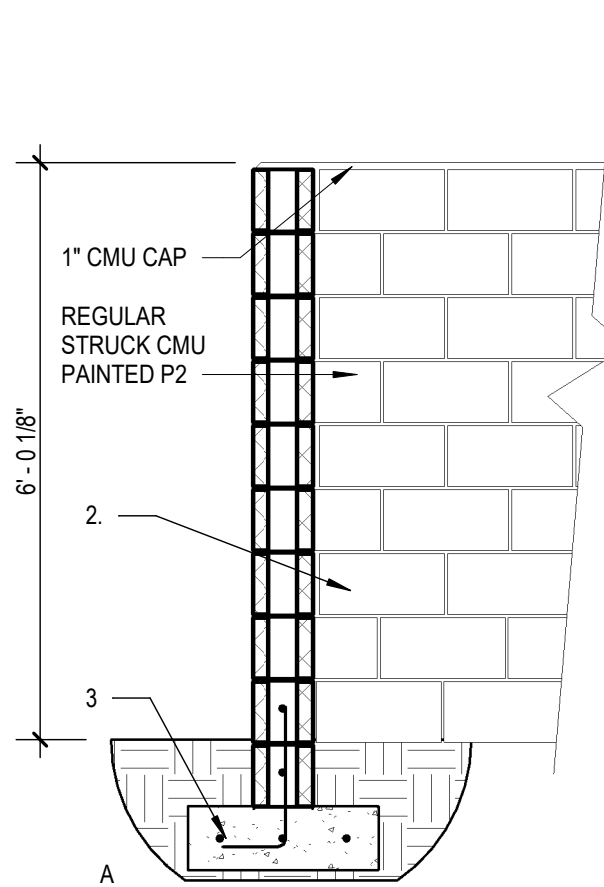
1" = 10'-0"



2

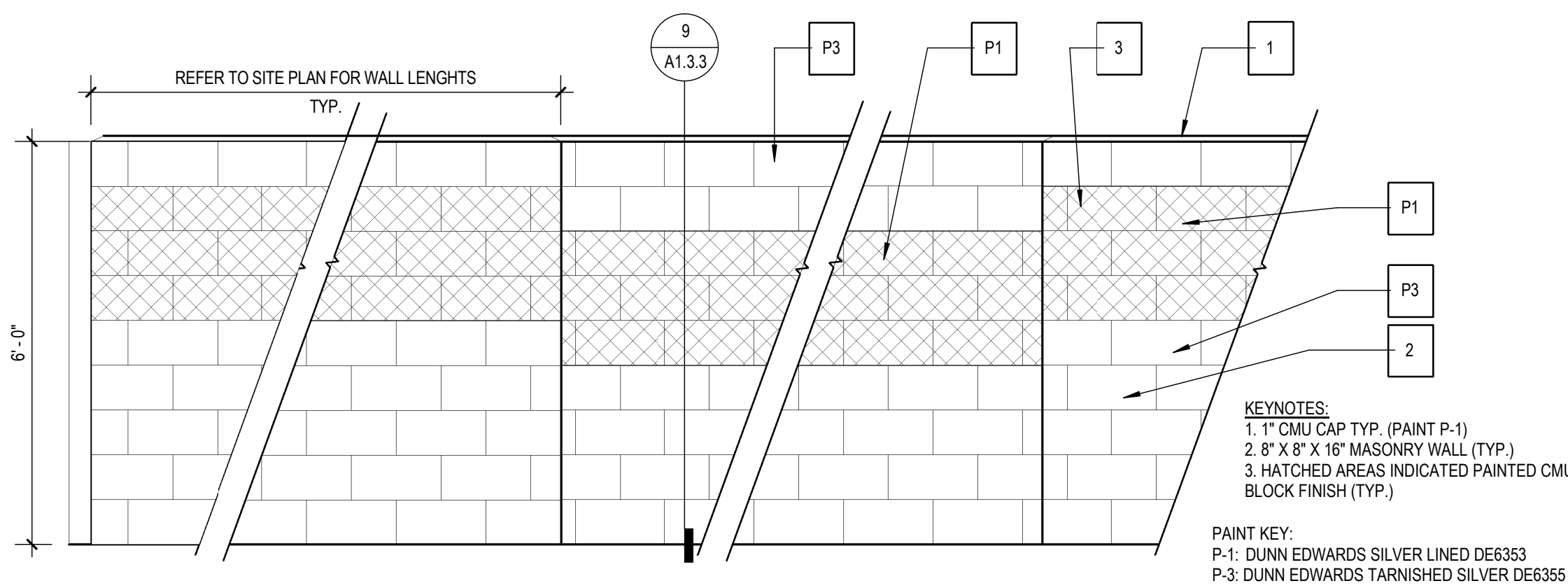
ENLARGED EMPLOYEE AND VISITOR AMENITIES (AREA 2)

1" = 10'-0"

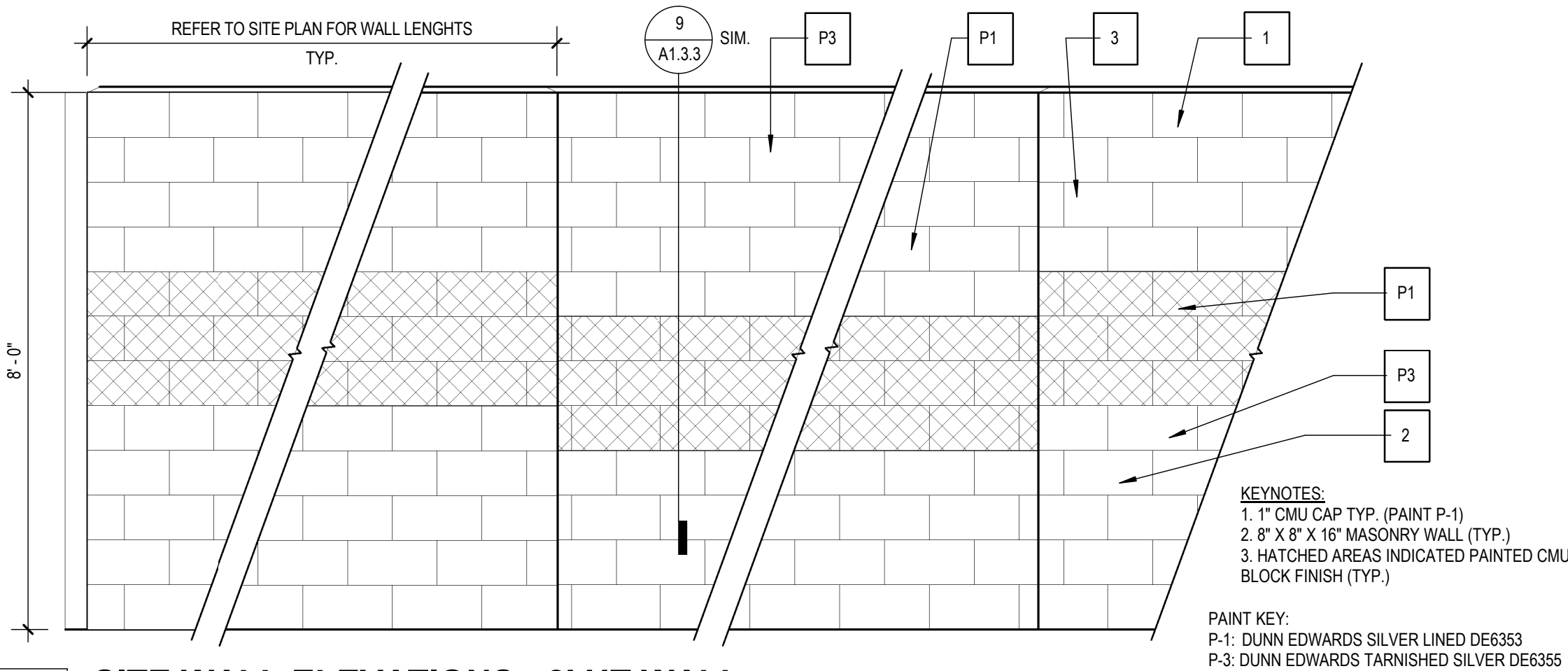


- SCREEN WALL NOTES**
1. PARKING WALLS ARE TO BE A MINIMUM OF THREE FEET FOUR INCHES ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER
 2. SITE SCREEN WALLS A MAXIMUM 8'-0" ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER
 3. SEE STRUCTURAL DRAWINGS FOR ALL FOOTING AND REINFORCING INFORMATION
 4. COORDINATE OPENINGS AND WEEPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.
- A SCREEN WALL AT REAR OF THE BUILDING 8 X 8 X 16 REGULAR STRUCK CMU SEE STRUCTURAL
- B PARKING WALL 8 X 8 X 16 REGULAR STRUCK CMU, SEE STRUCTURAL

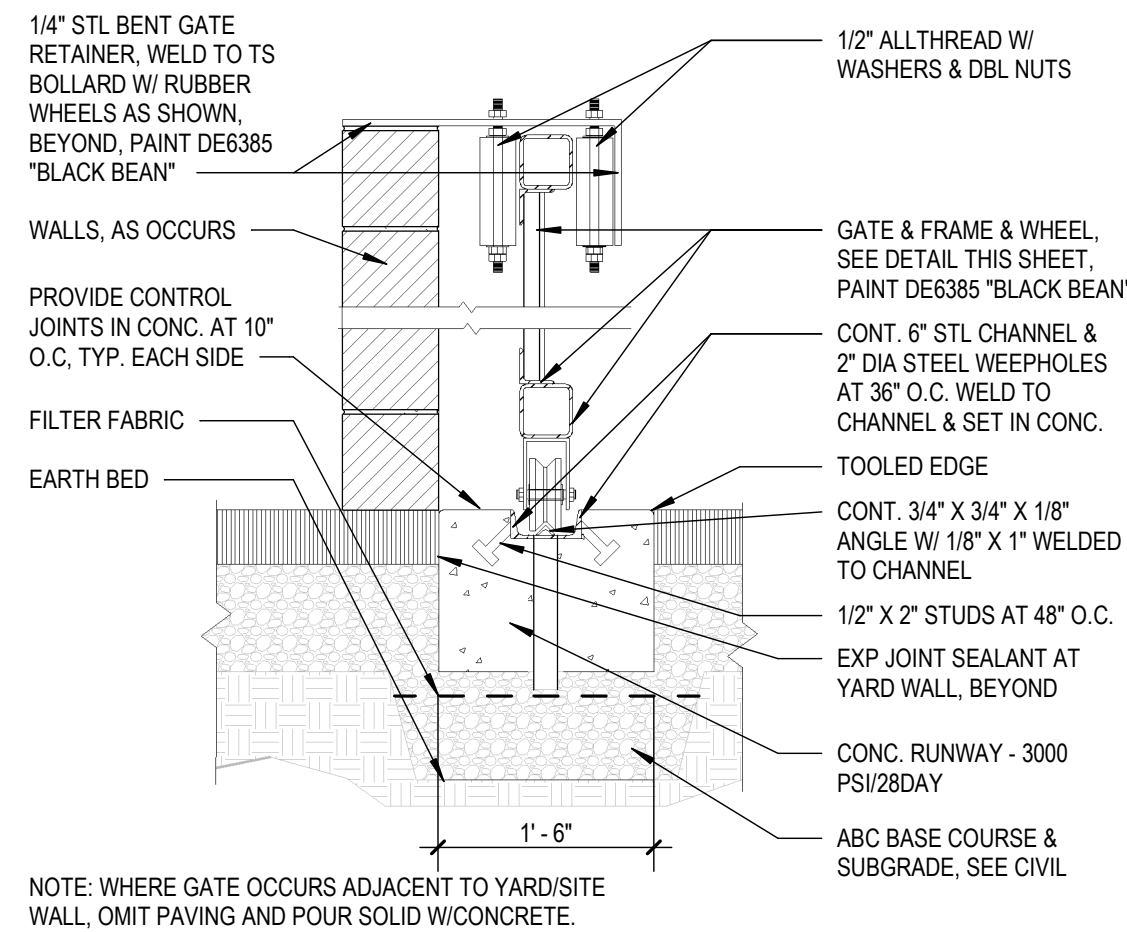
9 SECTION - SITE WALLS 6'
1/2" = 1'-0"



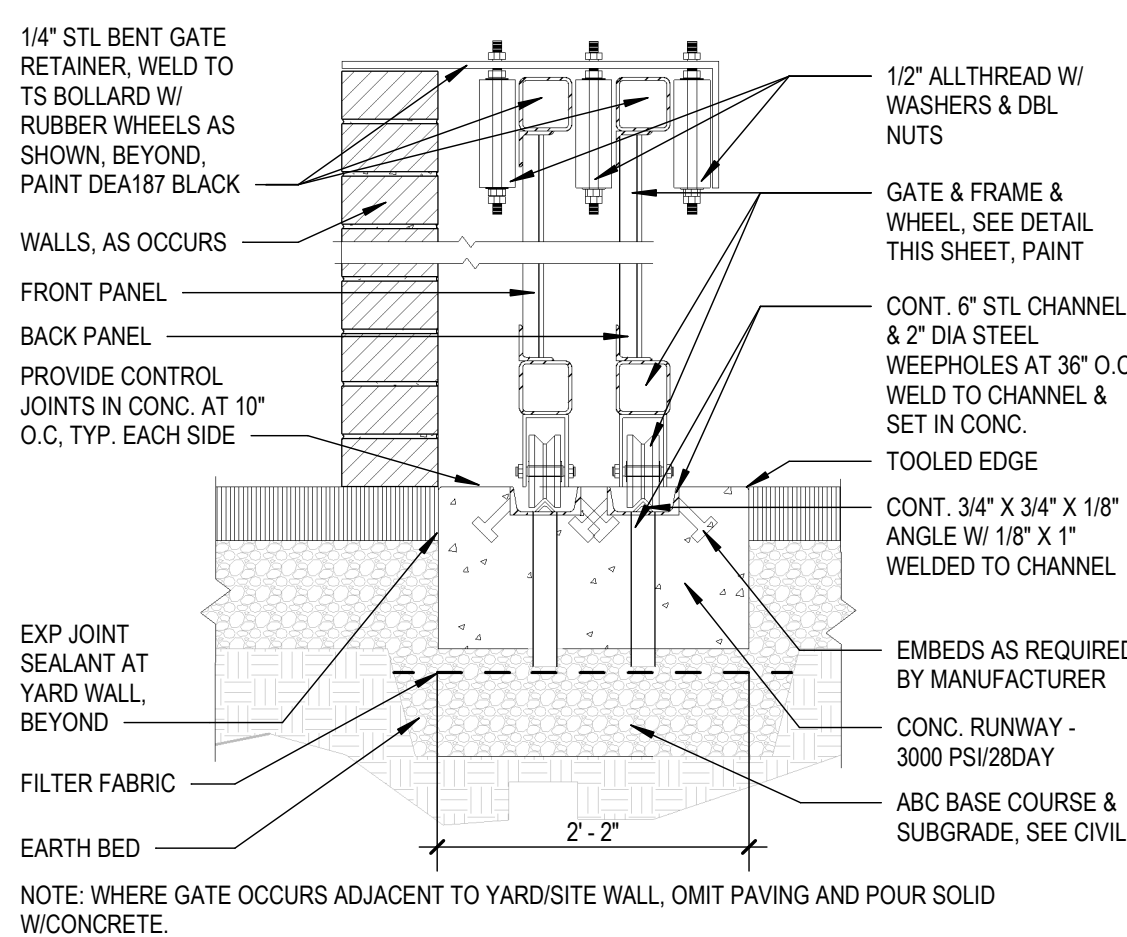
8 SITE WALL ELEVATIONS - 6' HT WALL
1/2" = 1'-0"



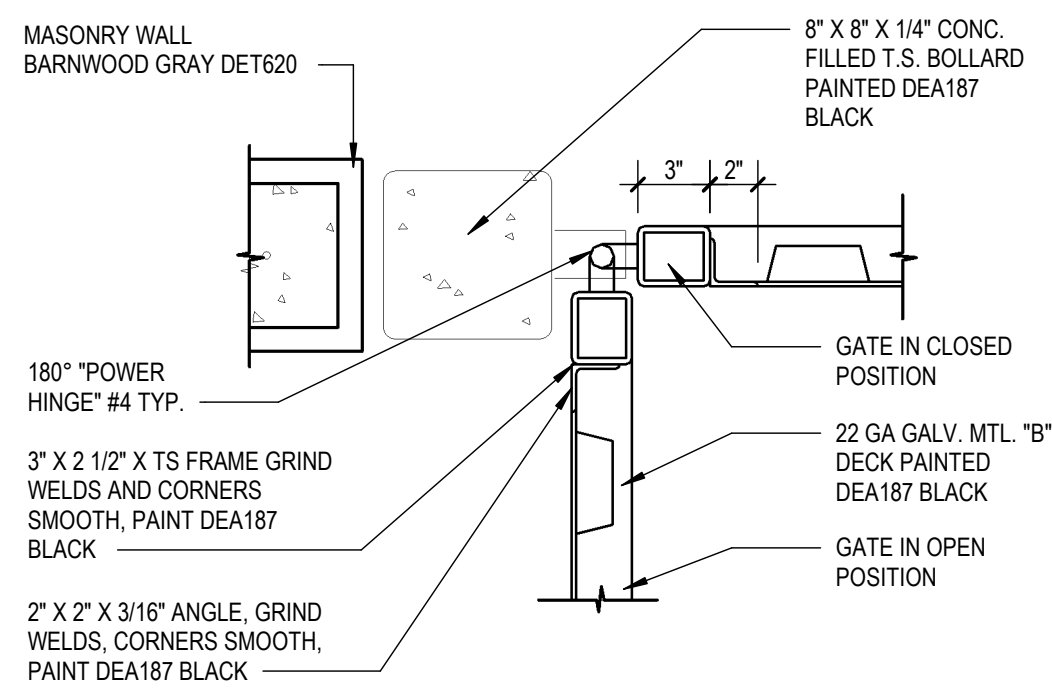
10 SITE WALL ELEVATIONS - 8' HT WALL
1/2" = 1'-0"



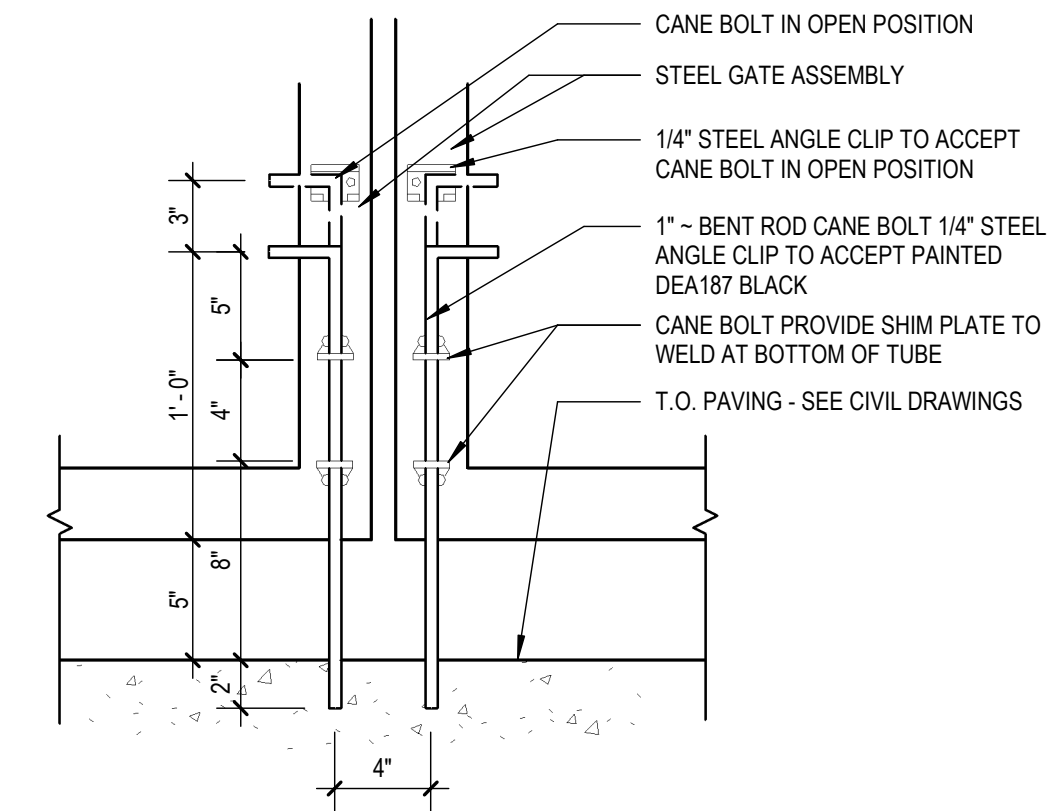
4 ROLLING GATE
3/4" = 1'-0"



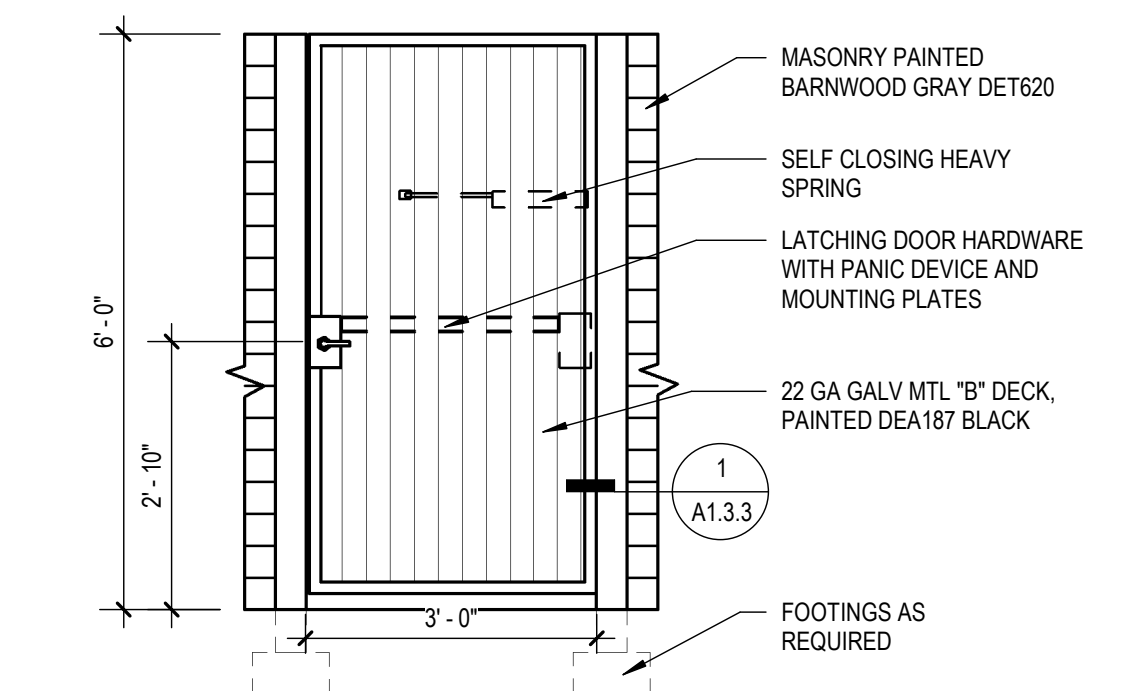
5 TELESCOPING GATE
3/4" = 1'-0"



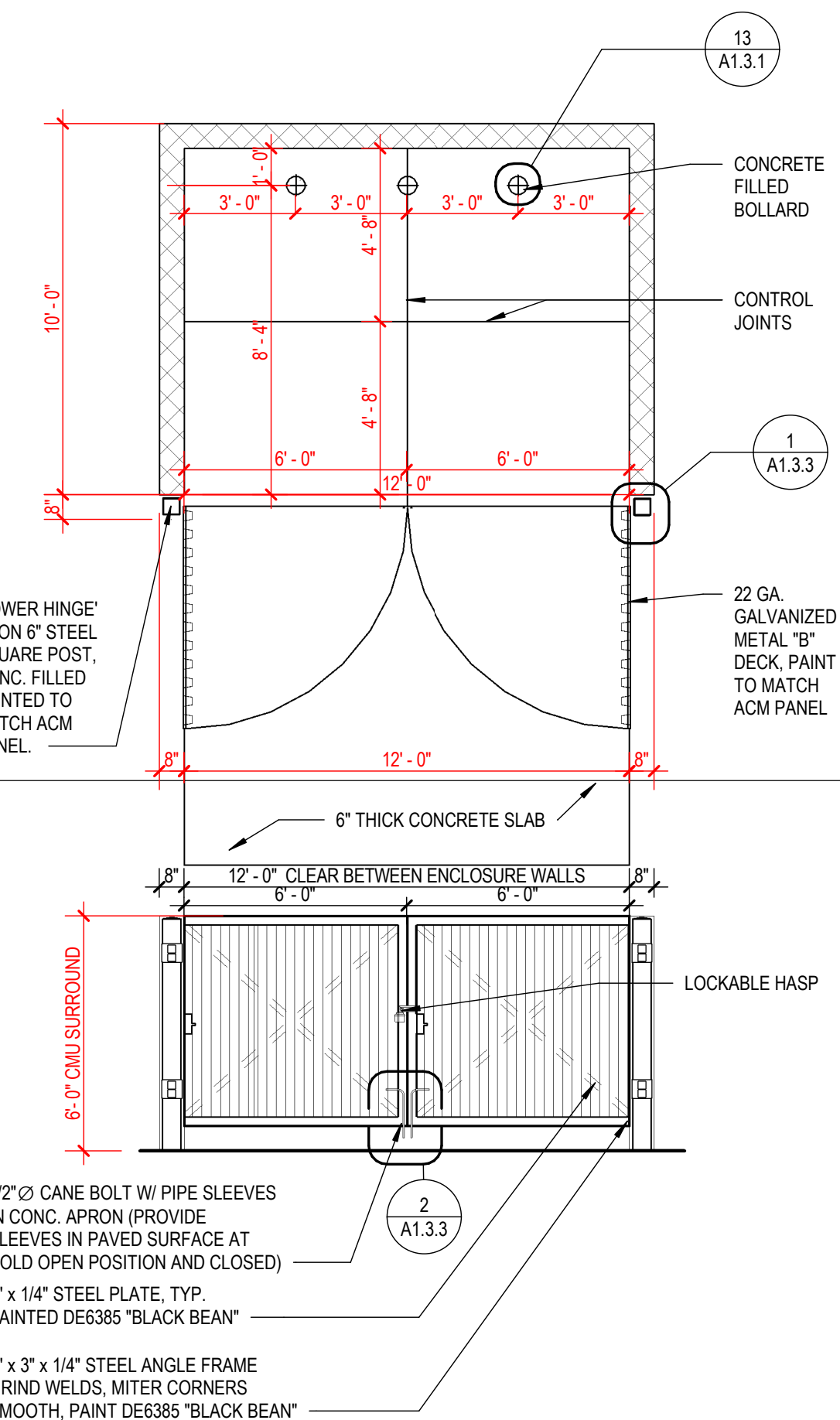
1 GATE HINGE
1 1/2" = 1'-0"



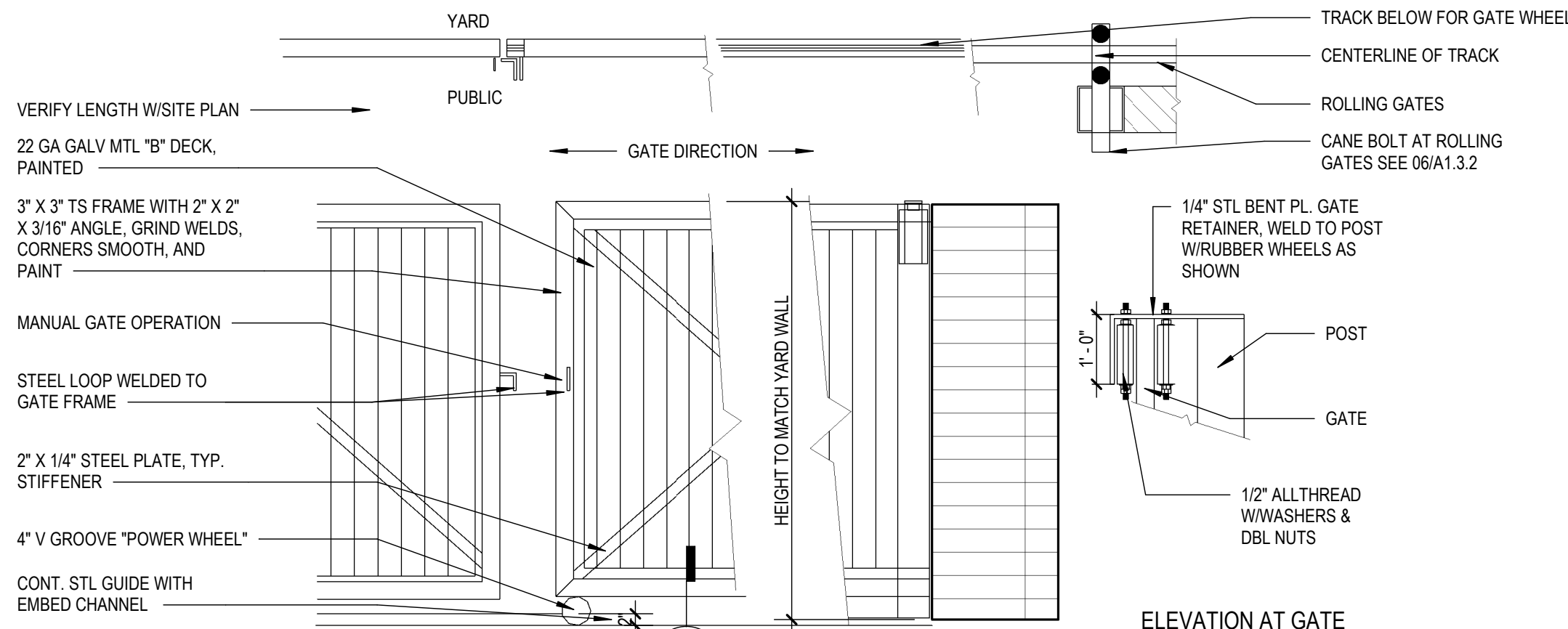
2 CANE BOLT DETAIL
1 1/2" = 1'-0"



6 SINGLE GATE
1/2" = 1'-0"

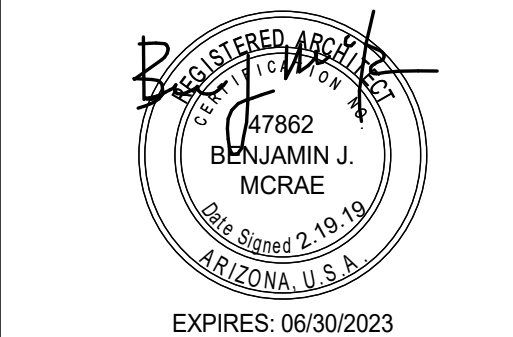


3 TRASH ENCLOSURE TYP
1/4" = 1'-0"

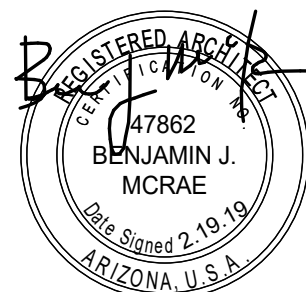


7 DOUBLE GATE
1/2" = 1'-0"

NUMBER	REVISION	DATE



SHEET TITLE:	SITE GATE DETAILS
ISSUE DATE:	07/01/2022
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT No:	



EXPIRES: 06/30/2023

SHEET TITLE: SITE GATE DETAILS

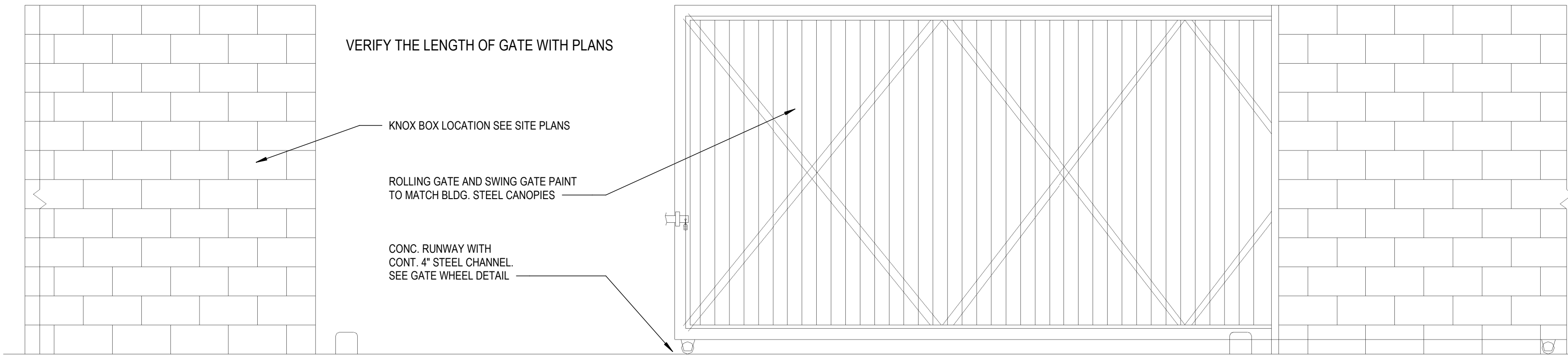
ISSUE DATE: 07/01/2022

DRAWN BY: Author

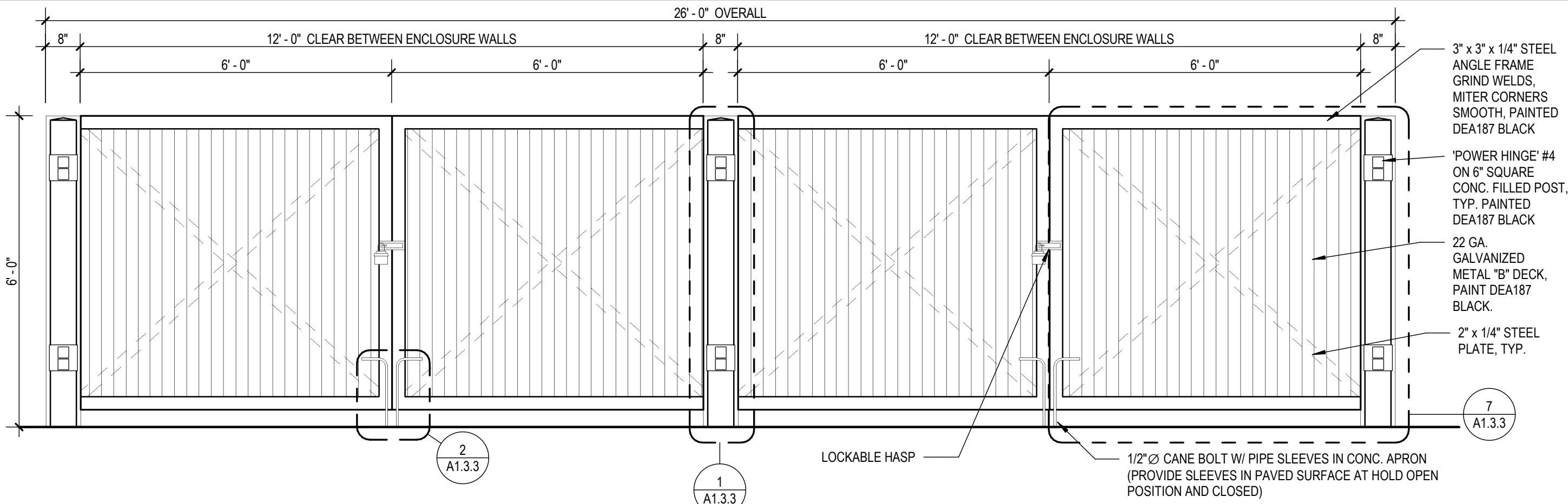
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PROJECT No:

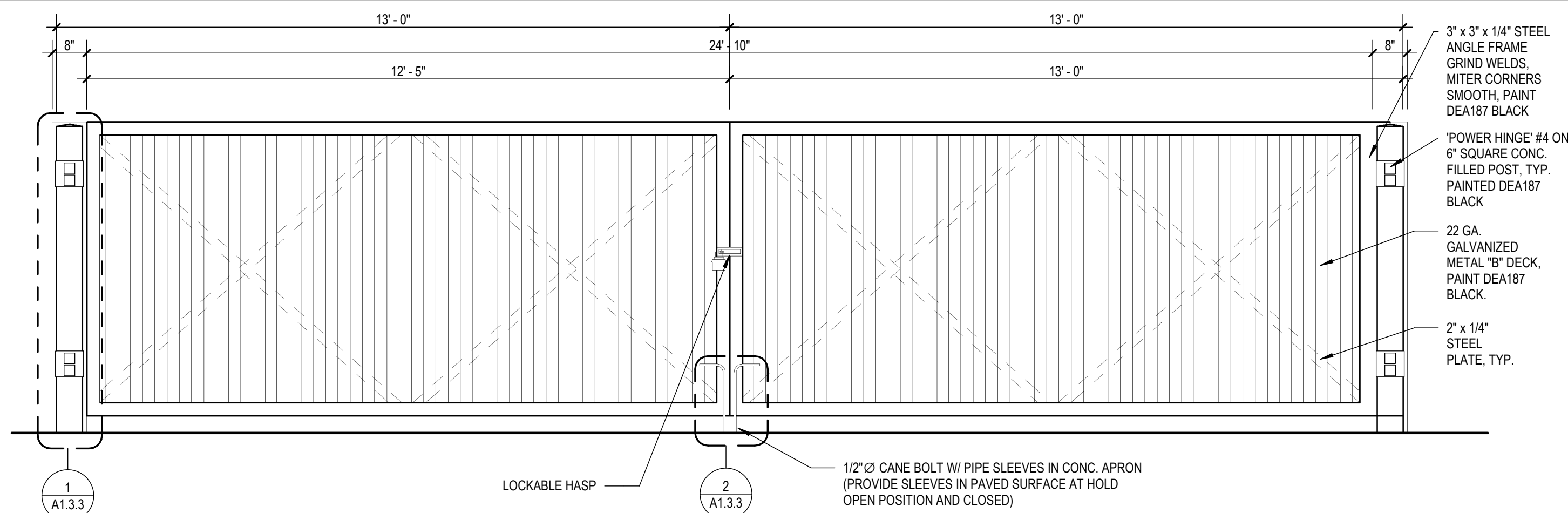
A1.3.4



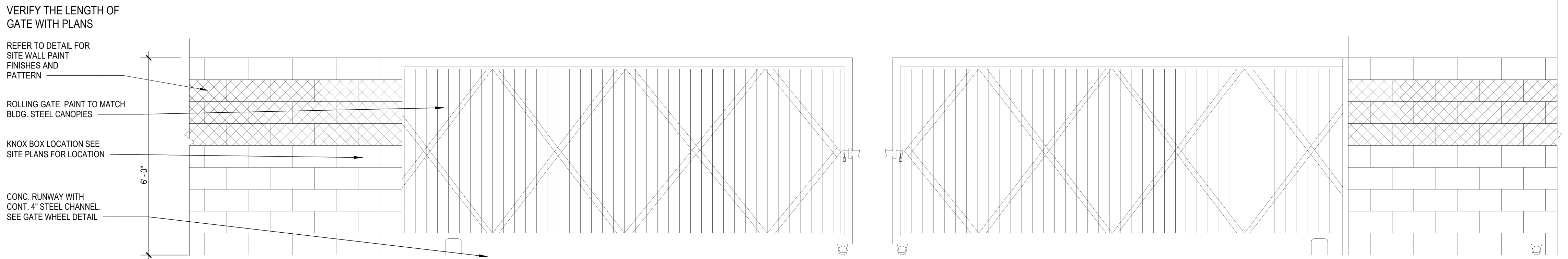
1 SINGLE GATE ELEVATION
1/2" = 1'-0"



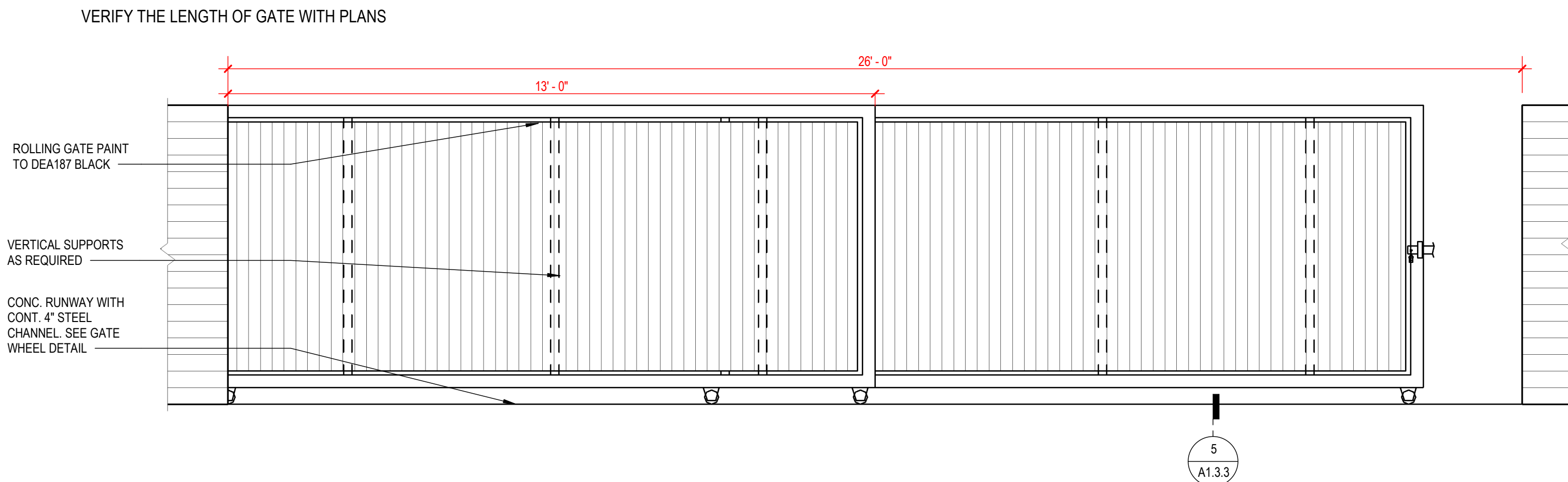
5 DOUBLE TRASH ENCLOSURE GATE ELEVATION
1/2" = 1'-0"



2 SWING GATE ELEVATION
1/2" = 1'-0"



3 DOUBLE GATE ELEVATION
1/2" = 1'-0"



4 TELESCOPING GATE ELEVATION
1/2" = 1'-0"