

# HUELLMANTEL AFFILIATES

## MEMORANDUM

To: Cassidy Welch, City of Mesa - Planning Division  
From: Charles Huellmantel, Huellmantel & Affiliates  
Re: Millennium Superstition Springs - ZON22-00431 & DRB22-00644  
Date: July 18, 2022

Thank you for your recent round of comments. We have been working through the comments provided by the City from the Formal Planning and DRB submittals and have addressed each with this response letter. Please let me know when you might have time for a call to discuss the next steps for this case based on the plans provided. This letter provides detailed answers (in blue) to each of the comments (in grey), which are listed below:

### **COMMENTS FROM PRE-APPLICATION SUBMITTAL** **PLANNING DIVISION (ZON22-00431)**

#### **Project Review Comments:**

General Plan:

- 1. Repeat: The subject site is currently located within the Specialty District character area designation of the Mesa 2040 General Plan. The subject site is also located within the Medical Campus sub-type of the Specialty character area designation of the Mesa 2040 General Plan. For the Medical Campus sub-type, a minimum 80% of the total character area shall be reserved for primary land uses and zoning districts. The minimum primary percentage must be developed for the total character area, not per specific development. Gilbert Town area cannot be counted towards primary percentage calculations. Multiple residence, exclusively identified as the RM-4 zoning district, is identified as a secondary use and zoning. Per the revised submittal, the rezone request still includes a request to RM-5. RM-5 is not identified as a secondary zoning district in the Specialty-Medical Campus character area.*

**"Secondary zoning districts and secondary land uses are allowed if appropriate for the location and if the secondary zoning districts and secondary land uses provide a mixed-use development and add to the vibrancy of the area.** The use of secondary zoning districts and secondary land uses are intended to support primary zoning districts and primary land uses and the use of such secondary districts or uses should be de minimis. If a character type or sub-type includes a list of secondary zoning districts or secondary land uses or both, the secondary zoning districts and secondary land uses are only permitted after the primary zoning district and primary land use requirements are satisfied, either through a specific development proposal or rezoning request, or if an existing development within a character area already satisfying the requirements." Also, "As part of a rezoning, City Council may approve minor deviations to the minimum required primary land uses or primary zoning districts or both and minor deviations to the maximum permitted secondary land uses or

secondary zoning districts or both... [council] must clearly demonstrate the proposed development or rezoning will achieve the intended character of the area; and... that the development is a better option than the land uses or zoning districts listed for that character type."

Within our Specialty District Area (highlighted in Red in the graphic below), current multifamily uses (including both conventional and resident-restricted affordable communities) account for **15.4%** of the total 241-acre area. If you remove the resident-restricted affordable housing, this ratio falls to **8.08%**, well under the total 20% allocation set forth in the General Plan. Adding in our 9.83ac site pushes the ratio of market-rate multifamily to **12.16%**, still far below the 20% maximum allocation. **To meet the ultimate desired ratio of 80% Primary & 20% Secondary, less than 30% of the remaining Vacant land (not counting Banner, AT Still, Hines, and our site) needs to be developed with Primary uses.**

The average rent/cost of housing in the immediate submarket has escalated by an average of **20.6% YoY, or \$4,607/year. Additionally, the Rent to Household Income ratio is now above 30%, in a metro which already ranks #1 for CPI inflation nationally at 12.3%.** More housing supply is desperately needed in this immediate trade area - especially given the influx of jobs and subsequent demand to the area Specialty District in the coming years with Banner, Hines, and future AT Still development projects. Simply put, the employers in the area need more housing to attract and sustain the new employees.



APN	Net AC	Zoning	Land Use*	User/Eventual User	Zoning Primary or Secondary	% of Total
141-53-710	13.85	RM-3	Multifamily	Colonial Grand Apartments	Secondary	5.74%
141-53-80	17.61	RM-4	Multifamily	San Angelin Apartments	Secondary	7.30%
141-53-896B	9.83	RM-5-PAD	Multifamily	Millennium at Superstition Springs	Secondary	4.08%
141-53-711	2.72	RM-3	N/A	Colonial Grand Apartments	Secondary	1.13%
141-53-712	1.57	RM-3	N/A	Colonial Grand Apartments	Secondary	0.65%
141-53-713	1.34	RM-3	N/A	Colonial Grand Apartments	Secondary	0.56%
141-53-514	0.85	PEP	Medical	Banner Health	Primary	0.35%
141-53-693A	25.99	PEP	Medical	Banner Health	Primary	10.78%
141-53-685A	5.08	PEP	Medical	Banner Health	Primary	2.11%
141-53-722	4.59	PEP	Medical	Banner Health	Primary	1.90%
141-53-894A	3.43	NC	Medical	Sante of Mesa	Primary	1.42%
141-53-897	6.52	PEP	Medical	Healthsouth	Primary	2.71%
141-53-896A	3.54	PEP	Medical	Steward Mesa Hospital	Primary	1.47%
141-53-892	24.65	LI	Medical	AT Still University	Primary	10.22%
141-53-891	9.32	PEP	Medical	AT Still University	Primary	3.86%
141-53-890	3.66	PEP	Medical	AT Still University	Primary	1.52%
141-53-889	2.89	PEP	Medical	AT Still University	Primary	1.20%
141-53-899	2.99	PEP	Medical	AT Still University	Primary	1.24%
141-53-900	3.16	PEP	Medical	AT Still University	Primary	1.31%
141-53-729	4.13	PEP	Medical	AT Still University	Primary	1.71%
141-53-730	1.71	PEP	Medical	AT Still University	Primary	0.71%
141-53-893	4.33	PEP	Medical	AT Still University	Primary	1.80%
141-53-895A	5.02	NC	Office	Chela Financial + Acumen	Primary	2.08%
141-53-052G	2.26	LI	Industrial	Marimo Capital LLC	Primary	0.94%
141-53-043C	4.53	LI	Industrial	Service King Collision	Primary	1.88%
141-53-723	17.24	PEP	Industrial	UPS	Primary	7.15%
141-53-045F	12.57	PEP	Industrial	Hines	Primary	5.21%
141-53-045P	19.46	PEP	Industrial	Hines	Primary	8.07%
141-53-049D	8.44	PEP	Industrial	Hines	Primary	3.50%
141-53-726B	13.66	PEP	Industrial	Hines	Primary	5.67%
141-53-697	1.90	LC	N/A	N/A	Primary	0.79%
141-53-052H	2.27	OC	N/A	N/A	Primary	0.94%
<b>Total</b>	<b>241.10</b>					

\*Land Use is defined as either current or expected future use

Zoning	% of Total
Primary	80.5%
Secondary*	19.5%
<b>Total</b>	<b>100.0%</b>

\*If proposed multifamily approved

- Repeat: The proposed request does not comply with the minimum primary percentages and does not meet the permitted zoning districts within a secondary percentages. Further, the proposed development does not meet the intent of Chapter 4 of the General Plan for creating and maintaining great neighborhoods. For these reasons, staff is still not in support of the proposed request.

Please refer to #1 for the response to how our proposed request does comply with the minimum primary and secondary use percentages.

Our site is part of the Hines and Tenant Healthcare master plan, which includes the medical campus and Hines industrial uses. These primary uses have been established and they are working through their entitlement process with the City of Mesa - therefore, this secondary use is being proposed to support the primary uses. Although the proposed site is at this time located away from the other existing uses in the surrounding areas, future development is being planned and working through entitlements with the City of Mesa on the adjacent parcels. This is creating a network of landscaped pedestrian services that will connect with the current and future jobs in the area and will lend to the creation of great neighborhoods in the future, when the adjacent lots are developed.

## Zoning

- Repeat: Per the submitted plans, the subject request includes a rezone to RM-5-PAD. RM-5 is not an identified secondary zoning district in the Specialty-Medical Campus character area.

*Therefore, staff is still not supportive of the proposed rezoning request as it not consistent with the Mesa 2040 General Plan and is not compatible with surrounding land uses.*

Our request is to rezone the subject site to RM-5 to allow for the construction of the Millennium Superstition Springs multifamily residential development. We believe that our proposed use is in conformance with the Mesa 2040 General Plan – the site is part of an overall master plan which includes approximately 55 acres of industrial uses and adjacent to the healthcare campus – our proposed multifamily residential site will support the proposed and existing uses in the surrounding areas.

2. *Per the submitted plans, a Planned Area Development overlay (PAD) is requested. The proposed deviations include: increased building setbacks, reduced landscape setbacks and reduced parking ratio*
  - a. *Revise the project narrative to provide written justification for each deviation being requested. Staff is unable to support the proposed PAD as there does not appear to commensurate quality provided to support the proposed deviations.*  
The narrative is revised to provide justification for the PAD requests.

#### Site Plan

1. *Repeat. Per MZO Table 11-5-5, the maximum building height in the RM-5 zoning district is 50 feet.*
  - a. *The narrative provided indicates a height increase to 60 feet but this proposed height is not reflected in the elevations provided. Please clarify.*  
The requested building height for Millennium Superstition Springs is 50 feet to the top of the parapet. This information is reflected in the narrative.
2. *Repeat. Per MZO Table 11-5-5, the minimum open space requirements are 120 square feet per unit. Per MZO Section 1-5-5.A, open space may be provided in a combination of private and common open space, provided 3-bedrooms have at least 120 square feet of private open space.*
  - a. *C1 does not comply*  
C1 units are revised to provide a minimum 120 square feet of private open space.
  - b. *Required perimeter landscape yards and parking lot landscape islands cannot count towards common open space calculations.*  
The perimeter landscape yards and parking lot landscape islands are not included in the common open space calculations.
  - c. *Common open space areas shall be unroofed and unobstructed. The fitness center and clubhouse cannot count towards common open space calculations.*  
The common open space is unroofed and unobstructed.
  - d. *Common open space shall have no dimension less than 15 feet.*



Dimensions are shown on the Common Open Space plan to confirm that no open space dimension is less than 15 feet.

*Please revise the open space accordingly. See redlines drawings for specifics. Staff will not support reductions to open space standards as part of the PAD overlay.*

The open space plan is revised and accordingly, we are not requesting to deviate from the open space standards.

3. *Per MZO Table 11-6-3.B, the maximum yard setback for front and street facing sides is 10 feet. Per the PAD table, deviations have been requested.*
  - a. *Revise the project narrative to include justification for the proposed deviations.*  
One street does not comply with this requirement, Baseline Road. This is due to an existing 15 foot PUE, which will remain in place.
4. *Repeat. Per MZO Section 11-5-5.A.3, private open space located at the ground level shall have no dimension less than 10 feet.*
  - b. *Per the revised floor plans, Units A1, AS and C1 do not comply. Please revise the floor/unit plans accordingly. Staff will not support reductions to open space standards.*  
All ground floor private open space dimensions comply with the required 10 foot minimum.
5. *Repeat. Per MZO Section 11-5-5.B.4, walkways within the site shall be located and aligned to provide continuous connection between buildings and various site amenities.*
  - c. *Staff has concerns with the current pedestrian circulation within the development and the lack of connection between the buildings.*  
Additional pathways throughout the site have been provided to create better pedestrian circulation and access.
6. *Repeat. Per MZO Section 11-5-5.B.4, large surface parking lots shall be visually and functionally segmented into several smaller lots. Parking lot clusters can be separated by elements such as landscaping, pedestrian connections, building placement, common open space, etc.*  
The parking lot vehicular parking clusters are separated with a minimum of 24 foot wide landscape planters. These landscape islands create visual and functional separation.
7. *Repeat. Per Table 11-32-3.A of the MZO, multiple residence developments shall provide a parking ratio of 2.1 spaces per unit. The proposed site does not meet the criteria for a reduction due to proximity of bus rapid transit. A parking reduction to 1.71 spaces per unit is proposed. Staff has concerns with the proposed parking ratio. The Planning and Zoning Board and City Council have been hesitant to support parking reductions for multiple residence developments in the past.*
  - a. *Provide a parking study.*  
A parking study will be provided in accordance with the revised site plan.

8. Repeat. Per MZO Section 11-32-4.A, parking spaces along main drive aisles connection directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 feet from the property line abutting the street.

b. The Inverness drive aisle is required to comply or request a deviation and provide sufficient justification with the PAD overlay.

The PAD portion of the narrative has been revised to provide a justification for the deviation from the standards.

9. All required parking shall comply with the parking lot design and landscaping standards outlined in MZO Sections 11-32- & 11-33. If the partially covered tandem stalls are to be included in the parking calculations, they are required to comply with these standards including: striping between stalls, minimum size of 9 feet wide by 18 feet deep, and landscape islands every 8 stalls.

d. The proposed tandem stalls do not comply. Please revise accordingly or request a deviation and provide sufficient justification with the PAD overlay.

The tandem parking spaces comply with the Mesa Zoning Ordinance standards and landscape islands are located between every eight stalls. A deviation from the code is not requested for parking lot design. A site details sheet has been provided with this formal submittal set that includes dimensions for the tandem parking.

10. Repeat. Provide bicycle parking per MZO Section 11-32-8.

e. Provide calculations on the site plan.

The bicycle parking calculations are now provided in the project data table and shown on the site plan:

BIKE REQUIRED (MZO SECTION 11-32-8):	
1 SPACE PER 10 PARKING STALLS (UP TO 50)	58 BIKE STALLS
1 SPACE PER 20 PARKING STALLS (OVER 50)	
BIKE PROVIDED:	60 BIKE STALLS

#### Landscape:

4. Repeat. Per MZO Section 11-33-3.A.6, a minimum of 25% of the total required trees shall be 36-inch or larger and a minimum of 50% of the total required trees shall be 24-inch box.

Revise the landscape plan to include counts for percentages.

The quantity and size of tree provided have been listed on the landscape plan. Additionally, notes regarding the tree size and quantity percentages are shown on the plan:

#### ADDITIONAL NOTES

1. 25% OF TREES REQUIRED IN ROW SHOULD BE 36" BOX OR LARGER WITH A MINIMUM OF 50% OF REQUIRED TREES BEING 24" BOX. NO TREES SMALLER THAN 15 GALLON.
2. 10% OF TREES REQUIRED IN PARKING ISLANDS & FOUNDATION PLANTING AREAS NEED TO BE 36" BOX WITH THE BALANCE BEING AT LEAST 24" BOX
3. 50% OF TREES REQUIRED IN PERIMETER LANDSCAPE AREAS TO BE 24" BOX WITH THE BALANCE BEING 15 GALLON.
4. 50% OF ALL REQUIRED SHRUBS TO BE 5 GALLON WITH NO SHRUBS LESS THAN 1 GALLON.

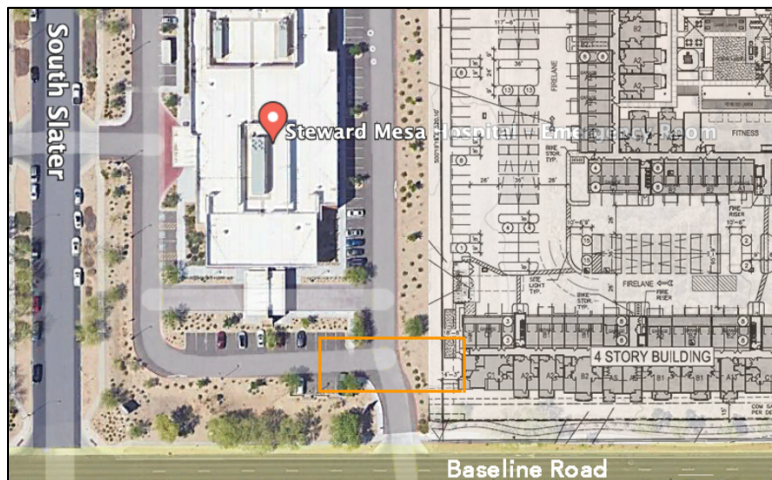
#### Additional Note:

- \*(2) ADDITIONAL 24" BOX TREES SUBSTITUTED FOR (4) 15 GALLON TREES
- \*\* (3) 24" BOX SUBSTITUTED FOR (6) 15 GALLON TREES

5. Repeat. Per MZO Section 11-33-3.B.2, non-single residence uses adjacent to non-residential districts and/or uses shall provide a 15-foot landscape yard. A deviation has been requested as part of the PAD overlay

- a. Revise the project narrative to include sufficient justification for the reduced setback. Staff has concerns with the proposed reduction.

The only landscape yard that is less than 15 feet adjacent to a non-residential use is the rear / west side:



This yard setback is proposed at 10 feet but the actual closest building to the adjacent use is approximately 14 feet, 3 inches from the property line, which is less than 1 foot shorter than required. The justification is included in the narrative.

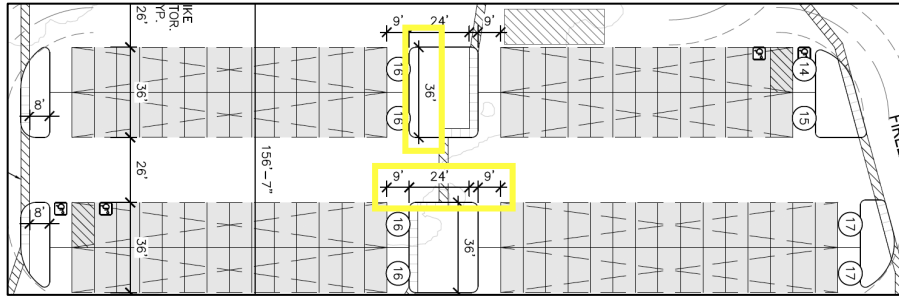
6. Per MZO Section 11-33-4, landscape islands shall be a minimum of eight feet wide and 15 feet in length for single-row and 30 feet in length for double-row parking. Provide dimensions on the site plan. This area is exclusive of the sidewalks. Please revise the landscape islands with sidewalks.

- a. Please revise the landscape islands with sidewalks.

The landscape islands have been revised to comply with this requirement. Please see the revised landscape plan, which shows dimensions for each landscape island.

7. Repeat. Per MZO Section 11-33-4.B, when parking canopies are adjacent to each other in a single row, the adjoining canopies shall be separated by at least a 24-foot-wide landscape island. The proposed site plan and landscape plan do not comply.

The landscape islands have been revised to comply with this requirement. Please see the revised landscape plan, which shows dimensions for each landscape island adjacent to adjoining parking canopies:

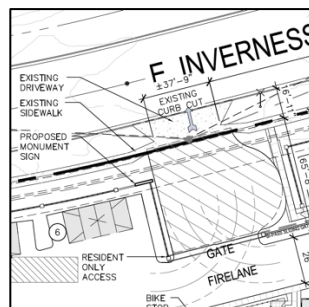


8. Per MZO Section 11-33-4.D, parking lot landscape islands shall provide 1 tree and 3 shrubs per island. This includes islands with sidewalks. Please revise the landscape plan accordingly. The landscape plan is revised to provide the required landscape, per parking lot island.

#### Transportation Review Comments

1. Gated driveway entrances shall be per COM 2021 Std Dtl M-42.01 or M-42.02 or provide an acceptable alternative design that allows vehicles that are denied entrance a means of turning around. Please callout the keypad location. The number of units required a 100' storage between the keypad and the ROW. The Inverness Ave access will require a turn-around area as well - even if for residents only. The main entry gates off Baseline Rd should be pushed into the site further to allow for better circulation and less congestion around the Clubhouse and leasing office.

As you can see in the image below, a turnaround has been provided for residents on Inverness Avenue:



The entrance on Baseline Road provides a right turn lane deceleration lane of approximately 203 feet and the driveway entrance is more than 100 feet long to the call box, with a gate on the east and the west side of the driveway.

*\*\*The following comments will not hinder Site Plan approval and appear below to carr-over to the improvement plan reviews:*

2. Street Improvements - Install public half street improvements to the COM Standards (paving, curb, sidewalk, streetlights, traffic signal, fiber optics, irrigation systems, and storm drain systems, under grounding of existing overhead utility lines) for the street(s) identified below. Refer to Mesa Transportation Plan, Off-site Improvement regulations, Engineering & Design

*Standards, Subdivision Regulations and Mesa Standard Std Dtls and Specifications for information. Median openings and traffic signals shall be per the aforementioned guidelines and standards. Any impact/relocation of existing streetlights requires complete plan submittal. We will comply with applicable requirements during the construction document phase.*

3. *Verify ROW and PUF (Baseline Rd requires 65' ROW & 8' PUF, Sunview requires 55' ROW & 8' PUF and Inverness Ave requires 40' ROW & 8' PUF) and if not meeting current code requirements, dedicate to meet City of Mesa Detail M-19.01. All public facilities, including the sidewalk, driveways, and deceleration lanes, shall reside within the public domain - this may require additional dedications.*

*We will comply with this requirement during the construction document phase.*

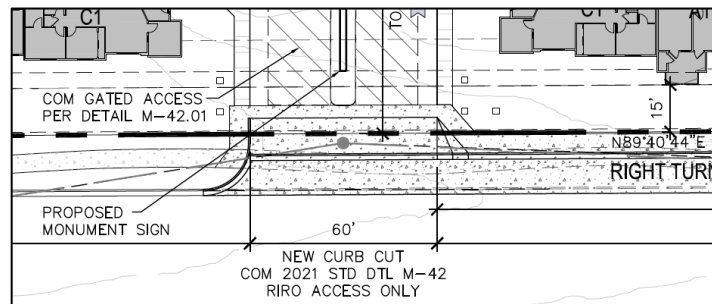
4. *Baseline Rd is in the jurisdiction of the Town of Gilbert. Please coordinate all submittals. We have been coordinating with the Town of Gilbert and will continue to work with the Town through and after entitlement approval.*

5. *Sunview exists - no further roadway improvements appear to be required at this time. Thank you for this information.*

6. *Inverness Ave exists - no further roadway improvements appear to be required at this time. Thank you for this information.*

7. *All proposed commercial driveways shall be installed per COM 2021 Std Dtl M-42 - 30' wide min. the wrap-around sidewalk shall remain within the public domain - see note #9. The Baseline Rd driveway will remain RIRO.*

*The proposed Baseline Road driveway is shown to comply with this requirement:*



8. *Any signing & striping installation and modifications shall be the responsibility of the developer. Submit plans for review per the COM Signing & Pavement Markings Design Procedures Manual.*

*We will comply with applicable requirements during the construction document phase.*

9. *Provide Street Light plans per Chapter 9 of the Engineering & Design Standards. Reference Section 919 for submittal requirements.*



A street light plan will be provided during the construction document phase.

10. Provide streetlight photo-metrics to verify that they comply with current standards for the proposed use. These to be submitted with the construction plan submittal.

The streetlight photometrics will be provided during the construction document phase.

11. *Where the land development project is adjacent to or adjoining an existing public street with existing public street lighting, the public street improvements associated with the proposed project shall not result in degradation of the existing lighting levels below the required minimum levels. The developer shall perform a lighting analysis for any project that results in a change of pedestrian conflict area classification or requires the addition, conversion, removal, replacement, or relocation of any streetlight(s). Projects in which the lighting analysis shows that lighting levels do not meet required standards, or will be impacted negatively, the proposed project shall improve the existing public street lighting system to meet the required standards.*

We will comply with this requirement during the construction document phase.

12. Provide sight visibility triangles (SVT) for all intersections, driveways and median openings to demonstrate that adequate visibility is being provided. The SVT is to be placed on the landscape plans and show what criteria (design speed is 5 MPH over posted speed limit & respective sight distance based upon roadway cross-section) is being used to demonstrate that the visibility is being maintained. Use the information regarding design of sight distance requirements from the COM Engineering Design Standards Section 211: - <https://www.mesaaz.gov/home/showpublisheddocument/42795/637541028823370000> (Reference Figure 2.3).

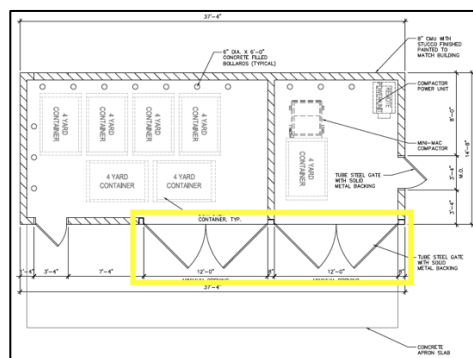
Sight visibility triangles are shown for both driveways on the site plan.

## Solid Waste Review Comments

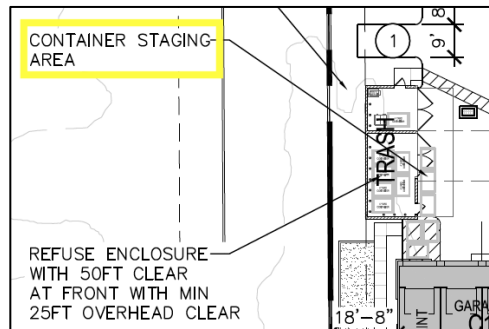
*Solid waste comments are located on - "Millennium - Baseline & Sunview - Site Plan and Details 6-1..."*

2. The net width opening for both enclosures between the gates must be 12'.

Each refuse gate opening is shown as 12 feet:



3. Site plan must show where bins will be staged for service.  
The refuse bin staging is shown on the site plan:



4. For route efficiencies, bins must be rolled out by 6 a.m. on service days.  
The onsite maintenance team will comply with this requirement. A note is shown on the Site Details sheet.

## PLANNING DIVISION (DRB22-00644)

### Project Review Comments:

#### Elevations

1. Provide a physical color material board. The case will not be placed on a Design Review Board agenda until a physical color material board is received.  
A physical material sample board will be delivered to the City of Mesa:



2. Provide color elevations, site lighting, photometrics and renderings with the resubmittal.  
In color elevations, renderings, site lighting and photometrics are included in this formal submittal package.
3. Per MZO Section 11-5-5.B.4, when multiple garage doors are located within one building, the maximum number of garage doors adjacent to one another shall be limited to three unless

there is a break in the building façade between garage doors. The proposed elevations do not comply. Please address or revise the PAD table accordingly.

Please refer to Sheet A1.2, the site details sheet, which shows the locations and dimensions of the garage columns and facades. The setbacks range from 7 feet, 2 inches to 10 feet, and the garages are broken up with columns and walls every two to three garage doors.

4. Staff has concerns with the proposed elevations, particularly the length of Building 3. Staff would encourage redesign to break the buildings apart of strategic use of architectural elements, varied materials, colors, etc. to give the appearance of different buildings.

An additional break in the building has been added to Building 3 (all levels), which creates more variation and visual articulation:

**June 2022 Building 3 elevation:**



**July 2022 (current) Building 3 elevation:**

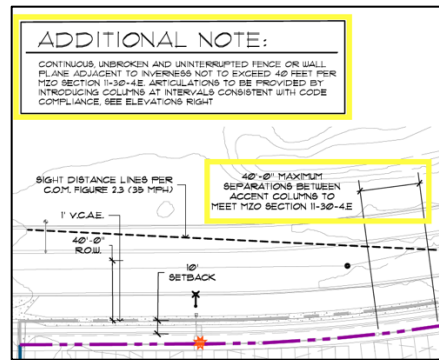


**Landscape**

1. Provide a separate open space plan identifying common open space locations. Common open space shall comply with MZO Section 11-5-5.A3.f.  
A common open space plan is included in this formal resubmittal.
2. Per MZO Section 11-30-4.E, the maximum length of continuous, unbroken and uninterrupted fence or wall plane adjacent to right-of-way shall be 40 feet. Articulation shall be provided through the use of columns, landscaping pockets and/or change to different materials.

- a. It is unclear if the fence along Inverness complies. Provide additional information to demonstrate compliance.

Please refer to sheet CLS-2, the Landscape Improvements plan, which details the wall designs, locations and dimensions, and clarifies this requirement, as noted on the plan:



3. Per MZO Section 11-33-3.A.6, a minimum of 25% of the total required trees shall be 36-inch or larger and a minimum of 50% of the total required trees shall be 24-inch box. Revise the landscape plan to include counts for percentages.

The quantity and size of tree provided have been listed on the landscape plan. Additionally, notes regarding the tree size and quantity percentages are shown on the plan:

ADDITIONAL NOTES	
1.	25% OF TREES REQUIRED IN ROW, SHOULD BE 36" BOX OR LARGER, WITH A MINIMUM OF 50% OF REQUIRED TREES BEING 24" BOX. NO TREES SMALLER THAN 15 GALLON.
2.	10% OF TREES REQUIRED IN PARKING ISLANDS & FOUNDATION PLANTING AREAS NEED TO BE 36" BOX WITH THE BALANCE BEING AT LEAST 24" BOX
3.	50% OF TREES REQUIRED IN PERIMETER LANDSCAPE AREAS TO BE 24" BOX WITH THE BALANCE BEING 15 GALLON.
4.	50% OF ALL REQUIRED SHRUBS TO BE 5 GALLON WITH NO SHRUBS LESS THAN 1 GALLON.
Additional Note:	
*(2) ADDITIONAL 24" BOX TREES SUBSTITUTED FOR (4) 15 GALLON TREES	
** (3) 24" BOX SUBSTITUTED FOR (6) 15 GALLON TREES	

4. Per MZO Section 11-33-3.B.2, non-single residence uses adjacent to non-residential districts and/or uses shall provide a 15-foot landscape yard. The proposed development does not comply. Please address or revise the PAD accordingly.

The only landscape yard that is less than 15 feet adjacent to a non-residential use is the rear / west side. This yard setback is proposed at 10 feet but the actual closest building to the adjacent use is approximately 14 feet, 3 inches from the property line, which is less than 1 foot shorter than required. The justification is included in the narrative.

5. Per MZO Section 11-33-2, required landscape areas shall be maintained free from encroachment by any use, structure, vehicle, or feature not a part of the landscaping design. The proposed trash compactor on the west side of the site does not meet the 15-foot landscape yard. Please address or revise the PAD accordingly to a 0-foot landscape yard. A ten foot setback is provided behind the refuse location on the west / rear side. The PAD narrative addresses this setback and justification.
6. Per MZO Section 11-33-4, parking lot landscape islands shall be installed at each end of a row of stalls and in between for maximum 8 contiguous parking spaces. The parking on the west side of the site does not comply.

Parking lot landscape islands are provided at the end of every row of 8 continuous parking stalls.

7. *Per MZO Section 11-33-4, landscape islands shall be a minimum of eight feet wide and 15 feet in length for single-row and 30 feet in length for double-row parking. Provide dimensions on the site plan. This area is exclusive of the sidewalks. Please revise the landscape islands with sidewalks.*

The landscape islands have been revised to comply with this requirement. Please see the revised landscape plan, which shows dimensions for each landscape island.

8. *Per MZO Section 11-33-4.B, when parking canopies are adjacent to each other in a single row, the total length of each canopy shall not exceed 15 parking stalls and the adjoining canopies shall be separated by at least a 24-foot-wide landscape island.*

The landscape islands have been revised to comply with this requirement. Please see the revised landscape plan, which shows dimensions for each landscape island adjacent to parking canopies.

### **Schedule**

- *The next resubmittal deadline is July 18, 2022.*

This revised Design Review Board submittal package has been submitted to the City of Mesa on July 18, 2022.

Thank you for your review of our plans. Please feel free to reach out with any additional questions. I can be reached at (480) 921-2800 or via e-mail at [charles@huellmantel.com](mailto:charles@huellmantel.com).





# **MILLENNIUM SUPERSTITION SPRINGS**

1910 South Sunview

REZONING, NEW PAD, SITE PLAN REVIEW AND  
DESIGN REVIEW NARRATIVE



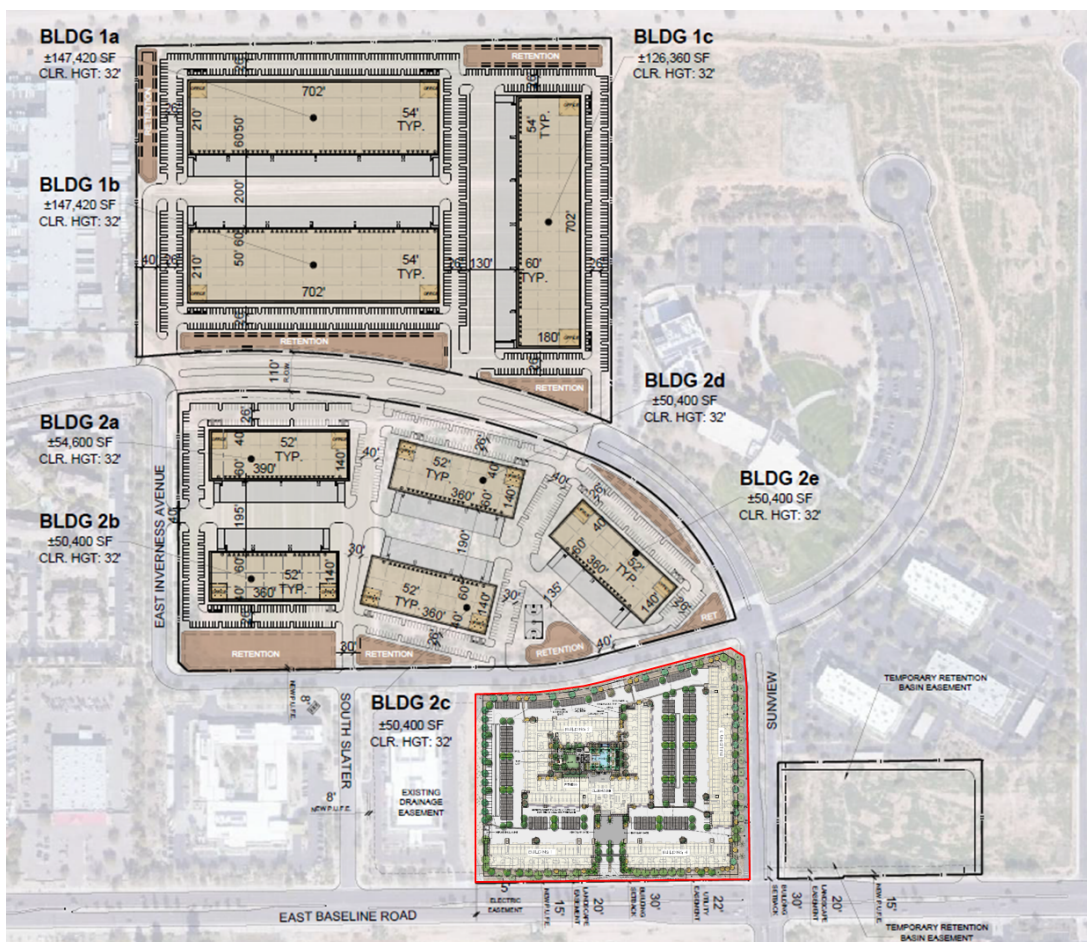
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## SUMMARY

We are excited to present the proposed Millennium at Superstition Springs multifamily residential development, located at the northwest corner of Baseline Road and Sunview. The proposed multifamily development is complimentary to the existing surrounding neighborhood and an economically critical component to continued employment & population growth in the City of Mesa. The proposed project helps to increase the diversity of symbiotic development in the surrounding market by adding much needed housing for new jobs coming to Mesa.

The current owner of the site is the Tenet Healthcare Corp., has elected to sell this small parcel in addition to the surrounding 68-acre master-plan. Prior to choosing a buyer(s), they considered the economic and new development viability of each parcel individually, and selected the eventual buyers based on plans for a complimentary horizontal mix of uses that include the critical housing stock, as illustrated below:



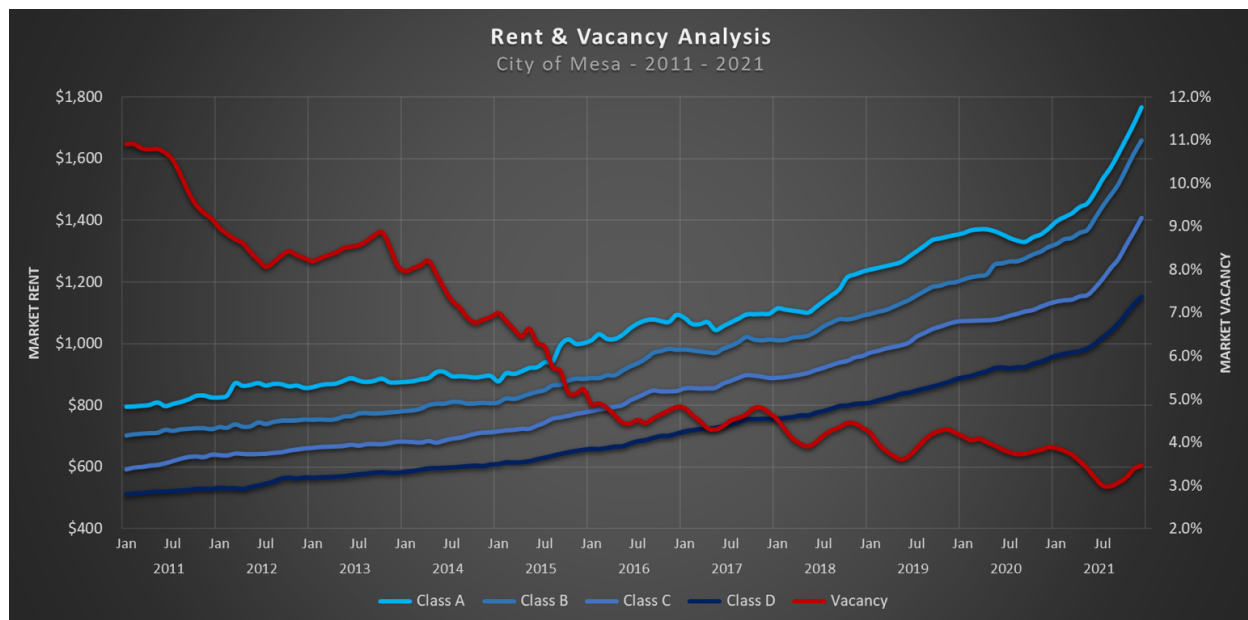
National developer Hines will be developing approximately 677,000 sf of light industrial product on the adjacent 55-acre site, appropriately located with visibility along the US-60

freeway and will include the completion of the Sunview Road thoroughfare bisecting the master-plan. The non-contiguous eastern 4-acre parcel was then sold to the neighboring A.T. Still University for future development plans within the context of their larger campus. For those reasons, the non-contiguous 9.83-acre site, which is the subject of this request, is effectively an “island” parcel within the context of the broader master-plan surrounded by roadways and right-of-way improvements and is not particularly well suited for the below uses for the following reasons:

- **OFFICE:** The compact size and island nature of the subject site makes it challenging for an office development, not to mention there is sizeable and growing suburban office vacancy throughout metro Phoenix in the wake of the pandemic and effectively no existing market for new speculative development of office product. Moreover, Hines is building what they feel is an appropriate product and Hines does not seek competitors for space within this campus.
- **INDUSTRIAL:** Given the adjacent Hines industrial development, this submarket will soon add new industrial space which will take considerable time to absorb and stabilize. Hines intentionally left this 9.83-acre subject site out of their industrial development plans due to its compact size, non-traditional shape, and island nature. Hines does not seek competitors for space within this campus.
- **HOTEL:** Similar to the office market described above, speculative suburban hotel development is relatively non-existent in metro Phoenix due to sizeable vacancies being experienced by existing hotel owners as a result of potentially permanent effects stemming from the pandemic.

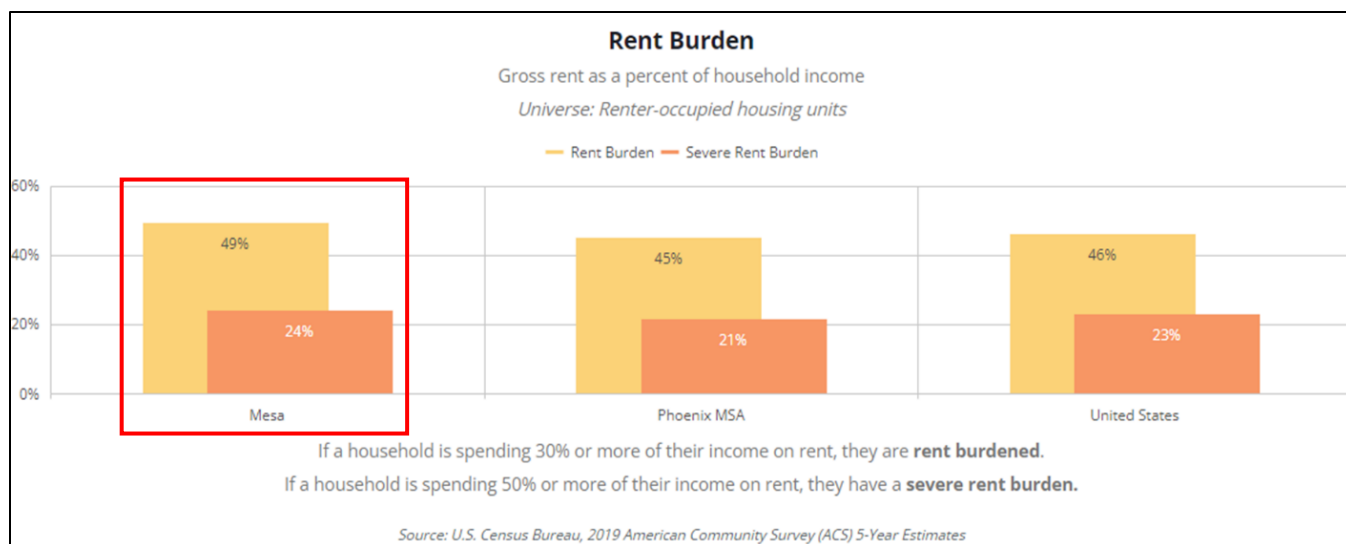
## **THE ECONOMIC NEED**

In the wake of the pandemic, much has been publicized regarding the accelerating immigration and record employment growth in metro Phoenix. As has also been well publicized, the result of that growth is a sustained shortage of all housing types. This issue has manifested itself in the form of 97% multifamily occupancy (the highest ever recorded in Metro Phoenix) and rent growth in the realm of 20% year-over-year for two consecutive years. A nearly identical environment exists within for-sale product as well, with single-family home median sales prices up 31.9% year-over-year in the three zip codes surrounding the subject site. The chart below shows the effects of this undersupply played out over the past ten years in the City of Mesa.



With such little vacancy market-wide, in both for-sale and for-rent housing, there is little housing movement due to the extremely compressed availability of options, paralyzing most residents in place and forcing those residents to absorb the increased costs mentioned above. Without a relief valve in the form of new multifamily rezonings and development, for the appropriate product-type, at the appropriate density, in the appropriate locations, this problem will only be exacerbated, and current and future residents and constituents will be forced to face the burden of these accelerating housing costs, much to the detriment of disposable income, consumer spending, City sales taxes, and overall financial resiliency of the resident base.

At the end of 2019, the average Class-A apartment renter in Metro Phoenix was paying 21% of their pre-tax household income on rent. Today, only two years later, that metric is approximately **30%**. The existing rate of housing cost acceleration is unprecedented in Metro Phoenix and by most measures, leads the nation, translating to widespread affordability challenges and immense frustration amongst renters. The City of Mesa, as seen in the chart below, has a notably higher proportion of both "Rent Burdened" (30%+ of pre-tax household income spent on rent) and "Severe Rent Burdened" (50%+ spent on rent) than both US and Phoenix MSA averages. These figures are from 2019 - based on recent market conditions, this issue, and correspondingly, renters are certainly *significantly* worse off today than they were just two years ago.



### **EFFICIENT ECONOMIC USE OF SMALL PARCEL**

The Guardian Mesa 394-unit multifamily development is an economically efficient use for this relatively small island parcel. The proposed modern 4-story, elevator served, garage and surface parked, highly-amenitized community is appropriate for this particular location and serves to produce a considerable amount of new housing units on a compact site. This type of density is extremely uncommon in Mesa in favor of less dense, garden multifamily properties that require far more acreage. The historic reason lies in the cost of construction, which is materially higher for the subject's proposed density and product type; however, this type of product is now becoming warranted in the best locations in Mesa.

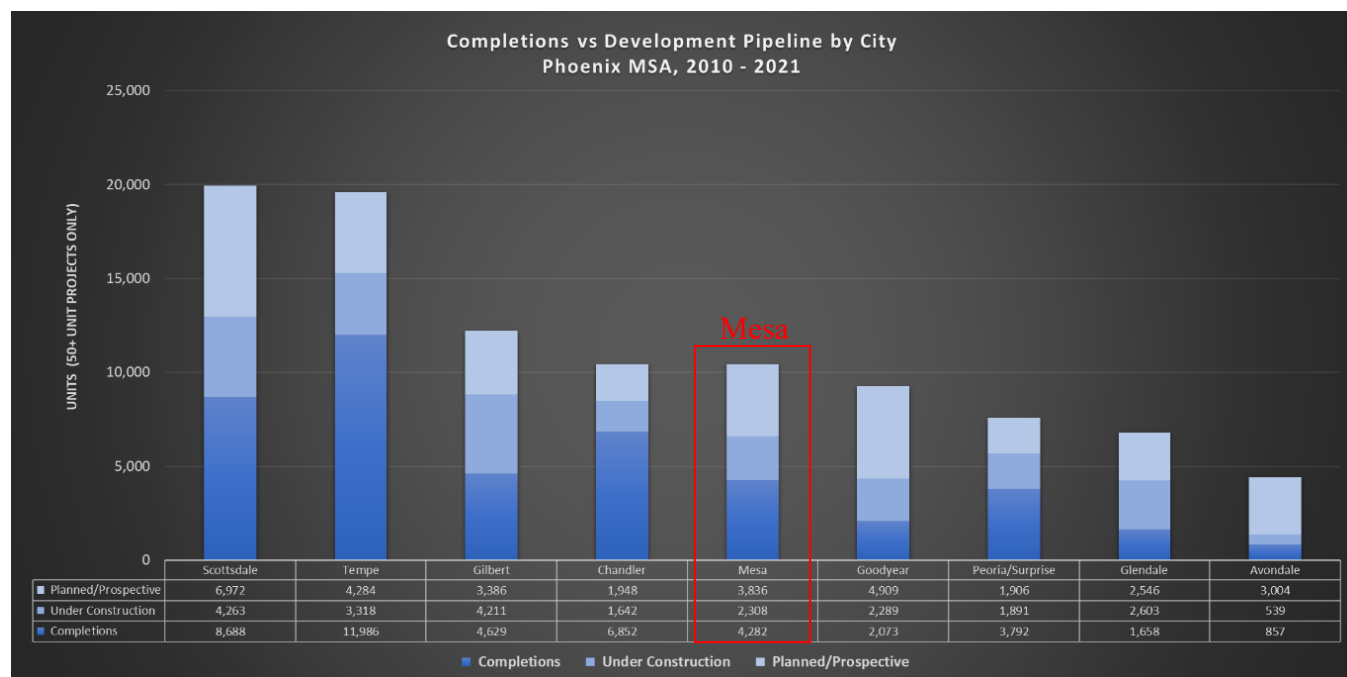
### **MESA IS PROVIDING FEWER HOUSING OPTIONS WHEN COMPARED TO NEIGHBORING CITIES**

Since 2010, Mesa has delivered 4,282 new multifamily units, according to Yardi Matrix data. While seemingly a large number, this places Mesa considerably behind its neighbors of Phoenix (24,974 units), Tempe (11,986), Chandler (6,852), Scottsdale (8,688), and Gilbert (4,629); and additionally, led directly to the existing drastic undersupply of housing. In 2010, average occupancy in Mesa was 89.7%. By 2021, that figure climbed to **97.2%**. Assuming an "equilibrium" of 93% market-wide occupancy, the City of Mesa undersupplied the multifamily rental housing market by 2,073 units, or 32.6%, since 2010.

Mesa trails each of the above cities in anticipated rental housing supply growth per capita for the foreseeable future, meaning the aforementioned dire shortage of housing is likely to continue, and in all likelihood, get progressively worse. Over time, this will reduce Mesa's competitive advantage relative to its neighboring cities with regard to attracting employers and providing attainable housing options for current and future residents alike.



Of the “Planned and Prospective” units in Mesa, according to Yardi Matrix, approximately 74.2% of those units are within a 2-mile radius of Downtown Mesa – an area which accounts for just 2.4% of Mesa’s area as a whole. While Downtown Mesa will continue to be a strong driver of jobs, population, and therefore, apartment demand; that scenario is also true in other locations in Mesa which are largely being overlooked from a housing standpoint.



Guardian’s Mesa location, given its integration with Hines’ proposed master-plan project and proximity to existing demand generators including Superstition Springs Center and Auto Mall, AT Still University, Abrazo Hospital, as well as current and future uses from Banner Health and others, just to name a few. According to the Maricopa Association of Governments, the job base within a 5-mile radius of the subject location is expected to increase by **1.88%** annually over the next ten years vs the US average of just 0.7%, according to the US Bureau of Labor Statistics.

The Guardian Mesa development is intended to be a well-integrated catalyst within the proposed Hines master-plan, and example of efficient, high-quality apartment development on targeted sites where the reasoning for rezoning is well-justified given the existing conditions of both the market and the location. For the reasons outlined above, this subject site should be considered as an exception to Mesa’s general aversion toward new apartment rezoning. This site is ideally positioned to provide a modern, well-amenitized, high-quality apartment community, is not taking land which could feasibly be developed for another property type in the near- or mid-term future, and compliments the already existing, and significant, housing shortage in the City of Mesa.

Millennium Superstition Springs is proposed as a 394 dwelling unit multifamily residential development fronting Baseline Road on approximately 9.83 acres. The site will include 654 vehicular parking spaces (1.66 per unit) dispersed throughout the four separate buildings on the site. A central amenity courtyard is proposed in the interior of Building 2 and will include a pool and spa, game lawn, grills, "Tot Lot", and relaxation multiuse lawn. A dog park is also proposed on the site for resident use.

The maximum height of the four buildings is 50 feet (4-stories / 60 feet to the mechanical equipment) and the proposed density is 40.8 dwelling units per acre. Lot coverage is proposed at approximately 33.5% and the site is designed to exceed City of Mesa landscape requirements and have a public and private open space area of approximately 76,127 square feet.

## QUALITY DEVELOPMENT DESIGN GUIDELINES

Millennium Superstition Springs has been designed to comply with the Quality Development Design Guidelines for Multiple Residence (RM) buildings. The location of the site, within a larger mixed-use masterplan development is an ideal location for RM, per the code:

*"Multiple residence buildings in mixed use districts support the density of an urban center and create vibrant, active, walkable neighborhoods to live, work, socialize, and relax."*

### A. Site Design

#### 1. Neighborhood Character:

*a. Common open space areas and amenities allow residents to gather, promoting community interaction and creating a sense of place. Shared open spaces within multiple residence projects are particularly important as an organizing element in defining space and establishing character. Therefore, open space features should be carefully integrated into the design of multiple residence projects to provide safe areas, that can be easily surveyed from nearby dwellings or the street and complement the building architecture and project site design. Projects should incorporate common open spaces and pedestrian amenities that are centrally located, functional for a variety of uses, and aesthetically pleasing.*

The common open space and amenity area for the development is centrally integrated into the development. This space is easily accessed through the clubhouse and lobby of Millennium Superstition Springs and includes a pool and spa, game lawn, lounge areas and an additional lawn for relaxation and grills are provided in two separate locations. A dog park provided for residents and a separate 'Tot Lot' playground is also planned.

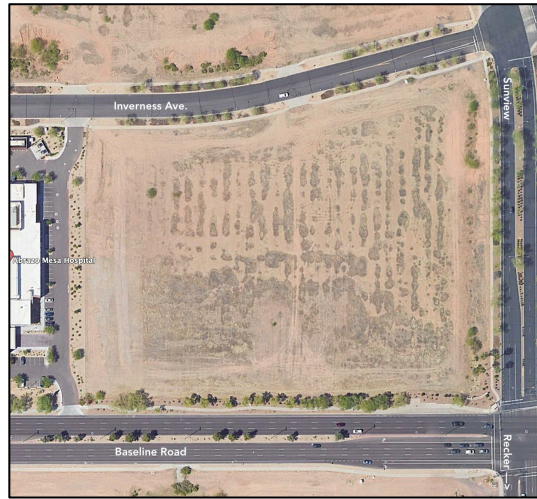
Pedestrian amenities include clearly marked walkways leading from the project to the adjacent roads - residents will be able to access the existing sidewalks through pedestrian gates. The existing sidewalks are well-landscaped with existing trees (that will remain on the site throughout the development of Millennium Superstition Springs).

*b. The overall character of the development should be defined through the use of a consistent design concept and should incorporate the architectural embellishments commonly associated with that style.*

All four buildings are designed to incorporate the same color and material scheme. The design will be consistent throughout the site. Architectural embellishments proposed for the buildings will include parapet caps at varying heights, faux wood planks on accent portions of the buildings and brick veneer.

c. Major intersections and corners should be treated as neighborhood/project entryways. Provide a sense of arrival through the use of monument signs, special landscaping, specialty pavement, architectural features, etc.

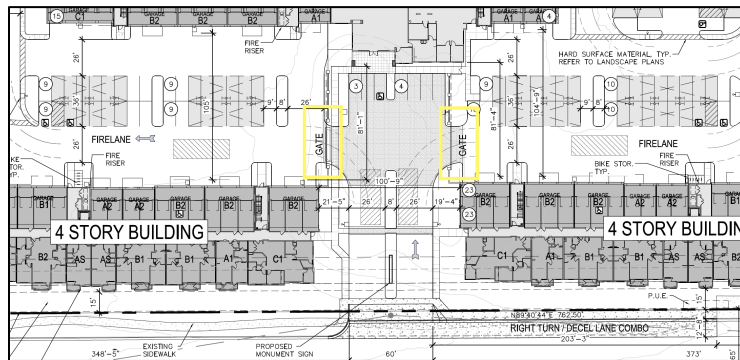
The site is not located on at major intersections - there is an existing monument sign at the southeast corner of the site, which we do not plan to remove. Our site is unique in that the land has already been cleared and the perimeter has been landscaped as part of the masterplan:



The perimeter of the subject site is landscaped and developed, including the existing meandering sidewalk on Baseline Road. Additional landscape planned for this corner of the site include Yellow Bird of Paradise trees (*Caesalpinia gilliesii*) and Palo Brea trees (*Parkinsonia praecox*).

d. Terminate primary drives at open space or amenity features to create a focal point and enhance view corridors.

The primary entrance drive from Baseline Road enters the site and drives north - this dead-ends at the entry of Building 2, where an entryway feature invites residents and future residents into Millennium Superstition Springs. The drives to the left and right (west and east) are gated, allowing resident access only:



The second vehicular entrance to the development is flanked by Chitalpa trees (*Chitalpa tashkentensis*) has a view corridor directly to the dog park – a well landscaped and aesthetically pleasing section of the development.

*e. In common open space areas, pedestrian amenities such as shade structures, trellises and arcades over walkways, benches and tables, bike racks, scooter parking, or similar amenities are recommended. Consider locating these in courtyard spaces and near main or secondary entrances for easy access.*

The amenity areas for Millennium Superstition Springs will include an entertainment pavilion proposed on the west side of the pool and four resort-style shade cabanas on the north edge of the pool deck. The courtyard amenity space is located central to all residential buildings, inside Building 2.

*f. Avoid outdoor areas that are between or behind buildings, that have little or no surveillance. These spaces with ambiguous “ownership” should be placed within the control of individual units.*

The amenity areas have all been placed in locations on the site that provide visual surveillance from the surrounding uses. The fitness area, located inside Building 2, looks out to the courtyard, as do many of the residential balconies.

*g. Provide a continuous pedestrian circulation system that links various site amenities, such as play areas, a club house, pools, adjacent streets, trails, and bus stops.*

Sidewalks are proposed throughout Millennium Superstition Springs. The sidewalks will create a continuous pedestrian circulation system around the buildings, through the vehicular parking areas and then into the Building 2 courtyard and resident amenity areas.

*h. Connections to adjacent compatible uses, existing public amenities such as parks or school playgrounds and public streets by maximizing intersections and ‘straight line’ paths where possible is encouraged.*

The site has been planned as a part of the overall Tenant Health development. the existing sidewalks and pedestrian connections will be maintained (and enhanced)

## 2. Building Placement:

*a. Corner or end units located along public streets should address both the primary street and the secondary (or side) street. The primary facade and entrance should face the more prominent street. Corner entrances or dual porches on front and side facades are encouraged.*

The buildings are designed to face both of the larger public streets (Baseline Road, and Sunview). These building frontages are interesting and will enhance the streets.

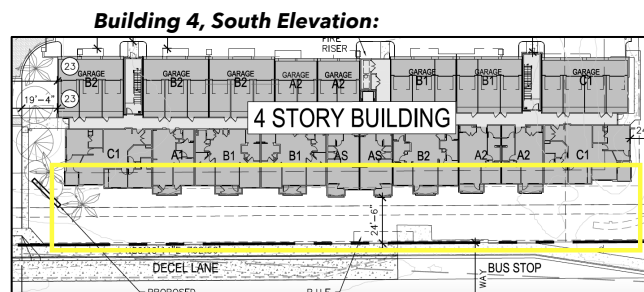


*b. Multiple residence buildings should maintain the minimum setback allowed along streets to better define the public realm and emphasize the overall site design as well as to help activate the streetscape and enhance the walkability of the neighborhood by reducing distances between desired destinations.*

The site is designed for both comfort and convenience. The proposed setbacks on Baseline and Sunview are designed to provide security and privacy to ground floor residents on their balconies but also create a sense of community. The setbacks will be landscaped to enhance walkability and pedestrian gates and accessways will connect all buildings to the pedestrian amenities and sidewalks.

*c. Design the primary facade of buildings with varied setbacks (including ground floor and upper floors) to create an interesting and attractive street edge, while maintaining minimum average setbacks.*

All of the building facades have been designed with varied setbacks on all floors – this design accommodates resident balconies while simultaneously providing an interest and attract street edge:



As you can see in the image above, the setback line on the south side of the development (Baseline Road) is set at a minimum of 24'-6" but varies at each unit where the balconies are shown.

*d. Consider the existing grade and topography of the site in building layout, height, scale, and massing to maintain compatibility with adjoining lower intensity residential uses. Taller buildings should be stepped back or reduced in height when adjacent to lower density residential uses to maintain the privacy of rear yards, patios, and private outdoor spaces.*

This site has already been cleared and graded for development – the site is currently designed for a multifamily residential use and was sold to the multifamily residential housing developer specifically for the proposed use. There are no adjacent residential uses.

*e. Extend porches, stairs, and stoops into the front setback to articulate the building facade.*

Buildings 1, 3 and 4 all have first floor balconies that extend into their street side setbacks, as shown below:



The first floor balconies, outlined in yellow, create ground floor articulation that create a clear bottom of the building and that is distinct from the middle and top.

*f. Design setbacks between buildings so that spaces are usable or are part of the overall pedestrian scheme.*

The majority of the space between each building has been utilized as drive aisles, while the remaining space between the buildings will allow for pedestrian access. A pedestrian gate has been added to the plan at the northeast corner of the development, with direct access from Building 3 to the existing sidewalk adjacent to the site.

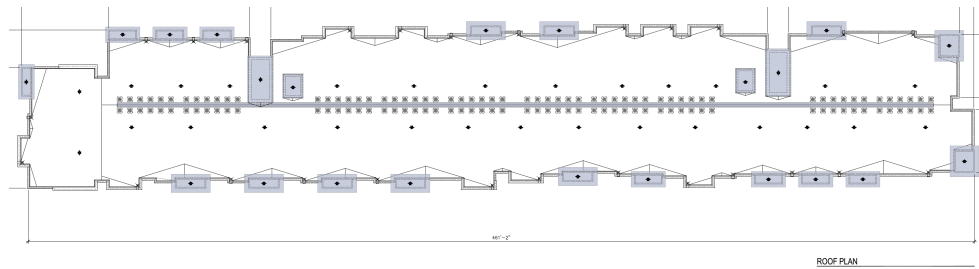
*g. Consider the orientation of buildings and the use of sustainable development practices to mitigate solar exposure.*

The majority of the building facades face north and south (Building 1, Building 4 and two sides of Building 2). The use of recycled, local or regionally produced building materials will be encouraged along with the reuse or recycle of construction waste. Fluorescent and LED lighting will be used along with high performance windows, insulation and HVAC systems. LEED and other green building techniques and strategies (such as Energy Star or Home Energy Rating System standards) will be standard at this project.

Efficient use of water will be encouraged through landscaping techniques such as drought resistant plant selection and efficient irrigation systems. Water efficient toilets, showerheads, faucets, clothes washers and dishwashers will be implemented throughout as a project standard.

*h. Mechanical equipment, electrical meter and service components, and similar utility devices whether ground level, wall mounted, or roof mounted, shall be screened and designed to appear as an integral part of the building.*

Roof plans are included in this formal submittal – the mechanical / AC units proposed for the buildings are located in the middle of each building, as shown on the Building 3 Roof Plan below:



The location of the units should conceal the units from view from the street and inside the project.

### 3. Parking and Garage Placement:

*a. Buildings should have the primary presence on the public street. Off-street parking areas should be located in the rear of the building(s) and away from public streets. Placement of parking areas to the side of the building(s) may be allowed to the minimum degree necessary.*

This development has been designed to place the building fronts along the prominent streets of Baseline Road and Sunview, with the resident parking located behind each building. Garage entrances have also been oriented away from the public areas and off the main roads.

*b. Design and locate parking areas such that the walk from the designated parking to the dwellings is short and direct. Ideally, residents will have visibility of their parking stalls from their residence. All resident and visitor parking spaces shall be clearly identified.*

The resident parking areas are located throughout the site, some as interior garages. The parking is spread throughout the site and along the buildings, creating easy access for all residents.

*c. Pedestrian walkways shall be distinguished from the vehicle driveway using different hardscape materials or by providing a landscape buffer.*

All pedestrian walkways throughout the site, including through the parking areas and driveways will be clearly marked. The exiting sidewalks on the perimeter of site are separated from traffic through the use of landscape buffers.

*d. To add visual interest and avoid the effect of a long blank wall with no relation to human size, perimeter garages that face public right-of-way or private property should provide articulation in horizontal wall plane, roof line, mix of materials, and windows or other fenestration.*

There are no garages proposed along the perimeter of the site.

*e. Carports and detached garages should be designed as an integral part of the architecture of projects. They should be similar in material, color, roof materials, and details to the principal buildings of a development.*

Parking canopy details are shown on the Site Details page included in this formal submittal package. The colors will match the project elevations and the design will be incorporated into the site.

*f. Guest and handicap parking should be evenly and conveniently distributed throughout multiple residence projects.*

Guest and handicap parking is dispersed throughout the site. The handicap parking, indicated on the site plan, is spread evenly throughout the site, making Millennium Superstition Springs accessible to all residents.

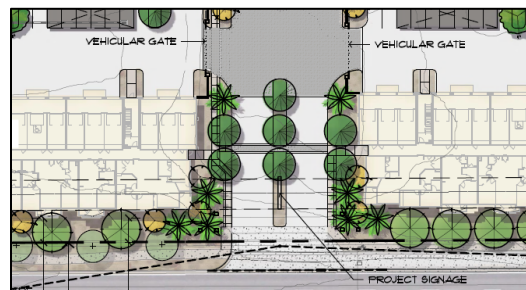
*g. Incorporate pick-up and drop-off zones that are easily accessible to riders and rideshare operators.*

This development is proposed as gated – rideshare operators will pick up and drop off their riders at the entrance of the site outside of the lobby.

#### 4. Landscaping and Shading:

*a. Use planting to highlight significant site features and to define site use areas and circulation. Examples include site and building entrances, pedestrian walkways, and focal points, such as gathering areas or plazas.*

Landscape is designed to enhance the site, including the entryway from Baseline Road, landscaped with Fan Palms (*Washingtonia 'filibusta'*) and stately Southern Live Oak trees (*Quercus virginiana*):



The courtyard of the site is artfully planned with a mixture of colorful trees and plants that will be aesthetically pleasing to residents.

*b. Incorporate existing natural features such as trees, topography, washes, and vegetation into the site plan.*

The site has been graded and cleared for development. The existing landscape features on the perimeter of the site will be included in the proposed development.

*c. Infrastructure elements such as stormwater retention basins should be incorporated into the overall landscape plan.*

All grading and drainage features and infrastructure will be incorporated into the design of the site.

*d. Consider using deciduous trees and shrubs along south and west facing facades to provide seasonal shading while providing fall color, seasonal flower, and other desired effects.*

Color has been added to the landscape palette in the form of Yellow Bird of Paradise trees (*Caesalpinia gilliesii*) along the north property line and accent corners of the site and Southern Live Oak trees (*Quercus virginiana*) at specific focal points on the site, including the entryway and some landscape islands. The majority of the trees proposed for the perimeter of the site, which will provide shade to the residential buildings, have been chosen for their shade canopies and desert appropriateness - including Willow Acacia trees (*Acacia salicina*) and Palo Brea trees (*Parkinsonia praecox*).

*e. Provide weather and sun protection, such as overhangs, awnings, canopies, etc. to mitigate climatic and solar conditions.*

Awnings, overhangs and canopies are proposed throughout the development, both for aesthetic value and to shade windows from solar conditions.

*f. Shade elements, both landscape and architectural should be provided at prominent pedestrian points such as near entries, near common open space, and along paths serving parking lots.*

Parking throughout the development will be shaded through a combination of parking canopies and trees. Trees have been incorporated into the landscape islands, which will shade pedestrians walking to and from their vehicles. Finally, the resident amenity areas and courtyard have been thoroughly landscaped with aesthetically pleasing trees, shrubs, bushes and groundcover.

## **B. Architectural Design**

### **1. Primary Entries:**

*a. Location of primary entrances (shared or individual) should face the street to the greatest extent possible. Low volume streets are better suited for individual unit entries; high volume streets are better suited for shared entries.*

The main entry of Millennium Superstition Springs is oriented towards Baseline Road and side entries have been implemented on the buildings that do not front Baseline Road. An example of this is shown below:

**Building 3, North Elevation:**



*b. Primary entrances should be prominently indicated with a multi-story massing change and a first-story roofed design element such as a porch, awning, or portico. The primary entrance to the Millennium Superstition Springs development is clearly detailed with the use of a portico, outlined in brick veneer and topped with a textured stucco system:*

**Building 2, South Elevation (facing Baseline Road):**



*c. All units must provide a clearly visible paved walkway from the primary entrance to a public sidewalk along the abutting primary street, tract, or common open space. The site is designed to provide clear pedestrian access between the buildings, open space, sidewalks and parking areas. The walkways will be either painted or constructed of pavers, demarking the pedestrian realm.*

## 2. Massing and Scale:

*a. Multiple residence buildings should offset their massing on wall planes or step back on upper floors so as to reduce perceived size and provide opportunities for terraces or balconies.*

The building will provide balconies across the elevations to break up the perceived massing. Additional articulation is provided to offset the building mass as parapets and building pop-outs.

*b. Multiple residence developments must provide unique massing and variation from adjacent multiple residence buildings; as to avoid the appearance of contiguous developments.*

Although there are no residential buildings adjacent to the subject site, the development has been designed to carry the theme of the surrounding area.



*c. Where multiple residence projects are adjacent to single residence zoning districts, provide a sensitive transition by maintaining a height compatible with adjacent buildings. Mitigate negative shade/shadow and privacy impacts by stepping back upper floors and avoiding direct views into neighboring single residence yards.*  
There are no single residence zoning districts adjacent to this site.

*d. Help define the street edge through the location of building massing and heights. Increase building mass and height proportional to the street width, with higher massing on wider streets and decreased massing on narrower streets.*

The building masses are proportional to the street widths - the largest of the buildings front Baseline Road and Sunview. The smaller building fronts and sides front Inverness to the north. Three 4-story buildings define the street edges of Baseline Road and Sunview, marking the termination of Recker traveling north, before the street dead-ends at the Superstition Freeway. Inverness, along the north side of the property, is the narrowest of the three street frontages. Here the inward 4-story building steps away from the street frontage with a less impactful presence.

### 3. Articulation:

*a. Long expanses of windowless, blank walls are to be avoided. All building facades are to be treated aesthetically with changes in materials, colors, artwork, use of pilasters, building lines, ornamentation, and/or other aesthetic treatments; and, should utilize durable quality materials.*

The four Millennium at Superstition Springs buildings do not have any expanses of windowless, blank walls. The building facades are aesthetically pleasing and use a multitude of windows, colors and materials to create an interesting and attractive building.

*b. Building façades visible from a public right-of-way, private tract, or common open space should incorporate highly accented or highly articulated openings, through the application of window trim, window recesses, cornices, changes in materials or other design elements.*

The building facades along Baseline Road and Sunview have been meticulously designed to create visual interest and be aesthetically pleasing. Resident balconies provide openings, along with varying window shadings, canopies and the roof parapets arranged at varying heights. The materials, combined with the changes in plane fulfil the goal of the Quality Development Design Guidelines.

### 4. Materials:

*a. Material changes should occur at intersecting planes, preferably at inside corners of changing wall planes or where architectural elements intersect.*

Changes in materials and colors occur primarily at the plane changes of the building. Additional material and color transitions have been implemented to create a clear top or bottom of the building:



*b. The selection and placement of building materials should provide visual interest at the pedestrian level. Heavier materials should be used to form the building base and as accents on upper stories and walls. Materials and colors should be used to enhance buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms.*

Materials proposed for the Millennium at Superstition Springs development create visual interest at the pedestrian level. Brick veneer will be used at key points on the buildings to outline the lobby and front entrance. Additional brick veneer is utilized on corners and at the base of the building for visual interest and to enhance the bottom and pedestrian realms of the development.

*c. Materials should be selected that have proven durability under high amounts of sun exposure and extreme temperatures.*

All proposed materials have been selected by the architectural and design team to provide durability in the desert climate.

*d. Exterior building colors should be compatible with the surrounding neighborhood setting and should be in keeping with the geographic and climatic conditions specific to Mesa.*

The proposed colors and character of the building is reflective of the existing adjacent Abrazo Mesa Hospital, located to the west of the site. The color palette incorporates the reddish / orange hues used on the Abrazo building by implementing the colors "Lenape Trail" (Benjamin Moore - 1222) and "Cobblestone Path" (Dunn Edwards - DE6172). Additionally, we have included brick veneer "Face Brick, Smokey Mountain" (Summit Brick) strategically throughout the site on exterior facing buildings, to further capture the existing theme and character of the neighborhood:

***Abrazo Mesa Hospital:***



***Millennium Superstition Springs:***



## REZONING AND PLANNED AREA DEVELOPMENT

We believe that the proposed Millennium Superstition Springs development will incorporate the following, per the Zoning Code:

- A. *Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use;*

Millennium Superstition Springs will feature ample and lush landscaping and amenity space for residents.

- B. *Options for the design and use of private or public streets;*

The site will not create private streets outside of those proposed for resident use. The existing Baseline, Sunview and Inverness have been upgraded with landscaped sidewalks and dedicated pedestrian realms. As part of the Millennium Superstition Springs development, we are proposing landscape improvements to the existing pedestrian facilities along the public streets.

- C. *Preservation of significant aspects of the natural character of the land;*

This subject parcel has been cleared and the perimeter of the site has new, existing sidewalks and landscaping. The proposed development of the site into the Millennium Superstition Springs multifamily residential project will retain the existing character of the perimeter landscape, which will help the development incorporate the surrounding land and character.

- D. *Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development;*

The construction of Millennium Superstition Springs, allowed through the rezoning of the land to RM-5, will allow for a more sustainable use of the land. Greater densities preserve land, allowing for more open space. The highest use of land is through sustainable, dense residential development. More residents on one site streamline development of the City of Mesa, creating the need for fewer infrastructure improvements. The addition of multifamily residential housing units to this site will also allow for employees of the surrounding current and future industries to live close their places of work, encouraging either pedestrian or bicycle activity rather than vehicular.

- E. *Sustainable property owners' associations;*

We are not proposing a property owner's association for this site.

- F. *Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions; and*

The property will be maintained through the employment of a maintenance team, which will work in conjunction with the leasing and management team.

- G. *Single or multiple land use activities organized in a comprehensive manner, and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.*

The entire parcel will be used for the construction of Millennium Superstition Springs. No additional uses will be developed on the site. The proposed multifamily residential use on the site will be beneficial to the surrounding current and proposed development. The land was sold to the residential developer by Tenant Health - suggesting that residential uses are necessary and would be beneficial to the adjacent healthcare campus and proposed industrial campus to the north.

Additionally, the proposed Millennium at Superstition Springs complies with the following Mesa Zoning Code requirements for a new PAD:

- a. *Compliance of the proposed project with the requirements of the Mesa General Plan, and the Purpose statements of the PAD Overlay District (Section 11-22-1).*

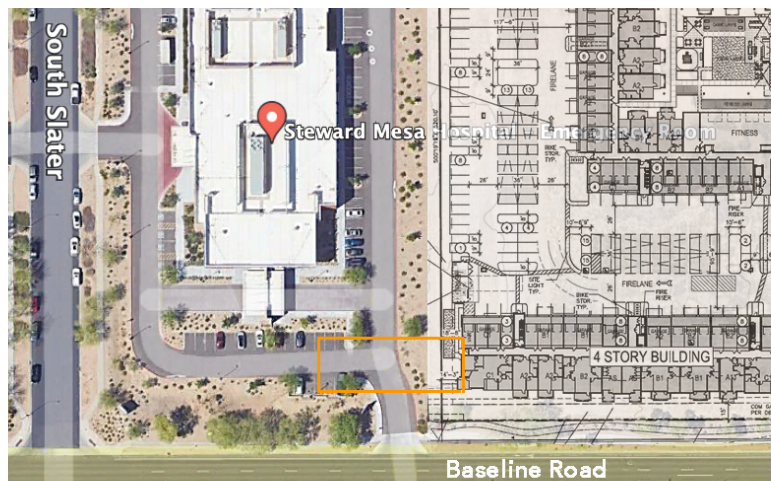
Per the section above, the proposed PAD will comply with the purpose statements of the PAD Overlay District. Additionally, Millennium Superstition Springs complies with the requirements of the Mesa General Plan. We believe that the proposed use of multifamily residential is consistent with the General Plan Designation as it supports the other proposed uses in this master plan area. The subject site is approximately 14% of the overall surrounding parcels (68 acres sold by Tenant Health). The residual acreage (55 acres / 86%) is being sold to Hines which will be developed as industrial uses. As Tenant Health is selling the surrounding land to a non-healthcare industrial developer and has specifically sold this subject parcel to a multifamily residential developer, the land is ideally suited to residential uses and will support the surrounding industries.

- b. *Development standards for the project, including how proposed deviations from base zoning district development standards and general development standards are of equal or superior quality.*

We believe that the proposed standards for the site create a superior project. We have requested a deviation from the yard setbacks on Baseline Road from the required 10 foot maximum to 15 feet to allow for the existing, to remain, PUE along Baseline Road. We are also requesting a deviation from the RM-5 standards for the Inverness parking setback - the zoning code requires a setback of a minimum of 50 feet and we are providing 41 feet, 3 inches. This deviation would not negatively impact the development as this is a resident only driveway, therefore, there will be no delivery trucks or large vehicles utilizing the driveway. Additionally, this driveway will

be used less than the main entry on Baseline Road, therefore, there will be less traffic in this area.

The requested landscape yard setback deviation adjacent to a non-residential use (the rear / west setback adjacent to Abrazo) is requested at 14 feet, 3 inches (outlined in orange in the image below) rather than the required 15 feet. This deviation is less than 1 foot from the code, which we believe is a reasonable request, especially as the adjacent property does not actually have any buildings located next to this section of the site:



The proposed standards vary from the RM-5 zoning district standards, as outlined below:

**Site Plan:**

	<b>RM-5 Development Standards</b>	<b>Millennium Superstition Springs</b>
Minimum Lot Area (sq. ft.)	6,000 sq. ft.	428,398 sq. ft.
Minimum Lot Width (ft.)	60 ft.	762.50 ft.
Minimum Lot Depth (ft.)	65 ft.	514.50 ft.
Max. / Min. Density	43 Max. / 20 Min. du/ac	40.8 du/ac
Min. Lot Area / DU (sq. ft.)	1,000 sq. ft.	1,079 sq. ft.
Maximum Height (ft.)	50 ft.	50 ft. (parapets) / 52 ft. (tower) / 60 ft. (mech.)



Maximum Lot Coverage	70%	68.5%
Minimum Yards (ft.) <ul style="list-style-type: none"> <li>Front &amp; Street Facing Side               <ul style="list-style-type: none"> <li>Baseline (Arterial)</li> <li>Sunview (Local)</li> <li>Inverness (Local)</li> </ul> </li> <li>Interior (Rear/West)</li> </ul>	<ul style="list-style-type: none"> <li>0 Ft. (Min.) / 10 ft. (Max)</li> <li>0 Ft. (Min.) / 10 ft. (Max)</li> <li>0 Ft. (Min.) / 10 ft. (Max)</li> <li>NS (Min.) / 10 ft. (Max)</li> </ul>	<ul style="list-style-type: none"> <li>15 ft. (Baseline)</li> <li>10 ft. (Sunview)</li> <li>10 ft. (Inverness)</li> <li>10ft. (Rear/West)</li> </ul>
Parking Required / Provided	2.1 Spaces / Unit = 828	1.66 Spaces / Unit = 654
Landscape Yards (ft.) <ul style="list-style-type: none"> <li>Interior (Rear/West)</li> </ul>	15 ft. (Min.)	10 ft. (at refuse enclosure) / 10 ft. (at parking lot) / +/- 14 ft. (building)
Parking Setback from property line (Inverness)	50 ft. (Min.)	41 ft. 3 in.

c. *Phasing plans, if the project consists of multiple units or stages of development.*  
 The project is proposed to be developed in one stage.

d. *Specific and/or conceptual land uses, as applicable.*  
 The development is proposed with a specific land use, multifamily residential. The requested PAD is not for a conceptual land use.

e. *Properties and amenities to be held in common ownership, including open space and recreational amenities.*  
 The entire Millennium Superstition Springs development will have one property owner and will not be platted or subdivided.

f. *Intensity of development expressed as a ratio (specific plan) or as a range (conceptual plan).*  
 The density of site is shown as approximately 40.8 dwelling units per acre.

g. *Description of design themes and character.*  
 The proposed colors and character of the building is reflective of the existing adjacent Abrazo Mesa Hospital, located to the west of the site. The color palette incorporates the reddish / orange hues used on the Abrazo building by implementing the colors "Lenape Trail" (Benjamin Moore - 1222) and "Cobblestone Path" (Dunn Edwards - DE6172). Additionally, we have included brick veneer "Face Brick, Smokey Mountain"

(Summit Brick) strategically throughout the site on exterior facing buildings, to further capture the existing theme and character of the neighborhood:

***Abrazo Mesa Hospital:***



***Millennium Superstition Springs:***



*h. Incorporation of sustainable development practices.*

Efficient use of water will be encouraged through landscaping techniques such as drought resistant plant selection and efficient irrigation systems. Water efficient toilets, showerheads, faucets, clothes washers and dishwashers will be implemented throughout as a project standard.

The use of recycled, local or regionally produced building materials will be encouraged along with the reuse or recycle of construction waste. Fluorescent and LED lighting will be used along with high performance windows, insulation and HVAC systems. LEED and other green building techniques and strategies (such as Energy Star or Home Energy Rating System standards) will be standard at this project.

## DESIGN REVIEW

Review Criteria. When conducting DR, the Planning Director and the Design Review Board shall be guided by whether the project satisfies the following criteria.

1. *The project is consistent with:*

- a. *Applicable goals, objectives and policies of the general plan and any applicable sub-area or neighborhood area plans;*

The proposed Millennium Superstition Springs development is planned as part of the larger Hines masterplan. The subject site will be constructed to support the surrounding medical campus. With the increase of jobs coming to the area more housing is needed. We will add housing inventory especially for the housing of healthcare workers.

- b. *All of the development standards of this ordinance;*

A PAD is part of this formal submittal request, therefore, some of the standards may not apply to our proposed development.

- c. *Other adopted Council policies, as may be applicable; and*

The proposed Millennium Superstition Springs complies with City of Mesa Council policies.

- d. *Any specific conditions of approval placed on the zoning of the property.*

This Design Review application is part of a larger formal submittal that includes rezoning the property. We will work with the City of Mesa regarding the stipulations that will be included as part of the current entitlement process.

2. *The overall design of the project including its scale, massing, site plan, exterior design, and landscaping will enhance the appearance and features of the project site, the street type, and surrounding natural and built environment.*

The subject is currently an undeveloped and underutilized plot of land in an active and growing pocket of Mesa. Millennium Superstition Springs will complement both the existing and upcoming uses from both a design and functionality standpoint with residents as the number one priority.

To increase both the quality of life and enjoyment of our residents, as well as the ultimate marketability of our project, we have paid close attention to detail to all aspects of the design, color palettes, materials, amenity areas, interior layouts, open space, parking offerings, etc. and have spared no expense in doing so.

3. *The overall design will create a distinctive and appealing community by providing architectural interest in areas visible from streets, sidewalks, and public areas.*

The proposed project uses a variety of appropriate, yet appealing, design materials and color palettes throughout the community to complement the surrounding desert landscape we call home. Our design team has carefully studied the surrounding environment, both natural and developed, to craft our design package, color tones, and materials in a way which is cohesive, yet interesting and unique, interacting with the surrounding context and built environment.

4. *The project site plan is appropriate to the function of the project and will provide a suitable environment for occupants, visitors, and the general community.*

Our expert design team has gone through multiple iterations of our project site plan to maximize both the efficiency and the quality of the design layout. We have maximized the economic viability of the project from a density and parking standpoint, while also creating ample, high-quality, highly-functional amenity spaces for the community to use. There has been a focus on sufficient lighting for safety during the nighttime and appropriate shading for comfort during the daytime.

5. *Project details, colors, materials, and landscaping, are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design and creates a safe, attractive and inviting environment at the ground floor of buildings on sides used by the public.*

Material selections and color palettes have been selected with Arizona's native desert landscape in mind, while also elevating architectural and visual interest. Millennium Superstition Springs has a consistent theme with regard to these selections, which will apply to all four residential buildings as well as all community gathering areas, amenity locations, and parking structures.

The proposed colors and character of the building is reflective of the existing adjacent Abrazo Mesa Hospital, located to the west of the site. The color palette incorporates the reddish / orange hues used on the Abrazo building by implementing the colors "Lenape Trail" (Benjamin Moore - 1222) and "Cobblestone Path" (Dunn Edwards - DE6172). Additionally, we have included brick veneer "Face Brick, Smokey Mountain" (Summit Brick) strategically throughout the site on exterior facing buildings, to further capture the existing theme and character of the neighborhood:

***Abrazo Mesa Hospital:***



***Millennium Superstition Springs:***



6. *The project is compatible with neighboring development by avoiding big differences in building scale and character between developments on adjoining lots in the same zoning district and providing a harmonious transition in scale and character between different districts.*

The project is situated in context with existing and upcoming light industrial and medical uses to the north, east, and west, and single-family residential generally to the south. This project provides the above-mentioned “harmonious transition” between low-density residential uses and moderate density business park uses, while providing an efficiently devised package of housing options for users of the adjacent space and beyond.

7. *The project contributes to the creation of a visually interesting built environment that includes a variety of building styles and designs with well-articulated structures that present well designed building facades on all sides, rooflines, and building heights within a unifying context that encourages increased pedestrian activity and promotes compatibility among neighboring land uses within the same or different districts.*

We have strived to create visually interesting, yet functional and practical building facades, particularly on the buildings with frontage on Baseline and Sunview Roads. The project includes variation and articulation along these facades to better-address the streetscape, both for pedestrians and road users using those perimeter roadways.

Heavily landscape amenities have been added in conjunction with user-friendly hardscape design along all pedestrian passageways, with a particular focus on the perimeter of the community to provide a sense of security and privacy for our residents and increase the visual curb appeal from an exterior perspective.

8. *The project creates visual variety and relief in buildings and avoids a large-scale, bulky, or box-like appearance.*

The building facades, particularly along Baseline and Sunview Roads, have been design with architectural variation and articulation to provide relief as viewed from the streetscape. In conjunction with the above, a variety of thematic color tones are utilized to further emphasize this variation and create visual interest on all facades.

9. *The streetscapes, including street trees, lighting, and pedestrian furniture, are consistent with the character of activity centers, commercial districts and nearby residential neighborhoods.*

Our project design team has an intimate understanding of the surrounding area, both with regard to the natural and the built environment and has projected that understanding onto our design decision making process. Millennium Superstition Springs is intended to provide a sense of cohesion, almost a continuation, of surrounding projects, both existing and upcoming.

10. *Street frontages are attractive and interesting for pedestrians and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.*

The project is partially encircled by a well-shaded pedestrian walkway, to be utilized by both members of the general public as well as our community residents. Resident patios on the first floor are designed in such a way that they are sheltered from the streetscape to create a sense of privacy and safety, while also providing the necessary so called “eyes on the street” to ensure the security of the community and enhancing the relationship of the community residents with those of the general public.

11. *The proposed landscaping plan is suitable for the type of project and site conditions and will improve the appearance of the community by enhancing the building and site design; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Mesa's climate.*

Our landscape design team has focused on plant selection to minimize water usage and honor native plant species in an effort to maintain a “suburban desert feel”. The project’s landscape design focuses on creating a welcoming environment for our residents, particularly upon arrival to the site, reducing the urban heat island effect, creating a functional “desert oasis” in our main pool/amenity area intended to serve as our community gathering area, and better-address the exterior impression of our project for the surrounding community as a whole.



12. *The project has been designed to be energy efficient including, but not limited to, building siting, and landscape design. The project also mitigates the effects of solar exposure for users and pedestrians. For purposes of this criterion, buildings that meet environmental standards such as LEED™, Green Globes, or equivalent third-party certification are considered to be energy efficient.*

Careful attention has been made in all aspects of sustainability and efficient design including, but not limited to:

- The selection of low water usage, native plant species throughout the community, while also maximizing pedestrian thermal comfort with ample shading where necessary,
- A focus on enhancing visual appeal with architectural variation and articulation while also providing shading of the project's exterior facades with the addition of canopies, pop-outs, and other means,
- The use of low-flow fixtures and energy efficient appliances in both individual residential units, as well as common areas and amenities,
- Project siting and building orientation with regard to solar exposure,
- Overall material selection to focus on renewable and/or environmentally friendly items where possible.